

The following items will be reviewed at the February 2022 BAR Meeting on February 15.

**Certificate of Appropriateness**

BAR 22-02-01  
617 Park Street, TMP 520186000  
North Downtown ADC District  
Owner: Lucy Taurel and Alex Bassett  
Applicant: Adelle Chenier  
Project: Play structure

**Certificate of Appropriateness**

BAR 22-02-02  
413 Ridge Street, Tax Parcel 290136000  
Ridge Street ADC District  
Owner/Applicant: Michaela Lieberman and Benjamin Martin  
Project: Fencing and landscape

**Certificate of Appropriateness**

BAR 22-02-03  
511 N 1st Street, TMP 330001000  
North Downtown ADC District  
Owner: Charlottesville Towers Condo Assoc.  
Applicant: Robert McGinnis  
Project: Alterations to main entry.

**SUP Recommendation**

BAR 22-02-05  
207 14th Street, NW; TMP 090070100  
Rugby Rd-University Cir-Venable ADC District (non-contributing)  
Owner: University Limited Partnership  
Applicant: Bill Chapman  
Project: SUP to allow use as a hotel. (currently apartments.)

**Certificate of Appropriateness Application**

BAR 21-10-04  
310 East Main Street, TMP 28004100  
Downtown ADC District  
Owner: Armory 310 East Main, LLC  
Applicant: Robert Nichols/Formworks  
Project: Facade renovations/alterations

### **Certificate of Appropriateness Application**

BAR 21-07-05

350 Park Street, TMP 530109000 and 530108000

North Downtown ADC District (non-contributing property)

Owner: City of Charlottesville and County of Albemarle

Applicant: Eric Amtmann, Dalgliesh-Gilpin-Paxton Architects [on behalf of Albemarle County]

Project: New courthouse building (at Levy Building)

### **Certificate of Appropriateness**

BAR 22-02-04

540 Park Street, TMP 520183000

North Downtown ADC District

Owner: Jessica and Patrick Fenn

Applicant: Ashley LeFew Falwell / Dalgliesh Gilpin Paxton Architects

Project: Raze pool house, construct new; addition and alterations to house.

### **Preliminary Discission**

0 Preston Place, TMP 050118001 (or 050118002 or 050118003)

Rugby Rd-University Cir-Venable ADC District

Owner: Preston Place Properties, LLC

Applicant: Leigh Boyes

Project: New residence

### **Preliminary Discission**

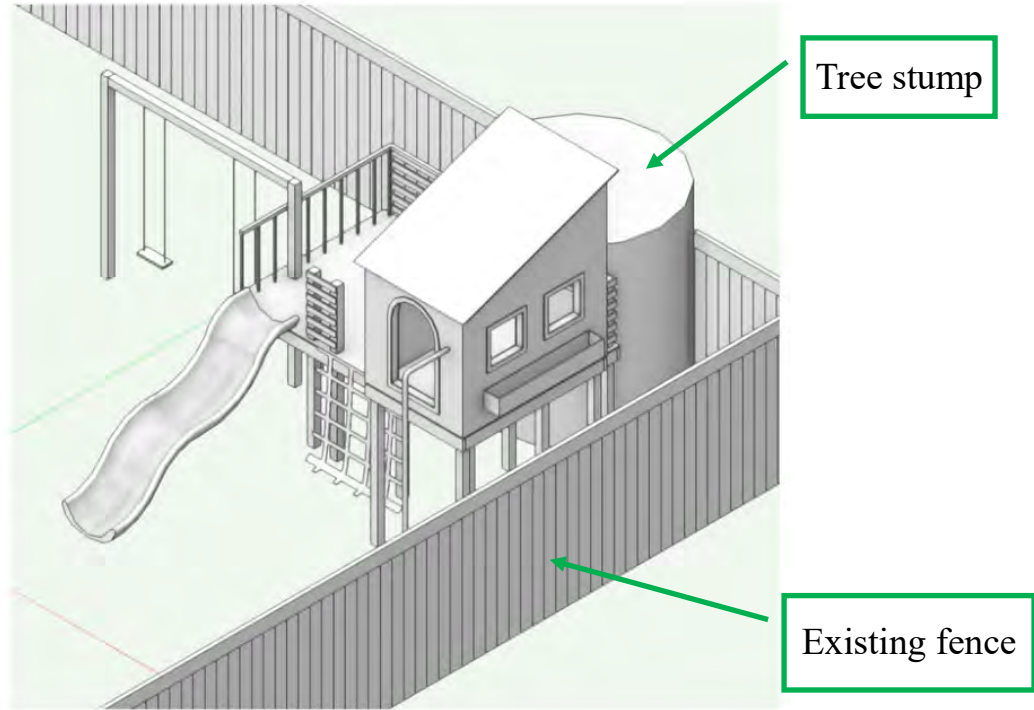
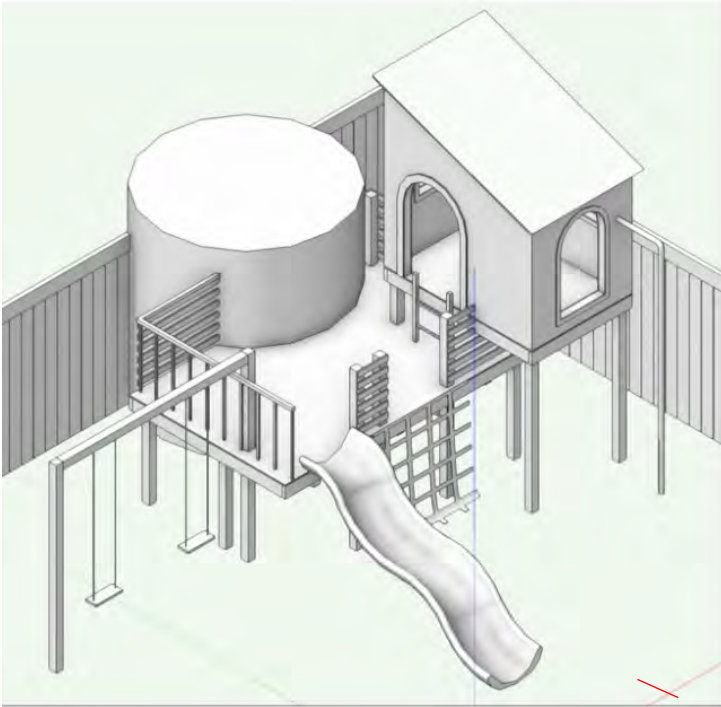
1301 Wertland Street, TMP 040303000

Wertland Street ADC District

Owner: Jeanne and Roger Davis

Applicant: Kevin Schafer / Design Develop

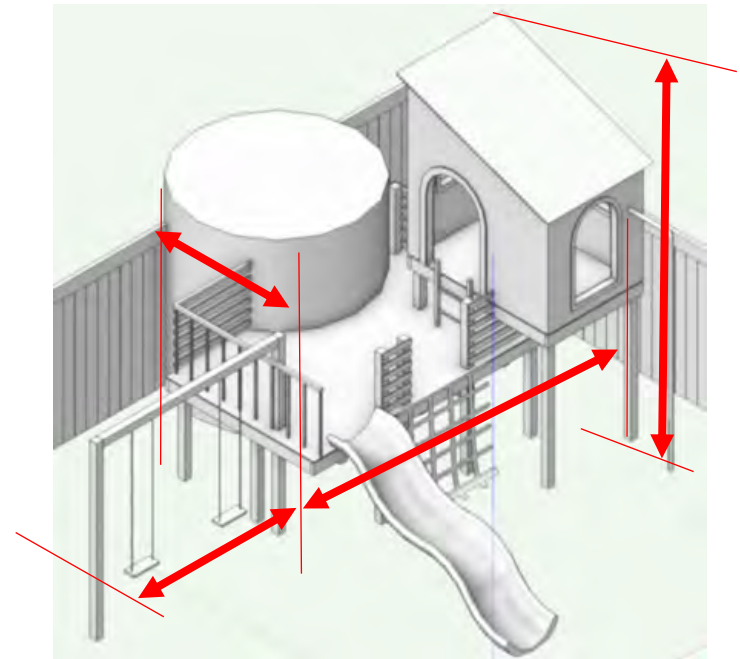
Project: New residential building



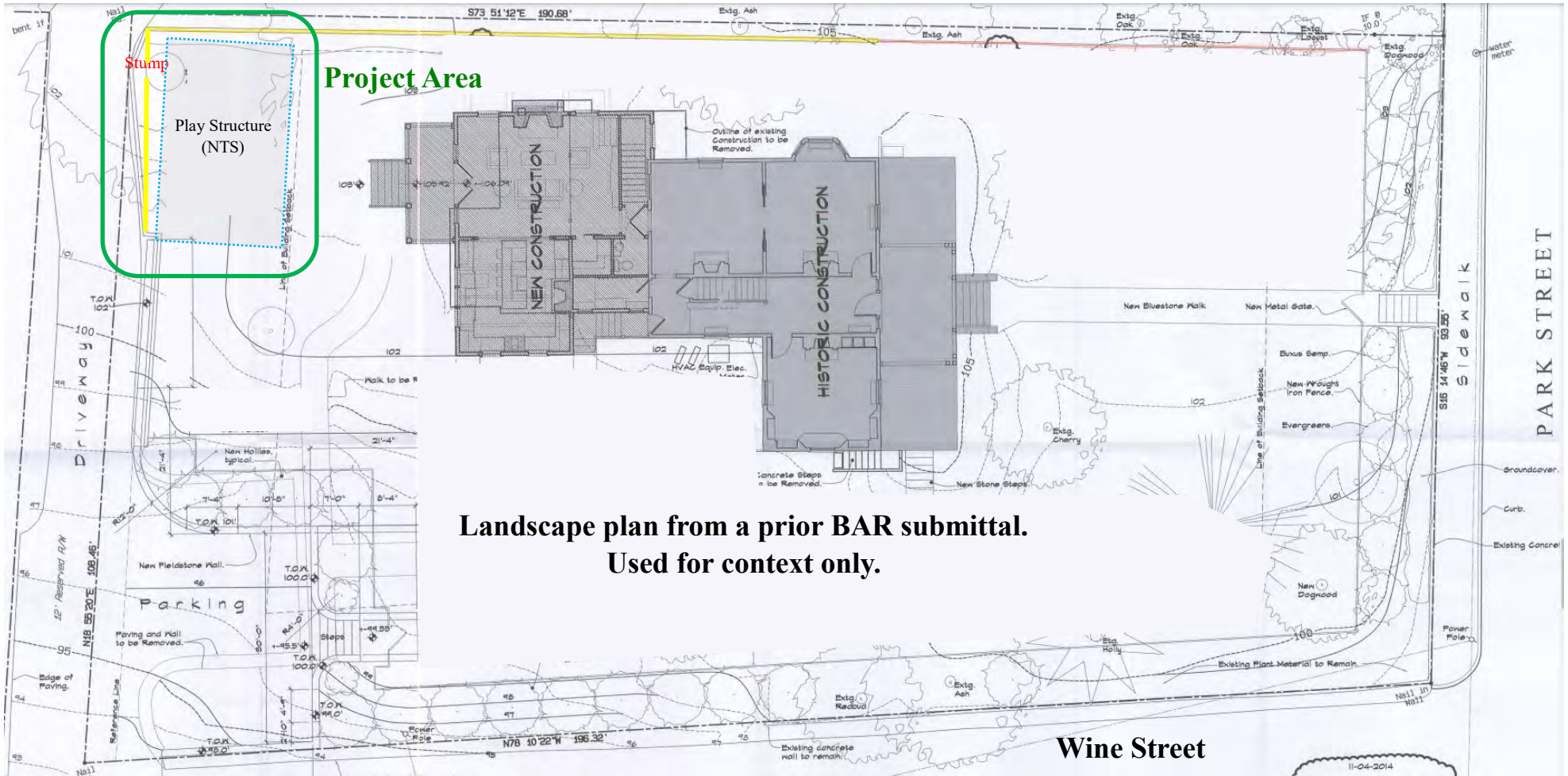
**Materials**

- Frame: \_\_\_\_\_
- Decking: \_\_\_\_\_
- Railing: \_\_\_\_\_
- Walls: \_\_\_\_\_
- Roof: \_\_\_\_\_
- Color palette: \_\_\_\_\_

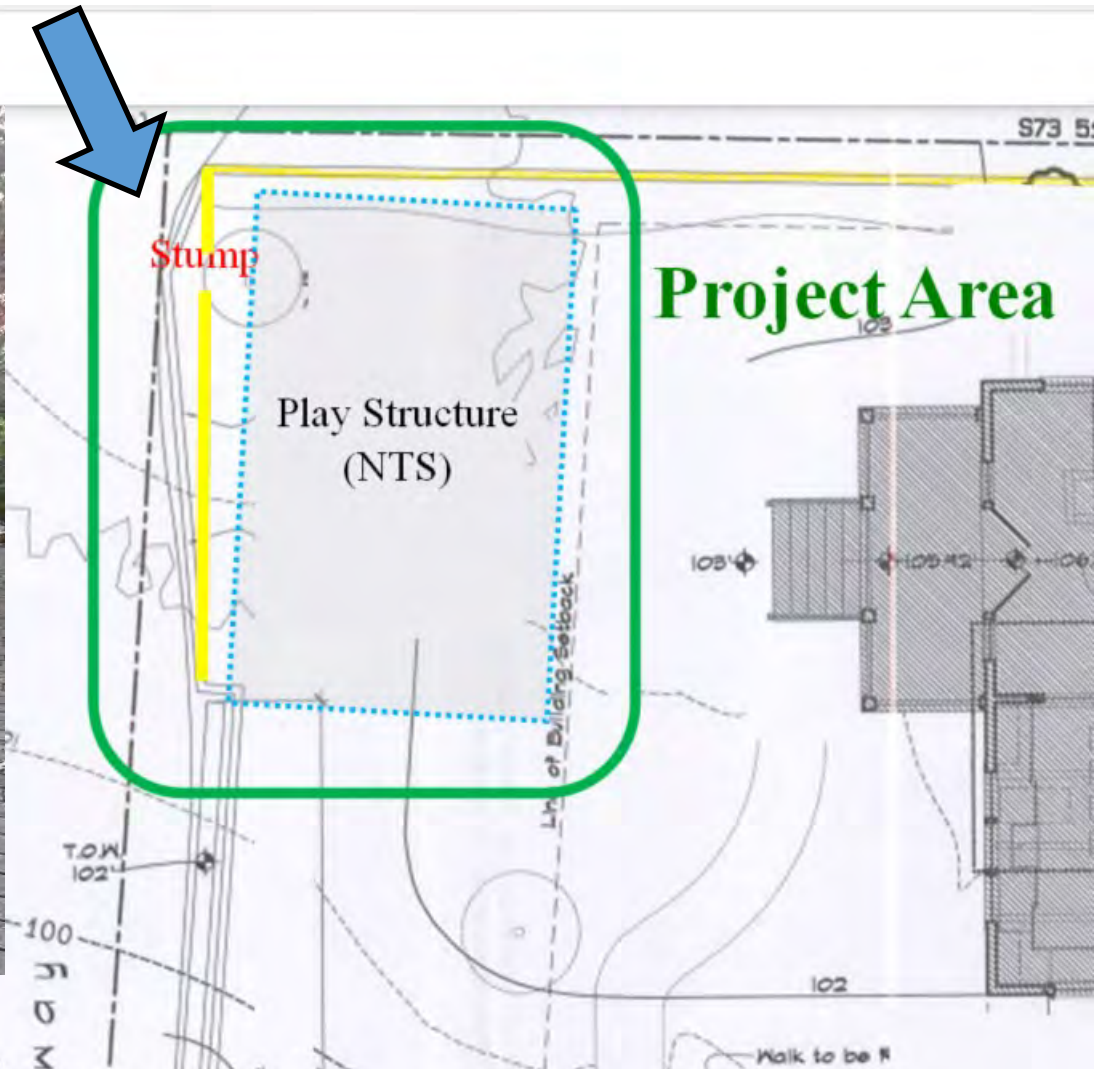
1/3/22: Applicant to provide

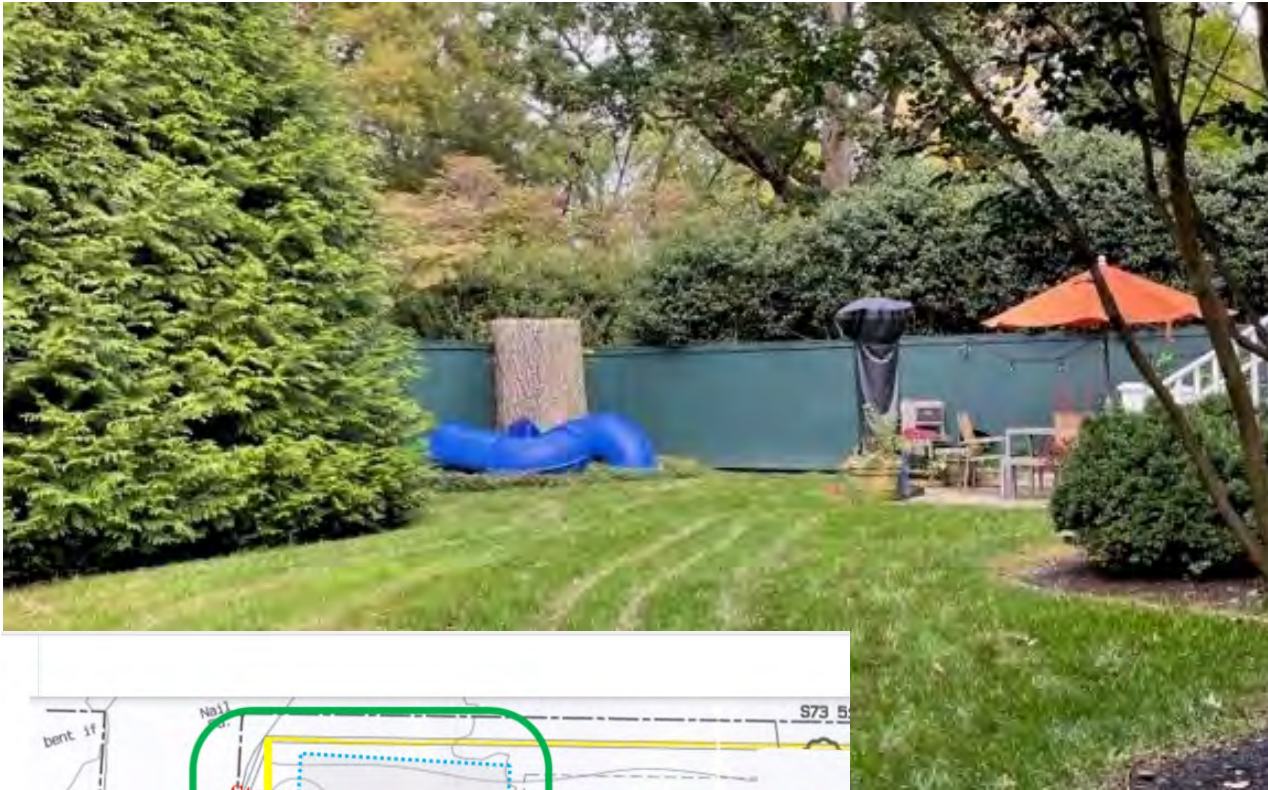


1/3/22  
1 of 5

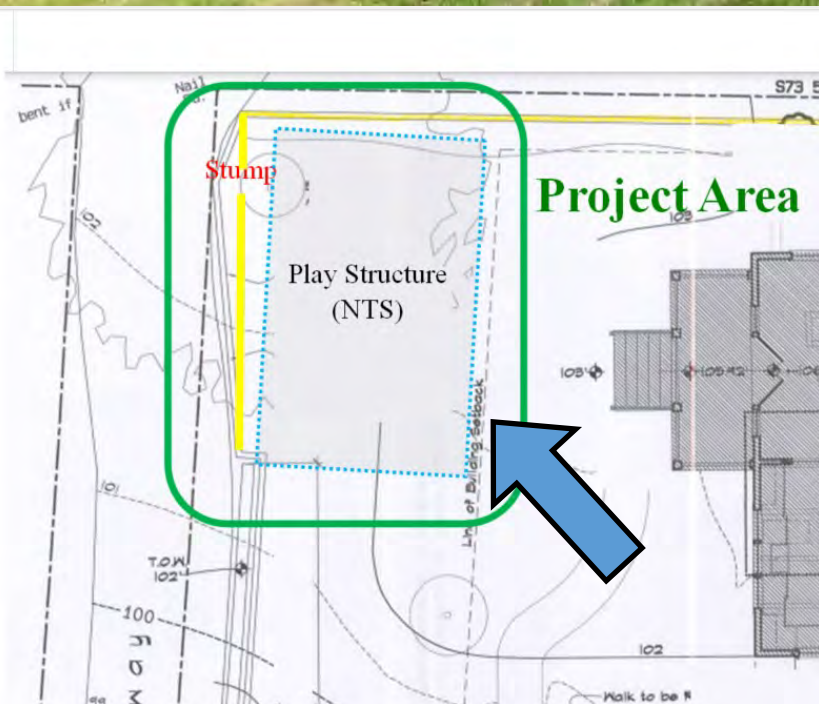


**Landscape plan from a prior BAR submittal.  
Used for context only.**

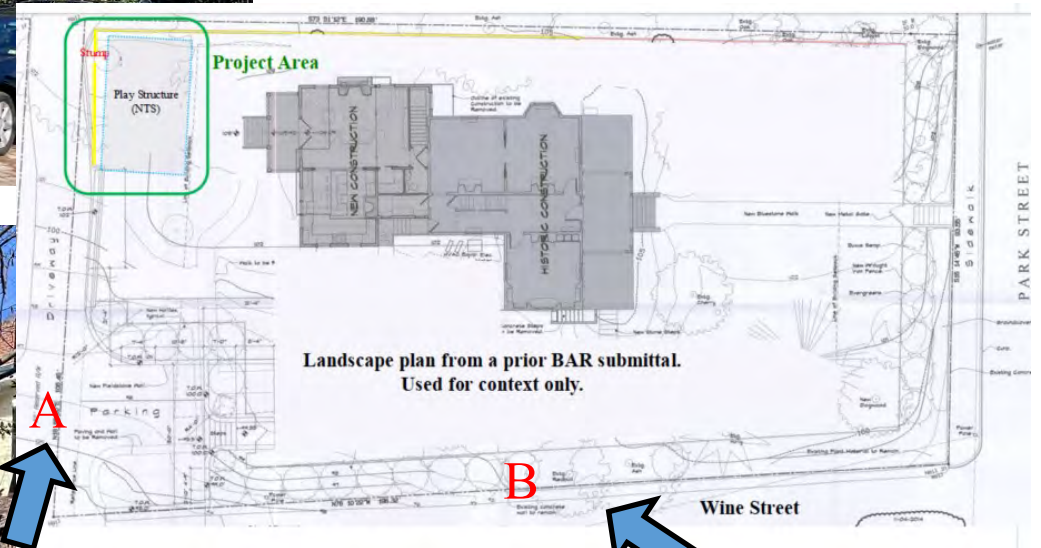




Stump



Play Structure – 617 Park Street (BAR Feb 2022)



Play Structure – 617 Park Street (BAR Feb 2022)



# Board of Architectural Review (BAR) Certificate of Appropriateness

Please Return To: City of Charlottesville  
Department of Neighborhood Development Services  
P.O. Box 911, City Hall  
Charlottesville, Virginia 22902  
Telephone (434) 970-3130

Staff email: [wernerjb@charlottesville.gov](mailto:wernerjb@charlottesville.gov)  
[watkinsro@charlottesville.gov](mailto:watkinsro@charlottesville.gov)

Please submit the signed application form and a digital copy of submittal and attachments (via email or thumb drive).  
Please include application fee as follows: New construction project \$375; Demolition of a contributing structure \$375;  
Appeal of BAR decision \$125; Additions and other projects requiring BAR approval \$125; Administrative approval \$100.  
Make checks payable to the City of Charlottesville.  
The BAR meets the third Tuesday of the month.  
Deadline for submittals is Tuesday 3 weeks prior to next BAR meeting by 3:30 p.m.

Owner Name Michaela Lieberman & Benjamin Martin Applicant Name Michaela Lieberman & Benjamin Martin  
Project Name/Description Fence Parcel Number 290136000  
Project Property Address 413 Ridge Street

### Applicant Information

Address: 413 Ridge Street  
Charlottesville, VA 22902  
Email: michaela.r.lieberman@gmail.com; b.martin86@gmail.com  
Phone: (W) (434) 326-8551 (C) (240) 447-0896

### Property Owner Information (if not applicant)

Address: Same as applicant  
Email: \_\_\_\_\_  
Phone: (W) \_\_\_\_\_ (C) \_\_\_\_\_

Do you intend to apply for Federal or State Tax Credits  
for this project? no

### Signature of Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct.

[Signature] 01/24/2022  
Signature Date

Michaela Lieberman

Print Name Date

### Property Owner Permission (if not applicant)

I have read this application and hereby give my consent to its submission.

Signature Date

Print Name Date

Description of Proposed Work (attach separate narrative if necessary):  
Cedar or pressure-treated wood fence and driveway gate to run along side the Oak street-side of the house. Fence will be painted studio green (no. 93 by farrow and ball; see attached). See attached plan for more detailed description and rendering.

List All Attachments (see reverse side for submittal requirements):  
(1) Photographs of the 413 property; (2) photographs of the contiguous properties; (3) proposed fence design/ rendering; (4) image of paint color to be used (included only with online submission as we lack a color printer)

**For Office Use Only**

Received by: _____	Approved/Disapproved by: _____
Fee paid: _____ Cash/Ck. # _____	Date: _____
Date Received: _____	Conditions of approval: _____

*Revised 2016*





Show fence location, heights, etc.







409 Ridge St, Charlottesville, VA 22902



Off Market

Studio Green (48)  
Farrow & Ball

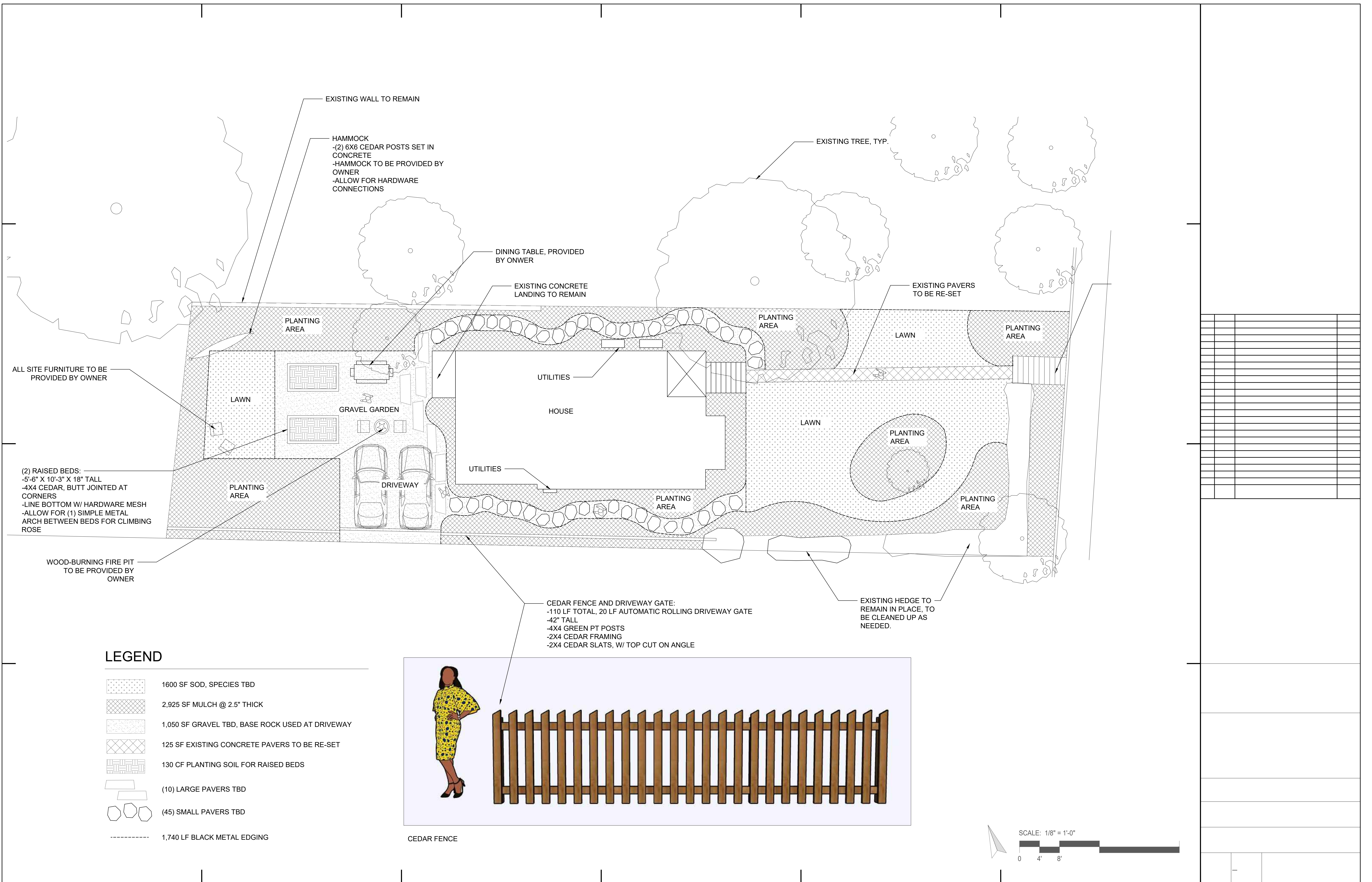
HISTORIC DISTRICT ORDINANCE: You can review the *Historical Preservation and Architectural Design Control Overlay Districts* regulations in the City of Charlottesville Zoning Ordinance starting with Section 34-271 online at **charlottesville.gov** or at Municode.com for the City of Charlottesville.

DESIGN REVIEW GUIDELINES: Please refer to the current *ADC Districts Design Guidelines* online at [www.charlottesville.org](http://www.charlottesville.org).

SUBMITTAL REQUIREMENTS: The following information and exhibits shall be submitted along with each application for Certificate of Appropriateness, per Sec. 34-282 (d) in the City of Charlottesville Zoning Ordinance:

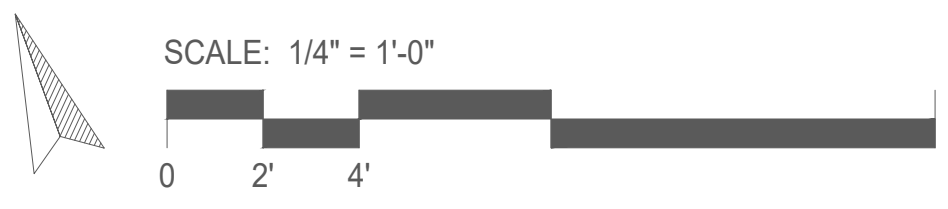
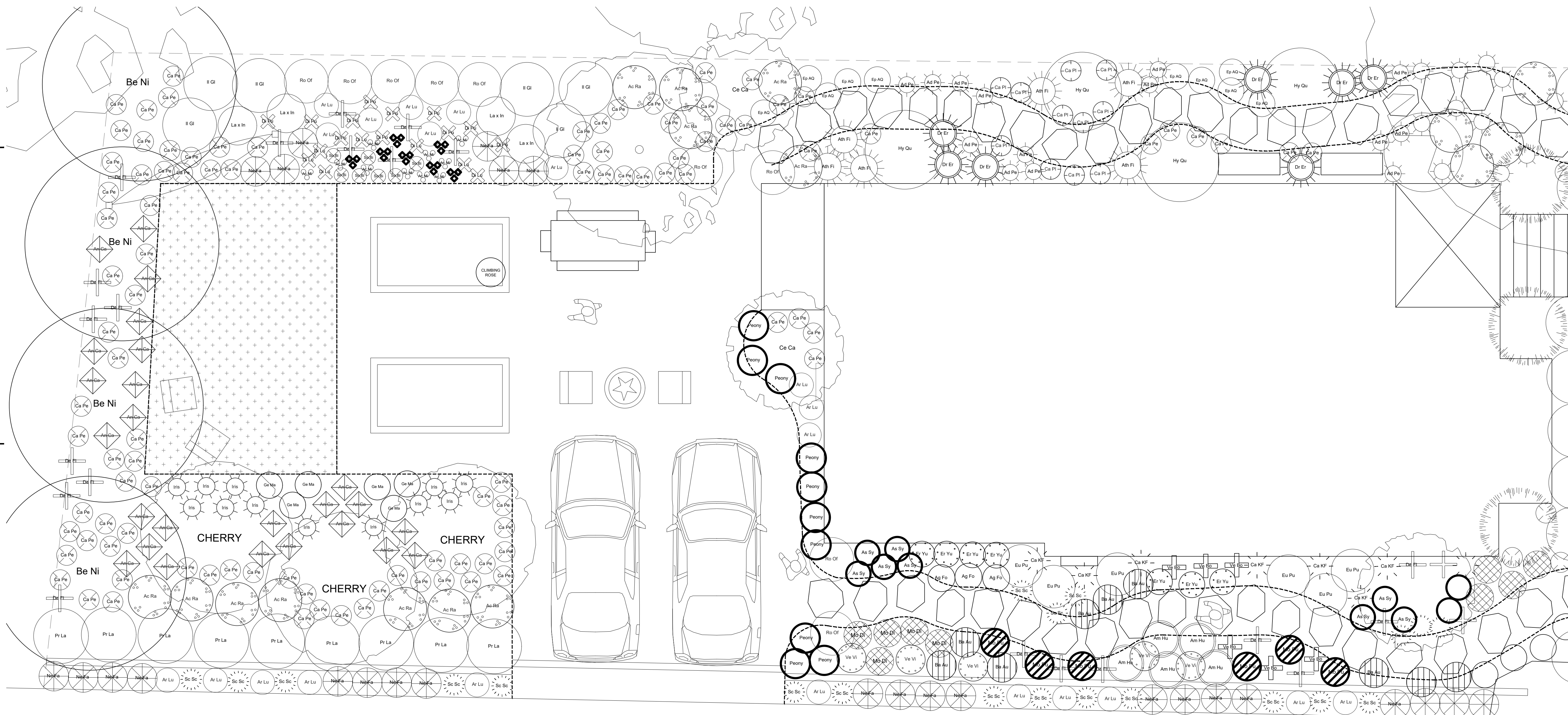
- (1) Detailed and clear depictions of any proposed changes in the exterior features of the subject property;
- (2) Photographs of the subject property and photographs of the buildings on contiguous properties;
- (3) One set of samples to show the nature, texture and color of materials proposed;
- (4) The history of an existing building or structure, if requested;
- (5) For new construction and projects proposing expansion of the footprint of an existing building: a three-dimensional model (in physical or digital form);
- (6) In the case of a demolition request where structural integrity is at issue, the applicant shall provide a structural evaluation and cost estimates for rehabilitation, prepared by a professional engineer, unless waived by the BAR.

APPEALS: Following a denial the applicant, the director of neighborhood development services, or any aggrieved person may appeal the decision to the city council, by filing a written notice of appeal within ten (10) working days of the date of the decision. Per Sec. 34-286. - City council appeals, an applicant shall set forth, in writing, the grounds for an appeal, including the procedure(s) or standard(s) alleged to have been violated or misapplied by the BAR, and/or any additional information, factors or opinions he or she deems relevant to the application.





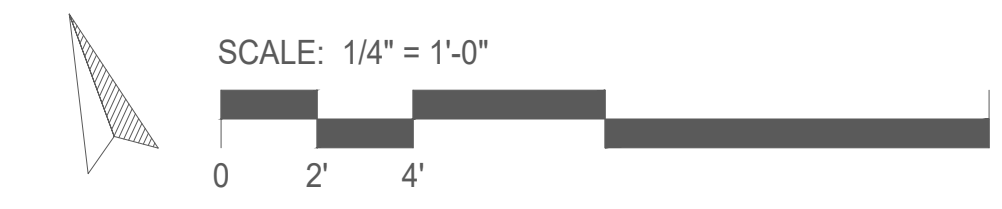
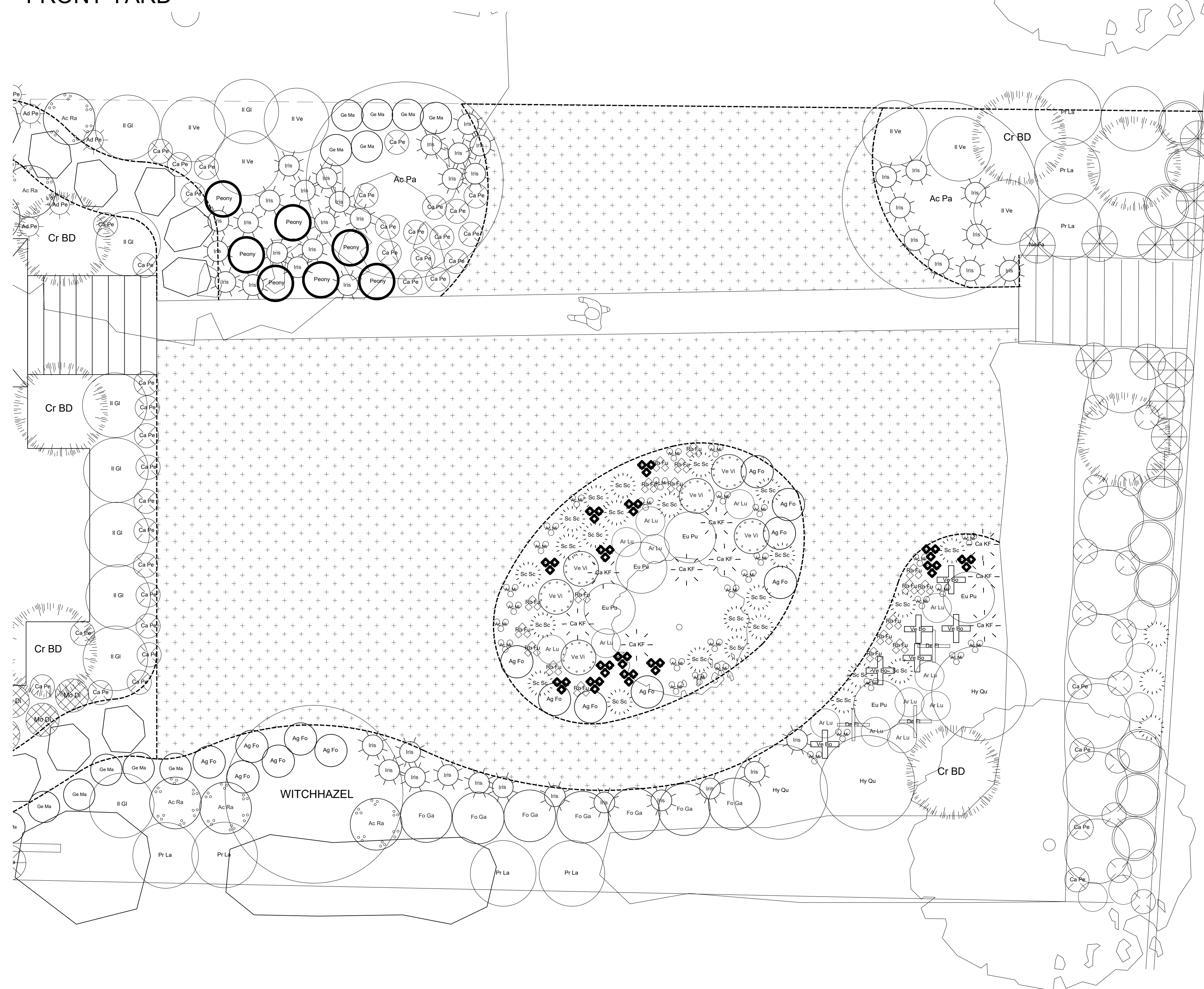
BACK YARD



# PLANTING SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE
<b>TREES</b>				
Ac Pa	<i>Acer palmatum</i>	JAPANESE MAPLE	2	1" CALIPER, MULTI
Be Ni	<i>Betula nigra</i>	RIVER BIRCH	4	2" CALIPER, MULTI
Ce Ca	<i>Cercis canadensis</i>	EASTERN REDBUD	3	1" CALIPER, MULTI
Cr BD	<i>Cryptomeria Black Dragon</i>	BLACK DRAGON JAPANESE CEDAR	7	1" CALIPER, STANDARD
Ha Vi	<i>Hammamelis virginiana</i>	WITCH HAZEL	1	1" CALIPER, MULTI
Cherry	<i>Prunus cv</i>	EDIBLE CHERRY (ORNAMENTAL OK)	3	1" CALIPER, STANDARD
<b>SHRUBS + VINES</b>				
Il Gl	<i>Ilex glabra</i>	INKBERRY	15	7 Gal or 3 Gal
Il Ve	<i>Ilex verticillata</i>	WINTERBERRY	20	3 Gal
La In	<i>Lavendula x intermedia</i>	LAVENDER	2	3 or 5 Gal
Hy Qu	<i>Hydrangea quercifolia</i>	OAK LEAF HYDRANGEA	8	7 Gal
Peony	<i>Paeonia Sp.</i>	PEONY TBD - WHITE AND PINK	21	3 Gal
Pr La	<i>Prunus laurocerasus 'Schipkaensis'</i>	SKIP LAUREL	16	15 Gal
Climbing Rose	<i>Rosa Sp.</i>	CLIMBING ROSE TBD	1	5 Gal
Ro Of	<i>Rosmarinus officinalis</i>	ROSEMARY	4	3 or 5 Gal
<b>PERENNIALS, FERNS, AND GROUNDCOVERS</b>				
Ac Mi	<i>Achillea millefolium</i>	COMMON YARROW	51	1 Qt. or Plug
Ac Ra	<i>Actaea racemosa</i>	BLACK COHOSH	22	1 Gal
Ad Pe	<i>Adiantum pedatum</i>	MAIDENHAIR FERN	25	1 Gal
Ag Fo	<i>Agastache foeniculum</i>	ANISE HYSSOP	17	1 Gal
Am Hu	<i>Amonia hubrichtii</i>	THREADEAF BLUESTAR	17	1 Gal
An Ca	<i>Anemone canadensis</i>	CANADA ANEMONE	31	1 Gal
Ar Lu	<i>Artemesia ludoviciana 'Valerie Fil'</i>	WHITE SAGEBRUSH	40	1 Gal
As S	<i>Asclepias syriaca</i>	COMMON MILKWEEED	10	1 Gal
Ath Fi	<i>Athyrium filix-femina</i>	LADY FERN	6	3 Gal
Ba Au	<i>Baptisia australis</i>	BLUE FALSE INDIGO	9	1 Gal
Di L	<i>Digitalis lutea</i>	SMALL YELLOW FOXGLOVE	7	1 Gal
Di P	<i>Digitalis purpurea</i>	COMMON FOXGLOVE	11	1 Gal
Dr Ey	<i>Dryopteris erythrosora</i>	AUTUMN FERN	7	3 Gal
Ec Pu	<i>Echinacea purpurea</i>	PURPLE CONEFLOWER	21	1 Gal
Ep AQ	<i>Epimedium 'Amber Queen'</i>	BARRENWORT	10	1 Gal
Er Yu	<i>Eryngium yuccifolium</i>	RATTLESNAKE MASTER	9	1 Gal
Eu Pu	<i>Eupatorium purpurea</i>	JOE PYE WEED	11	1 Gal
Fo Ga	<i>Fothergilla gardenii</i>	DWARF FOTHERGILLA	7	1 Gal
Ge Ma	<i>Geranium macrorrhizum</i>	BIGROOT GERANIUM	18	1 Gal
Mo Di	<i>Monarda didyma</i>	SCARLET BEE BALM	9	1 Gal
Mo Pu	<i>Monarda punctata</i>	SPOTTED BEE BALM	6	1 Gal
Ne Ra	<i>Nepeta racemosa 'Walker's Low'</i>	CATMINT	38	1 Gal
Ru Fu	<i>Rudbeckia fulgida</i>	BLACK-EYED SUSAN	18	1 Gal
So Bi	<i>Salidaga bicolor</i>	WHITE GOLDENROD	10	1 Gal
Ve Bo	<i>Verbena bonariensis</i>	PURPLETOP VERVAIN	12	1 Gal
Ve V	<i>Veronicastrum virginicum</i>	CULVER'S ROOT	11	1 Gal
<b>GRASSES + SEDGES</b>				
Ca Pe	<i>Carex pennsylvanica</i>	PENNSYLVANIA SEDGE	151	1 Gal, 4" Pot, or Plug
Ca Pl	<i>Carex platyphylla</i>	BROAD LOEAF SEDGE	11	1 Gal
Ca KF	<i>Calamagrostis 'Karl Foerster'</i>	KARL FOERSTER FEATHER REED GRASS	17	1 Gal, 4" Pot, or Plug
De Fl	<i>Deschampsia flexuosa</i>	WAVY HAIR GRASS	26	1 Gal, 4" Pot, or Plug
Ir Ve	<i>Iris versicolor</i>	NORTHERN BLUEFLAG	56	1 Gal
Sc Sc	<i>Schizachyrium scoparium</i>	LITTLE BLUESTEM	47	1 Gal or 1 Qt. or Plug
	SOD / LAWN	TBD	1600 SF	

# FRONT YARD





# Board of Architectural Review (BAR) Certificate of Appropriateness

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Department of Neighborhood Development Services  
P.O. Box 911, City Hall  
Charlottesville, Virginia 22902  
Telephone (434) 970-3130

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Owner Name Charlottesville Towers Unit Owners Assoc. Applicant Name Robert McGinnis, Officer of the CTUOA Board  
Project Name/Description Cville Towers Main Entrance Paving Renovation Parcel Number 330001000  
Project Property Address 511 First Street North, Charlottesville, VA 22902

### Applicant Information

Address: 511 First Street North, APT 401  
Charlottesville, VA 22902  
Email: robmcginnis@me.com  
Phone: (W) \_\_\_\_\_ (C) 434-962-9110

### Property Owner Information (if not applicant)

Address: Cathcart Management, ATTN: Rob McGinnis/Erica Dalton  
200 Reserve Blvd., Suite 200, Charlottesville, VA 22901  
Email: robmcginnis@me.com  
Phone: (W) \_\_\_\_\_ (C) 434-962-9110

Do you intend to apply for Federal or State Tax Credits for this project? No

### Signature of Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct.

[Signature] 1/17/22  
Signature Date

Robert M. McGinnis, CTUOA Officer of the Board  
Print Name Date

### Property Owner Permission (if not applicant)

I have read this application and hereby give my consent to its submission.

[Signature] 1/17/22  
Signature Date

Eric Gilchrist, CTUOA Board President  
Print Name Date

Description of Proposed Work (attach separate narrative if necessary):  
See Attachment A for a description of the proposed work.

List All Attachments (see reverse side for submittal requirements): Attachment A (description of work) 1/18/22 (4 pages);  
Charlottesville Towers Entrance Renovation drawings, 10/24/21, sheets L0.0-L0.8, L1.0-L3.0, L3.1, L4.0-L7.0, P0.1-P0.4 (21 sheets);  
Base Map of the Charlottesville Towers, Roudabush, Gale, & Associates, 4/28/21, Sheets 1 & 2.

**For Office Use Only**

Received by: \_\_\_\_\_ Approved/Disapproved by: \_\_\_\_\_  
Date: \_\_\_\_\_  
Fee paid: \_\_\_\_\_ Cash/Ck. # \_\_\_\_\_ Conditions of approval: \_\_\_\_\_  
Date Received: \_\_\_\_\_  
Revised 2016

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# ATTACHMENT A

## Charlottesville Towers Main Entrance Renovation Purpose of the Project and Description of Proposed Work

January 18, 2022

### Charlottesville Towers Unit Owners Association

Contact: Rob McGinnis, Officer of the Board, 434.962.9110, robmcginnis@me.com

Project Location: Charlottesville Towers, 511 First Street North, Charlottesville, Virginia 22902

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### Introduction

This document is appended to the Board of Architectural Review Certificate of Appropriateness (dated 1/18/22) prepared by Rob McGinnis, Officer of the Board of Directors of the Charlottesville Towers Unit Owners Association (CTUOA).

This document provides the purpose of the project including a description of current conditions and proposed work for the renovation of the exterior paved areas of the main entrance.

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### Purpose of the Project

The purpose of the project is to address existing unsafe conditions and the unsightly appearance of the paved areas through the **replacement** of existing site construction including:

- Sections of concrete curbing;
- Sections of concrete sidewalks;
- Concrete pedestrian sidewalk ramps;
- Concrete ramp at trash room/service entrance;
- Concrete paved areas for seating and bicycle storage;
- Wood benches, painted metal bicycle racks, and small moveable planter; and
- Plants in the low brick wall planter and plants in the abutting planting bed.

To be **cleaned**:

- Unaltered existing pedestrian paved areas to remain;
- Existing brick low wall to remain; and
- Existing tall free-standing brick screen wall will be cleaned.

The scope of this project **does not involve**:

- An increase in impervious area;
- Revising or altering the existing location and arrangement of vehicle accessways and parking spaces;
- Revising or altering the location and arrangement of pedestrian circulation and building access;
- Alterations to the building structure including the main entrance vestibule and canopy structures. (Minor repairs and touch-up painting of painted metal surfaces of the canopy structure are anticipated.);
- Revising or altering existing signs, removal of existing signs, or installation of new signs; and
- Revising or altering existing light fixtures, removal of existing light fixtures, or installation of new light fixtures.

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## Existing Conditions and Proposed Renovations

### Exterior Paving Tiles Under Canopy

The main entrance ceramic tiles are in poor condition.

Existing conditions:

- The existing tiles extending from the main entrance vestibule door out under the canopy to the parking lot are lifting up at the edges due in part to water penetrating the edges of the paving. When the water penetrates the tile mortar bed and freezes, the freezing water expands and lifts up the tiles. In addition, the mortar setting bed is cracking and breaking up.
- The deteriorating edges of the tile paved area are trip hazards.
- The beveled mortar edge of the tile paved area is also a trip hazard and may not comply with the maximum change in surface height required in the American with Disabilities Act design standards.
- The glossy smooth glazed surface of the tiles becomes slippery during rain/snow/ice events which results in slipping and falling hazards. The CTUOA Board was notified by a resident that the resident slipped on these wet tiles in 2021 resulting in a serious leg and head injury.

Proposed:

- **The tiles will be removed and replaced with a slip-resistant paving.**
- **New paving options include large rectangular bluestone or large rectangular concrete pavers over a mortar setting bed over a reinforced concrete base.**

### Curb Ramp at Building Canopy

The existing exposed aggregate concrete curb ramp and handrails do not meet the requirements of the American with Disabilities Act (ADA) design standards.

Existing conditions:

- The existing exposed aggregate concrete ramp includes painted metal handrails which are not required by the American with Disabilities Act design standards. These rails present an impediment to the ease of pedestrian movement in the space under the canopy.
- The existing ramp does not include an ADA-compliant detectable warning strip at the low end of the ramp. Detectable warning strips provide a warning to sight-impaired persons transitioning from a pedestrian surface to a vehicular surface.
- The existing apartment unit door key lock boxes attached to the bars that span from the ramp handrails to canopy posts are unsightly and compromise the integrity of the architectural character of the canopy structure. A more appropriate location is warranted.

Proposed:

- **An ADA-compliant concrete curb ramp will be constructed as part of the new sidewalk fronting the existing accessible parking spaces and will be constructed meeting the latest City design standard for ADA-compliant curb ramps.**
- **A stainless steel lock box rack will be attached to the west-facing side of the existing tall brick freestanding screen wall at the buildings trash room and loading/unloading door.**

### Curb Ramp at East End of the Sidewalk Fronting the Building

The existing asphalt curb ramp and painted metal handrails do not meet the requirements of American with Disabilities Act (ADA) design standards. This ramp was originally constructed to provide a barrier-free pedestrian route from the building entrance to accessible parking and to the sidewalk on First Street North.

Existing Conditions:

- The existing asphalt ramp includes painted metal handrails which are not required by the American with Disabilities Act design standards. These rails also present an impediment to the ease of pedestrian movement.
- The existing ramp does not include an ADA-compliant detectable warning strip at the low end of the ramp. Detectable warning strips provide a warning to sight-impaired persons transitioning from a pedestrian surface to a vehicular surface.
- The existing ramp is constructed of asphalt paving mounded up to a 6-inch height concrete curb. This condition results in the ponding of water running off the parking lot.

Proposed:

- **The existing curb ramp will be removed and replaced with an ADA-compliant concrete curb ramp. An ADA-compliant concrete curb ramp will be constructed meeting the latest City design standard for ADA-compliant curb ramps.**

### Building Entrance Canopy Posts

Some of the painted metal canopy posts serve as the roof drains for the canopy and exhibit water-related damage at their bases.

Existing Condition:

- Owing to failed grout at the base of the posts that drain the canopy, water is pooling at the post bases causing the base of the posts to rust and the grout to crack owing to freezing pooled water.

Proposed:

- **The grout at the base of the metal posts will be removed and replaced with non-shrink grout with a slope to prevent pooling of water.**
- **The bases of the metal posts will be cleaned, rust removed, and repainted.**

### Bike Racks

The area between the existing vestibule wall and the tall free-standing brick screen wall is the location of the existing bike racks. The current bike racks installed on the concrete paving provide a narrow space to maneuver bikes.

Proposed:

- **The existing bike racks will be removed and recycled. Vertical metal bike racks will be installed on the face of the tall brick free-standing wall to increase the width of maneuvering space.**
- **The existing stamped-patterned concrete paving will be removed and replaced with new brick or concrete unit pavers matching the new paving in the seating area.**

### Trash Room/Service Entrance Access

Navigating the existing concrete ramp accessing the trash room/service access is dangerous owing to the narrow width and steep slope of the ramp. The CTUOA's trash removal company has indicated to the CTUOA property management company that the ramp is dangerous. The CTUOA's property management company has reported to the CTUOA Board that trash removal personnel had lost control of a wheeled trash bin on the existing ramp and that the uncontrolled bin collided with an adjacent parked car.

Existing Conditions:

- The existing concrete ramp is too steep, too narrow, and the horizontal surface is warped owing to the ramp on a sloped section of the parking lot. These conditions pose hazards to property and persons during trash removal operations and when people are unloading and loading items and accessing the trash room/service access.
- The steep-sloped sides of the ramp are falling hazards.

Proposed:

- **The existing ramp will be removed and replaced by a new concrete ramp that is wider and has a less steep slope.**
- **The west-facing side of the ramp will include a 6-inch raised concrete curb above a low concrete side wall and a painted metal handrail to prevent wheeled containers from exiting the side of the ramp and to protect people on the ramp from falling from the side of the ramp curb/wall.**

### Visual Quality of the Main Building Entrance Paved Area

The existing poor condition and poor appearance of the paved areas at the main building entrance may be impacting the sale and rental of units. An upgraded visual quality that is compatible with the Mid-Century Modern style of the building architecture is more appropriate.

Existing Conditions:

- The existing paving at the main entrance includes colored stamp-patterned concrete at the seating area and the bike storage area, standard concrete sidewalks, standard concrete curbing, an exposed aggregate curb ramp, and glazed ceramic tiles under the entrance canopy.
- The colored stamped-patterned concrete paving in the seating area and bike parking area flanking the building entrance is spalling and the non-integral coloring on the surface is peeling.
- The wood benches are somewhat flimsy, and the finishes are peeling.
- The raised brick planter flanking the seating area has been invaded by English ivy and some bricks are loose.
- The grated vault and electrical transformer just beyond the raised brick planter are visible from the seating area and from the front entrance vestibule doorway.
- The small moveable round cast concrete planter is cracked and needs to be replaced.
- Bricks on the tall free-standing brick wall screening the trash room/service access door are missing.

Proposed:

- **The entire paved seating area and bike storage area will be removed and replaced with a higher quality paving material. The options include brick or concrete unit pavers over a mortar setting bed over a concrete base.**
- **The ivy and soil will be removed from the raised brick planter, a liner installed, planting soil added, and new plantings installed to screen views of the grated vault and electrical transformer beyond.**
- **The existing benches will be salvaged and donated and replaced with new benches compatible with the Mid-Century Modern architectural style of building.**
- **The existing moveable concrete planter will be replaced with a new planter compatible with the Mid-Century Modern architectural style of building.**

END





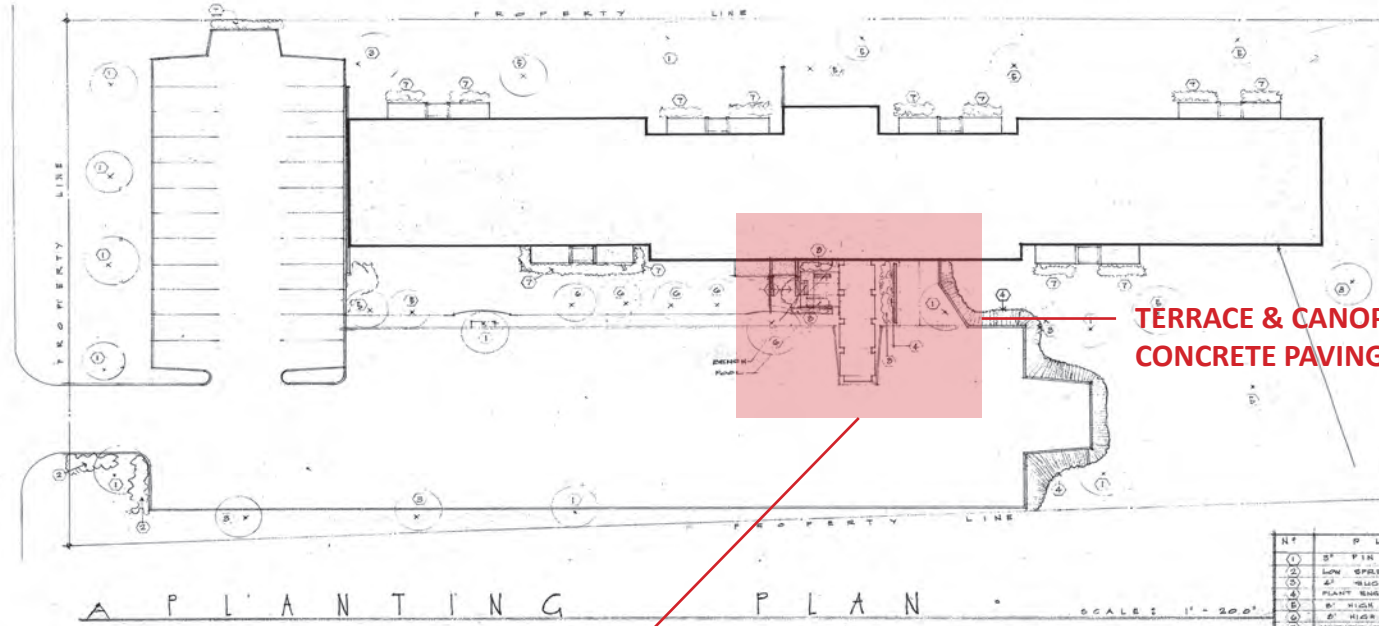
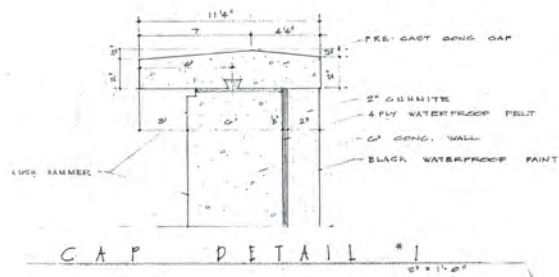
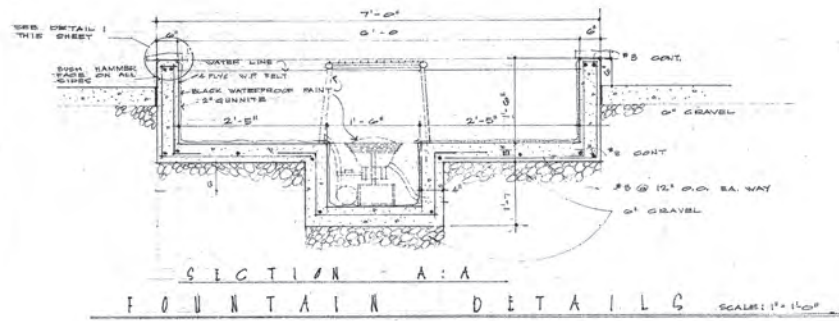
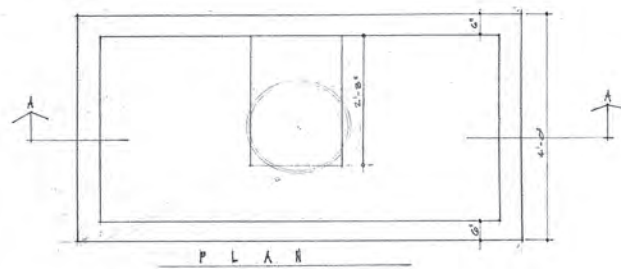
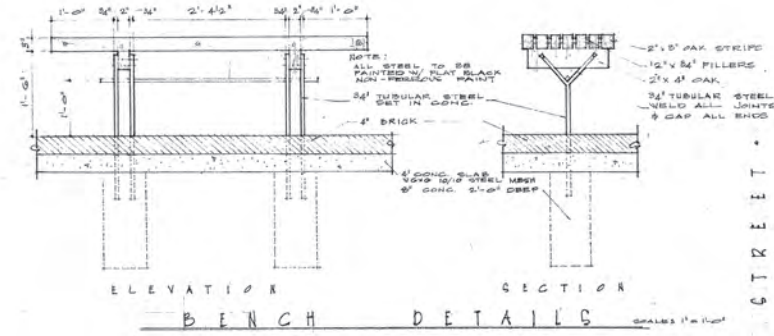
**Charlottesville Towers Unit Owners Association**  
511 First Street North, Charlottesville, Virginia 22902  
Contact: Rob McGinnis  
434.962.9110 | robmcginnis@me.com

**Charlottesville Towers**  
**Entrance Renovation**

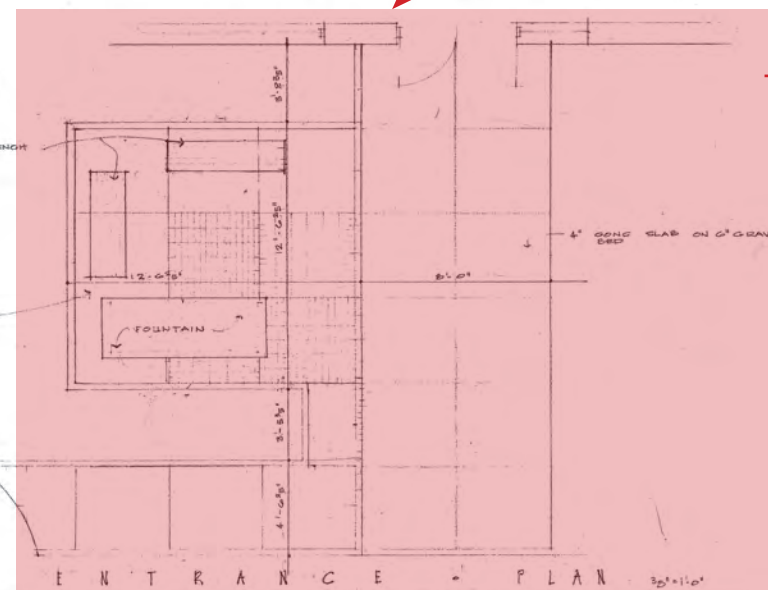
**CONCEPT PLAN**  
**Cover Sheet**

Date:  
10.24.21

Sheet  
**L0.0**



NO	PLANT
1	2" FIR OAK
2	LOW SPREADING JUNIPER
3	2" SUGAR MAPLE
4	PLANT BUSHES TO AT BASE OF WALLS
5	2" HIGH PINE
6	2" HIGH FLOWERING BROOMS
7	MIXTURE OF LOW GROWING JUVENILE BERRY BUSH
8	TRV. BED

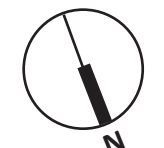


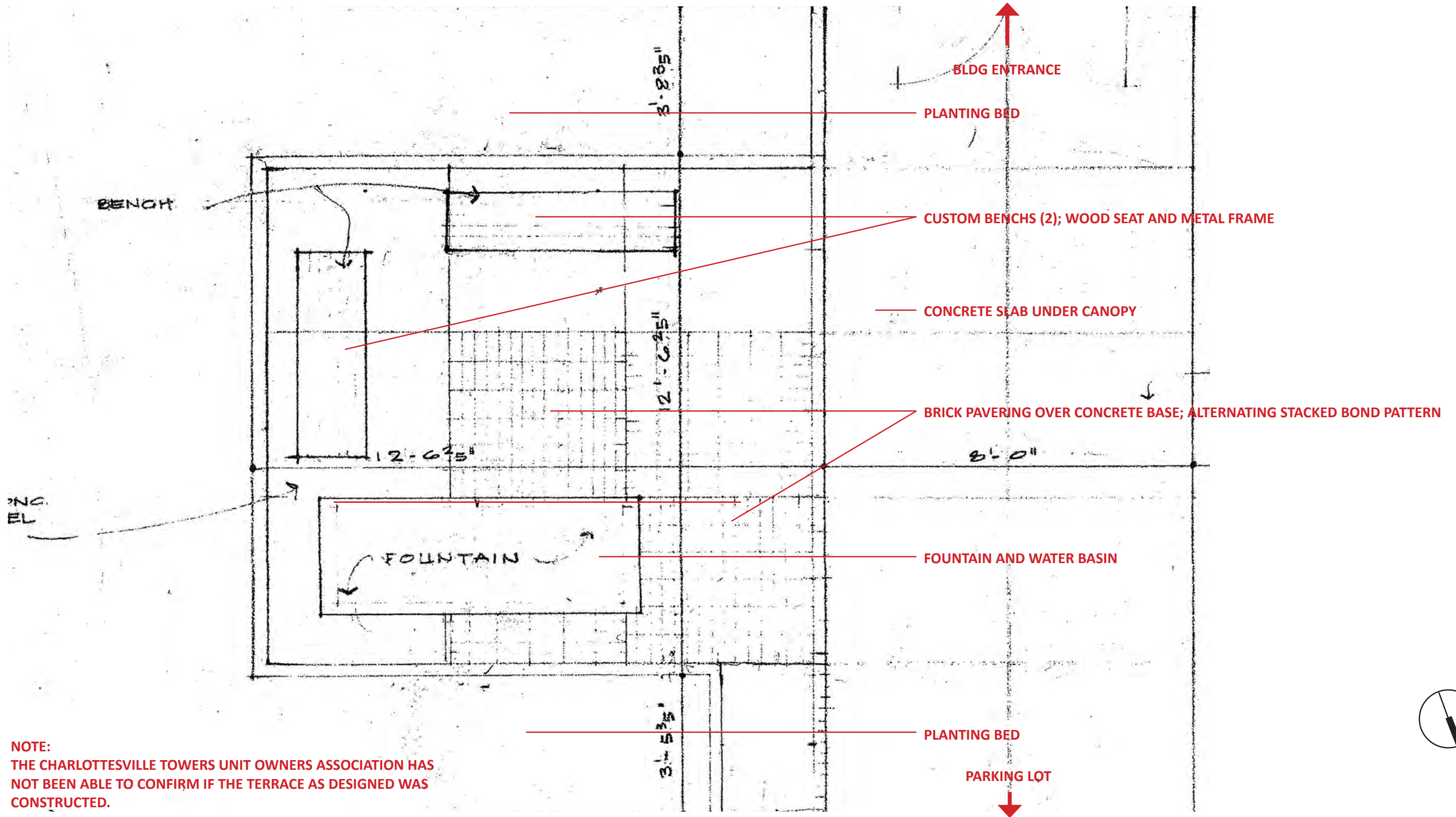
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$$\frac{40}{200} = \frac{5}{25}$$

$$\frac{200}{200} = \frac{100}{100}$$

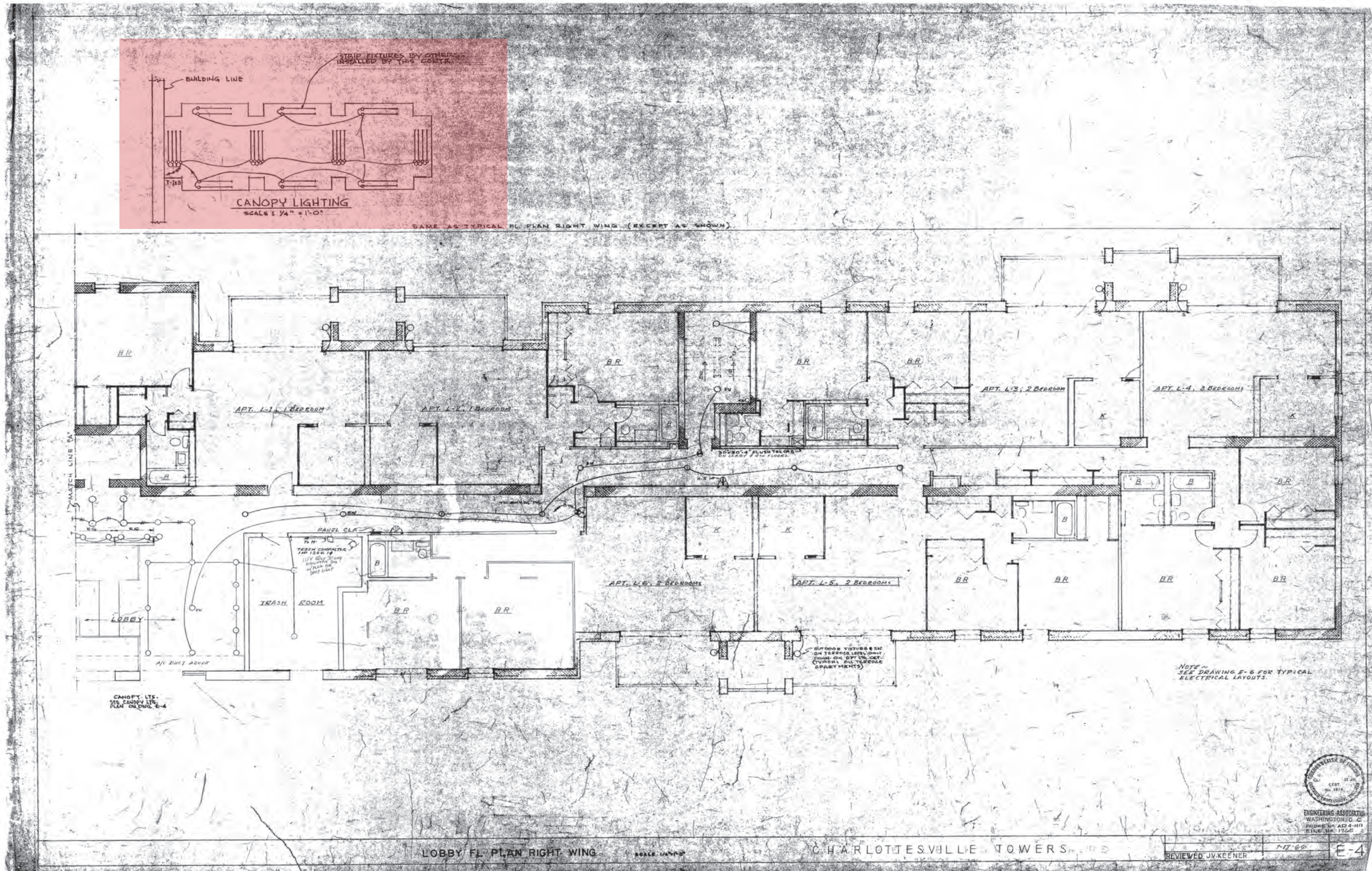
$$\frac{100}{100} = \frac{100}{100}$$

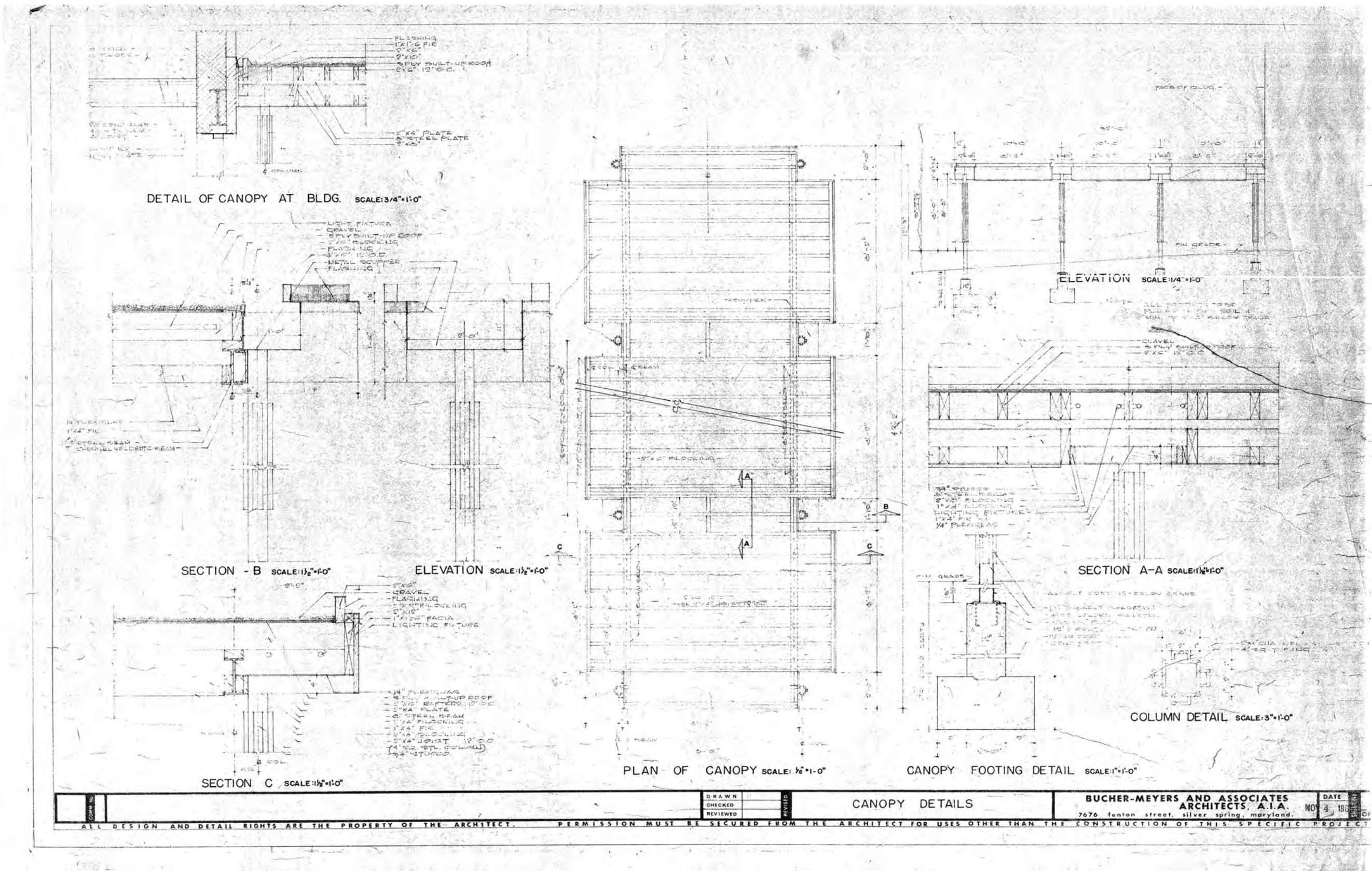




**NOTE:**  
 THE CHARLOTTESVILLE TOWERS UNIT OWNERS ASSOCIATION HAS NOT BEEN ABLE TO CONFIRM IF THE TERRACE AS DESIGNED WAS CONSTRUCTED.







**SITE DATA:**  
**TAX MAP PARCEL ID**  
 330001000

**PHYSICAL ADDRESS**  
 511 NORTH FIRST STREET

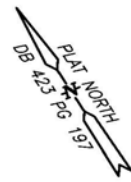
**OWNER**  
 THE CHARLOTTESVILLE TOWERS CONDO  
 ASSOCIATION, INC.

**APPLICABLE CITY ORDINANCES**  
 ZONING: R-3H (MULTIFAMILY RESIDENTIAL)  
 HEIGHT RESTRICTIONS: 45' MAX.  
 SETBACKS: FRONT = 25' MIN., SIDE = 1'  
 PER 4' OF BUILDING HEIGHT (80 DUA), 10'  
 MIN., REAR = 25' MIN.  
 LAND COVERAGE: 80% MAX (80 DUA)

**SOURCE OF TITLE**  
 DB 423 PG 170 (TITLE)  
 DB 423 PG 184 (DECLARATION OF  
 CONDOMINIUM - PLAT ON PAGE 197)

**VEGETATION LEGEND:**  
 99- TREE CALIPER IN INCHES  
 DG DOGWOOD  
 EV EVERGREEN  
 HL HOLLY  
 LC LOCUST  
 MP MAPLE  
 OK OAK  
 PN PINE  
 PR PARADISE  
 UK UNKNOWN TREE

**BOUNDARY LEGEND:**  
 IF IRON PIN FOUND  
 IS IRON PIN SET  
 SBL BUILDING SETBACK LINE



**IMPROVEMENTS LEGEND:**  
 CB CONCRETE CURBING  
 CP CONCRETE PAD  
 CW CONCRETE WALK  
 ET ELECTRIC TRANSFORMER  
 EV ELECTRIC VAULT  
 FC FIRE DEPARTMENT CONNECTION  
 FF FIRST FLOOR ELEVATION  
 FH FIRE HYDRANT  
 GL GROUND LAMP  
 GR GUARDRAIL  
 GW GUY WIRE  
 HA HANDICAP ACCESSIBLE SIGN  
 HP HEAT PUMP  
 HR HAND RAIL

IV IRRIGATION VALVE  
 LP LIGHT POLE  
 MH SANITARY SEWER MANHOLE  
 PDC COMMUNICATIONS PEDESTAL  
 RR RAILROAD TIES  
 RW RETAINING WALL  
 SC STAMPED CONCRETE  
 SG STORM GRATE  
 SP STONE PAVERS  
 UP UTILITY POLE  
 UV UNDERGROUND VENT  
 WD BUILDING WINDOW INSET  
 WL WALL AND TYPE  
 WV WATER VALVE  
 WVT WATER VAULT  
 YWF YARD WATER FAUCET

**LINE LEGEND:**  
 -X- FENCE LINE  
 -E- MARKED ELECTRIC LINE  
 -G- MARKED GAS LINE  
 -SS- MARKED SANITARY LINE  
 -OH- OVERHEAD UTILITY  
 -W- MARKED WATER LINE

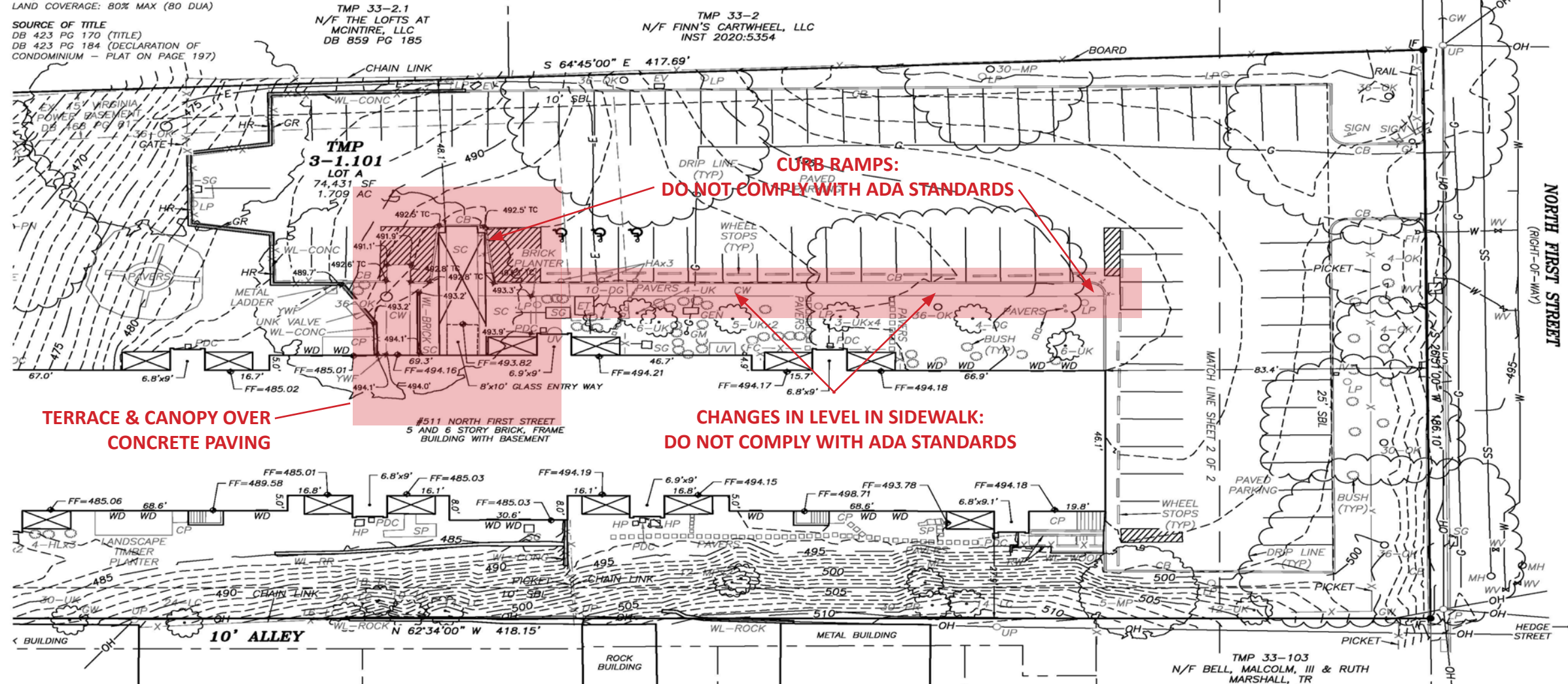
**ROUDABUSH, GALE & ASSOC., INC.**  
 A PROFESSIONAL CORPORATION  
 SERVING VIRGINIA SINCE 1966

45 MERCHANT WALK SQUARE  
 SUITE 3001B  
 CHARLOTTESVILLE, VA 22902  
 PHONE: 694-977-0265 WWW.ROUDABUSH.COM

REVISIONS	DATE	DESCRIPTION
1	6/14/2021	MARKUP REVISIONS
2	6/17/2021	MARKUP REVISIONS

**BASE MAP OF**  
**THE CHARLOTTESVILLE TOWERS**  
**TAX MAP 3, PARCEL 1.101**  
**511 NORTH FIRST STREET**  
 CITY OF CHARLOTTESVILLE, VIRGINIA

APRIL 28, 2021  
 SCALE: 1" = 20'  
 JOB: 21.2359  
**SHEET 1 OF 2**



123 VMONT ES, LLC 15:469

TMP 33-122 N/F GORE, ALICE L & WILLIAM B HUNT III DB 383 PG 108

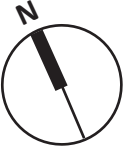
TMP 33-121 N/F EPSTEIN, STANLEY, TR & MARILYN, TR INST 2012:2895

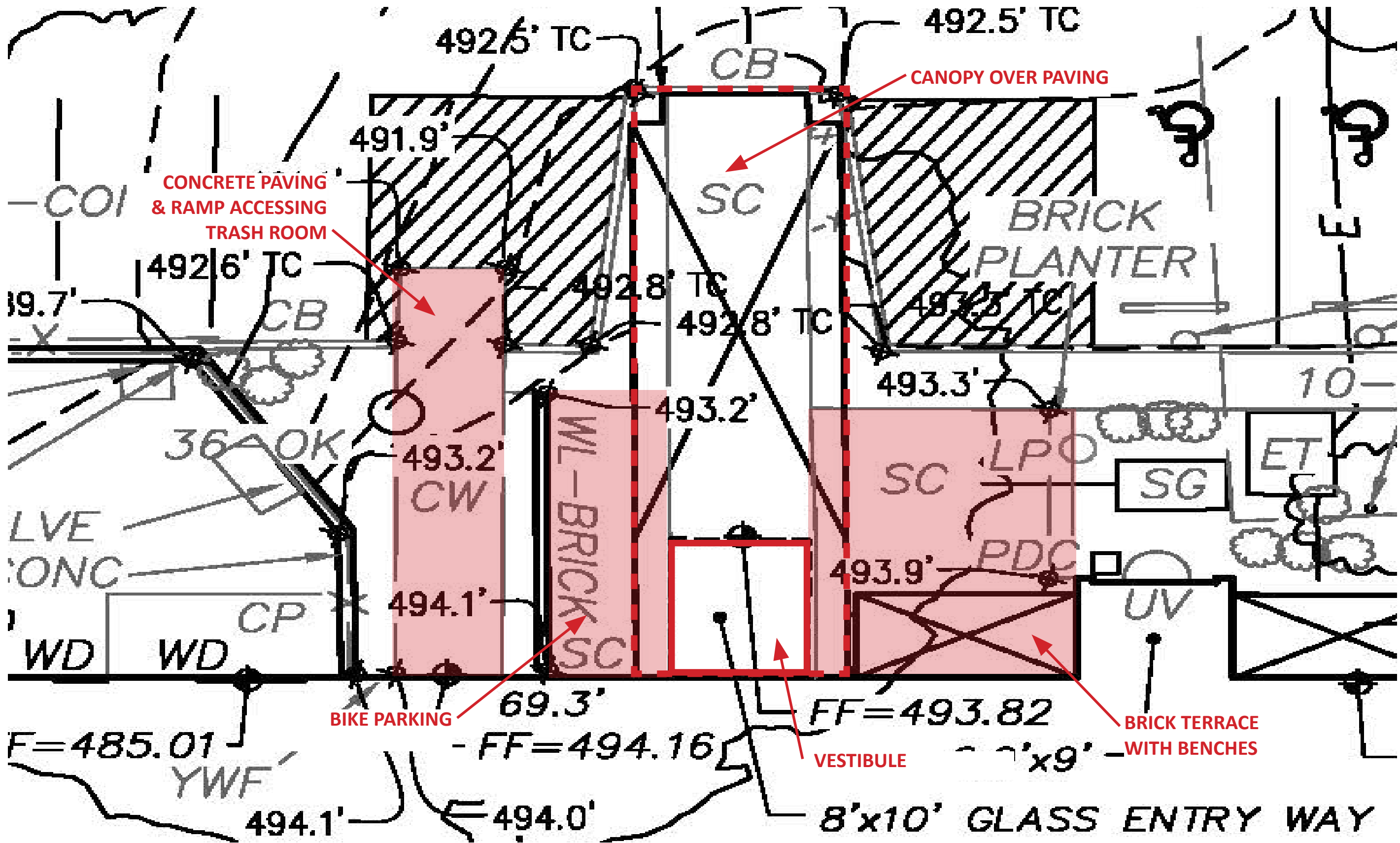
TMP 33-120 N/F HEYTENS, TOBY & SARAH SAWTELLE INST 2011:2329

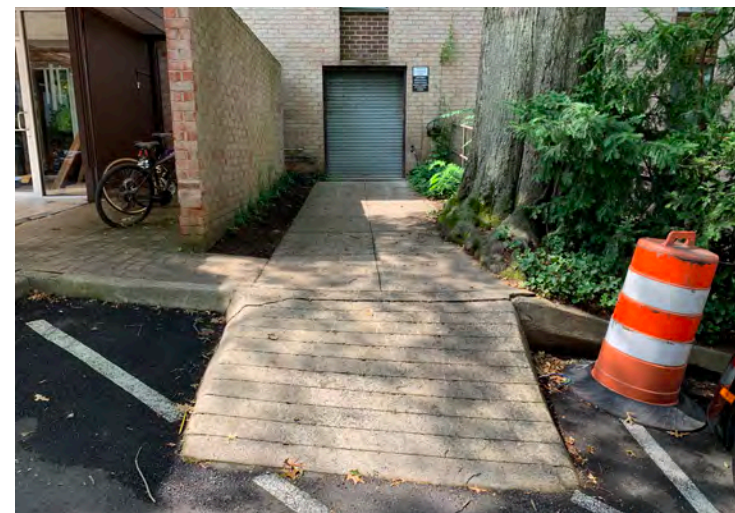
TMP 33-119 N/F BRIGHT, JON D, TRUSTEE INST 2017:775

TMP 33-118 N/F BRIGHT, JON D, TRUSTEE INST 2017:775

TMP 33-103 N/F BELL, MALCOLM, III & RUTH MARSHALL, TR INST 2014:919











RAMP IS DANGEROUS TO NAVIGATE



RAMP IS DANGEROUS TO NAVIGATE



CERAMIC TILES ARE SLIP HAZARDS; TILES ARE LIFTING UP



CERAMIC TILES ARE SLIP HAZARDS; BEVELED EDGES ARE NOT ADA-COMPLIANT; PAVING AT BASE OF CANOPY POST FAILING



CURB RAMP IS NOT ADA-COMPLIANT



TOP SURFACE ELEVATION OF TILE AND ABUTTING PAVING DOES NOT MATCH



SPACE OF PASSAGE OF BIKES IS TIGHT



CURB RAMP IS NOT ADA-COMPLIANT

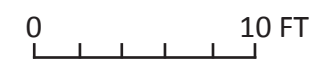
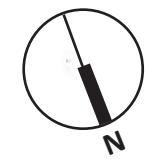
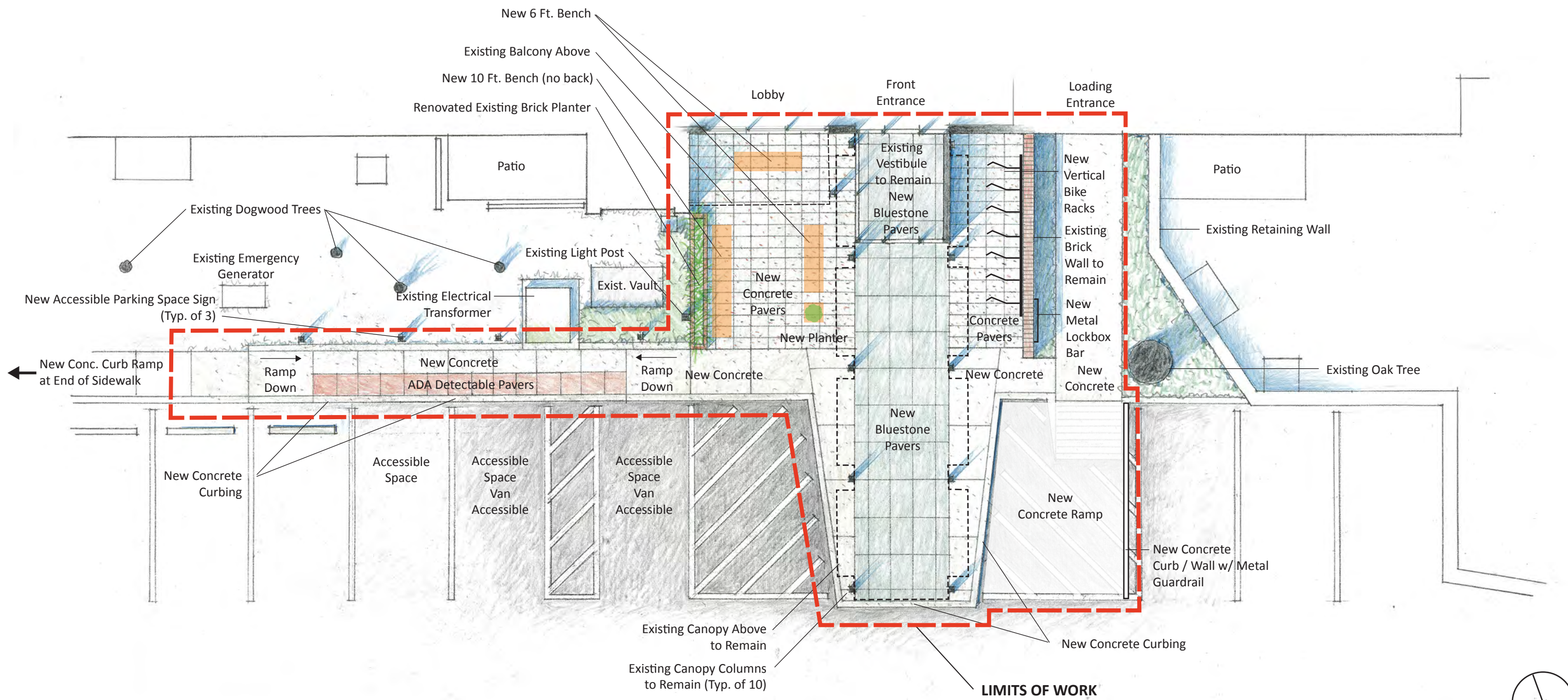


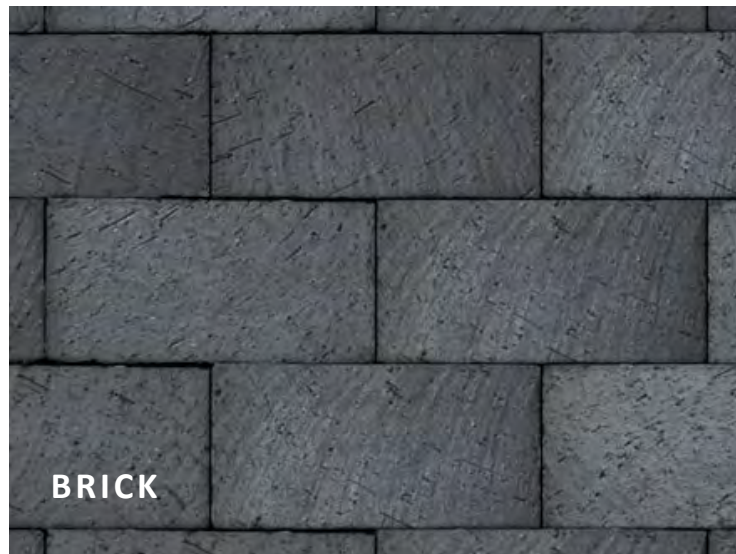
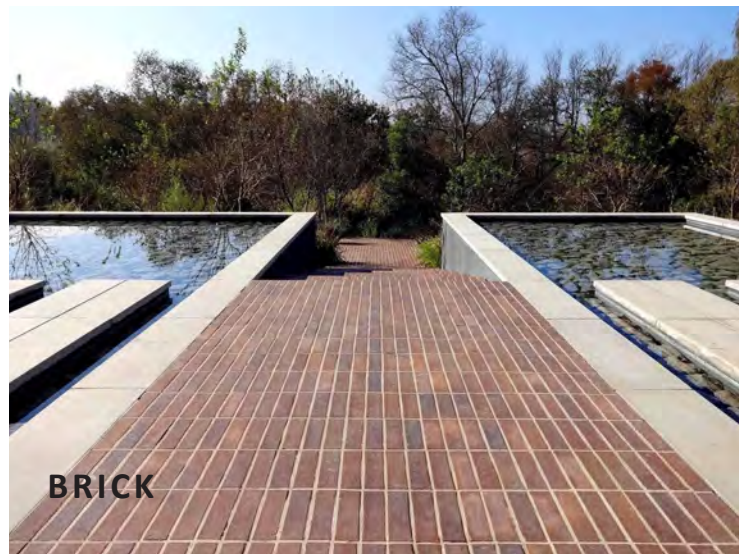
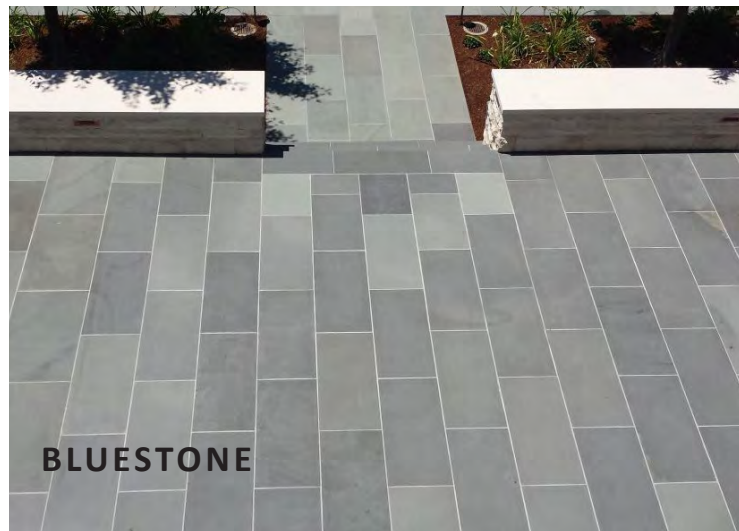
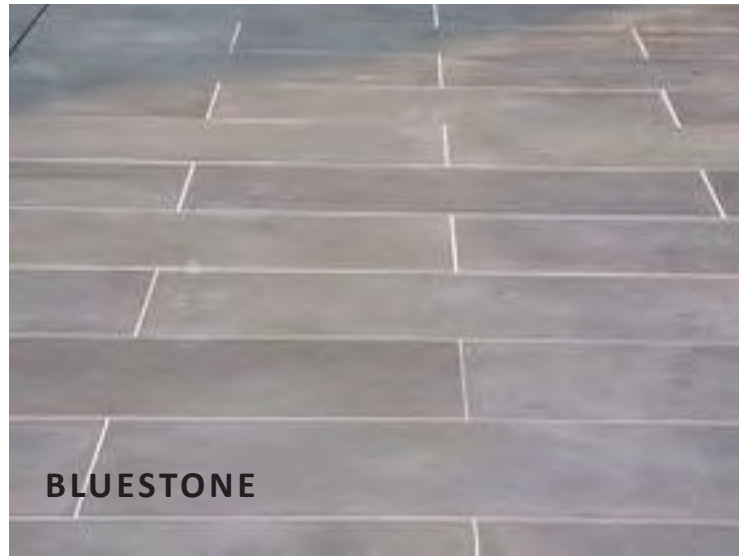
CHANGE IN LEVEL AT WALK JOINTS DOES NOT COMPLY WITH ADA REQUIREMENTS



ACCESSIBLE PARKING SPACE SIGNS SUBJECT TO DAMAGE FROM VEHICLES







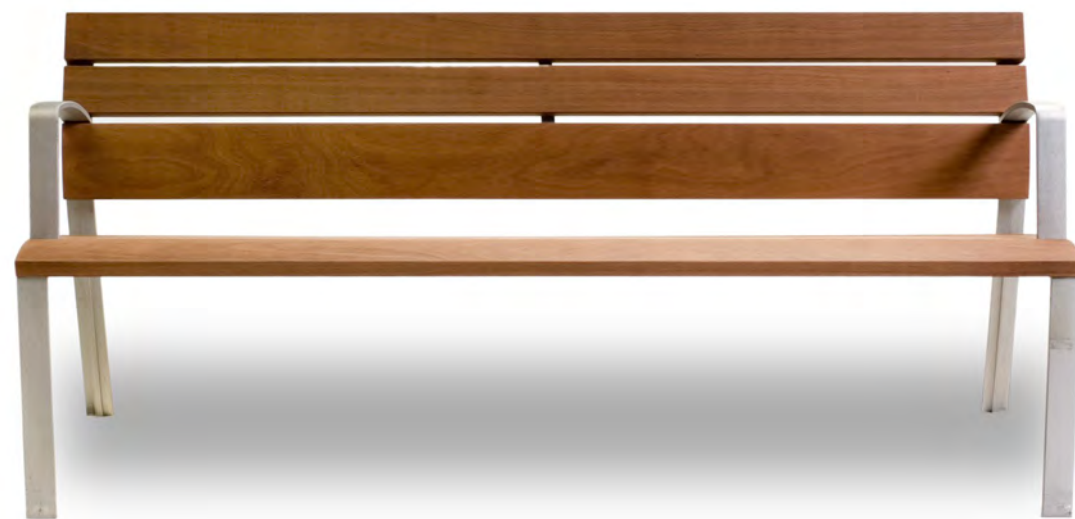


### FGB Bench

LandscapeForms  
[www.landscapeforms.com](http://www.landscapeforms.com)

frame: cast aluminum with  
annodized finish

wood slats: ipe, unfinished





### Neoliviano Bench

LandscapeForms  
[www.landscapeforms.com](http://www.landscapeforms.com)

frame: cast aluminum

wood slats: jarrah,  
unfinished





**Sorella Planters**

LandscapeForms  
[www.landscapeforms.com](http://www.landscapeforms.com)

steel with polyester  
powdercoated finish

**Charlottesville Towers Unit Owners Association**  
511 First Street North, Charlottesville, Virginia 22902  
Contact: Rob McGinnis  
434.962.9110 | [robmcginnis@me.com](mailto:robmcginnis@me.com)

**Charlottesville Towers  
Entrance Renovation**

**CONCEPT PLAN  
Planters**

Date:  
10.24.21

Sheet  
**L4.0**



**scouringrush horsetail**  
*Equisetum hyemale*

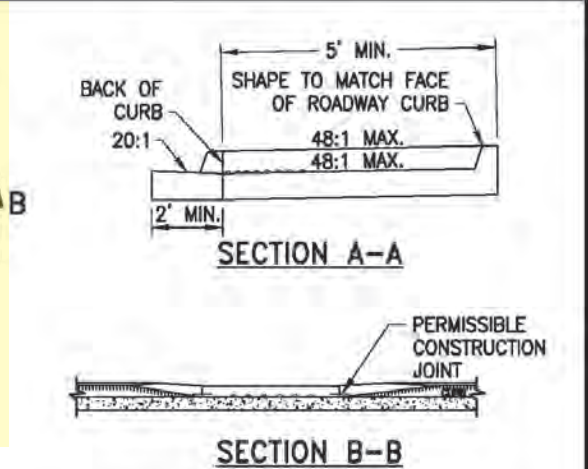
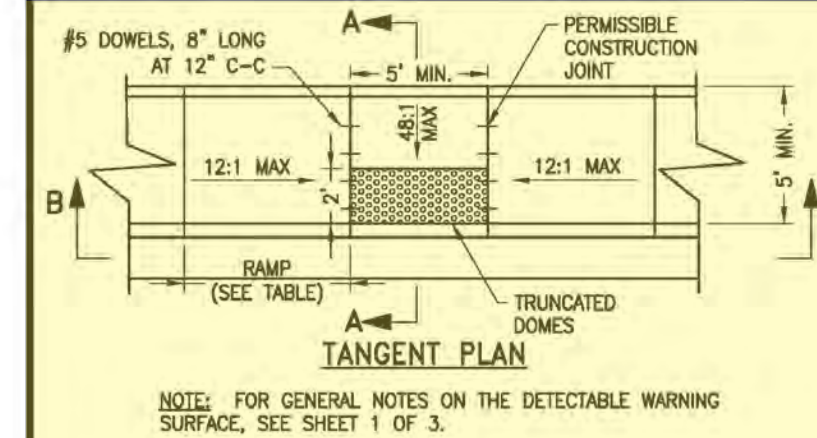
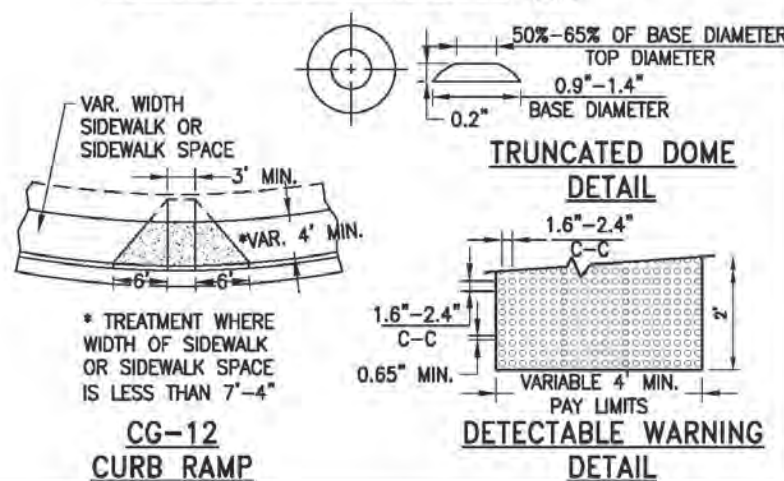
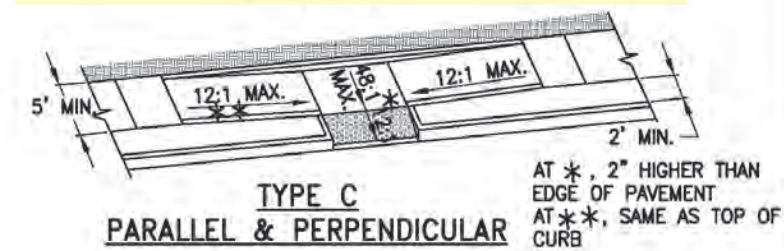
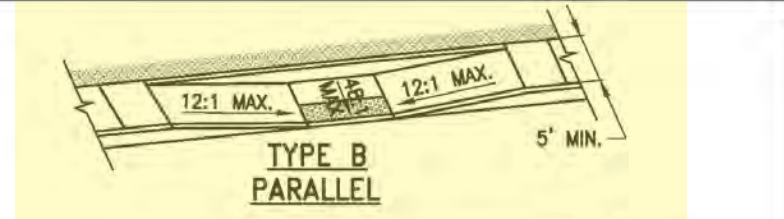
evergreen rush native to every county in Virginia

height: 2'-4'  
tolerates heavy shade and a wide range of soils



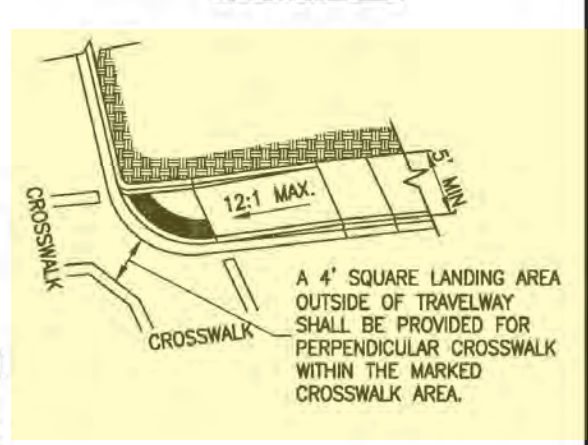
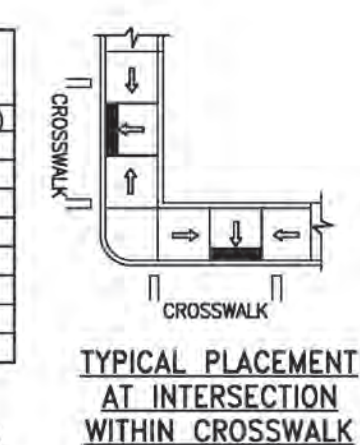
**GENERAL NOTES:**

1. DETECTABLE WARNING TO BE PRE-FORMED PLASTIC INSERT WITH SLIP RESISTANT SURFACE COVERING THE FULL WIDTH OF THE RAMP FLOOR BY 2 FOOT IN LENGTH IN THE DIRECTION OF TRAVEL.
2. THE DETECTABLE WARNING SHALL BE PROVIDED BY TRUNCATED DOMES. TRUNCATED DOMES TO BE STAMPED IN TOP SURFACE. THE COLOR OF THE DETECTABLE WARNING SECTION SHALL BE YELLOW.
3. SLOPING SIDES OF CURB RAMP MAY BE POURED MONOLITHICALLY WITH RAMP FLOOR OR BY USING PERMISSIBLE CONSTRUCTION JOINT WITH REQUIRED BARS.
4. IF RAMP FLOOR IS PRECAST, HOLES MUST BE PROVIDED FOR DOWEL BARS SO THAT ADJOINING FLARED SIDES CAN BE CAST IN PLACE AFTER PLACEMENT OF PRECAST RAMP FLOOR. PRECAST CONCRETE SHALL BE CLASS A-4.
5. REQUIRED BARS ARE TO BE NO. 5 X 8" PLACED 1' CENTER TO CENTER ALONG BOTH SIDES OF THE RAMP FLOOR, MID-DEPTH OF RAMP FLOOR. MINIMUM CONCRETE COVER 1 1/2".
6. RAMPS MAY BE PLACED ON RADIAL OR TANGENTIAL SECTIONS PROVIDED THAT THE CURB OPENING IS PLACED WITHIN THE LIMITS OF THE CROSSWALK AND THAT THE SLOPE AT THE CONNECTION OF THE CURB OPENING IS PERPENDICULAR TO THE CURB.
7. TYPICAL CONCRETE SIDEWALK IS 4" THICK. WHEN THE RAMP IS PLACED IN THE CURB RETURN RADIUS IT SHALL BE 7" THICK.
8. WHEN CURB RAMPS ARE USED IN CONJUNCTION WITH A SHARED USE PATH, THE MINIMUM WIDTH SHALL BE THE WIDTH OF THE SHARED USE PATH.



**TYPE B  
PARALLEL APPLICATION**

ROADWAY GRADE (%)	MIN. RAMP LENGTH (FT)	
	4" CURB	6" CURB
0	4	6
1	5	7
2	5	8
3	6	9
4	8	12
5	10	15
6	14	15



NOTE: THE REQUIRED LENGTH OF A PARALLEL RAMP IS LIMITED TO 15 FEET, REGARDLESS OF THE SLOPE.

**CITY OF CHARLOTTESVILLE**

CITY STANDARDS  
**CG-12 DETECTABLE WARNING SURFACE GENERAL NOTES**  
(SHEET 1 OF 3)

REVISION DATE SCALE: N.T.S. STANDARD NUMBER: CG-12

**CITY OF CHARLOTTESVILLE**

CITY STANDARDS  
**CG-12 DETECTABLE WARNING SURFACE TYPE B** (SHEET 2 OF 3)

REVISION DATE SCALE: N.T.S. STANDARD NUMBER: CG-12





# Vertical+ Wall Mount Bicycle Rack

Capacity: Dependent on project needs

Warranty: 1 Year

- » Optional No Scratch® bumper and cushioned hook prevent bicycle damage
- » Modular design for rapid assembly
- » U-lock compatible, square tubing, and hidden fasteners for maximum security

## Product Specifications

### Materials:

- » Mild Steel
- » Bicycle Support Loops: 1.0" x 1.0" x .060" Square Tubing
- » Towers: 2.5" x 2.5" x .125" Square Tubing
- » Cross-Members: 1.25" Schedule 40 pipe
- » Optional Polyurethane No Scratch® Bumper
- » Optional integrated locking cable

### Standard Finish:

- » Bicycle Rack Support Loops: Powder Coated
- » Towers: Powder Coated
- » Cross-Members: Galvanized

### Standard Mounting:

- » Wall Mount

### Hardware

- Concrete Wedge Anchors (standard)
- + Tamper Resistant Nuts (recommended)
- E-Z lock inserts for 3/4" thick plywood

### Bicycle Spacing Options:

- 13"
- 16"
- 17"
- 18"

### Product Options:

- Include No Scratch® Bumper
- Exclude No Scratch® Bumper
- Include Locking Cable
- Exclude Locking Cable

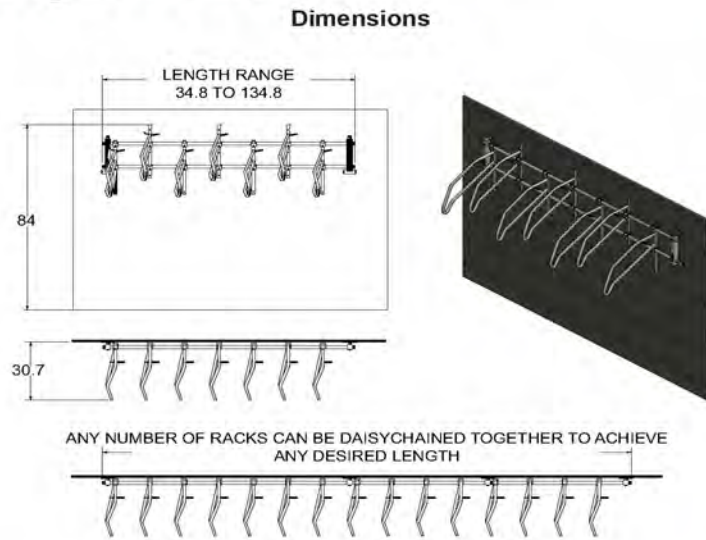
For complete dimensions please see the technical drawing located on our website:

<https://www.sportworks.com/product/vertical-wall-mount>

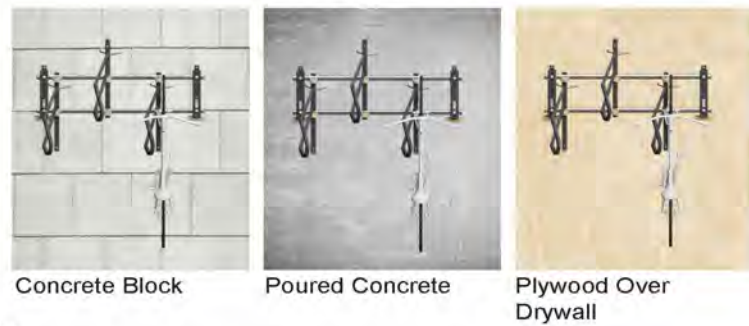
Revised:01/21/2021

\* All dimensions are in inches

[www.sportworks.com](http://www.sportworks.com)



### Common Mounting Surfaces



Mounting hardware varies by wall type. Our sales team can assist you in selecting the right hardware for your installation. You can also visit our resources section on our website for installation instructions including guidelines for plywood sizing and placement:

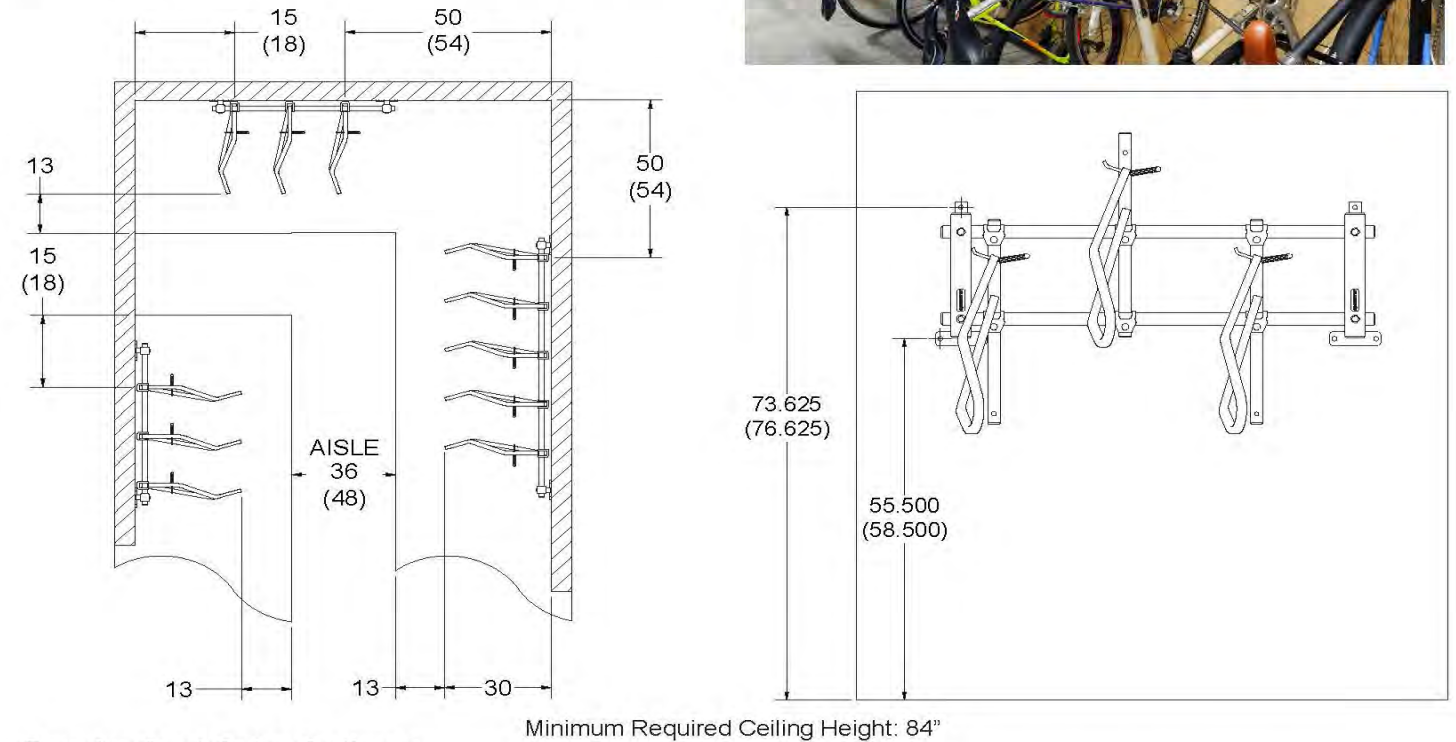
<https://www.sportworks.com/howto>



## Spacing and Setbacks

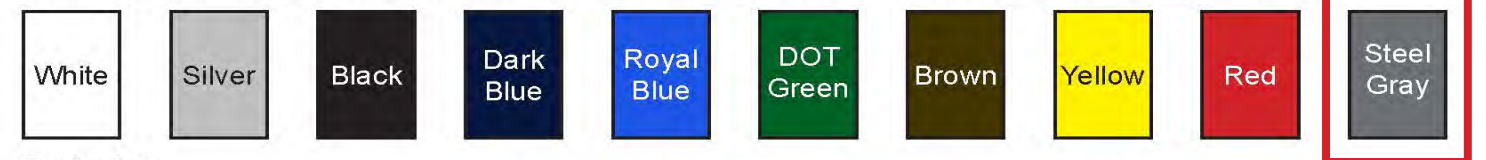
\*Many local governments will specify minimum spacing and setback requirements

\*\*All dimensional drawings are in inches. Minimum dimensions are placed above the recommended dimensions. Recommended dimensions are in ().



### Powder Coat Color Options:

Custom colors are available to coat the support loops and rack Uprights. Colors will not be applied to the cross-members.



### Contractor:

### Job:

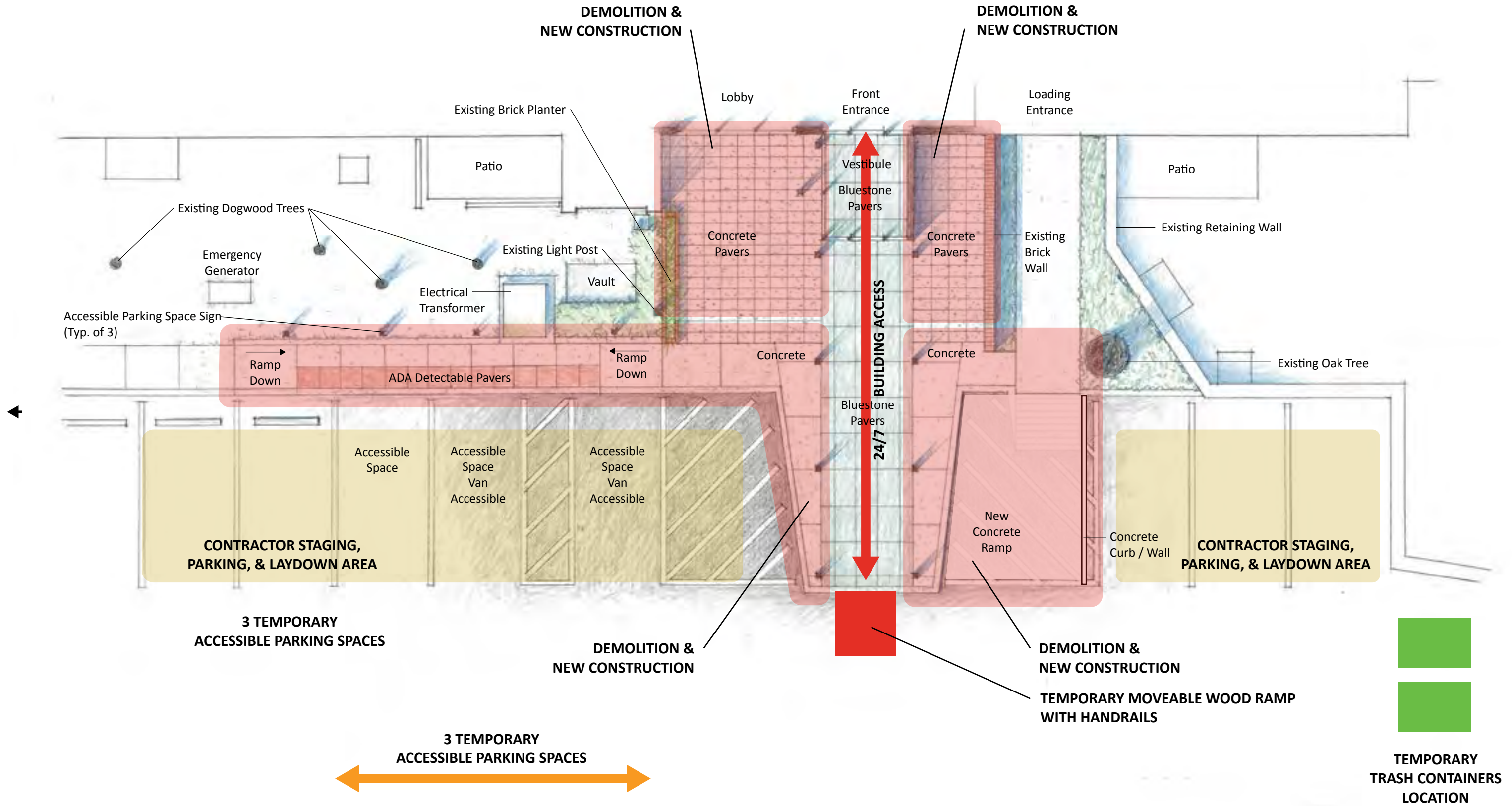
### Notes:

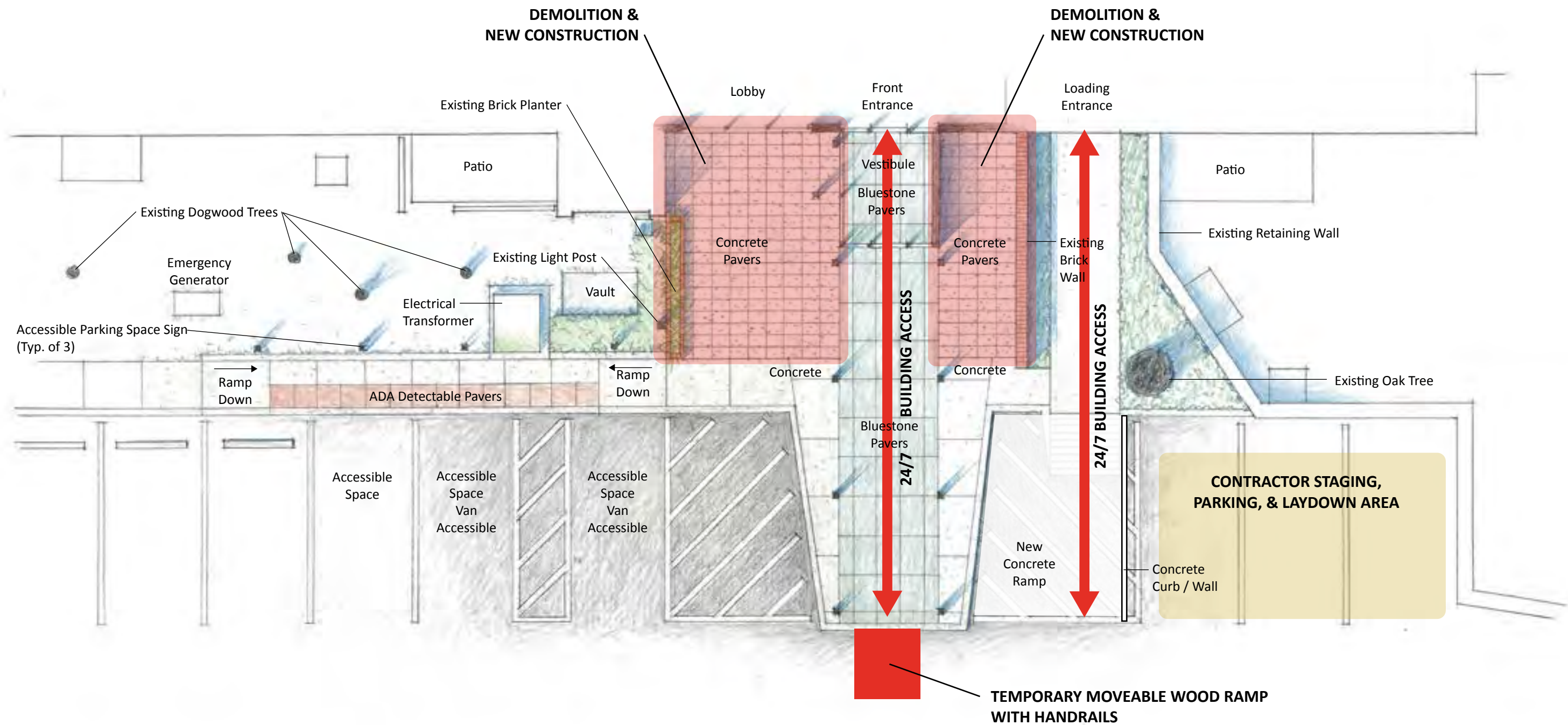
### Contact Information:

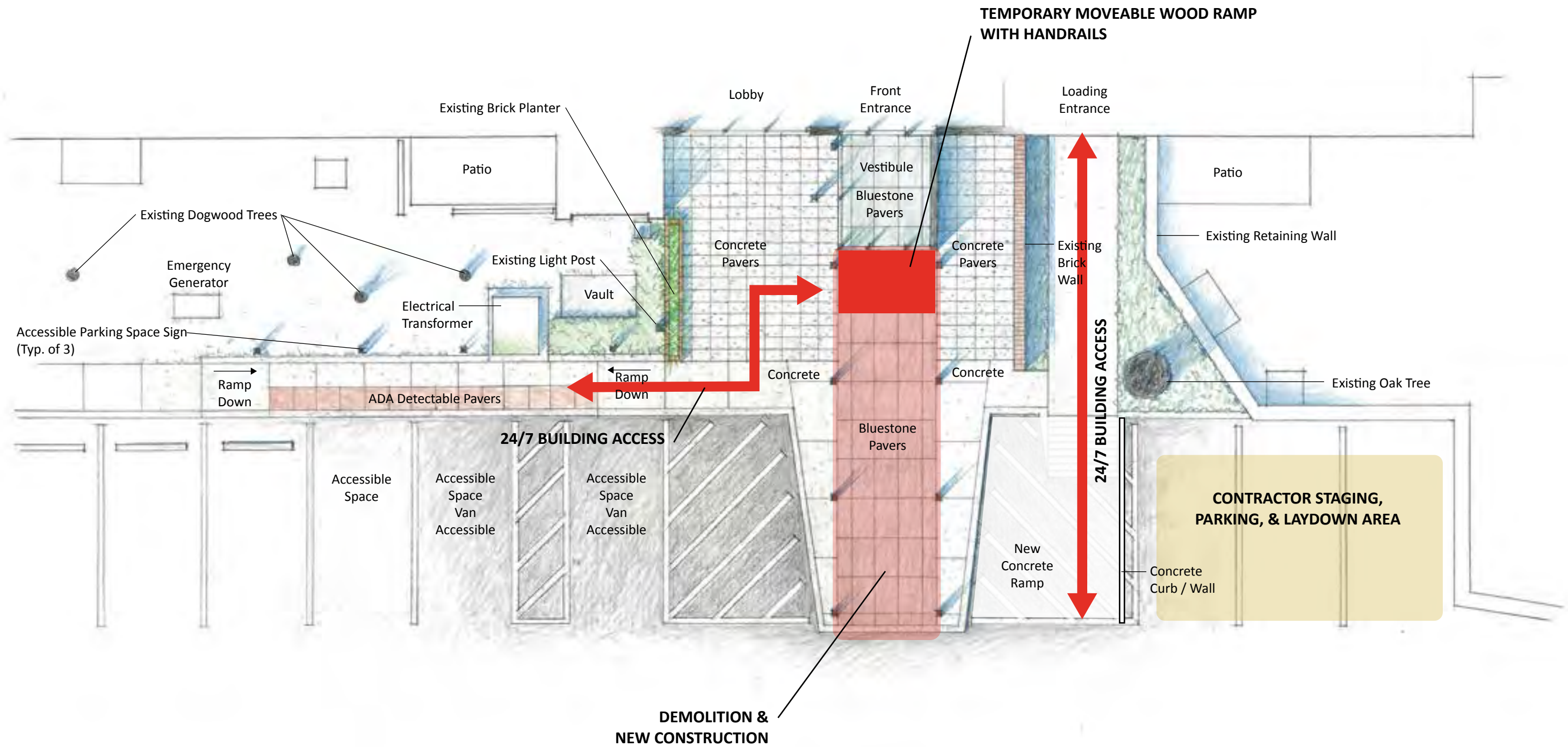
888-661-0555  
[sales@sportworks.com](mailto:sales@sportworks.com)  
[www.sportworks.com](http://www.sportworks.com)

15540 Woodinville Redmond Rd  
 NE, Bldg A-200,  
 Woodinville, WA 98072



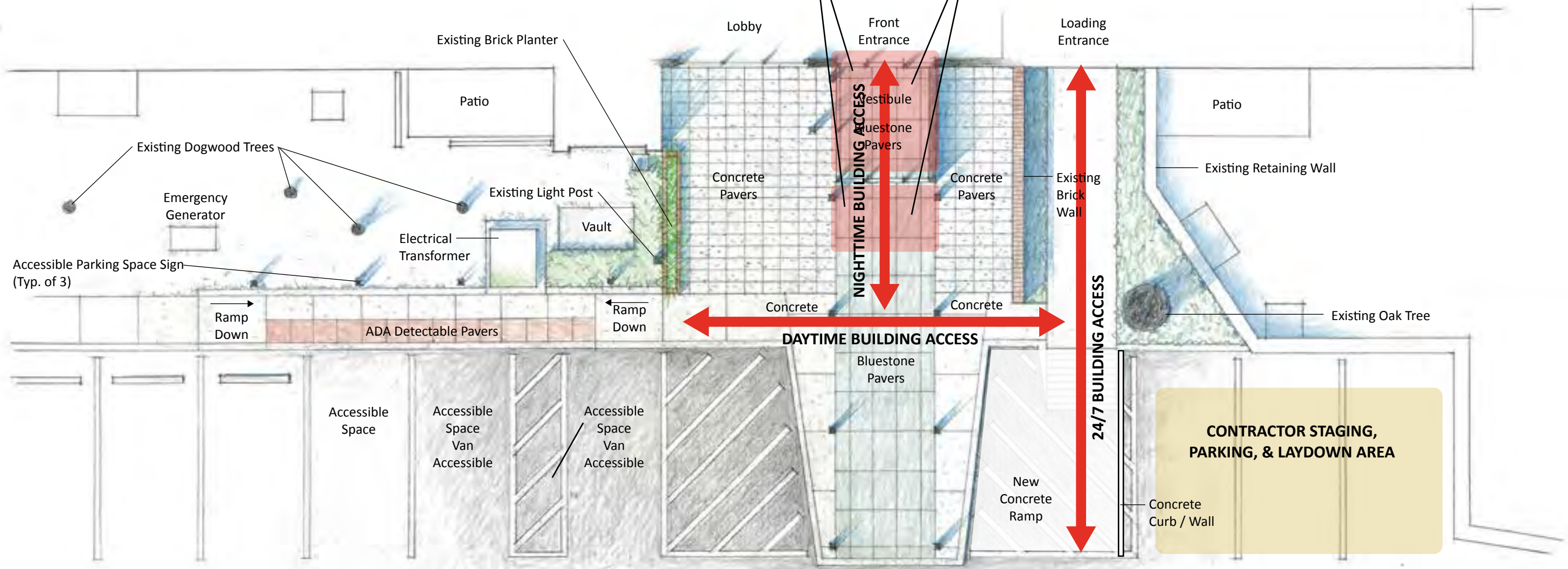






**DEMOLITION & NEW CONSTRUCTION**

**TEMPORARY WOOD PLATFORMS FOR NIGHTTIME ACCESS**



**SITE DATA:**  
TAX MAP PARCEL ID  
330001000

**PHYSICAL ADDRESS**  
511 NORTH FIRST STREET

**OWNER**  
THE CHARLOTTESVILLE TOWERS CONDO  
ASSOCIATION, INC.

**APPLICABLE CITY ORDINANCES**  
ZONING: R-3H (MULTIFAMILY RESIDENTIAL)  
HEIGHT RESTRICTIONS: 45' MAX.  
SETBACKS: FRONT = 25' MIN., SIDE = 1'  
PER 4' OF BUILDING HEIGHT (80 DUA), 10'  
MIN., REAR = 25' MIN.  
LAND COVERAGE: 80% MAX (80 DUA)

**SOURCE OF TITLE**  
DB 423 PG 170 (TITLE)  
DB 423 PG 184 (DECLARATION OF  
CONDOMINIUM - PLAT ON PAGE 197)

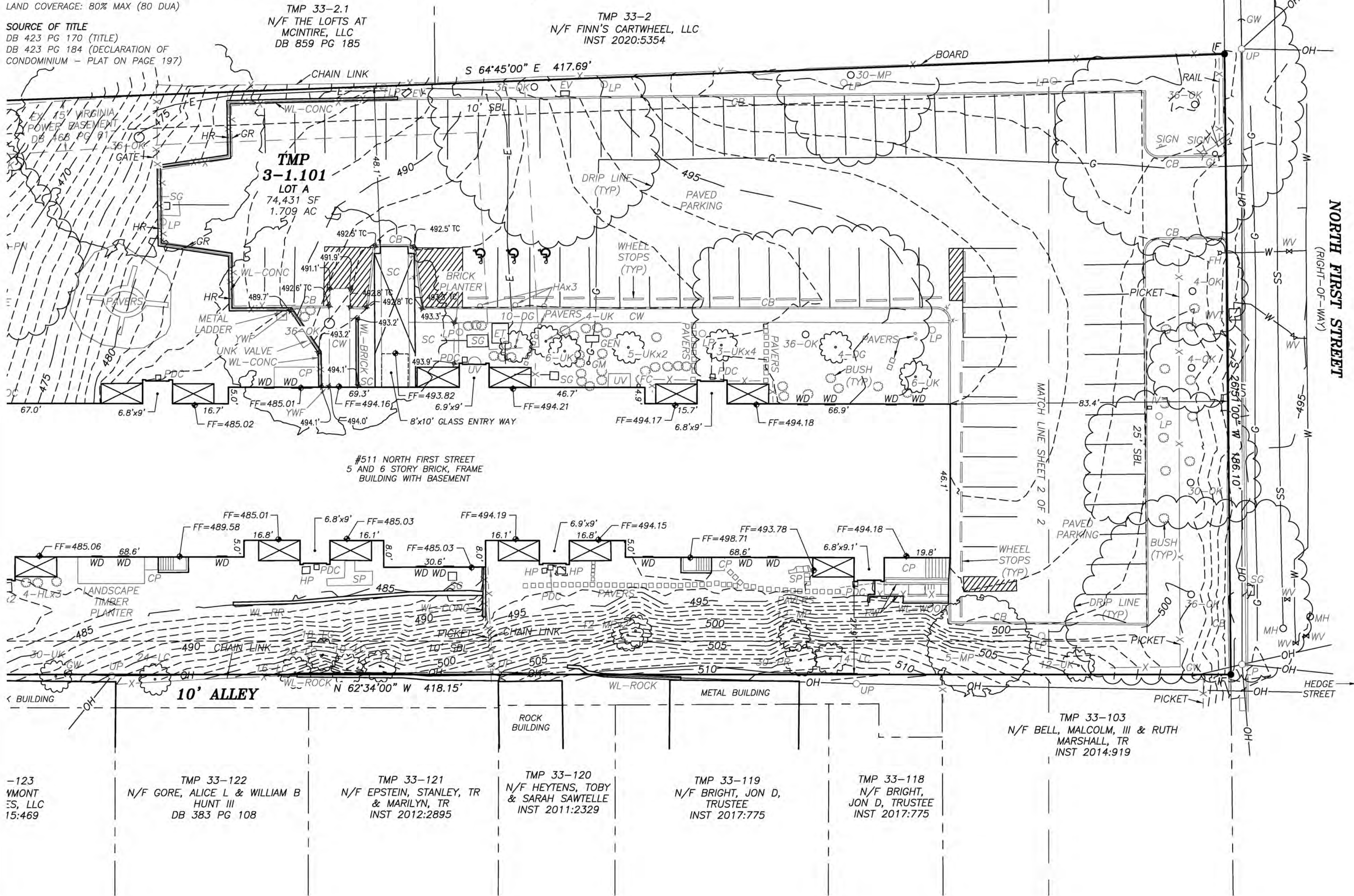
**VEGETATION LEGEND:**  
99- TREE CALIPER IN INCHES  
DG DOGWOOD  
EV EVERGREEN  
HL HOLLY  
LC LOCUST  
MP MAPLE  
OK OAK  
PN PINE  
PR PARADISE  
UK UNKNOWN TREE

**BOUNDARY LEGEND:**  
IF IRON PIN FOUND  
IS IRON PIN SET  
SBL BUILDING SETBACK LINE

**IMPROVEMENTS LEGEND:**  
CB CONCRETE CURBING  
CP CONCRETE PAD  
CW CONCRETE WALK  
ET ELECTRIC TRANSFORMER  
EV ELECTRIC VAULT  
FC FIRE DEPARTMENT CONNECTION  
FF FIRST FLOOR ELEVATION  
FH FIRE HYDRANT  
GL GROUND LAMP  
GR GUARDRAIL  
GW GUY WIRE  
HA HANDICAP ACCESSIBLE SIGN  
HP HEAT PUMP  
HR HAND RAIL

IV IRRIGATION VALVE  
LP LIGHT POLE  
MH SANITARY SEWER MANHOLE  
PDC COMMUNICATIONS PEDESTAL  
RR RAILROAD TIES  
RW RETAINING WALL  
SC STAMPED CONCRETE  
SG STORM GRATE  
SP STONE PAVERS  
UP UTILITY POLE  
UV UNDERGROUND VENT  
WD BUILDING WINDOW INSET  
WL WALL AND TYPE  
WV WATER VALVE  
WVT WATER VAULT  
YWF YARD WATER FAUCET

**LINE LEGEND:**  
-X- FENCE LINE  
-E- MARKED ELECTRIC LINE  
-G- MARKED GAS LINE  
-SS- MARKED SANITARY LINE  
-OH- OVERHEAD UTILITY  
-W- MARKED WATER LINE



**ROUDABUSH, GALE & ASSOC., INC.**  
A PROFESSIONAL CORPORATION  
SERVING VIRGINIA SINCE 1956  
PHYSICAL: 988 SECOND STREET, SE  
SUITE 201  
CHARLOTTESVILLE, VA 22902  
WWW.ROUDABUSH.COM

REVISIONS	DATE	DESCRIPTION
1	6/14/2021	MARKUP REVISIONS
2	6/17/2021	MARKUP REVISIONS

**BASE MAP OF**  
**THE CHARLOTTESVILLE TOWERS**  
TAX MAP 3, PARCEL 1.101  
511 NORTH FIRST STREET  
CITY OF CHARLOTTESVILLE, VIRGINIA

**SITE DETAIL**

APRIL 28, 2021  
SCALE: 1" = 20'  
JOB: 21.2359  
SHEET 1 OF 2

**SITE DATA:**  
TAX MAP PARCEL ID  
330001000

**PHYSICAL ADDRESS**  
511 NORTH FIRST STREET

**OWNER**  
THE CHARLOTTESVILLE TOWERS CONDO  
ASSOCIATION, INC.

**APPLICABLE CITY ORDINANCES**  
ZONING: R-3H (MULTIFAMILY RESIDENTIAL)  
HEIGHT RESTRICTIONS: 45' MAX.  
SETBACKS: FRONT = 25' MIN., SIDE = 1'  
MIN., REAR = 25' MIN.  
LAND COVERAGE: 80% MAX (80 DUA)

**SOURCE OF TITLE**  
DB 423 PG 170 (TITLE)  
DB 423 PG 184 (DECLARATION OF  
CONDOMINIUM - PLAT ON PAGE 197)

**VEGETATION LEGEND:**  
99- TREE CALIPER IN INCHES  
DG DOGWOOD  
EV EVERGREEN  
HL HOLLY  
LC LOCUST  
MP MAPLE  
OK OAK  
PN PINE  
PR PARADISE  
UK UNKNOWN TREE

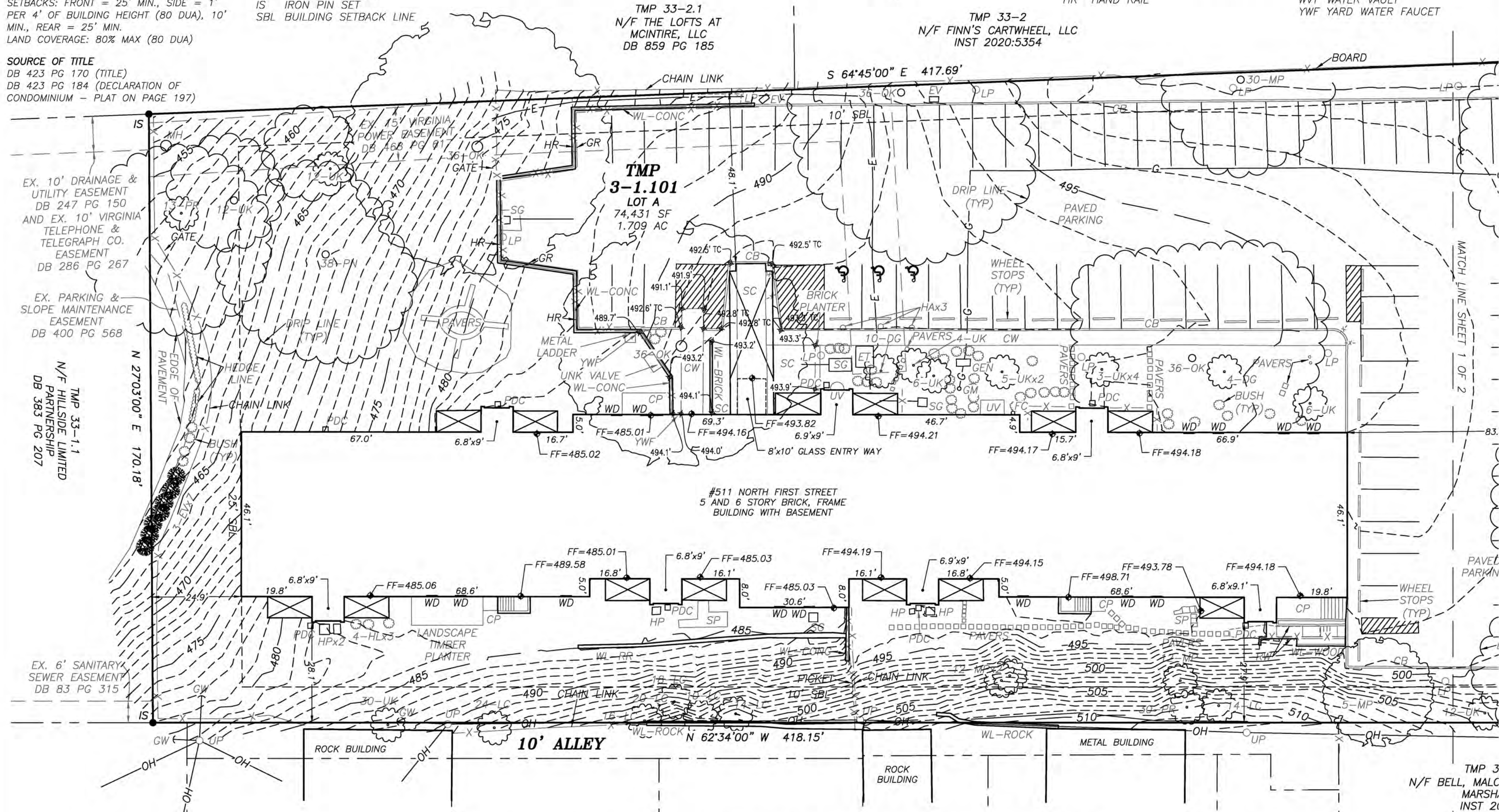
**BOUNDARY LEGEND:**  
IF IRON PIN FOUND  
IS IRON PIN SET  
SBL BUILDING SETBACK LINE

**LINE LEGEND:**  
-X- FENCE LINE  
-E- MARKED ELECTRIC LINE  
-G- MARKED GAS LINE  
-SS- MARKED SANITARY LINE  
-OH- OVERHEAD UTILITY  
-W- MARKED WATER LINE



**IMPROVEMENTS LEGEND:**  
CB CONCRETE CURBING  
CP CONCRETE PAD  
CW CONCRETE WALK  
ET ELECTRIC TRANSFORMER  
EV ELECTRIC VAULT  
FC FIRE DEPARTMENT CONNECTION  
FF FIRST FLOOR ELEVATION  
FH FIRE HYDRANT  
GL GROUND LAMP  
GR GUARDRAIL  
GW GUY WIRE  
HA HANDICAP ACCESSIBLE SIGN  
HP HEAT PUMP  
HR HAND RAIL

IV IRRIGATION VALVE  
LP LIGHT POLE  
MH SANITARY SEWER MANHOLE  
PDC COMMUNICATIONS PEDESTAL  
RR RAILROAD TIES  
RW RETAINING WALL  
SC STAMPED CONCRETE  
SG STORM GRATE  
SP STONE PAVERS  
UP UTILITY POLE  
UV UNDERGROUND VENT  
WD BUILDING WINDOW INSET  
WL WALL AND TYPE  
WV WATER VALVE  
WVT WATER VAULT  
YWF YARD WATER FAUCET



TMP 33-139 N/F BRASS RAIL, LLC INST 2016:1231

TMP 33-123 N/F VIEWMONT ASSOCIATES, LLC INST 2015:469

TMP 33-122 N/F GORE, ALICE L & WILLIAM B HUNT III DB 383 PG 108

TMP 33-121 N/F EPSTEIN, STANLEY, TR & MARILYN, TR INST 2012:2895

TMP 33-120 N/F HEYTENS, TOBY & SARAH SAWTELLE INST 2011:2329

TMP 33-119 N/F BRIGHT, JON D, TRUSTEE INST 2017:775

TMP 33-118 N/F BRIGHT, JON D, TRUSTEE INST 2017:775

**ROUDABUSH, GALE & ASSOC., INC.**  
A PROFESSIONAL CORPORATION  
SERVING VIRGINIA SINCE 1956  
PHYSICAL: 988 SECOND STREET, SE SUITE 201 CHARLOTTESVILLE, VA 22902  
MAILING: 435 MERCHANT WALK SQUARE SUITE 201 CHARLOTTESVILLE, VA 22902  
PHONE: 434-977-0205 WWW.ROUDABUSH.COM

REVISIONS	MARKUP REVISIONS	REVISIONS	MARKUP REVISIONS
1		2	
	6/14/2021		6/17/2021

BASE MAP OF  
**THE CHARLOTTESVILLE TOWERS**  
TAX MAP 3, PARCEL 1.101  
511 NORTH FIRST STREET  
CITY OF CHARLOTTESVILLE, VIRGINIA  
SITE DETAIL

APRIL 28, 2021  
SCALE: 1" = 20'  
JOB: 21.2359  
SHEET 2 OF 2



# City of Charlottesville

## Application for Special Use Permit

Project Name: 14<sup>th</sup> ST HOTEL

Address of Property: 207 14<sup>th</sup> St NW cville 22903

Tax Map and Parcel Number(s): 090070100 - 0900702100

Current Zoning District Classification: B-IH

Comprehensive Plan Land Use Designation: \_\_\_\_\_

Is this an amendment to an existing SUP? No

If "yes", provide the SUP #: \_\_\_\_\_

Applicant: William CHAPMAN

Address: 3 gildersteeve wood CHARLOTTESVILLE 22903

Phone: 434-242-7901 Email: bill@oakhurstinn.com

Applicant's Role in the Development (check one):

Owner  Owner's Agent  Designer  Contract Purchaser

Owner of Record: UNIVERSITY Limited partnership

Address: 1134 E High St CHARLOTTESVILLE VA 22902

Phone: 977-2650 Email: canl@alcornproperties.com

Reason for Special Use Permit:

Additional height: \_\_\_\_\_ feet

Additional residential density: \_\_\_\_\_ units, or \_\_\_\_\_ units per acre

Authorize specific land use (identify) "HOTEL"

Other purpose(s) (specify City Code section): \_\_\_\_\_

### (1) Applicant's and (2) Owner's Signatures

(1) Signature [Signature] Print WM CHAPMAN Date 1-19-22

Applicant's (Circle One): LLC Member  LLC Manager  Corporate Officer (specify) \_\_\_\_\_

Other (specify): \_\_\_\_\_

(2) Signature \_\_\_\_\_ Print \_\_\_\_\_ Date \_\_\_\_\_

Owner's (Circle One): LLC Member  LLC Manager  Corporate Officer (specify) \_\_\_\_\_

Other (specify): \_\_\_\_\_

(see owner signature attached)

3022-0003





# City of Charlottesville

## Application for Special Use Permit

Project Name: 14<sup>th</sup> ST HOTEL

Address of Property: 207 14<sup>th</sup> St NW cville 22903

Tax Map and Parcel Number(s): 090070100 - 0900702100

Current Zoning District Classification: B-1H

Comprehensive Plan Land Use Designation: \_\_\_\_\_

Is this an amendment to an existing SUP? No

If "yes", provide the SUP #: \_\_\_\_\_

Applicant: William CHAPMAN

Address: 3 GILBERTSLEEVE WOOD CHARLOTTESVILLE 22903

Phone: 434-242-7901 Email: bill@oakhurstinn.com

Applicant's Role in the Development (check one):

Owner  Owner's Agent  Designer  Contract Purchaser

Owner of Record: UNIVERSITY LIMITED PARTNERSHIP

Address: 1124 E High St Charlottesville VA 22902

Phone: 977-2650 Email: carl@alcornproperties.com

Reason for Special Use Permit:

Additional height: \_\_\_\_\_ feet

Additional residential density: \_\_\_\_\_ units, or \_\_\_\_\_ units per acre

Authorize specific land use (identify) "HOTEL"

Other purpose(s) (specify City Code section): \_\_\_\_\_

(1) Applicant's and (2) Owner's Signatures

(1) Signature [Signature] Print WM CHAPMAN Date 1-19-22

Applicant's (Circle One): LLC Member LLC Manager Corporate Officer (specify) \_\_\_\_\_

Other (specify): \_\_\_\_\_

(2) Signature [Signature] Print CHRISTOPHER J SCHWAB Date 1-21-22

Owner's (Circle One): LLC Member LLC Manager Corporate Officer (specify) \_\_\_\_\_

Other (specify): \_\_\_\_\_



# City of Charlottesville

## Pre-Application Meeting Verification

Project Name: 14<sup>th</sup> ST HOTEL

Pre-Application Meeting Date: 11/23/21

Applicant's Representative: BILL CHAPMAN

Planner: DANNON O'CONNELL

**Other City Officials in Attendance:**

BRENDA DUNCAN

STEVE WATSON

ROY NESTER

The following items will be required supplemental information for this application and must be submitted with the completed application package:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_
4. \_\_\_\_\_
5. \_\_\_\_\_

Planner Signature: Dannon O'Connell 1/31/2022



# City of Charlottesville

## Development Review

**Project Title:** 207 14th Street SUP

**Project Type:** Special Use Permit

**Submission #:** 1      **Project #:** SP22-00003      **Planner:** Dannan O'Connell

**Date Received:** February 1, 2022

**Comments Due to Planner By Noon on:** March 4, 2022

**Notes:** Existing site contains a 21-unit condominium complex. Applicant wishes to reconfigure the building into a 19-unit hotel with one residential apartment.

Site is zoned B-1 and hotel uses require an approved SUP. Site is also in a Historic District.

No modifications to the existing building footprint are proposed, however the applicant wishes to modify the eastern parking spaces into a loading/unloading area.

	<u>Department</u>	<u>Reviewer</u>
<input type="checkbox"/>	Engineering	Chris Sibold
<input checked="" type="checkbox"/>	Traffic Engineering	Brennen Duncan
<input checked="" type="checkbox"/>	Building	Francis Vineyard
<input checked="" type="checkbox"/>	ADA Coordination	Paul Rudacille
<input type="checkbox"/>	Bicycle and Pedestrian Coordination	
<input checked="" type="checkbox"/>	Utilities	Roy Nester
<input type="checkbox"/>	Gas Utilities	Chris Chirico
<input checked="" type="checkbox"/>	Fire	Stephen Walton
<input type="checkbox"/>	VSMP Administrator	David Frazier
<input checked="" type="checkbox"/>	Historic Preservation	Jeff Werner
<input type="checkbox"/>	None	None
<input type="checkbox"/>	None	None
<input type="checkbox"/>	None	None

1/20/2022

To: Dannon O'Connell, Neighborhood Planner  
re: Special use Permit application for 207 14<sup>th</sup> Street NW  
From: Bill Chapman, Developer/applicant  
3 Gildersleeve Wood, Charlottesville 22903  
434-242-7901/bill@oakhurstinn.com

RECEIVED  
FEB 01 2022  
NEIGHBORHOOD DEVELOPMENT SERVICES

**Project Narrative:**

Bill Chapman (occasional developer and founder/manager of the Oakhurst Inn) is hoping to renovate 207 14<sup>th</sup> Street for hotel use. The hotel will have 19 rooms, one residential apartment, and a small office. Although the property was built as a hotel/motel in 1964, it was later converted to apartment use. The developer needs a Special Use Permit to make this change back to hotel.

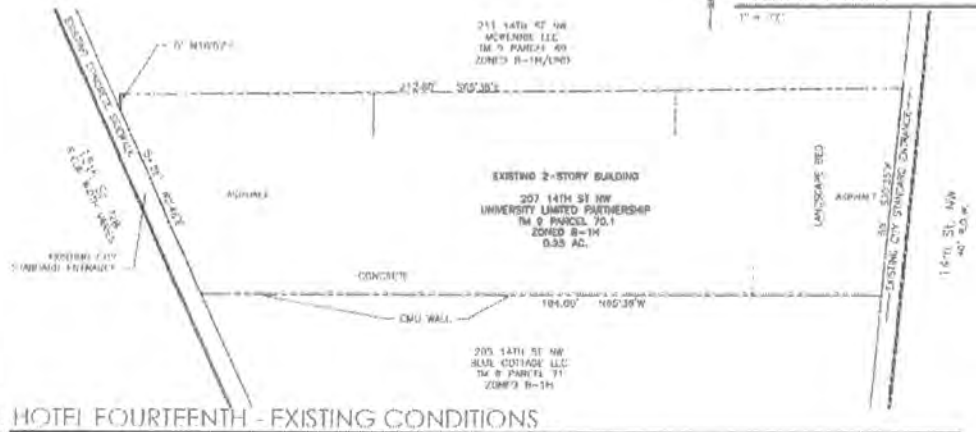
(The developer believes a "by-right" use would be 15 "inn" rooms rented nightly and five apartments rented for periods of longer than 30 days. However, a pure "hotel" use is a better reflection of our plans so we are going through this entitlement process.)

Upgrades are largely mechanical and cosmetic. We will not add any height or footprint to the building. All new HVAC and bathrooms are planned. Site work is limited to converting a small six-car lot in front to a loading/drop off area, with a one-way drive aisle entering from the north and exiting at the south. There is virtually no landscaping on the ¼ acre site.

There are currently (usually) 15 cars on the site (six on 14<sup>th</sup> Street and 9 on 15<sup>th</sup> Street). We plan to use the 14<sup>th</sup> Street Garage for valet parking so onsite parking would be limited to drop-offs/check-ins and parking to 1-2 staff members. With 19 rooms, 60% occupancy, and average length of stay 1.5 nights, we anticipate nine arrivals per day.



VICINITY MAP



HOTEL FOURTEENTH - EXISTING CONDITIONS



HOTEL FOURTEENTH - PROPOSED SITE PLAN

The building is currently leased as apartments and those leases end on various dates May-September 2022. We would commence a historic renovation in the summer and fall and open in in early 2023.

Historic preservation is at the heart of what we do and we believe the property presents an opportunity to showcase Mid-Century Modern design not typically associated with development in Charlottesville.

“Before” photo and “after” rendering here (*actual name of hotel tbd*):



Map below shows the new hotel in relation to Oakhurst Inn and the University. The “corner” district (reflected by Starbucks and CVS on this map) has 65 or so businesses and half of those are restaurants within easy walking distance. We plan on offering room service from one or two.



Charlottesville’s draft comprehensive plan does not offer specific support for hotels but Hotel use is allowed by SUP in the B-1 zone. Generally, we feel that the project embodies these goals from the mixed “Objectives for Mixed-Use Areas” section of the comp plan:

- Facilitate economic activity in the City.
- Develop buildings and public spaces that are human-scaled and contribute to placemaking & Charlottesville’s authentic community identity.
- Promote and encourage design elements that enhance community livability such as active uses at the ground floor level along key street frontages.”

Of course the renovated property would be in compliance with all USBC provisions.

Compared to the current use as apartments, we cannot think of any adverse neighborhood impacts.

There were no in-person or Zoom attendees (other than applicant and city staff) at our community meeting held on January 17<sup>th</sup> to discuss this change.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'Bill Chapman', written in a cursive style.

Bill Chapman, applicant





# City of Charlottesville

## Application Checklist

Project Name: 14<sup>th</sup> St Hotel

I certify that the following documentation is ATTACHED to this application:

- 34-158(a)(1): a site plan (ref. City Code 34-802(generally); 34-1083(communications facilities) *N/A*
- 34-158(a)(3): Low-impact development (LID) methods worksheet (required for developments that include non-residential uses, and developments proposing 3 or more SFDs or TFDs) *N/A*
- 34-158(a)(4): a building massing diagram, and building elevations (required for applications proposing alteration of a building height or footprint, or construction of any new building(s)) *N/A*
- 34-158(a)(5) and 34-12: affordable housing data. (i) how many (if any) existing dwelling units on the property are an "affordable dwelling unit" by the city's definitions? (ii) Will existing affordable units, or equivalent affordable units, remain following the development? (iii) What is the GFA of the project? GFA of residential uses? GFA of non-residential uses? *N/A*
- 34-157(a)(1) Graphic materials that illustrate the context of the project, and a narrative statement as to compatibility with existing patterns of use and development
- 34-157(a)(2) Narrative statement: applicant's analysis of conformity with the Comprehensive Plan
- 34-157(a)(3) Narrative statement: compliance with applicable USBC provisions
- 34-157(a)(4) Narrative statement identifying and discussing any potential adverse impacts, as well as any measures included within the development plan, to mitigate those impacts
- 34-158(a)(6): other pertinent information (narrative, illustrative, etc.)
- All items noted on the Pre-Application Meeting Verification.

Applicant

Signature 

Print William CHAPMAN

Date 1/21/22

By Its: \_\_\_\_\_

(For entities, specify: Officer, Member, Manager, Trustee, etc.)

*complete*



# City of Charlottesville

## Community Meeting

Project Name: 14<sup>th</sup> ST NW HOTEL

Section 34-41(c)(2) of the Code of the City of Charlottesville (adopted 2015) requires applicants seeking rezonings and special use permits to hold a community meeting. The purpose of a community meeting is to provide citizens an opportunity to receive information about a proposed development, about applicable zoning procedures, about applicable provisions of the comprehensive plan, and to give citizens an opportunity to ask questions. **No application for a rezoning shall be placed on any agenda for a public hearing, until the required community meeting has been held and the director of neighborhood development services determines that the application is ready for final review through the formal public hearing process.**

By signing this document, the applicant acknowledges that it is responsible for the following, in connection to the community meeting required for this project:

1. Following consultation with the city, the applicant will establish a date, time and location for the community meeting. The applicant is responsible for reserving the location, and for all related costs.
2. The applicant will mail, by U.S. mail, first-class, postage pre-paid, a notice of the community meeting to a list of addresses provided by the City. The notice will be mailed at least 14 calendar days prior to the date of the community meeting. The applicant is responsible for the cost of the mailing. At least 7 calendar days prior to the meeting, the applicant will provide the city with an affidavit confirming that the mailing was timely completed.
3. The applicant will attend the community meeting and present the details of the proposed application. If the applicant is a business or other legal entity (as opposed to an individual) then the meeting shall be attended by a corporate officer, an LLC member or manager, or another individual who can speak for the entity that is the applicant. Additionally, the meeting shall be attended by any design professional or consultant who has prepared plans or drawings submitted with the application. The applicant shall be prepared to explain all of the details of the proposed development, and to answer questions from citizens.
4. Depending on the nature and complexity of the application, the City may designate a planner to attend the community meeting. Regardless of whether a planner attends, the City will provide the applicant with guidelines, procedures, materials and recommended topics for the applicant's use in conducting the community meeting.
5. On the date of the meeting, the applicant shall make records of attendance and shall also document that the meeting occurred through photographs, video, or other evidence satisfactory to the City. Records of attendance may include using the mailing list referred to in #1 as a sign-in sheet (requesting attendees to check off their name(s)) and may include a supplemental attendance sheet. The City will provide a format acceptable for use as the supplemental attendance sheet.

Applicant: Bill Chapman

By:

Signature

Print

Bill Chapman

Date

1/19/21

Its:

(Officer, Member, Trustee, etc.)



# City of Charlottesville

## Owner's Authorizations

(Not Required)

### Right of Entry- Property Owner Permission

I, the undersigned, hereby grant the City of Charlottesville, its employees and officials, the right to enter the property that is the subject of this application, for the purpose of gathering information for the review of this Special Use Permit application.

Owner: \_\_\_\_\_ Date \_\_\_\_\_

By (sign name): \_\_\_\_\_ Print Name: \_\_\_\_\_

Owner's: LLC Member      LLC Manager      Corporate Officer (specify): \_\_\_\_\_

Other (specific): \_\_\_\_\_

### Owner's Agent

I, the undersigned, hereby certify that I have authorized the following named individual or entity to serve as my lawful agent, for the purpose of making application for this special use permit, and for all related purposes, including, without limitation: to make decisions and representations that will be binding upon my property and upon me, my successors and assigns.

Name of Individual Agent: \_\_\_\_\_

Name of Corporate or other legal entity authorized to serve as agent: \_\_\_\_\_

Owner: \_\_\_\_\_ Date: \_\_\_\_\_

By (sign name): \_\_\_\_\_ Print Name: \_\_\_\_\_

Circle one:

Owner's: LLC Member      LLC Manager      Corporate Officer (specify): \_\_\_\_\_

Other (specific): \_\_\_\_\_

permission could be obtained but would need  
to be scheduled to honor lease provisions  
please call Bill CHAPMAN 434-242-7901



# City of Charlottesville

## Disclosure of Equitable Ownership

Section 34-8 of the Code of the City of Charlottesville requires that an applicant for a special use permit make complete disclosure of the equitable ownership "real parties in interest" of the real estate to be affected. Following below I have provided the names and addresses of each of the real parties in interest, including, without limitation: each stockholder or a corporation; each of the individual officers and directors of a corporation; each of the individual members of an LLC (limited liability companies, professional limited liability companies); the trustees and beneficiaries of a trust, etc. Where multiple corporations, companies or trusts are involved, identify real parties in interest for each entity listed.

Name Bernard SCHWAB Address 95 Key West Dr cville  
Name Kathy GRAVE Address 1134 E High St cville  
Name CARL SCHWAB Address 1134 E High St cville  
Name JOHN SCHWAB Address 1134 E High St cville

Attach additional sheets as needed.

**Note:** The requirement of listing names of stockholders does not apply to a corporation whose stock is traded on a national or local stock exchange and which corporation has more than five hundred (500) shareholders.

Applicant: Bill CHAPMAN

By:

Signature

Print

WM CHAPMAN

Date

1-19-22

Its:

(Officer, Member, Trustee, etc.)

Contract purchaser:

William Chapman  
3 Alder sleeve wood  
Charlottesville VA  
22903



# City of Charlottesville

## Fee Schedule

Project Name: 14<sup>th</sup> 57 HOTEL

Application Type	Quantity	Fee	Subtotal
Special Use Permit (Residential)		\$ 1,500	
Special Use Permit (Mixed Use/Non-Residential)		\$ 1,800	1800
Mailing Costs per letter		\$1 per letter	
Newspaper Notice		Payment Due Upon Invoice	
<b>TOTAL</b>			1800

### Office Use Only

Amount Received: \_\_\_\_\_ Date Paid \_\_\_\_\_ Received By: \_\_\_\_\_

Amount Received: \_\_\_\_\_ Date Paid \_\_\_\_\_ Received By: \_\_\_\_\_

Amount Received: \_\_\_\_\_ Date Paid \_\_\_\_\_ Received By: \_\_\_\_\_

Amount Received: \_\_\_\_\_ Date Paid \_\_\_\_\_ Received By: \_\_\_\_\_



# City of Charlottesville

## LID Checklist

Project Name: 14<sup>th</sup> St HOTEL

LID Measure	LID Checklist Points	Points
Compensatory Plantings (see City buffer mitigation manual). 90% of restorable stream buffers restored.	5 points or 1 point for each 18% of the total acreage	N/A
Pervious pavers for parking and driveways with stone reservoir for storage of 0.5 inches of rainfall per impervious drainage area. Surface area must be >1,000 ft. <sup>2</sup> or ≥ 50% of the total parking and driveway surface area.	7 points or 1 point for each 7% of parking and driveway surface area.	
Shared parking (must have legally binding agreement) that eliminates >30% of on-site parking required.	5 points or 1 point for each 6% of parking surface eliminated.	
Impervious Disconnection. Follow design manual specifications to ensure adequate capture of roof runoff (e.g. cisterns, dry wells, rain gardens)	8 points	
Bioretention. Percent of site treated must exceed 80%. Biofilter surface area must be ≥ 5% of impervious drainage area.	8 points or 1 point for each 10% of site treated.	
Rain gardens. All lots, rain garden surface area for each lot ≥ 200 ft. <sup>2</sup> .	8 points or 1 point for each 10% of lots treated.	
Designed/constructed swales. Percent of site treated must exceed 80%, achieve non-erosive velocities, and able to convey peak discharge from 10 year storm.	8 points or 1 point for each 10% of site treated.	
Manufactured sand filters, filter vaults (must provide filtering rather than just hydrodynamic). Percent of site treated must exceed 80%. Sizing and volume for water quality treatment based on manufacturer's criteria.	8 points or 1 point for each 10% of site treated.	
Green rooftop to treat ≥ 50% of roof area	8 points	
Other LID practices as approved by NDS Engineer.	TBD, not to exceed 8 points	
Off-site contribution to project in City's water quality management plan. This measure to be considered when on site constraints (space, environmentally sensitive areas, hazards) limit application of LID measures. Requires pre-approval by NDS Director.	5 points	
<b>Total Points</b>		

Applicant's Signature

Signature [Handwritten Signature]

Print 1/25/22

William Chapman  
Date



WATER STREET FACADE



PEDESTRIAN MALL FACADE

## **310 EAST MAIN STREET**

**CHARLOTTESVILLE BOARD OF ARCHITECTURAL REVIEW**  
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

SUBMITTED SEPTEMBER 28, 2021

RESUBMITTED JANUARY 21, 2022

...the Milgraum Center was immediately labeled as a "Futuristic" building because of its angled entrance to the mall and its entirely glass facade. The building was meant to be a focal point on Main Street. Many thought its construction set a dangerous precedent on the Mall. In 1985, the Board of Architectural Review was set up in Charlottesville to address growing concerns about architectural changes downtown. However controversial, this building is a statement of 20th-century architectural style on Main Street.

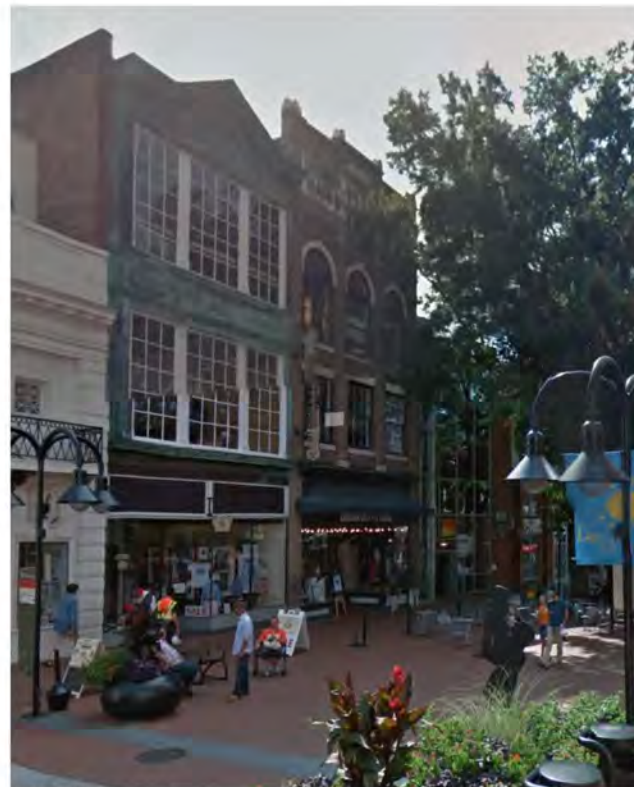
*Excerpt from "More than a Mall: A Guide to Historic Charlottesville. Albemarle Charlottesville Historical Society, 2010*



EAST MAIN FACADE, C. 1974



EAST MAIN FACADE, C. 1916



320 E. MAIN

316 E. MAIN  
HARDWARE STORE



SUBJECT BUILDING  
310 E. MAIN ST, A.K.A. MILGRAUM CENTER



308 E. MAIN  
BANK ANNEX

300 E. MAIN  
PEOPLE'S BANK

**PRESENT DAY**





SUBJECT BUILDING  
310 E. MAIN ST  
WATER ST FACADE

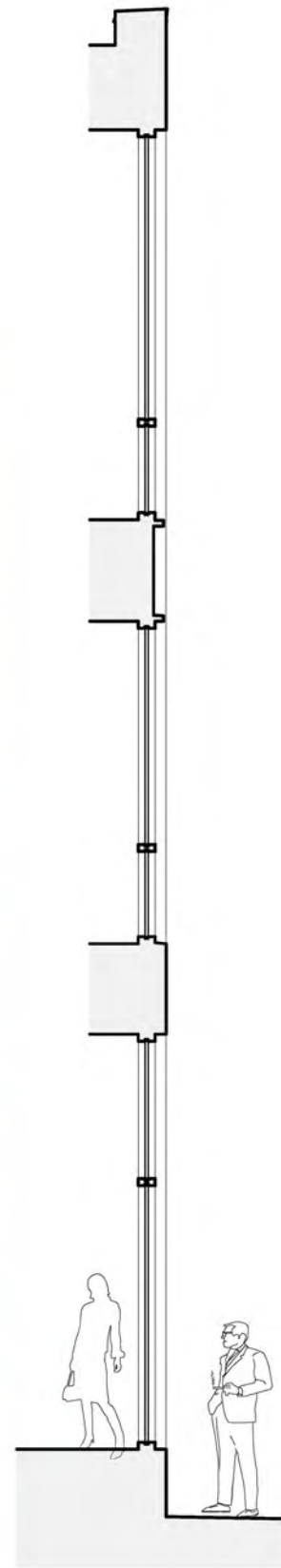
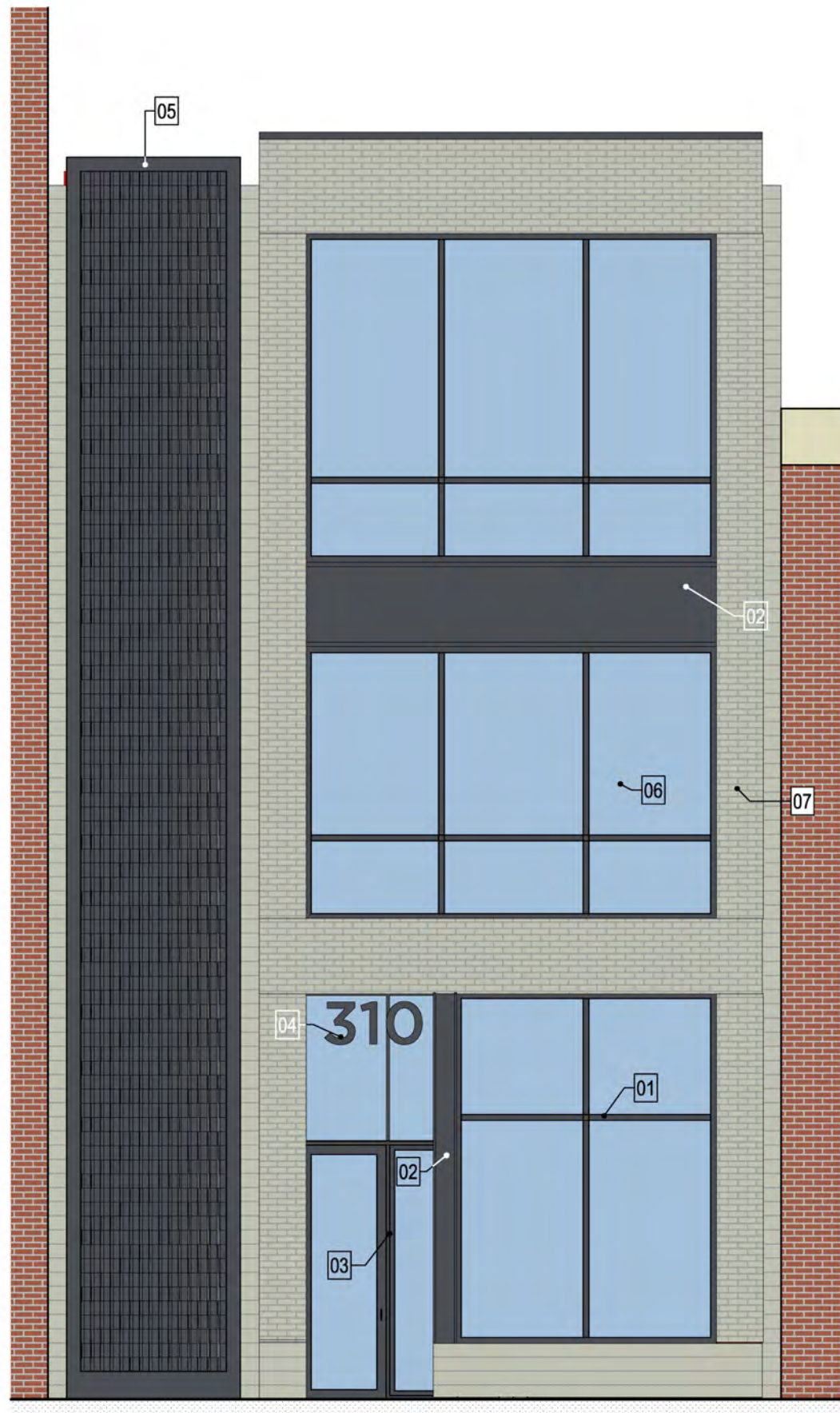
316 E. MAIN  
HARDWARE STORE  
WATER ST FACADE



SUBJECT BUILDING  
310 E. MAIN ST  
WATER ST FACADE

320 E. MAIN  
WATER ST FACADE

316 E. MAIN  
HARDWARE STORE  
WATER ST FACADE



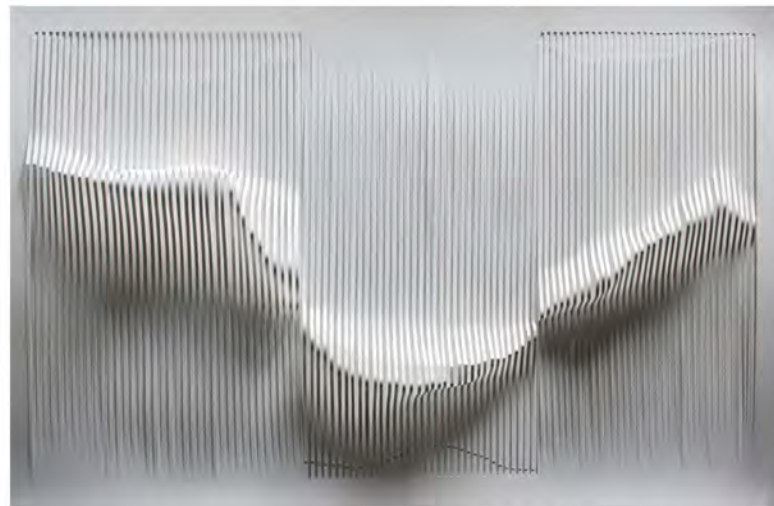
- 01 ALUMINUM STOREFRONT SYSTEM
- 02 BRAKE-METAL CLAD MULLIONS, SPANDRELS, ETC.
- 03 ALUMINUM ENTRY SYSTEM
- 04 1" DEEP DIMENSIONAL LETTERS; LETTER HT: 18"
- 05 BREAK-METAL FRAME & PANELS W/ CNC OVERLAY 'SHADOW' SCREEN IN CONTRASTING MATERIAL
- 06 FIXED GLAZED PANELS
- 07 MODULAR BRICK - GREY



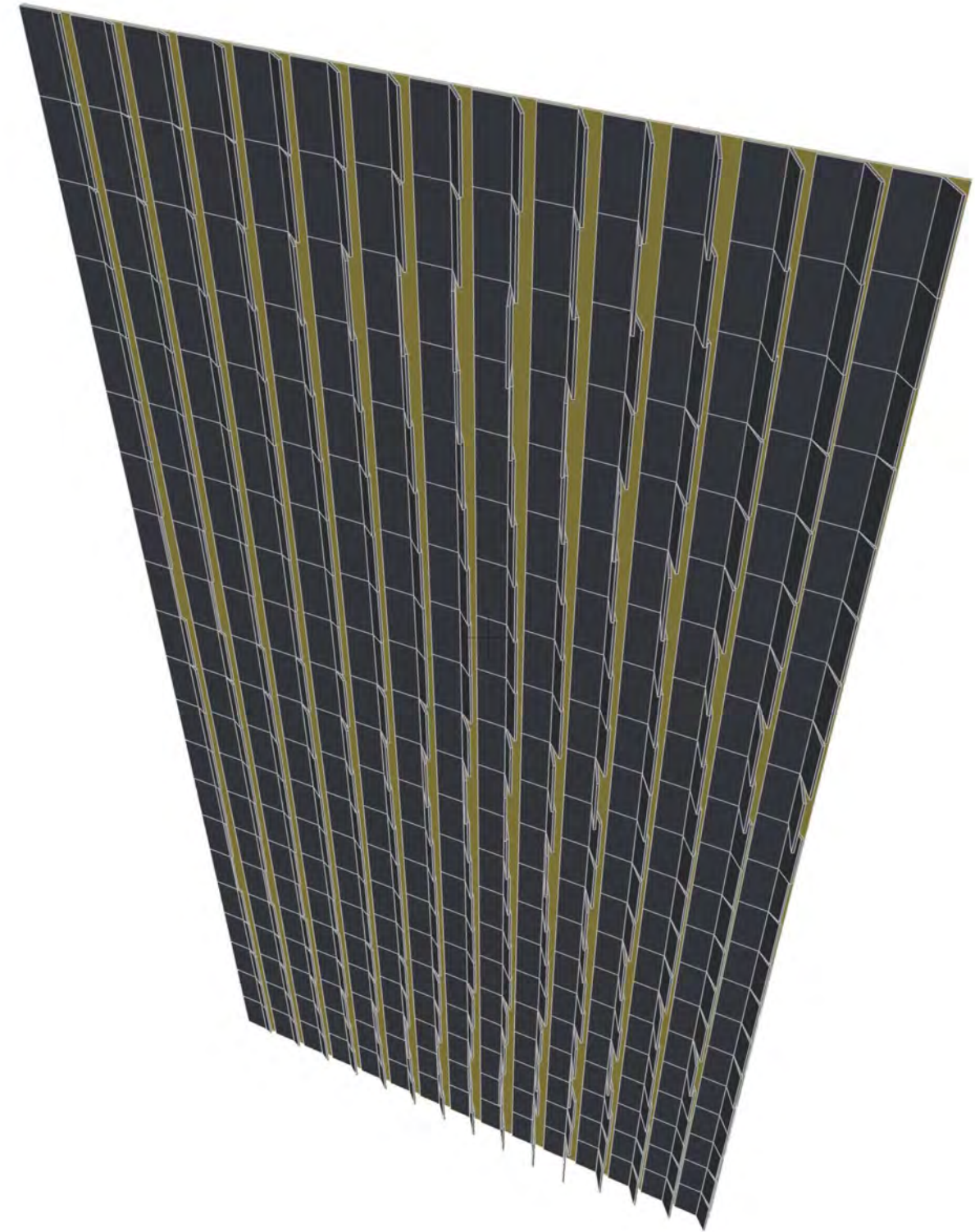


AN OPTICAL EFFECT SIMILAR TO "MOIRÉ", USING REPEATION OF MANY SMALL METAL "TILES", EACH WITH SLIGHT ADJUSTMENT IN GEOMETRY.

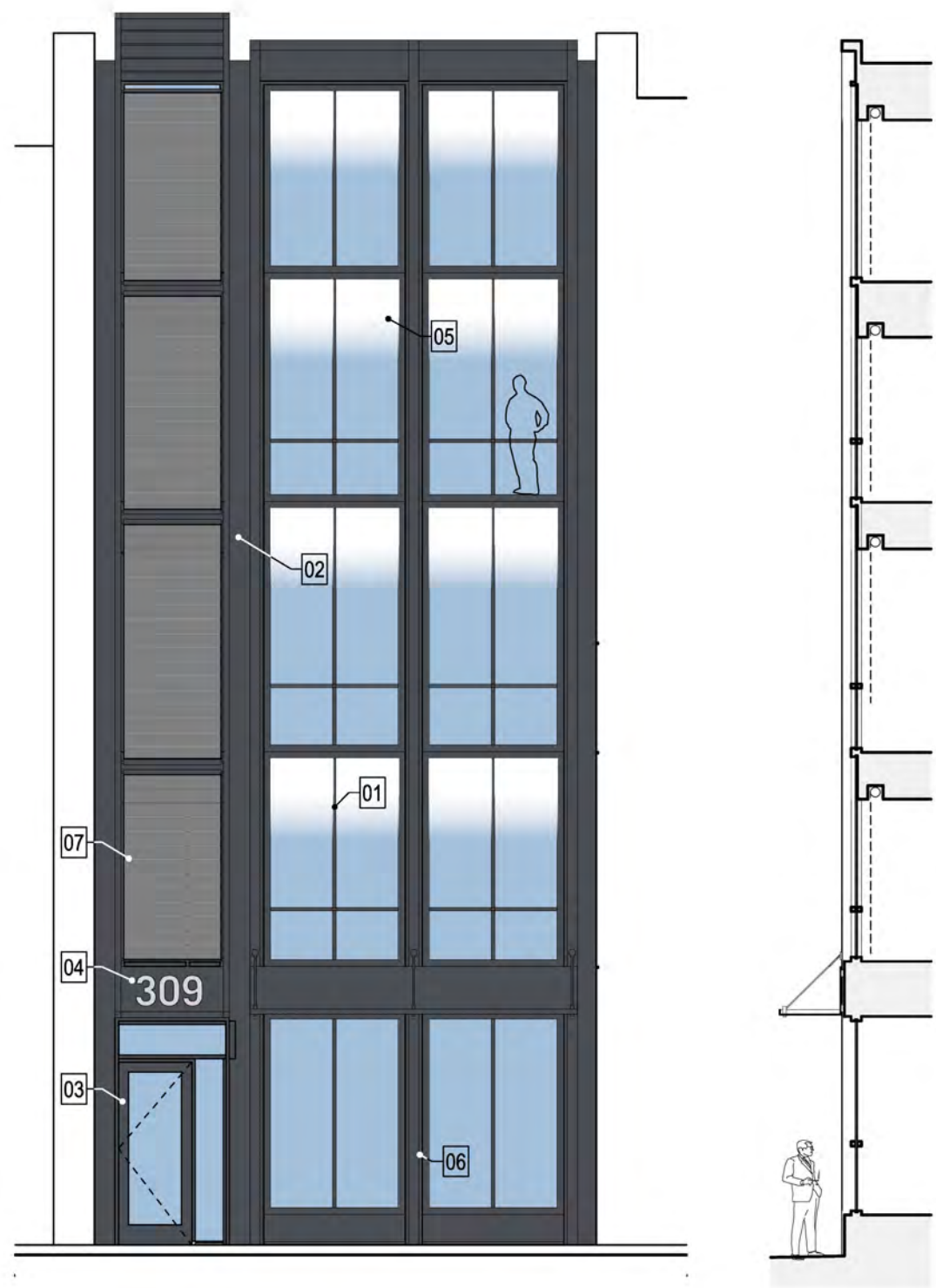
THE FABRICATION PROCESS USES COMPUTATIONAL METHODS TO PRODUCE MANY UNIQUE TILES IN A QUICK AND EFFICIENT MANNER.



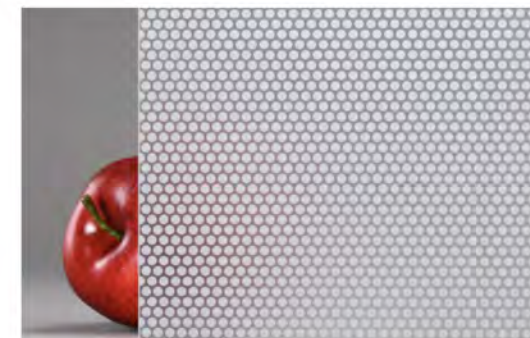
**PRECEDENT IMAGES**

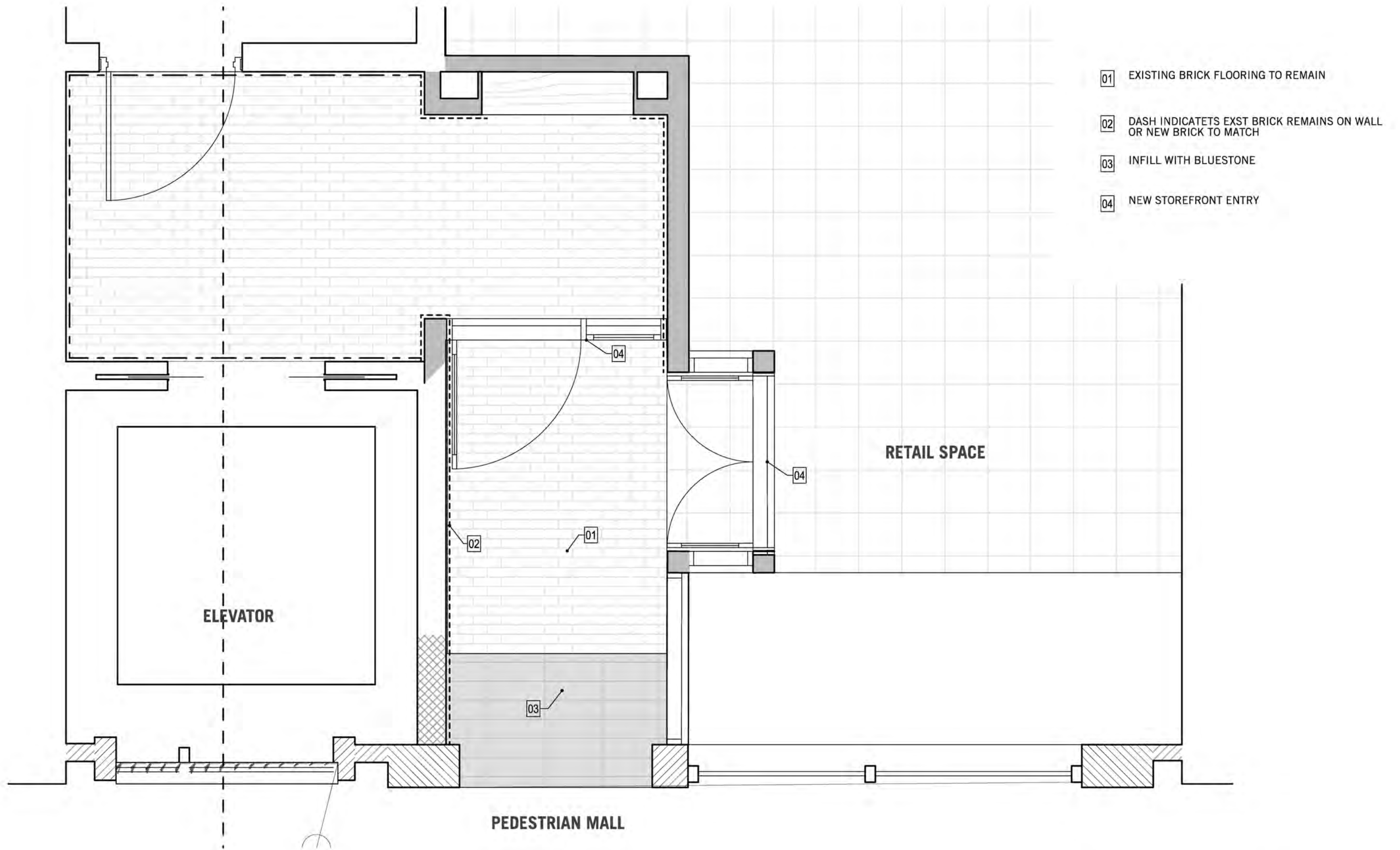


**DIGITAL MOCKUP OF EFFECT**



- 01 ALUMINUM STOREFRONT SYSTEM
- 02 BRAKE-METAL CLAD MULLIONS, SPANDRELS, ETC.
- 03 RECESSED ALUMINUM ENTRY SYSTEM
- 04 1.5" DEEP REVERSE-CHANNEL LETTERS WITH INTEGRAL LIGHTING - COLOR TEMP: 3000K; LETTER HT: 18"
- 05 GRADUATED TRANSPARENT/OPAQUE GLASS INTERLAYER
- 06 FIXED GLAZED PANELS
- 07 STAINLESS STEEL MESH SCREEN
- 08 INTERIOR SUN CONTROL / ROLL-DOWN SHADE





- 01 EXISTING BRICK FLOORING TO REMAIN
- 02 DASH INDICATES EXST BRICK REMAINS ON WALL OR NEW BRICK TO MATCH
- 03 INFILL WITH BLUESTONE
- 04 NEW STOREFRONT ENTRY

ELEVATOR

RETAIL SPACE

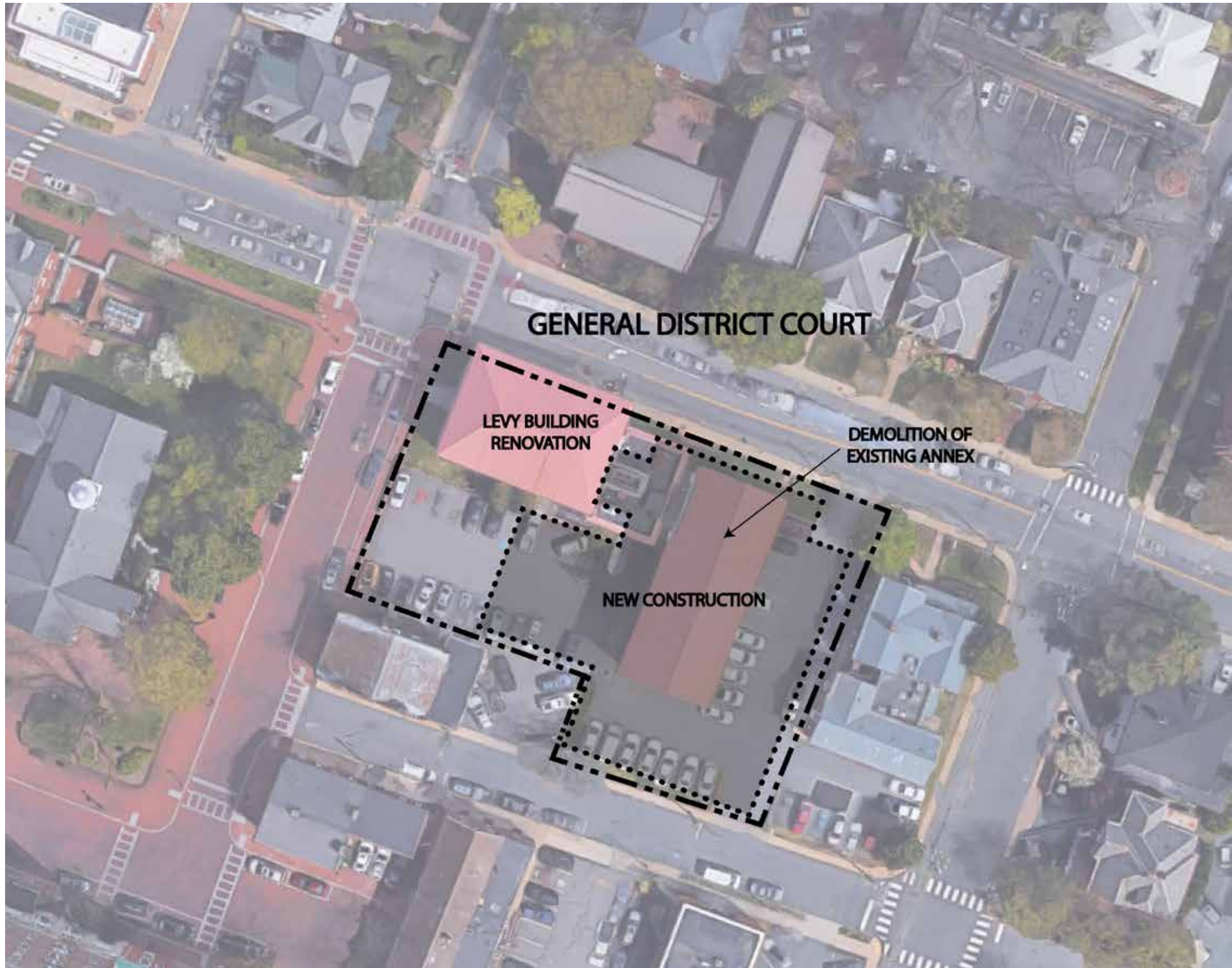
PEDESTRIAN MALL

# Albemarle County & Charlottesville City General District Courts Complex

City of Charlottesville  
Board of Architectural Review

February 15, 2022

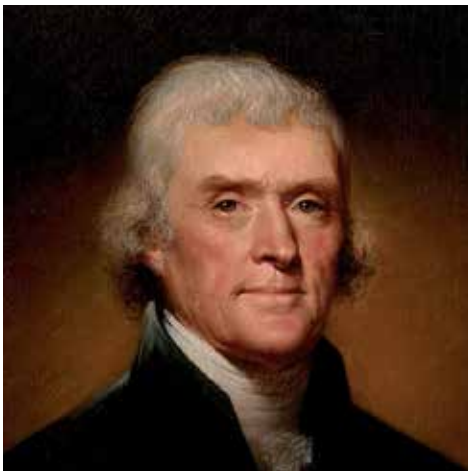


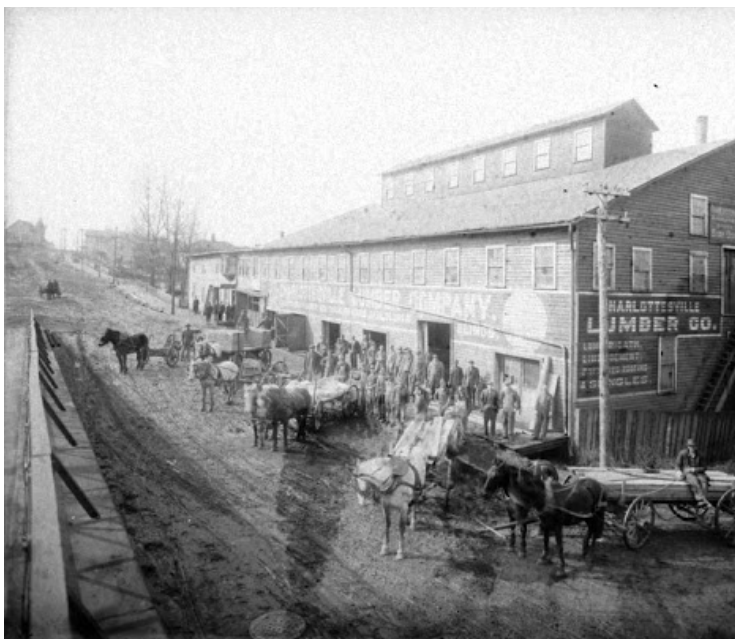
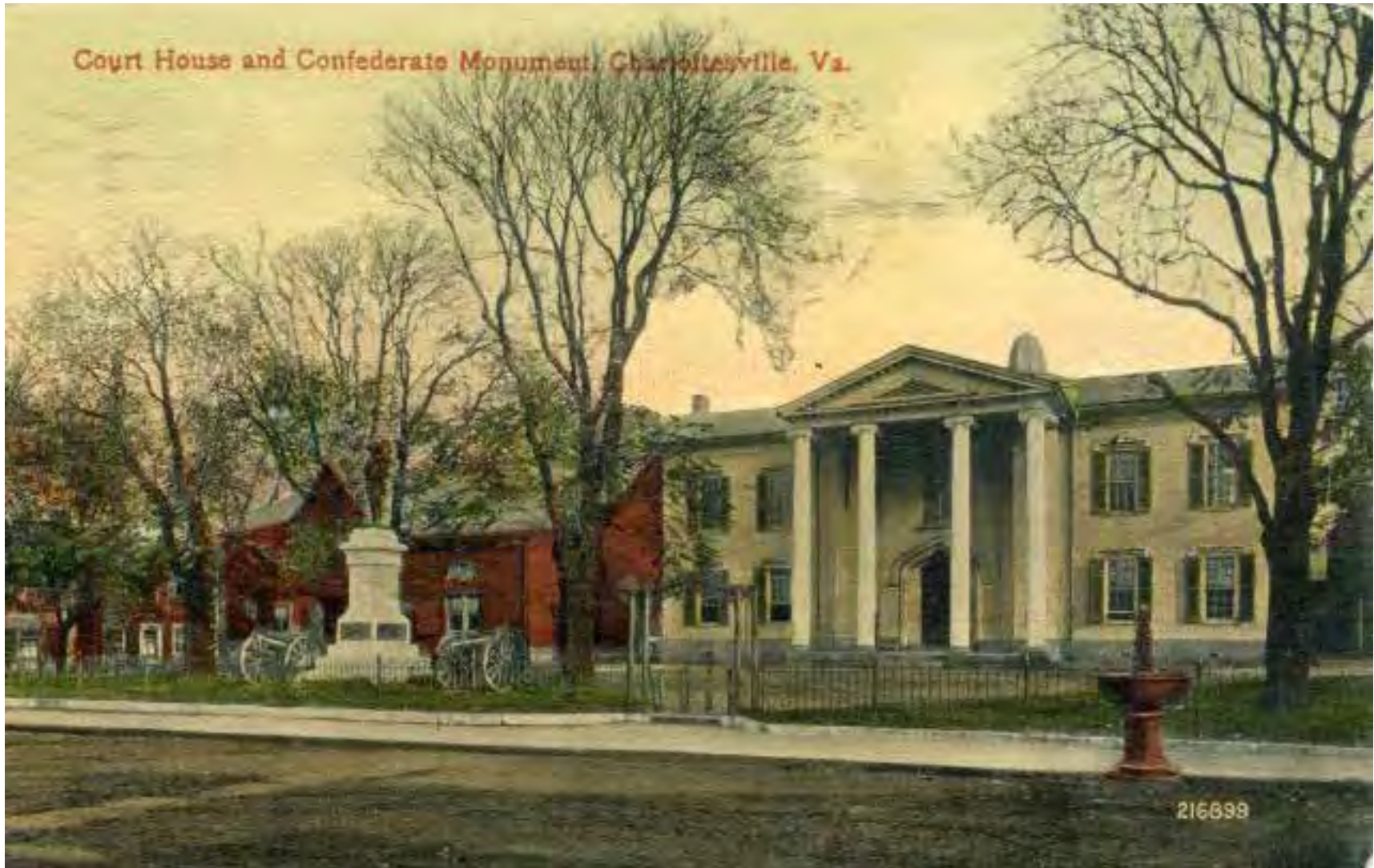


# HISTORY & CONTEXT









FENTRESS ARCHITECTS

HISTORY & CONTEXT

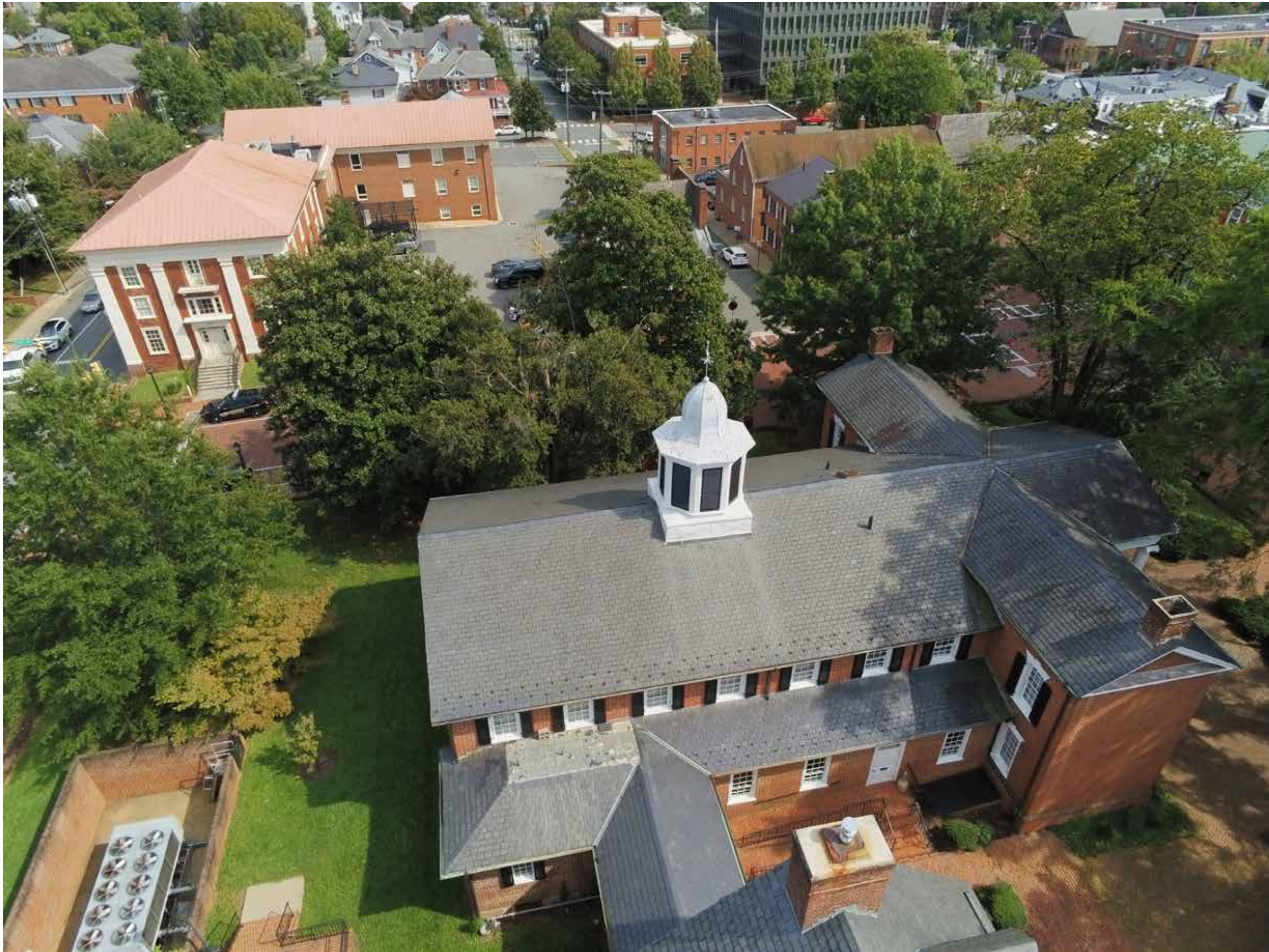
January 25, 2022  
 Albemarle County & Charlottesville City  
 General District Courts Complex  
 Charlottesville, VA



# SITE CONTEXT









**1935 CIRCUIT COURT BUILDING ANNEX**



**1803 HISTORIC CIRCUIT COURT BUILDING**



**1851 LEVY BUILDING**









# SITE ANALYSIS

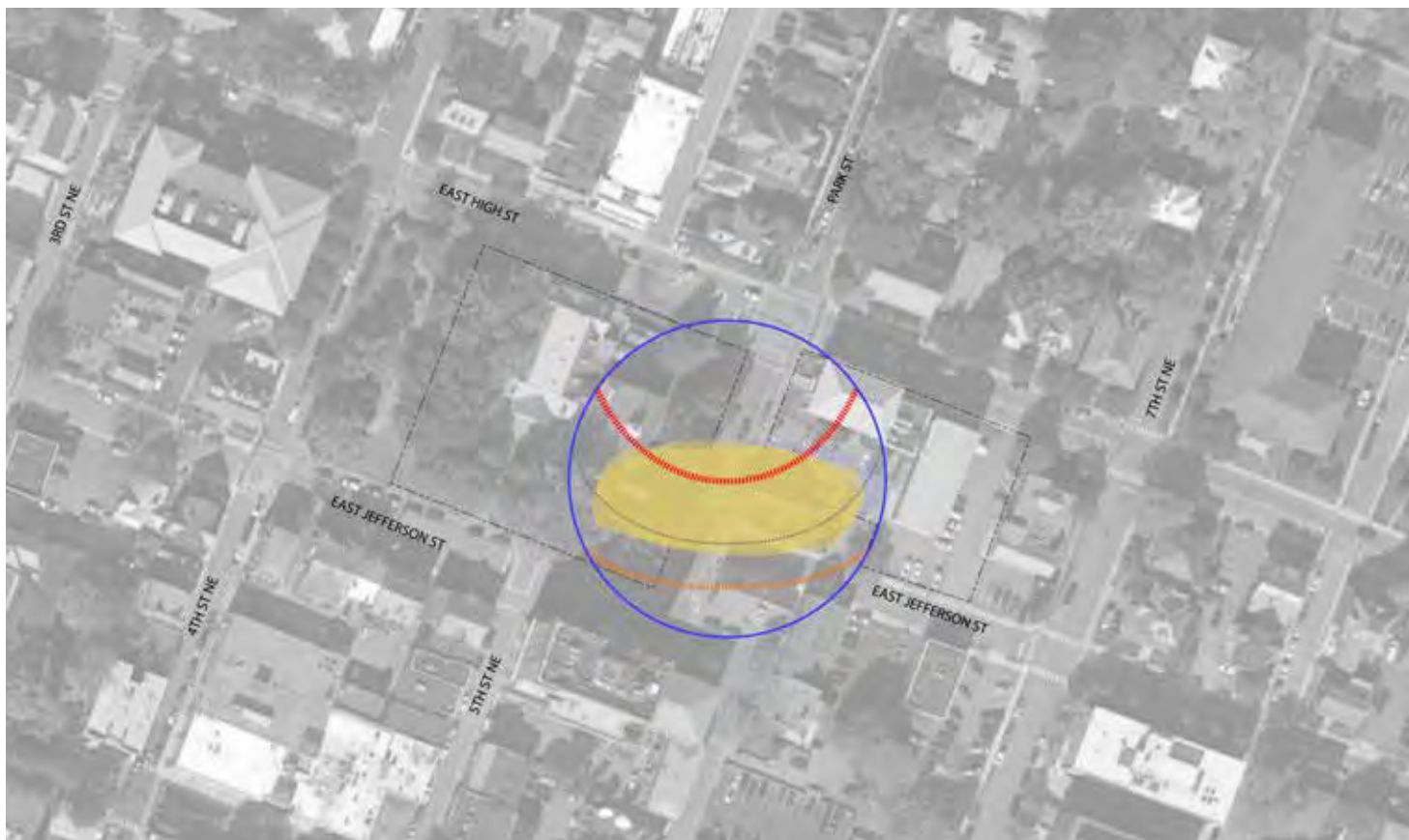




**URBAN EDGE**



**VIEWS TO SITE**



**SOLAR ORIENTATION**



**SITE TOPOGRAPHY**



# EAST SITE - BUILDING DESIGN



## SITE DESIGN AND PORTICO ENTRANCE:

The west portion of the site has undergone several adjustments and enhancements since the initial presentation. To create a more plaza space with better proportions, the building portico entrance was foreshortened/truncated adding seventeen feet to the plaza. This adjustment allowed for an additional row of trees creating two groups of three framing the enlarged elliptical form. The elliptical form, a theme that continues into the lobby and courtrooms, represents harmony and cooperation for the greater good.



To preserve the function of accessible on-street parking and emergency access, the parallel parking lane remains as currently exists along Park Street. Lighting in the plaza is all indirect with integrated bench downlighting, and spillover light from the portico entrance. The seat walls and benches have been to be rectilinear in the space and tucked next to the shade trees, freeing the ellipse to be an unencumbered monumental and ceremonial space.



The portico architecture has continued The original bay portico has been reduced to a three-bay portico, reminiscent of the west site entrances and Levy, creating an A-B-A arrangement with bookended corners. The smaller fenestration on the corners appropriately expresses the functions within. The portico is a modern expression of slender steel columns with a brise soleil roof. A small weatherlock with glazing muntins recalling the surrounding fenestration protects guests from the elements. The cornice lines have been adjusted and The primary architrave is aligned with the pilaster capital of the Levy Building. The cornices are arranged within three groupings: the primary building mass (courtrooms), the entrance massing and chambers (secondary height), and the hyphen connecting Levy (tertiary height). The primary cornice is slightly lower than the Levy and thus deferential to the historic structure. The coloration of the cornice/trim elements is deliberately intended to be similar in color to the brick so as to create a backdrop to the 18th and early to mid-19th century adjacent buildings. Equally, the

portico and window coloration of light blue / gray again is a deferential nod to the historic fabric, intentionally avoiding mimicking the trim detailing of the historic elements and maintaining a civic character and complementary relationship.



The design team and County leadership are in the process of negotiating removal or replacement of trees in question along the property edge at the Jessup House and Redlands Club.

# FACADE DESIGN:

The façade has undergone a thorough of the brick detailing and proportional relationships. The façade is broken into a base, ground story, second story (piano nobile / courts and cornice/ top. Brick corbeling and matching cast stone are integrated into belts and cornices in keeping with the monochromatic palette. Bricks are a custom blend of four types to sensitively respond to the rich range of colors of the west site; bricks are a Norman brick proportion to distinguish new from historic brickwork. Three sample boards under consideration are included as part of this submission. Mortar is matching the brick to reduce the contrasting colors and create a harmonious relationship in the complex of judicial buildings.



The watertable is a very subtle two-to-four inch step in cast stone matching the brick. The two-story order directly corresponds to the Levy Building order and the 1803 portico, giving a clear message of the civic purpose of the building. Equally, the light blue/gray window shapes are a departure from the 6 over 6, or 9 over 9 divided lite double hung windows common to the neighboring buildings. The penthouse is deeply set back from the building and is not in view from several vantage points. The screen wall is ten feet above the roof and clad in gray metal panels to blend with the skyline.

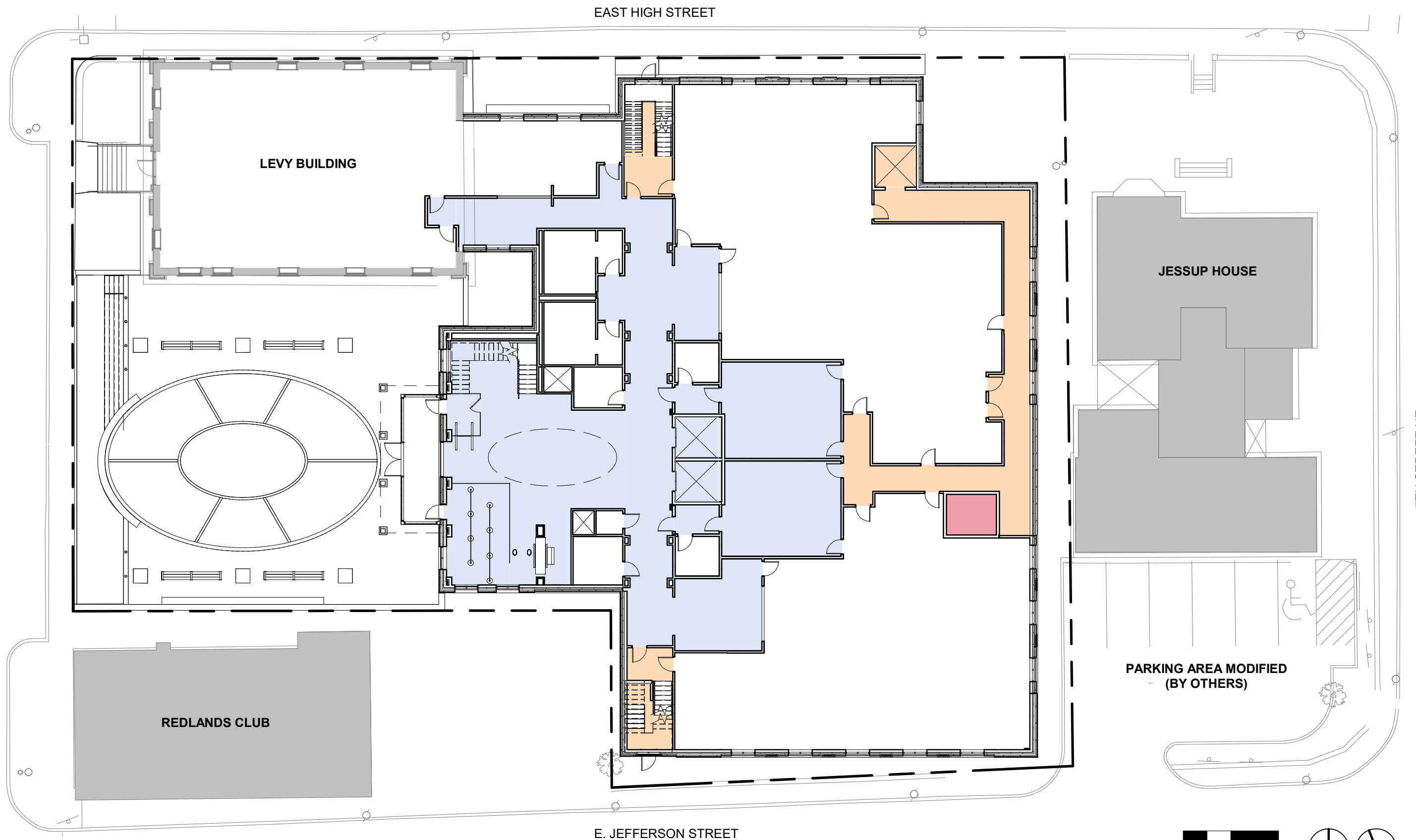
The walls along Redlands property (south and west elevations) have been studied and reworked. The façade was reduced by seventeen feet in the west-east direction and broken into proportions commensurate with the townhouse quality of the neighboring buildings. Subtle recessed panels give scale and reinforce proportions. The east façade has reduced fenestration to create an A-B-A-B-A arrangement expressive of the courtrooms within.



This adjustment brings down the scale fronting the Jessup House. The north elevation is proportional to the Levy Building expressing the chambers within and sets back from Levy. The lowered hyphen restores the full historic cornice of Levy along the east side. Stairs on the north and south are expressed in an adjustment to fenestration heights and further breaks the scale down for the neighboring streets.







EAST HIGH STREET

LEVY BUILDING

JESSUP HOUSE

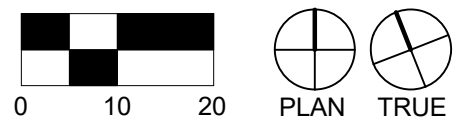
PARK STREET

7TH STREET NE

REDLANDS CLUB

PARKING AREA MODIFIED  
(BY OTHERS)

E. JEFFERSON STREET



**FENTRESS** ARCHITECTS

**FIRST FLOOR**  
EAST SITE

February 15, 2022  
Albemarle County & Charlottesville City  
General District Courts Complex  
Charlottesville, VA

EAST HIGH STREET

LEVY BUILDING

JESSUP HOUSE

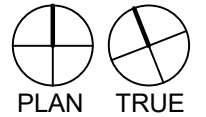
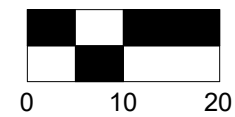
PARK STREET

7TH STREET NE

OPEN TO BELOW

REDLANDS CLUB

E. JEFFERSON STREET



**FENTRESS** | ARCHITECTS

**SECOND FLOOR**  
EAST SITE

February 15, 2022  
Albemarle County & Charlottesville City  
General District Courts Complex  
Charlottesville, VA

EAST HIGH STREET

PARK STREET

7TH STREET NE

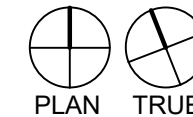
LEVY BUILDING

JESSUP HOUSE

REDLANDS CLUB

MECHANICAL PENTHOUSE  
SCREEN WALL

E. JEFFERSON STREET



**FENTRESS** ARCHITECTS

**ROOF**  
EAST SITE

February 15, 2022  
Albemarle County & Charlottesville City  
General District Courts Complex  
Charlottesville, VA



**THE ROTUNDA - CHARLOTTESVILLE, VA**



**STATE CAPITOL - RICHMOND, VA**



**US COURTHOUSE - HUNTSVILLE, AL**



**DC COURTHOUSE - WASHINGTON, DC**



**US COURTHOUSE - SPRINGFIELD, MA**

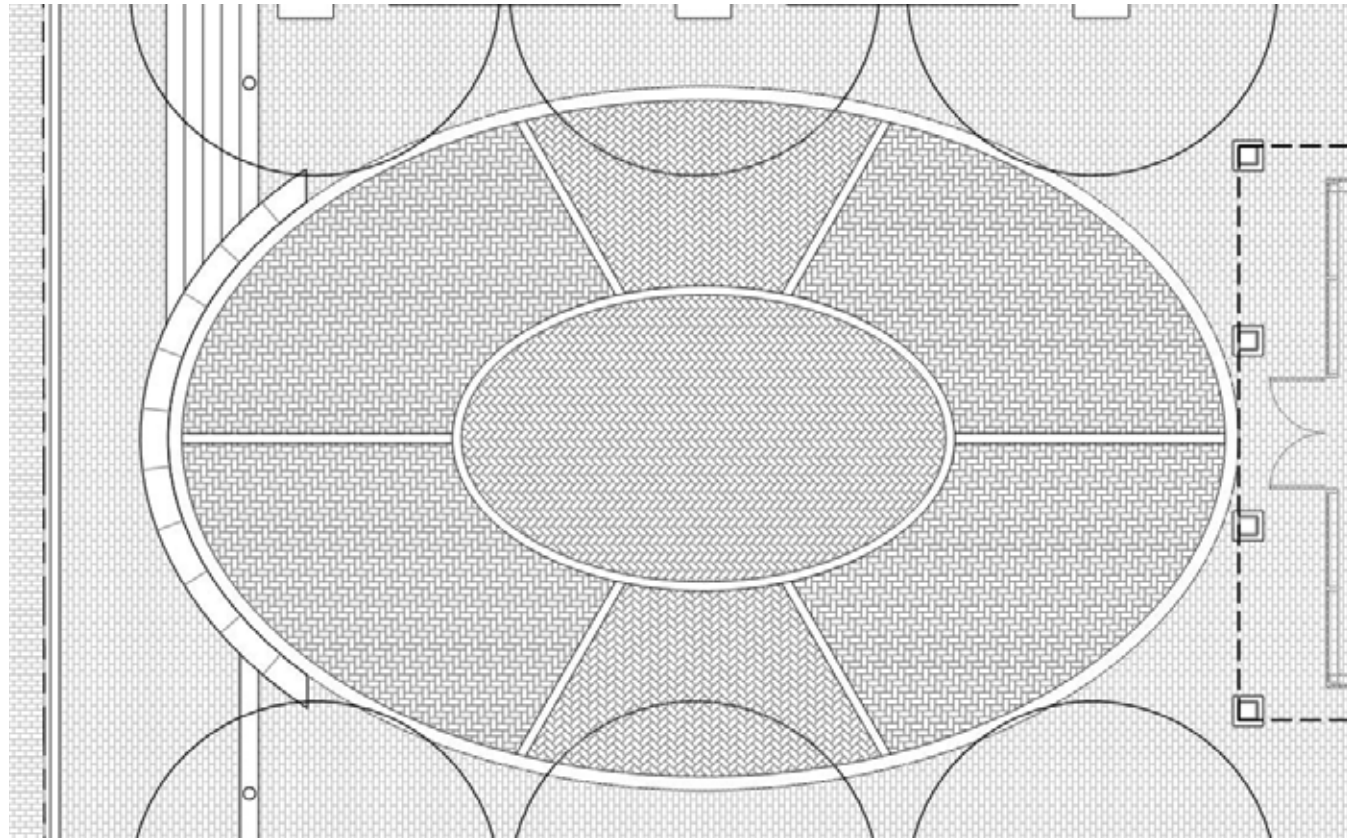


**US COURTHOUSE - BAKERSFIELD, CA**

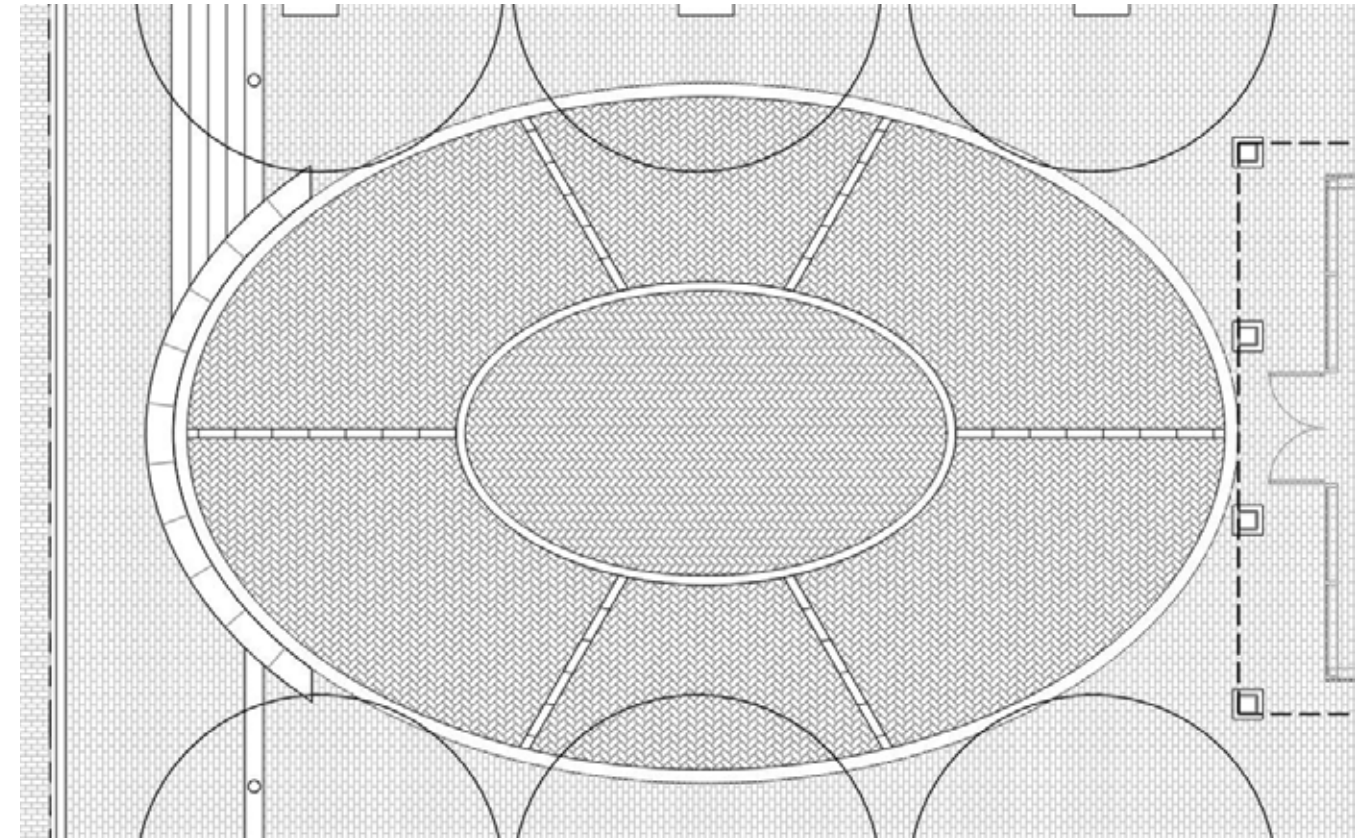




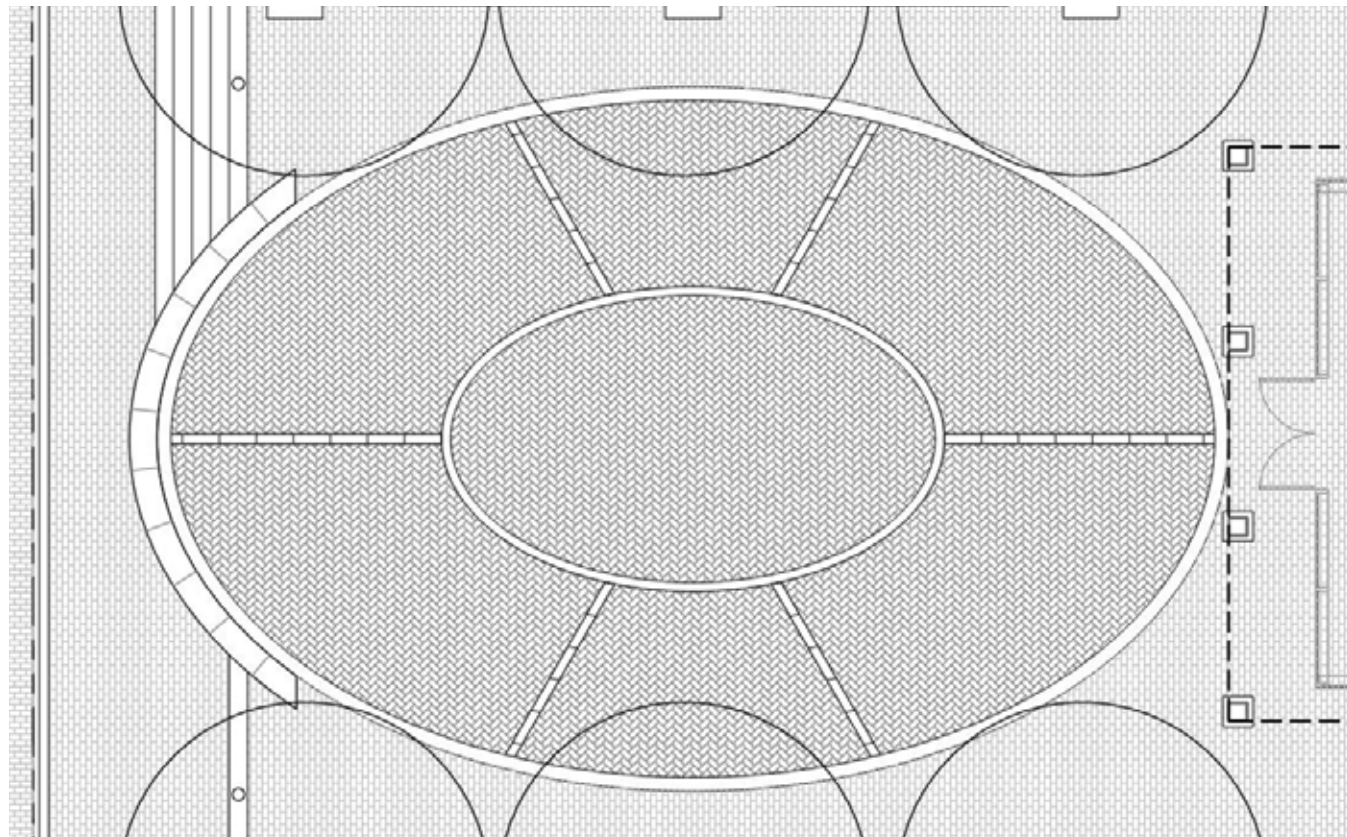




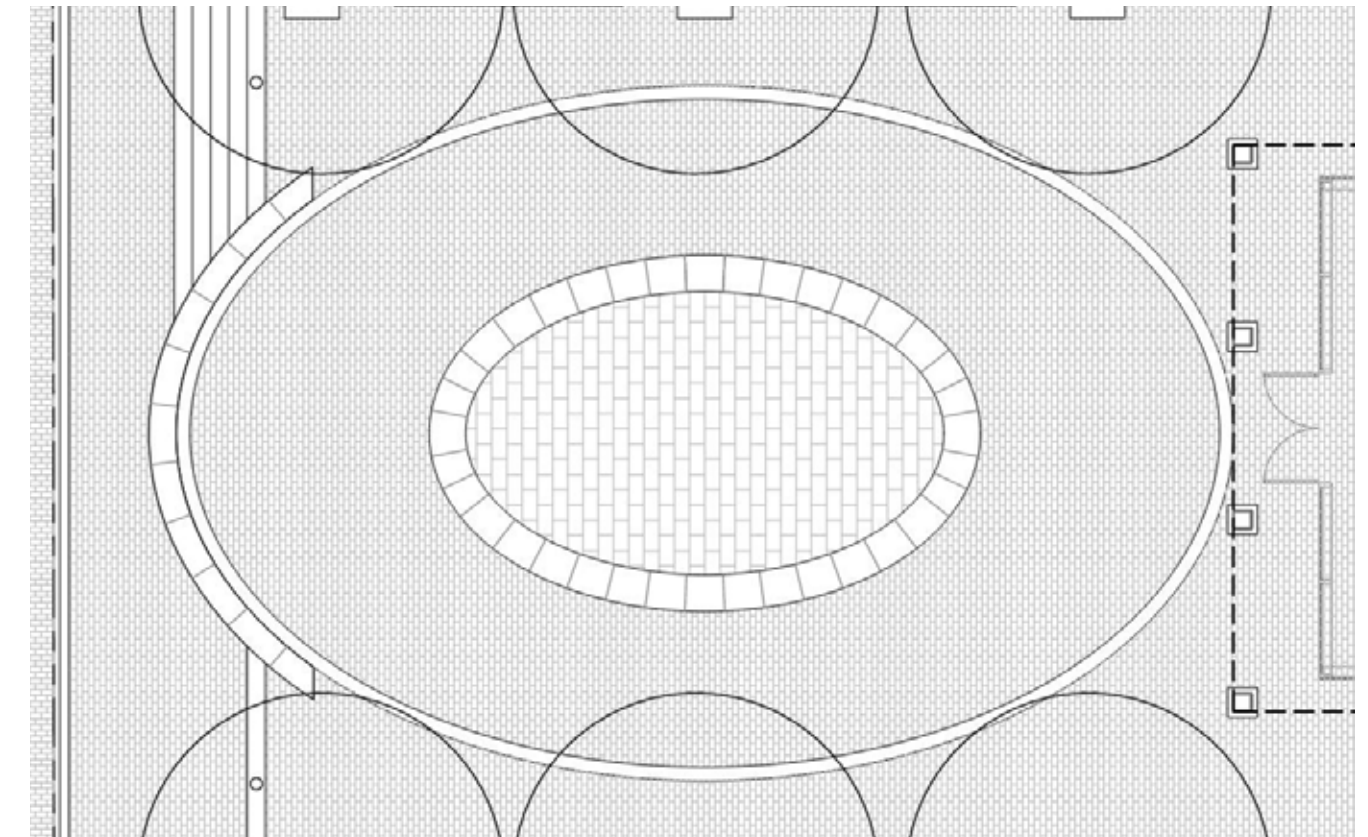
Option A - Rotating Herringbone



Option B - Herringbone Rotated Center



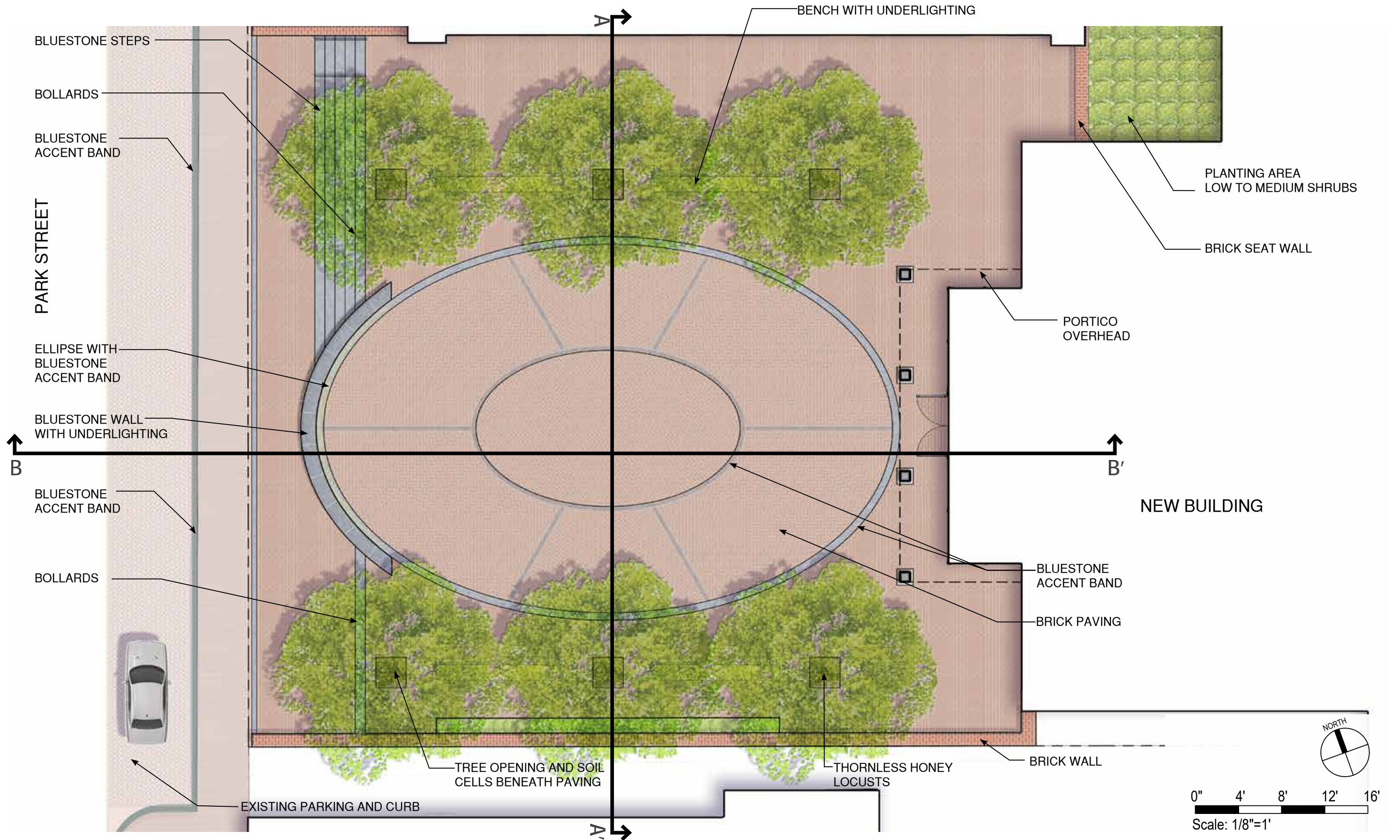
Option C - Herringbone

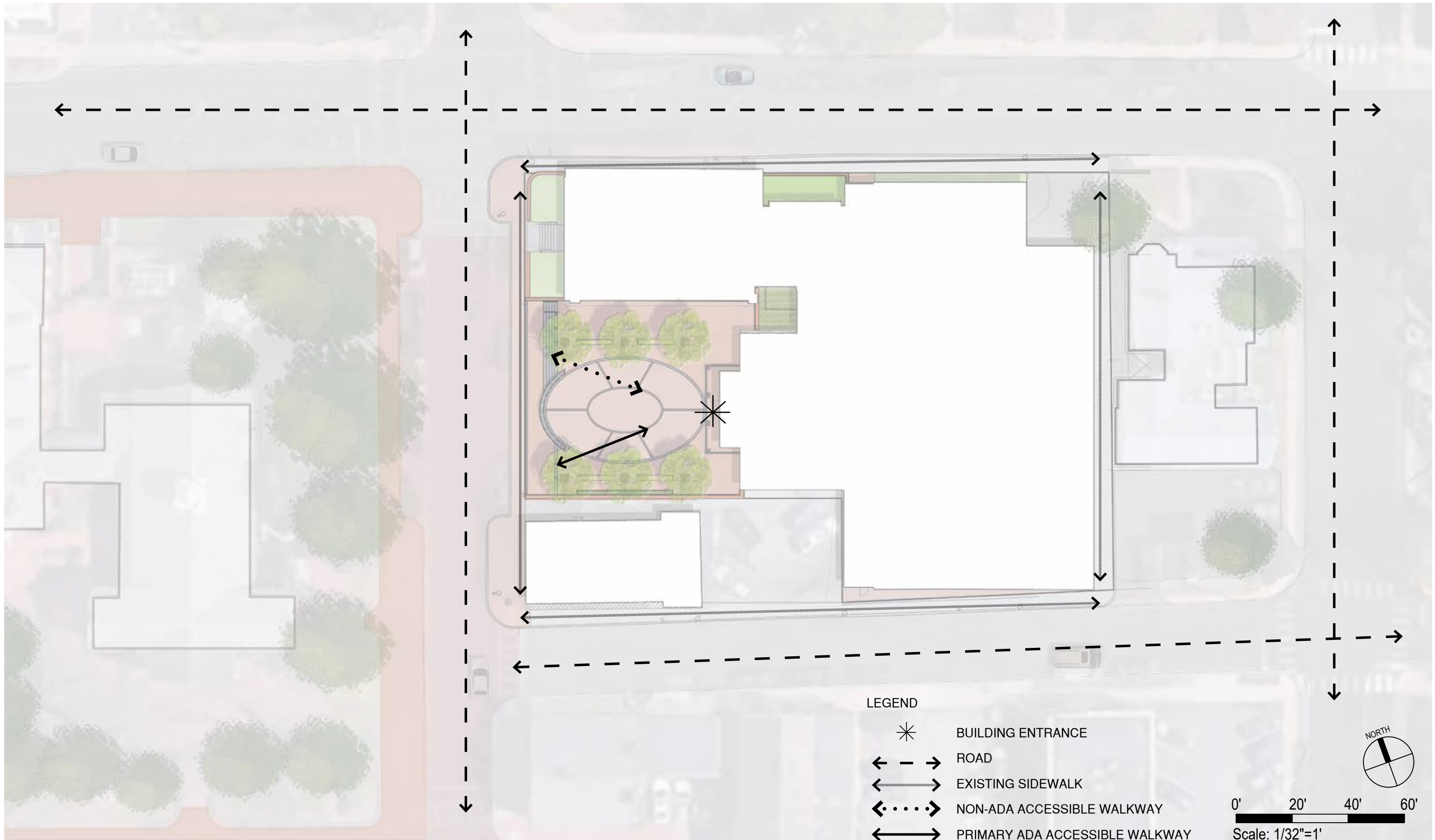


Option D - Bluestone Central Ellipse



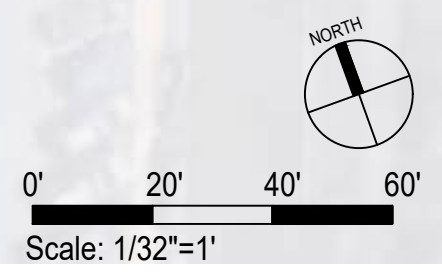


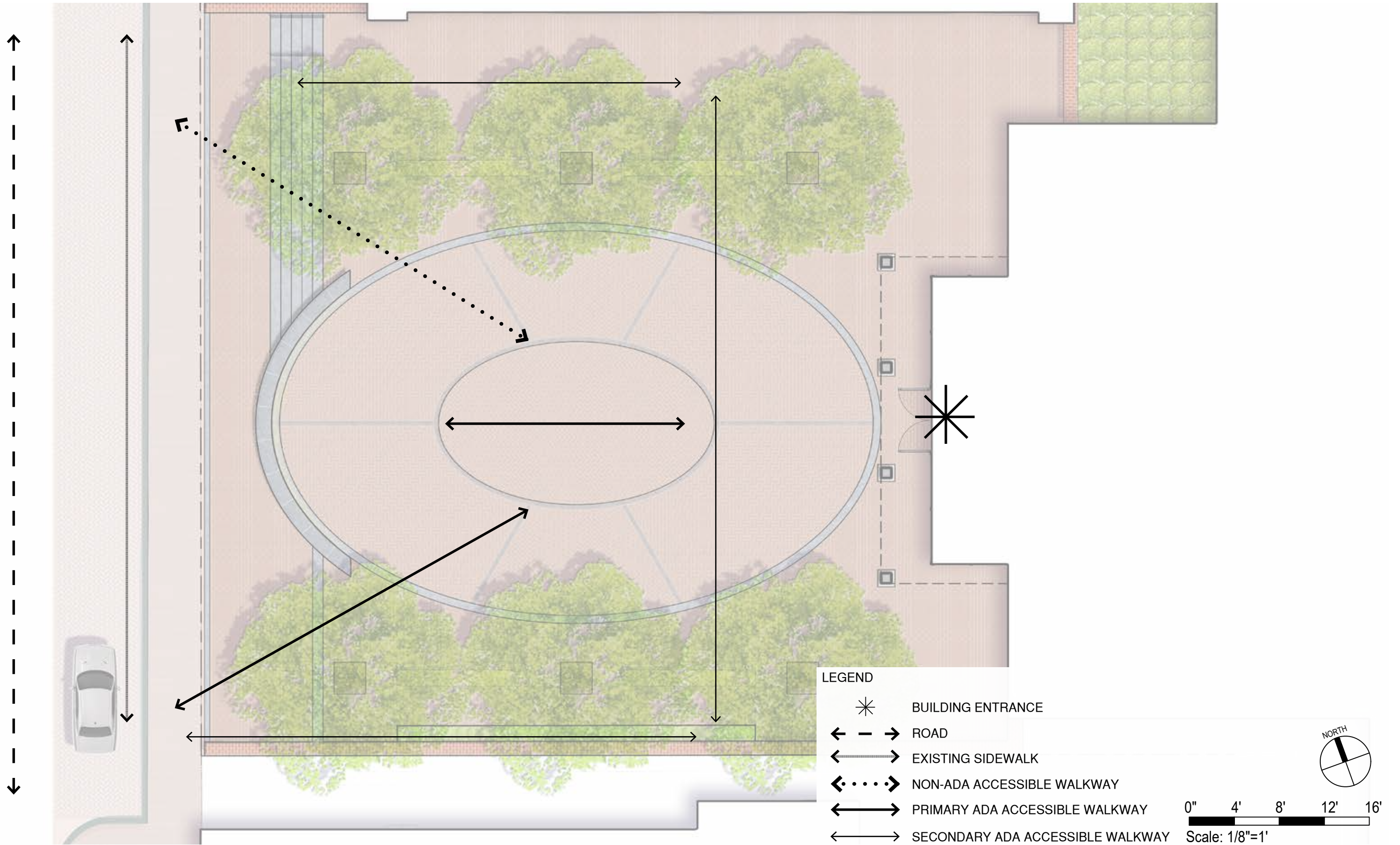










LEGEND

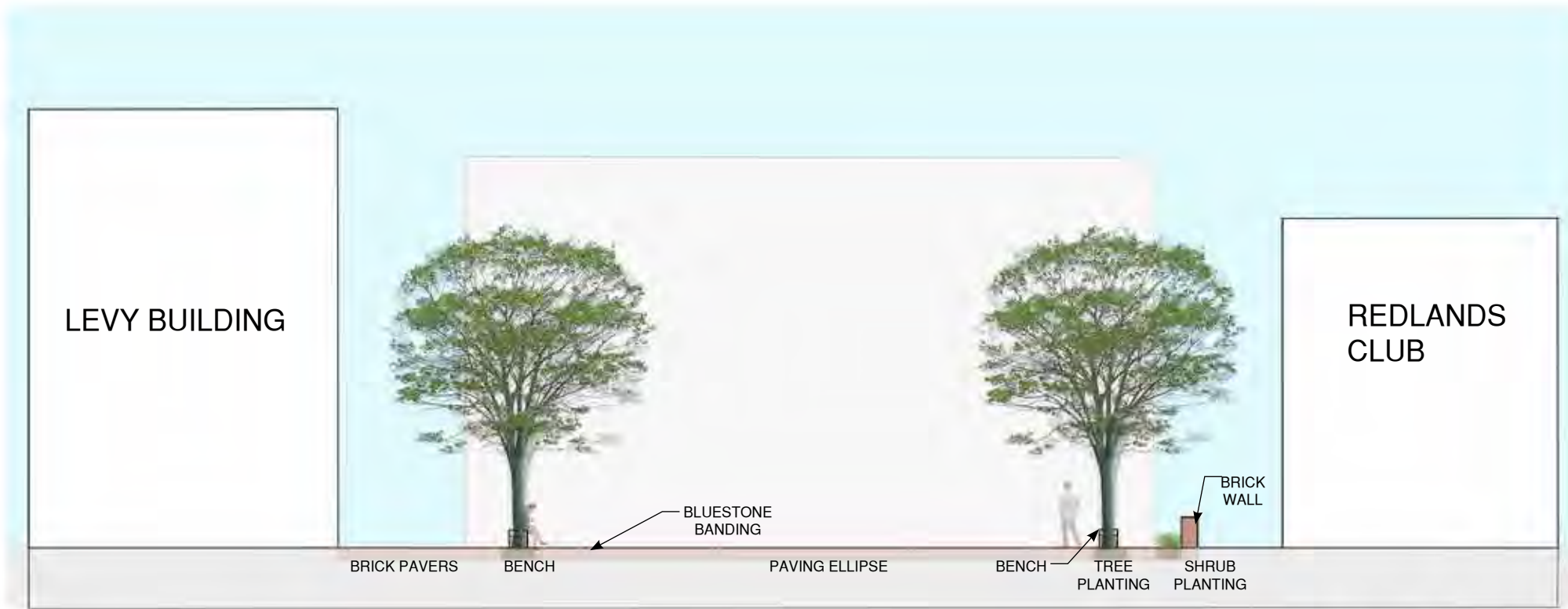
- ✱ BUILDING ENTRANCE
- ← - - - - - → ROAD
- ↔ EXISTING SIDEWALK
- ⋯ NON-ADA ACCESSIBLE WALKWAY
- ↔ PRIMARY ADA ACCESSIBLE WALKWAY





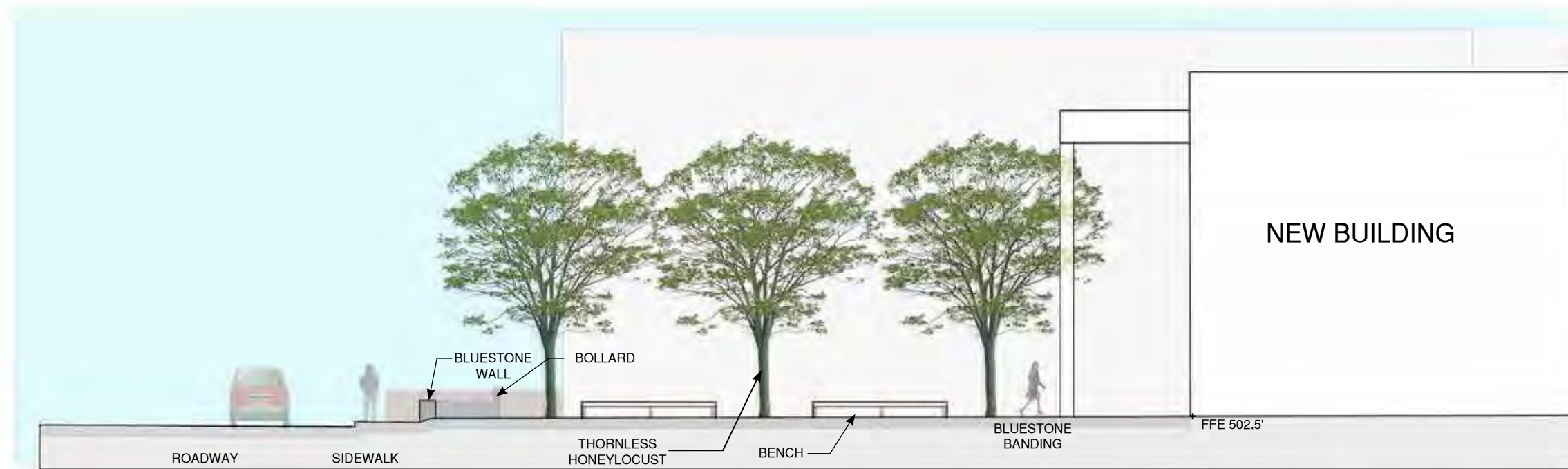
LEGEND

-  BUILDING ENTRANCE
  -  ROAD
  -  EXISTING SIDEWALK
  -  NON-ADA ACCESSIBLE WALKWAY
  -  PRIMARY ADA ACCESSIBLE WALKWAY
  -  SECONDARY ADA ACCESSIBLE WALKWAY
- 0" 4' 8' 12' 16'  
Scale: 1/8"=1'



PLAZA SECTION: NORTH-SOUTH A-A'

0' 5' 10' 15' 20'  
Scale: 3/32"=1'



PLAZA SECTION: WEST-EAST B-B'

0' 5' 10' 15' 20'  
Scale: 3/32"=1'

































**CONTEMPORARY METAL ENTRY**



**BRICK BLEND - OPTION 1**



**CAST STONE**



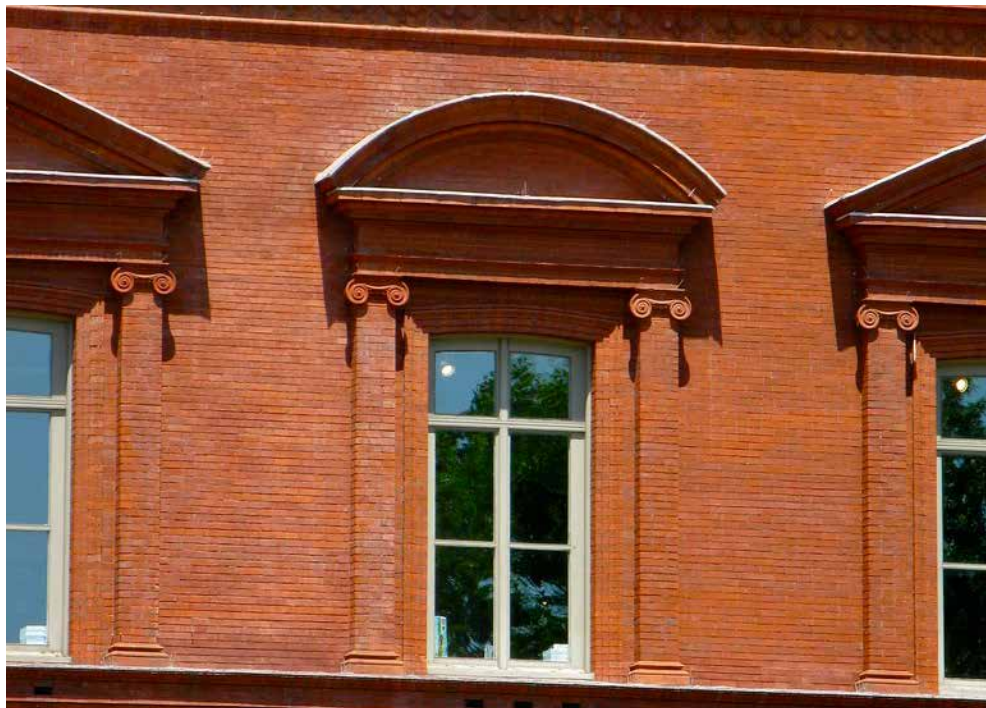
**LIGHT BLUE / GRAY - WINDOW FRAME**



**BRICK BLEND - OPTION 2**



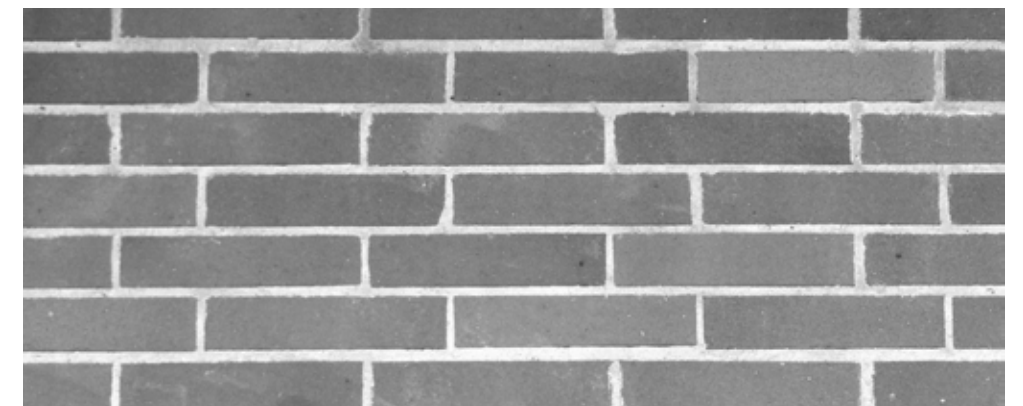
**BRICK SAMPLE BOARD OPTIONS AT LEVY FACADE**



**BRICK WITH MATCHING MORTAR  
AND SANDSTONE TRIM**



**BRICK BLEND - OPTION 3**

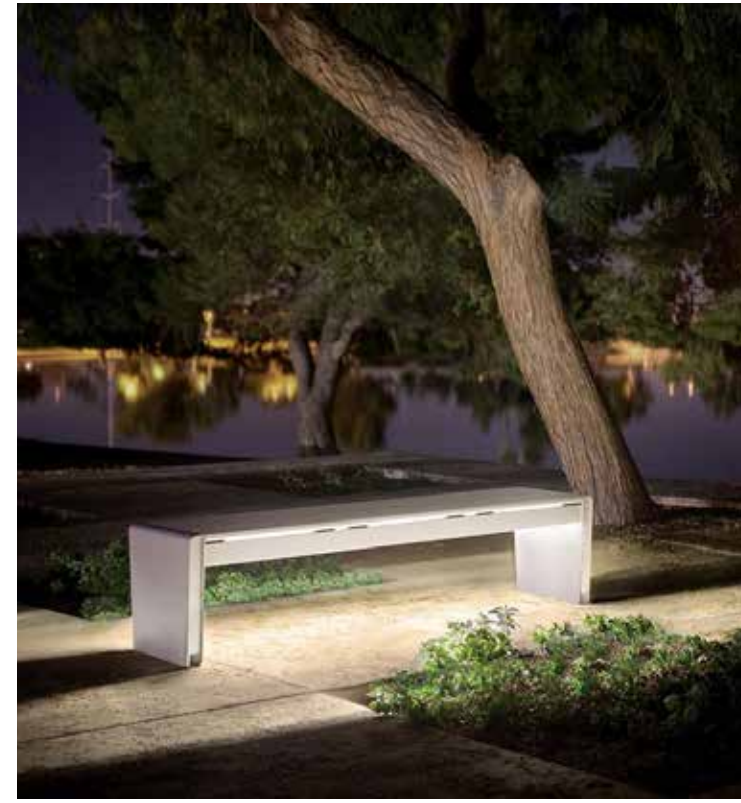


**NORMAN BRICK WITH 1/3 RUNNING BOND PATTERN**

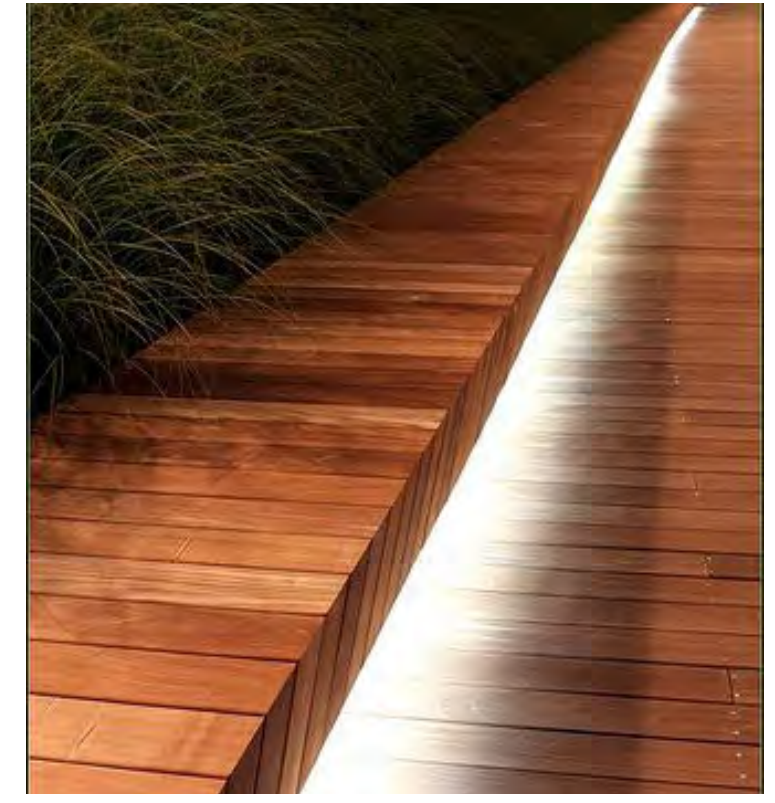




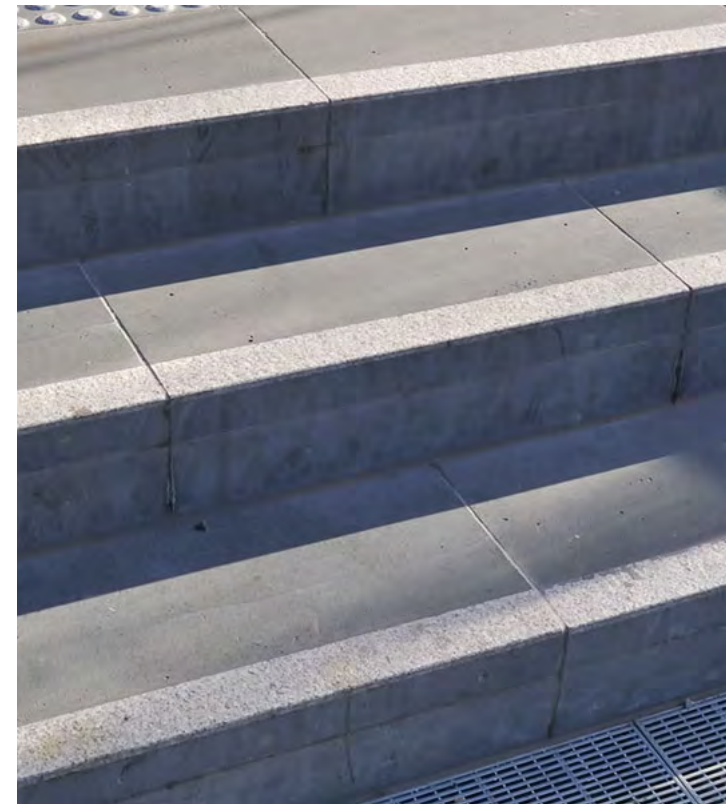
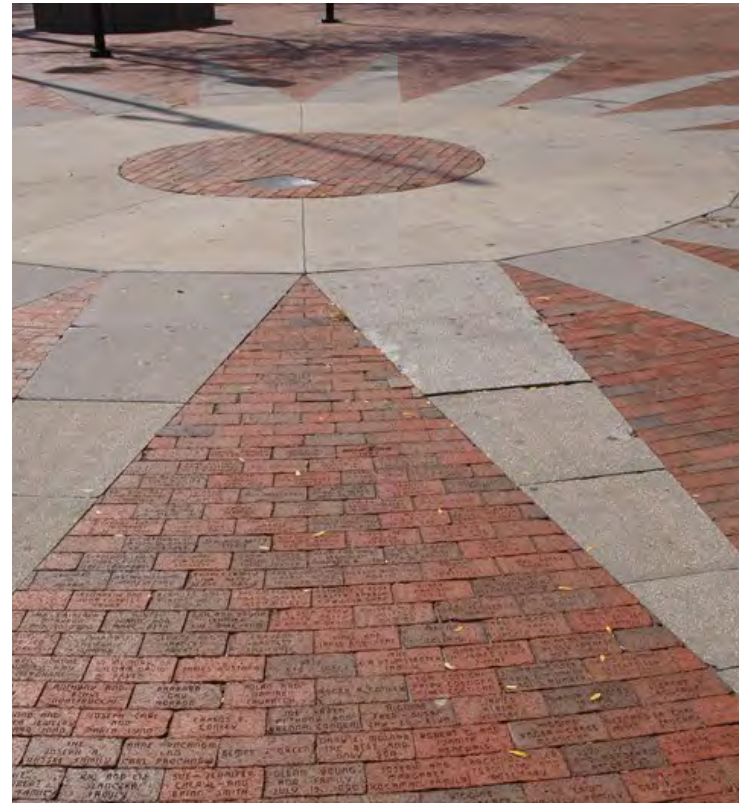
WOOD TOPPED BENCH



UNDERLIT BENCH



BRICK PAVING

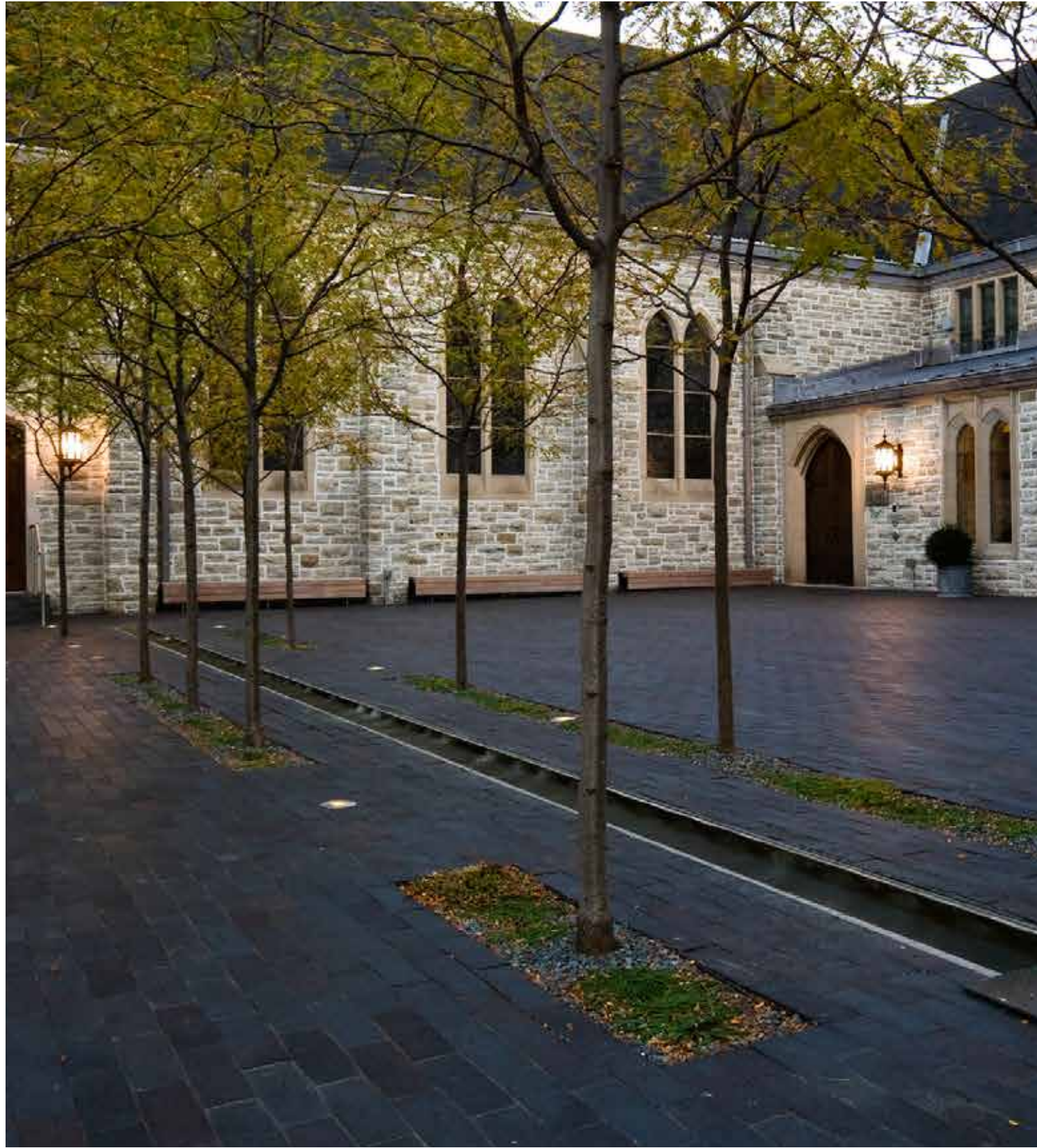


BLUESTONE STAIR



BLUESTONE PAVING AT COLUMN





THORNLESS HONEY LOCUST



CRUSHED GRAVEL TREE PIT



PAVING AT SITE, PARK ST





BRICK WALL - SITE PRECEDENT



BRICK WALL - SITE PRECEDENT



BRICK WALL - SITE PRECEDENT



BRICK WALL



BRICK WALL



BRICK WALL BLUESTONE CAP



BLUESTONE WALL



BLUESTONE WALL





# Board of Architectural Review (BAR) Certificate of Appropriateness

Please Return To: City of Charlottesville  
Department of Neighborhood Development Services  
P.O. Box 911, City Hall  
Charlottesville, Virginia 22902  
Telephone (434) 970-3130

Please submit ten (10) hard copies and one (1) digital copy of application form and all attachments.  
Please include application fee as follows: New construction project \$375; Demolition of a contributing structure \$375;  
Appeal of BAR decision \$125; Additions and other projects requiring BAR approval \$125; Administrative approval \$100.  
Make checks payable to the City of Charlottesville.  
The BAR meets the third Tuesday of the month.  
Deadline for submittals is Tuesday 3 weeks prior to next BAR meeting by 3:30 p.m.

Owner Name Patrick and Jessica Fenn Applicant Name Ashley Falwell  
Project Name/Description Fenn Renovation, Addition, and Poolhouse Parcel Number 520183000  
Project Property Address 540 Park Street Charlottesville, VA 22902

### Applicant Information

Address: 206 5th Street NE  
Charlottesville, VA 22902  
Email: ashley@dgparchitects.com  
Phone: (W) 434.977.4480 (C) \_\_\_\_\_

### Property Owner Information (if not applicant)

Address: 540 Park Street  
Charlottesville, VA 22902  
Email: patrick@montevistafarm.com  
Phone: (W) \_\_\_\_\_ (C) \_\_\_\_\_

Do you intend to apply for Federal or State Tax Credits  
for this project? No

### Signature of Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct.

Ashley Falwell 1/24/22  
Signature Date

Ashley L Falwell 1/24/22  
Print Name Date

### Property Owner Permission (if not applicant)

I have read this application and hereby give my consent to its submission.

Patrick Fenn 1/24/2022  
Signature Date

PATRICK FENN 1/24/2022  
Print Name Date

### Description of Proposed Work (attach separate narrative if necessary):

East Elevation Addition, Demolition of Existing Poolhouse, New Poolhouse, and New Landscape Plan

### List All Attachments (see reverse side for submittal requirements):

Floor Plan, Landscape Plan, Exterior Elevations

Images of Subject Property and Adjacent Properties

### **For Office Use Only**

Received by: \_\_\_\_\_

Fee paid: \_\_\_\_\_ Cash/Ck. # \_\_\_\_\_

Date Received: \_\_\_\_\_

Approved/Disapproved by: \_\_\_\_\_

Date: \_\_\_\_\_

Conditions of approval: \_\_\_\_\_

Revised 2016

Robert L Paxton AIA  
Eric W Amtmann AIA  
Roger L Birle AIA

R David Craig  
Director Interior Design

Mark T Bittle AIA  
Joseph J Chambers AIA  
Ashley LeFew Falwell AIA  
John Peterson AIA  
Garett M Rouzer AIA  
Blake M Walker AIA

## 540 PARK STREET - BAR NARRATIVE SUMMARY

### JANUARY 25, 2022

#### **ARCHITECTURAL SUMMARY:**

The architectural plan proposes to demolish the existing poolhouse structure, construct a new lower profile poolhouse, and revise the East addition within the existing footprint. The goals of the project are to achieve a new coordinated aesthetic for the rear pool courtyard, add square footage, and improve the functionality of the existing square footage for the current owner.

#### **BACK OF HOUSE:**

The architectural language of the altered East addition and new poolhouse will be modern, rendered in colors and high-quality materials that are compatible with the main house, but not intended to imitate the house stylistically. The stucco exterior walls will have a smooth finish, clad metal windows and doors will be dark in color, and the roofs, gutters and downspouts will be copper. The new stone chimney at the poolhouse will reference the character of the existing stone site wall along Farish.

#### **LANDSCAPE SUMMARY:**

The landscape plan proposes renovations to the existing paving and plantings in the front of the house and along Farish Street as well as new paving and plantings in the back in association with the proposed architecture.

Three tree removals are proposed - a declining walnut along Park Street and two ash trees beside the shed on Farish Street. The walnut has several dead limbs over the street and has recently lost a large limb over the front yard. The ash trees are growing into the foundation of the shed posing an imminent risk to the structure.

The property is surrounded by numerous large canopy trees which will be preserved including several mature ash trees which are being treated for emerald ash borer. The plans propose to add two new canopy trees to the front.

A small oak in the front is awkwardly located in relation to the yard and will be transplanted or removed and replanted in a more perimeter location near the street.

#### **FRONT OF HOUSE:**

The existing crushed stone paths will be realigned and replaced with bluestone stepping stones in lawn. A bluestone landing at the bottom of the porch steps will be added. The existing north path will be removed and replaced with lawn.

The hemlocks and arborvitae along Park Street will be replaced with a 4' - 5' height boxwood hedge back planted with native deciduous shrubs creating a more inviting sidewalk edge and opening up views to the house.

A 4' ht. wood gate may be added at the sidewalk entry. The gate design would be understated, with simple square wood pickets.

Existing shrubs on the north and south side of the lawn will be augmented with native flowering shrubs.

An 18" stone seatwall is proposed for the uphill side of the lawn and will enable the lawn to be regraded to a more gentle pitch.

Low path lighting will be added to the front walk at steps and turns.

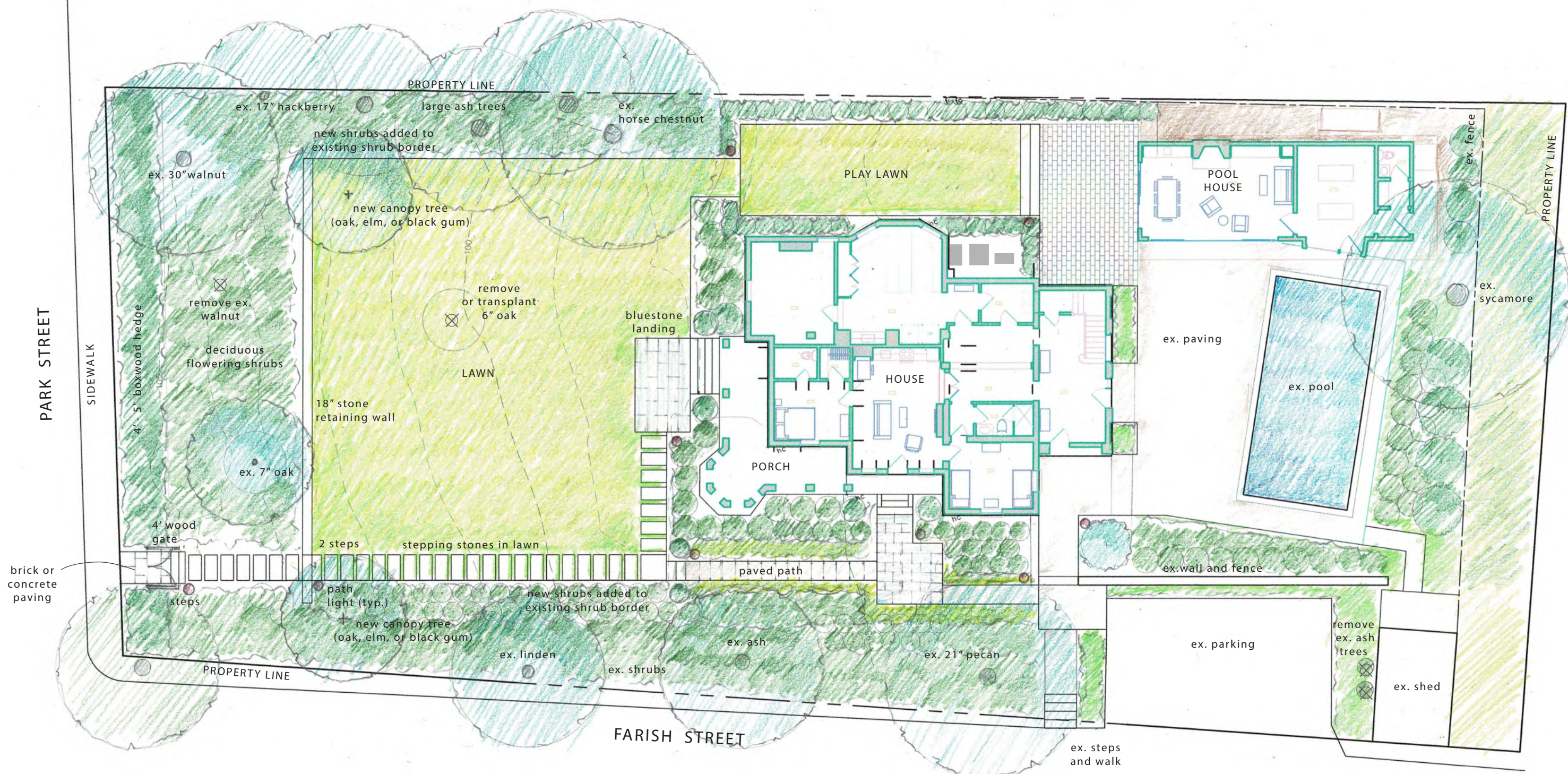
**SIDE OF HOUSE :**

Pathways and hardscapes will be upgraded and paved in bluestone or brick. Path lighting will be added along the walk from the parking to the front door.

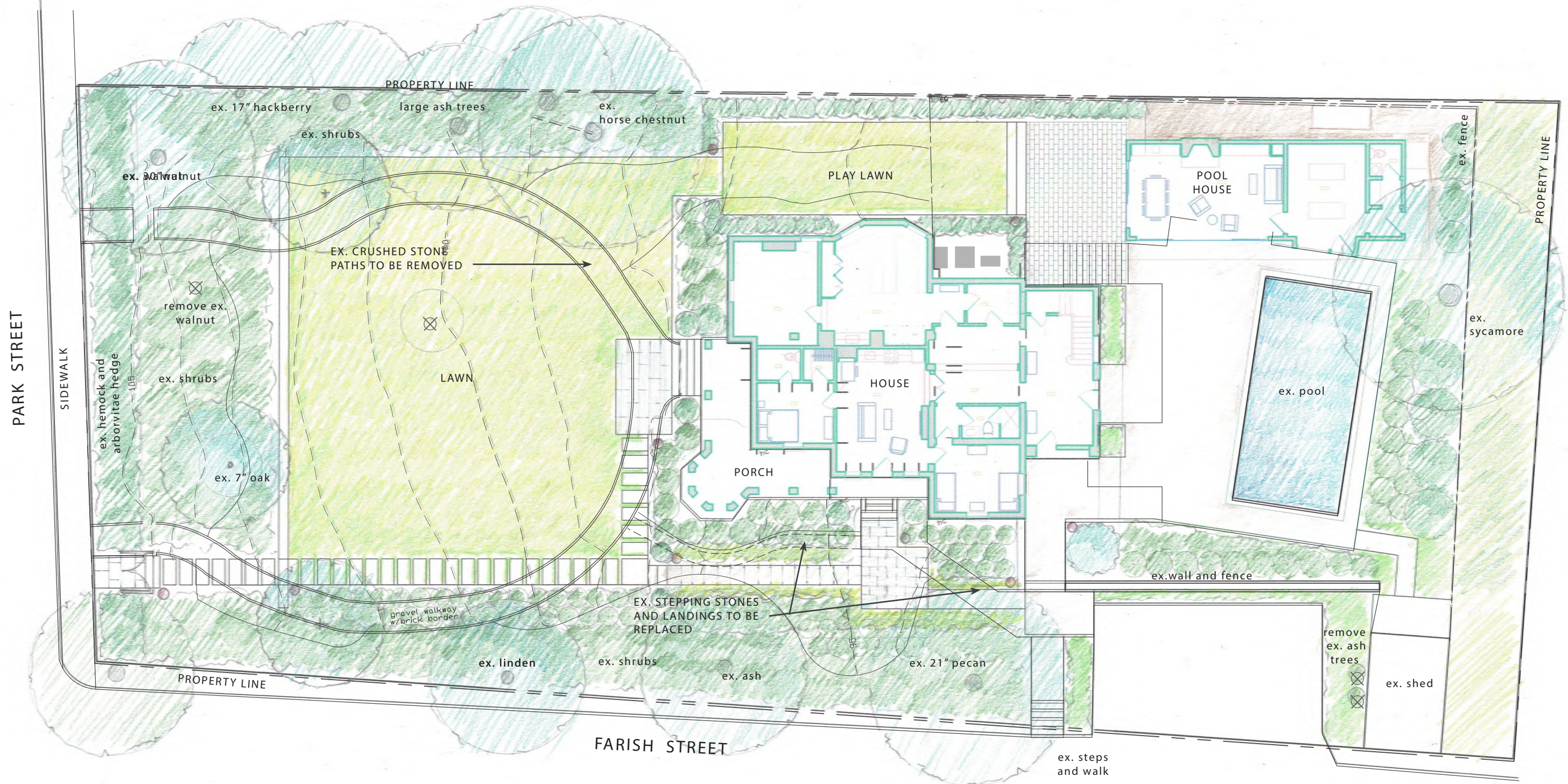
**BACK OF HOUSE:**

Paving along the back and east side of the house will respond to the architectural changes to the house and the pool house addition. The paving will match or complement the existing paving.





Site Plan  
 540 Park Street Landscape  
 January 25, 2022



Site Plan - Existing Conditions Overlay  
 540 Park Street Landscape  
 January 25, 2022



Crushed stone path to be removed and replaced with lawn



Paths and landings to be realigned and upgraded



South entrance to be realigned and paved



Crushed stone landing to be replaced with bluestone



North entrance to be removed



Existing hemlock hedge along 540 Park Street



Properties north of 540 Park street



View to Park Street from house



Planting across Park Street

Existing Street Plantings  
540 Park Street Landscape  
January 25, 2022



Ash trees beside shed



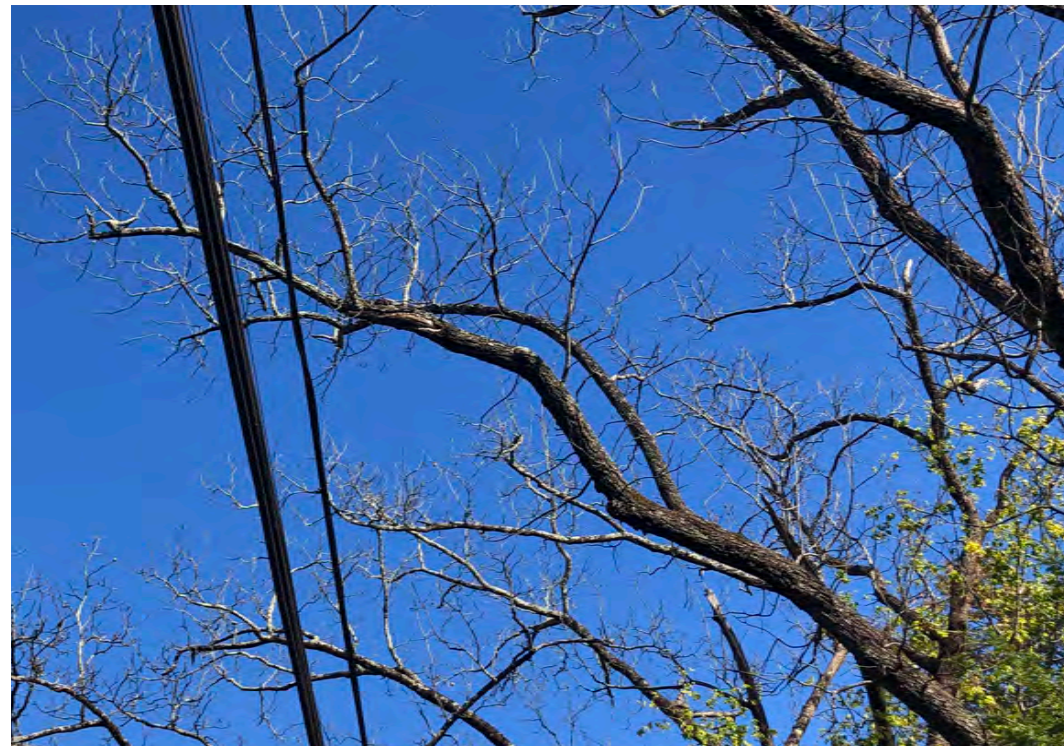
Base of ash trees growing into shed



6 - 7" caliper oak to be transplanted or replaced in alternate location



27" Walnut along Park Street in decline



Dead limbs above power line

**Tree Removals**  
540 Park Street Landscape  
January 25, 2022



PLAN NORTH

PROPOSED DEMOLITION

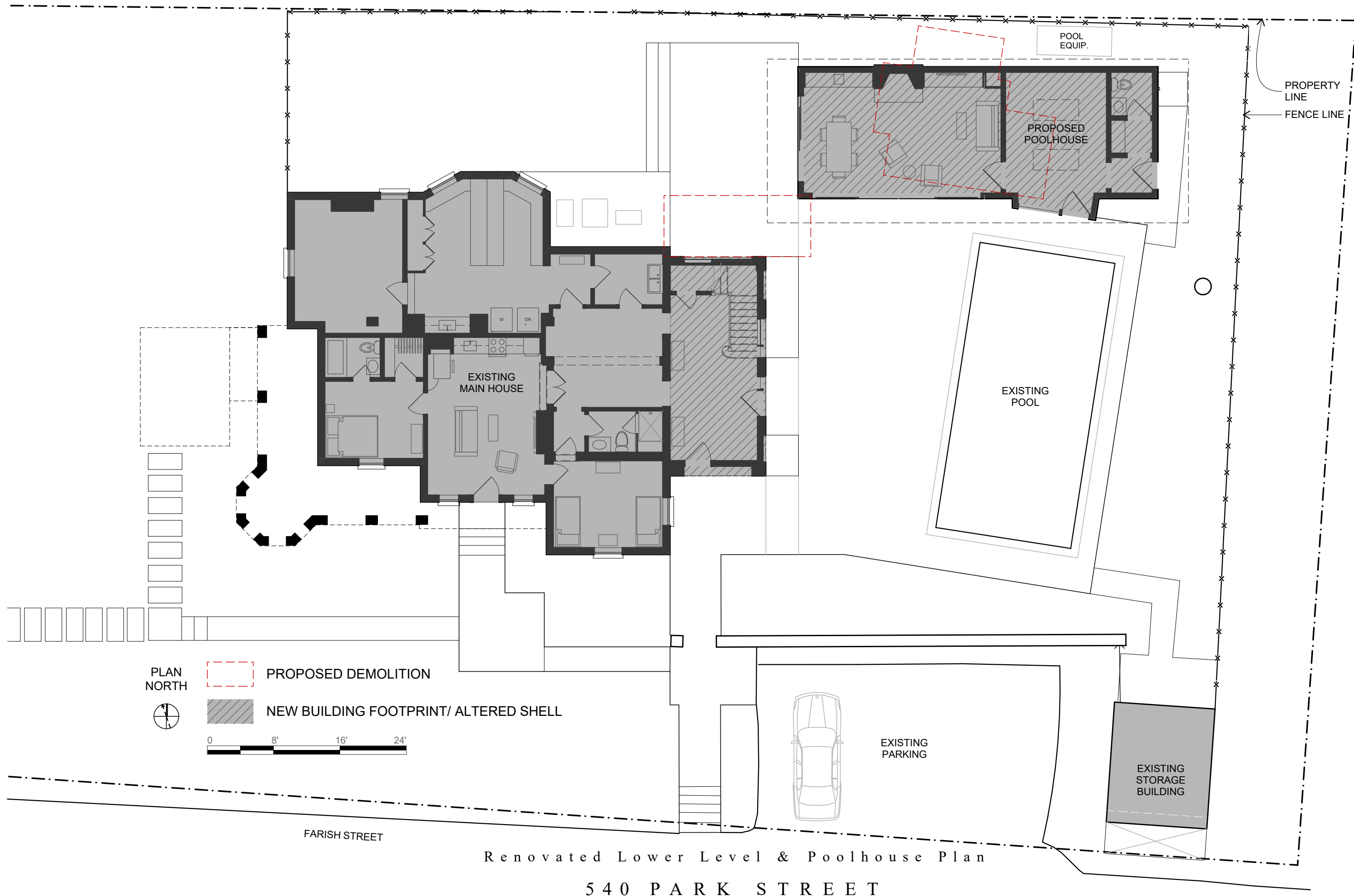
BUILDING FOOTPRINT

0 8' 16' 24'

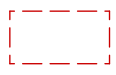
Existing Plan

540 PARK STREET

DALGLIESH GILPIN PAXTON ARCHITECTS



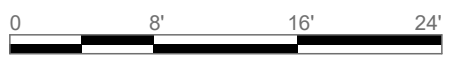
PLAN NORTH



PROPOSED DEMOLITION



NEW BUILDING FOOTPRINT/ ALTERED SHELL



FARISH STREET

Renovated Lower Level & Poolhouse Plan

540 PARK STREET

DALGLIESH GILPIN PAXTON ARCHITECTS



SOUTH



EAST

Existing Elevations - South & East

540 PARK STREET

DALGLIESH GILPIN PAXTON ARCHITECTS





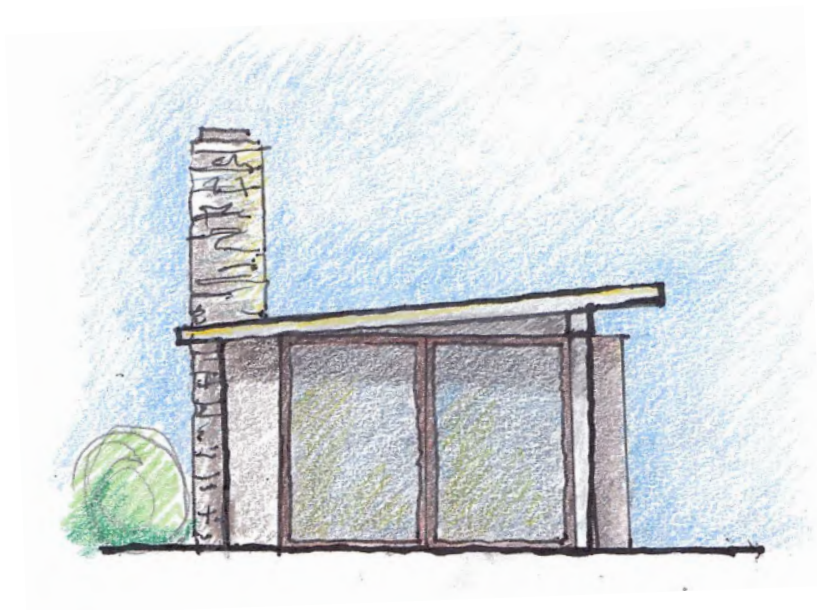
New South Elevation  
540 PARK STREET

DALGLIESH GILPIN PAXTON ARCHITECTS



New East Elevation  
540 PARK STREET

DALGLIESH GILPIN PAXTON ARCHITECTS



WEST



- STONE CHIMNEY
- COPPER ROOF
- METAL CLAD WINDOWS & DOORS
- SMOOTH STUCCO ON EXTERIOR WALLS

SOUTH

Proposed Poolhouse Elevations  
540 PARK STREET

DALGLIESH GILPIN PAXTON ARCHITECTS

# Pella® Reserve™

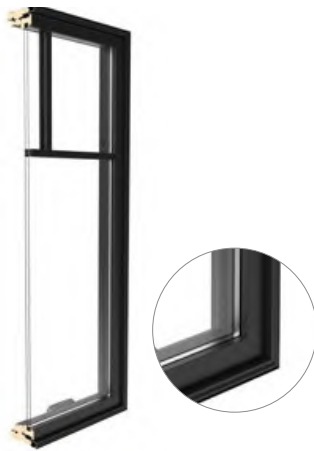
## Contemporary Clad/Wood

Simple and sophisticated designs that embody the tenets of pure, contemporary style.

Interior



Exterior

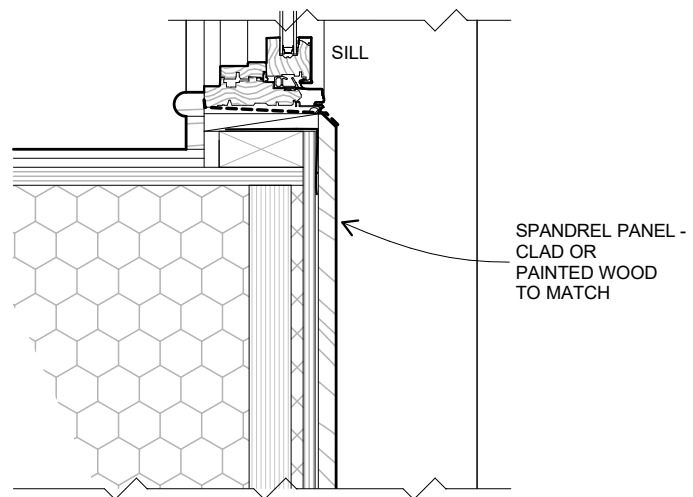
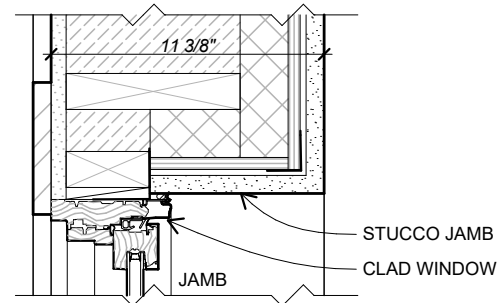
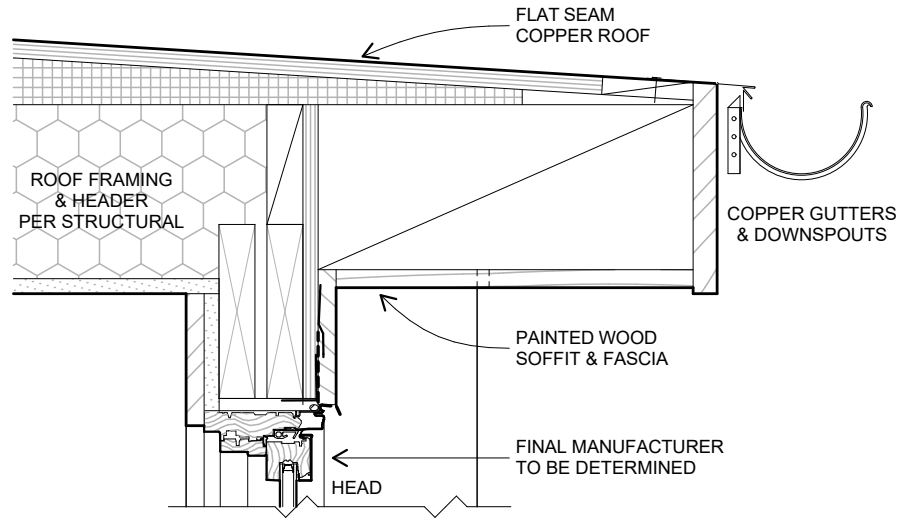


- Clean lines**  
 Bring your vision to life with expansive glass options combined with some of the narrowest sightlines in the industry.
- Modern hardware**  
 Our renowned, exclusive hardware has set the bar for the industry. Featuring sleek lines, the Saldo foldaway crank adds the perfect finishing touch.
- Architectural interest**  
 Our industry-leading modern designs with through-stile construction deliver a clean sash joint with pure, 90-degree exteriors. Square grille profiles provide another layer of design flexibility.
- Virtually unlimited customization**  
 If you can dream it, we can build it with our most customizable product line. From extra tall to extra wide, Pella can craft unique windows that complement your aesthetic. Custom sizes, grille patterns and designs, finishes, wood types and glass options are available.
- Tailor-made solutions**  
 From preliminary drawings to installation, Pella's expert team of architects, engineers, drafters and consultants can work to deliver custom window and door solutions for your project. Partner with Pella to achieve your unique vision without concessions.
- Cutting-edge innovation**  
 Our intentional innovations solve modern-day inconveniences without compromising on design. Preserve the beauty of Pella Reserve windows and doors while protecting what matters most with integrated security sensors.
- Durable interiors and extruded aluminum exteriors**  
 To help save you time on the jobsite, interior finish options are available in four paints, eleven stains and primed and ready-to-paint. To complement your exterior aesthetic, choose from our carefully curated color palette or define your own custom color for your project.
- ENERGY STAR® certified!**  
 Pella wood products offer energy-efficient options that will meet or exceed ENERGY STAR guidelines in all 50 states. Pella Reserve products with triple-pane glass have been awarded the ENERGY STAR Most Efficient Mark in 2021.<sup>1</sup>
- Testing beyond requirements**  
 At Pella, our products are tested beyond requirements to help ensure they have long-lasting performance and reduce call-backs for you.
- Best limited lifetime warranty<sup>2</sup>**  
 Pella Reserve products are covered by the best limited lifetime warranty in the business for wood windows and patio doors.<sup>2</sup>

Available in these window and patio door styles:



Special shape windows also available.

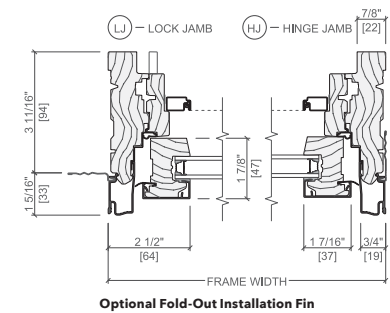


SAMPLE WINDOW DETAIL  
1 1/2" = 1'-0"

### Attention to Detail

#### Cross Sections

The venting casement cross sections provide visual reference to the squared-off profile on both the lock and hinge jamb and the consistent sightline this will provide from interior through to exterior.



#### Extruded Aluminum-Clad Exterior Colors

Our low-maintenance EnduraClad® exterior finish resists fading. Take durability one step further with EnduraClad Plus which also resists chalking and corrosion.<sup>10</sup>



Custom colors are also available.

Proposed Window/Door Manufacturer & Sample Detail

540 PARK STREET

DALGLIESH GILPIN PAXTON ARCHITECTS



West Elevation - Park Street



North Elevation



East Elevation



South Elevation - Farish Street



South Elevation - Detail

Main House - Reference Photographs  
540 PARK STREET

DALGLIESH GILPIN PAXTON ARCHITECTS



South Elevation



East Elevation



South Elevation



West Elevation



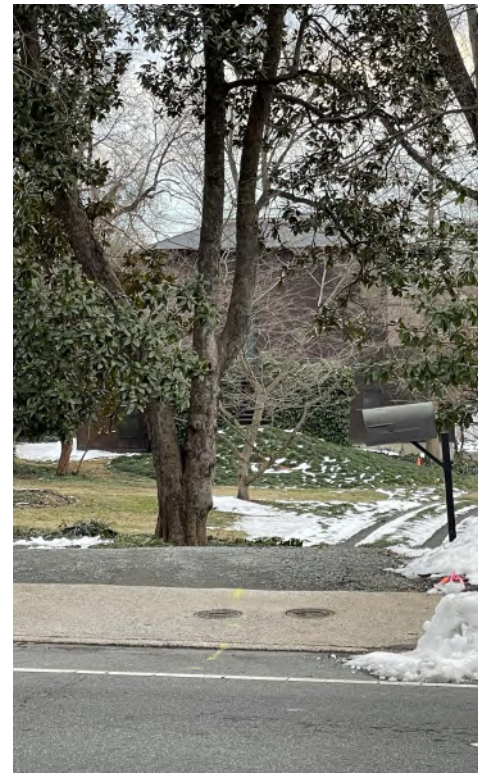
Southeast View

Existing Poolhouse - Reference Photographs  
540 PARK STREET

DALGLIESH GILPIN PAXTON ARCHITECTS



616 Park Street - Southwest View



614 Park Street - West View



534 Park Street - North/ Farish St



534 Park Street - West/ Park St



532 Park Street - West/ Park St



611 Park Street - East/ Park St

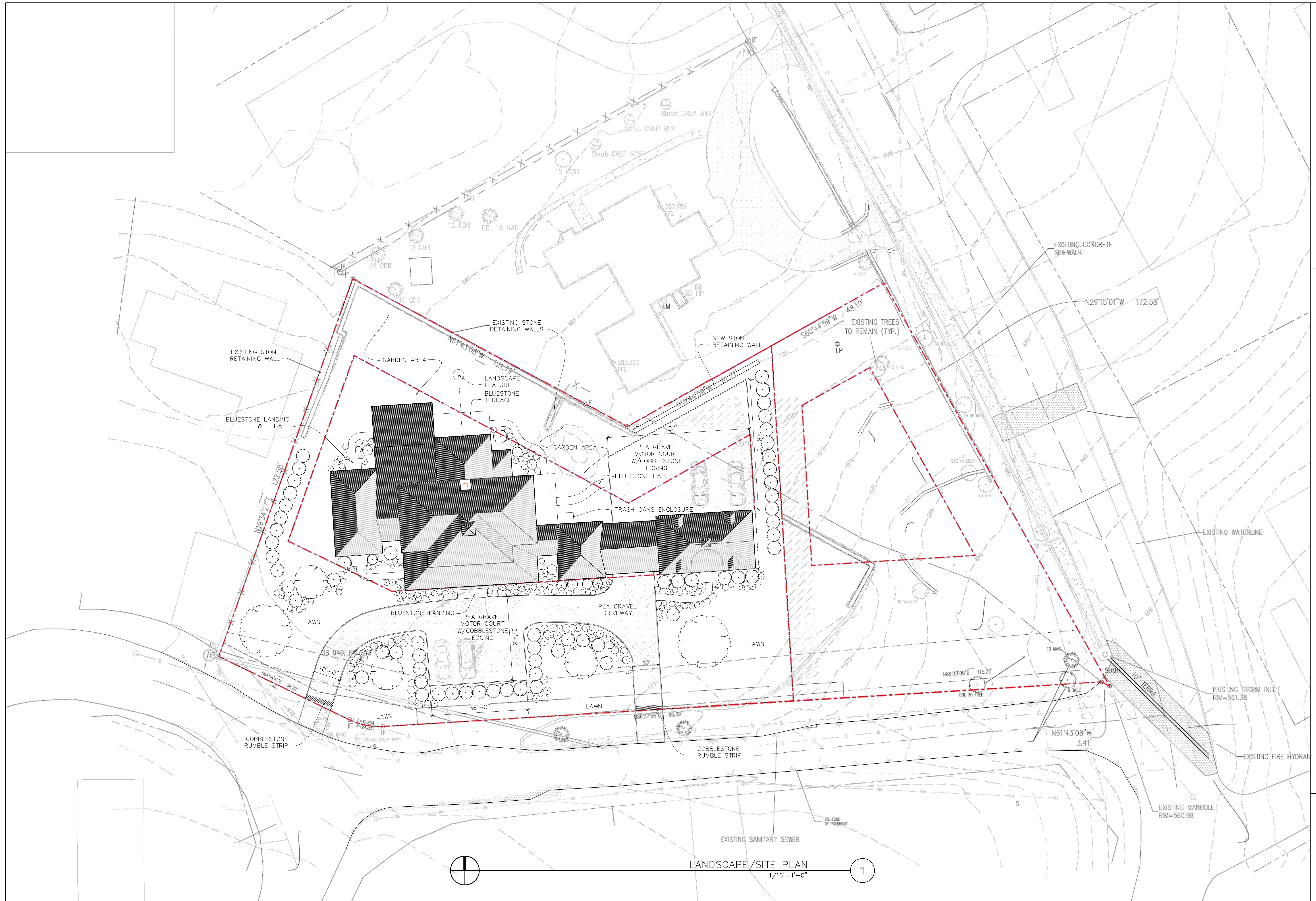


601 Park Street - East/ Park St

Nearby Properties - Reference Photographs

540 PARK STREET

DALGLIESH GILPIN PAXTON ARCHITECTS



**SAGE DESIGNS**

3033 ALBERNE CHURCH LANE,  
ESMONT, VA, 22937  
434-296-7381

**LEWIS RESIDENCE**

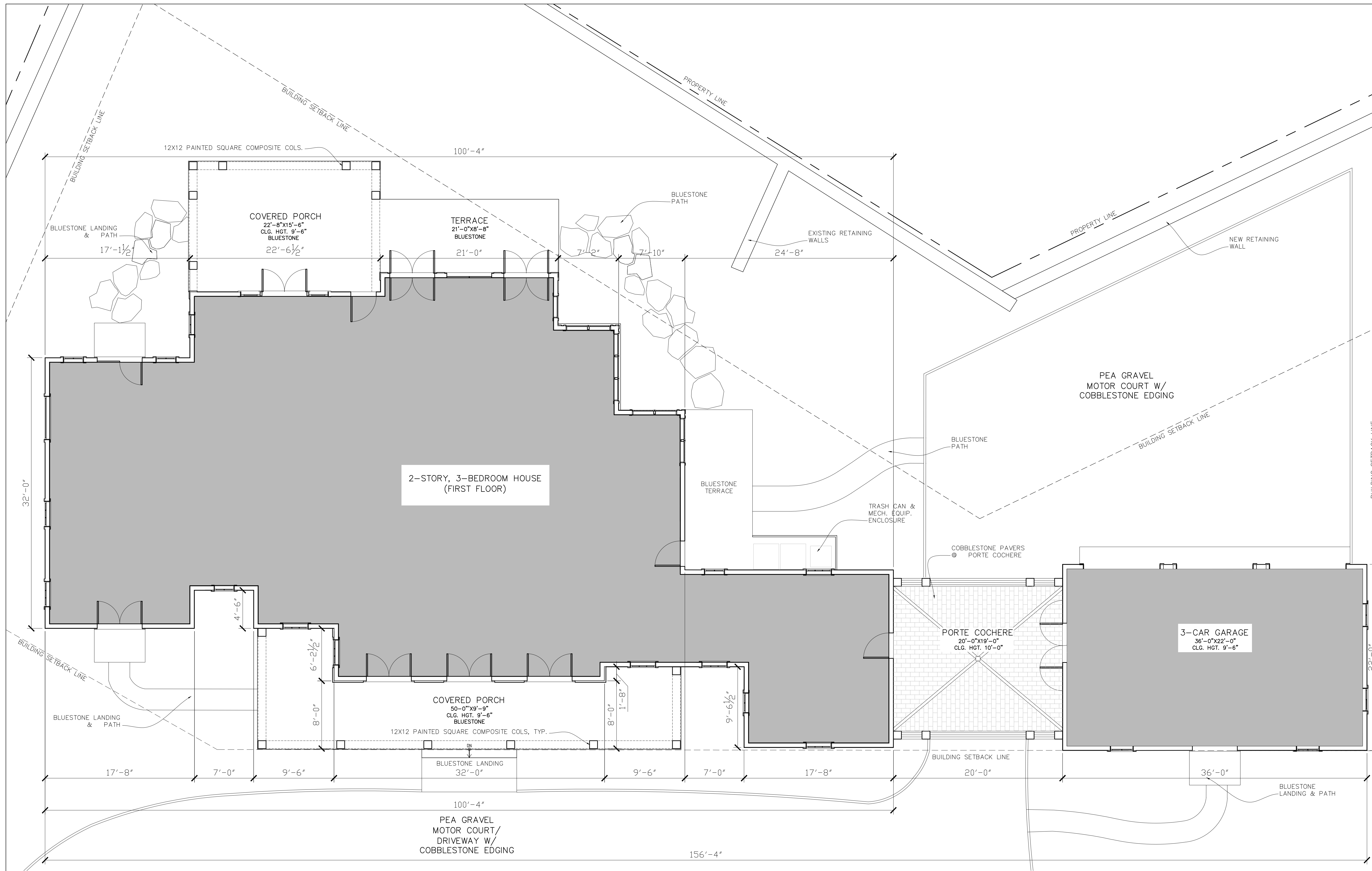
0 PRESTON PLACE, TMP 050118001 CHARLOTTESVILLE, VA, 22903

PRELIMINARY LANDSCAPE/SITE PLAN - 1/16"=1'-0"

**S1.1**

02/03/22



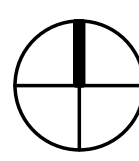


**SAGE DESIGNS**  
 3033 ALBERNE CHURCH LANE,  
 ESMONT, VA, 22937  
 434-296-7381

**LEWIS RESIDENCE**  
 PRESTON PLACE, CHARLOTTESVILLE, VA. 22903

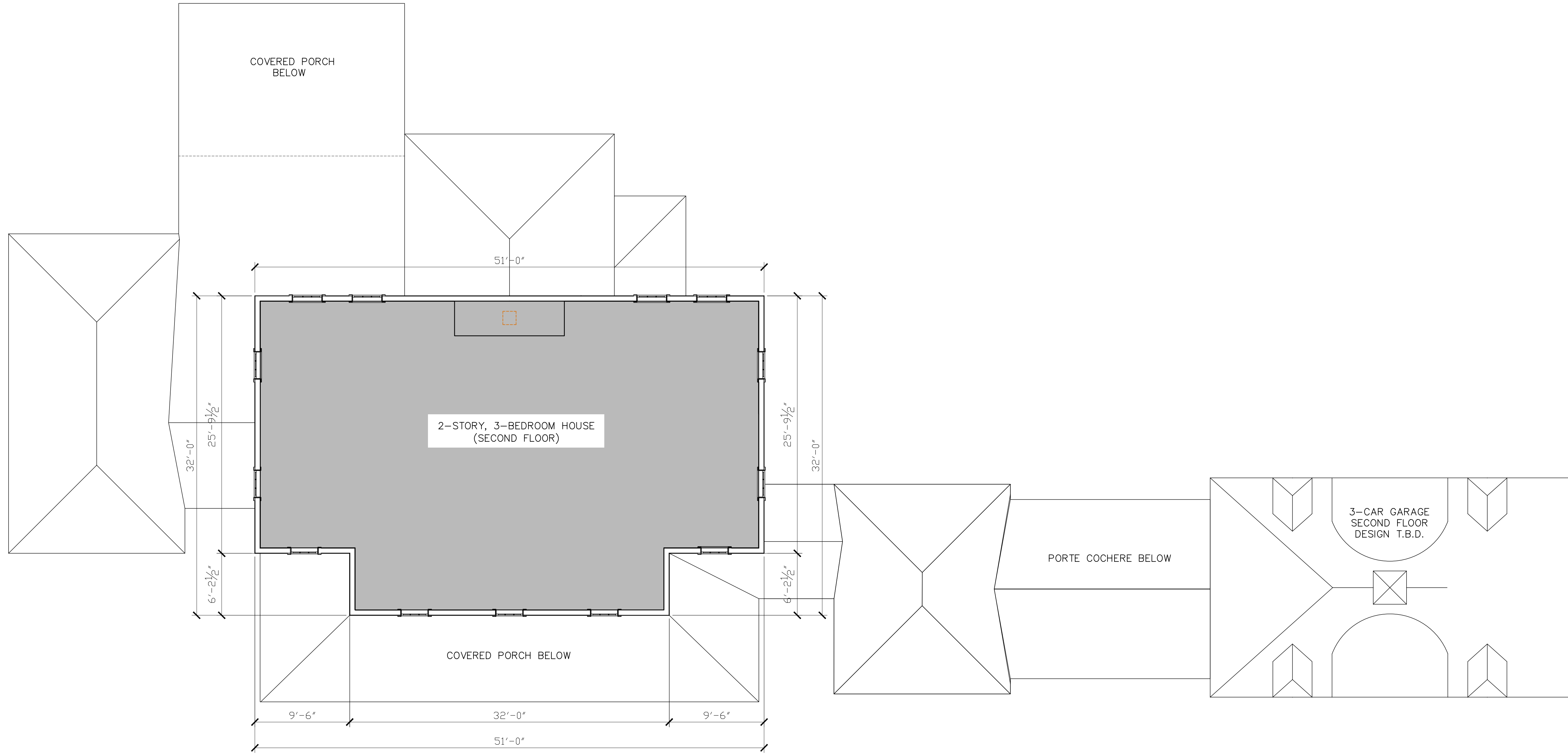
FIRST FLOOR PLAN

**A1.1**  
 02/03/22



FIRST FLOOR PLAN  
 3/16"=1'-0"

1



SECOND FLOOR PLAN  
3/16"=1'-0"

**SAGE DESIGNS**  
3033 ALBERNE CHURCH LANE,  
ESMONT, VA, 22937  
434-296-7381

**LEWIS RESIDENCE**  
PRESTON PLACE, CHARLOTTESVILLE, VA. 22903

SECOND FLOOR PLAN

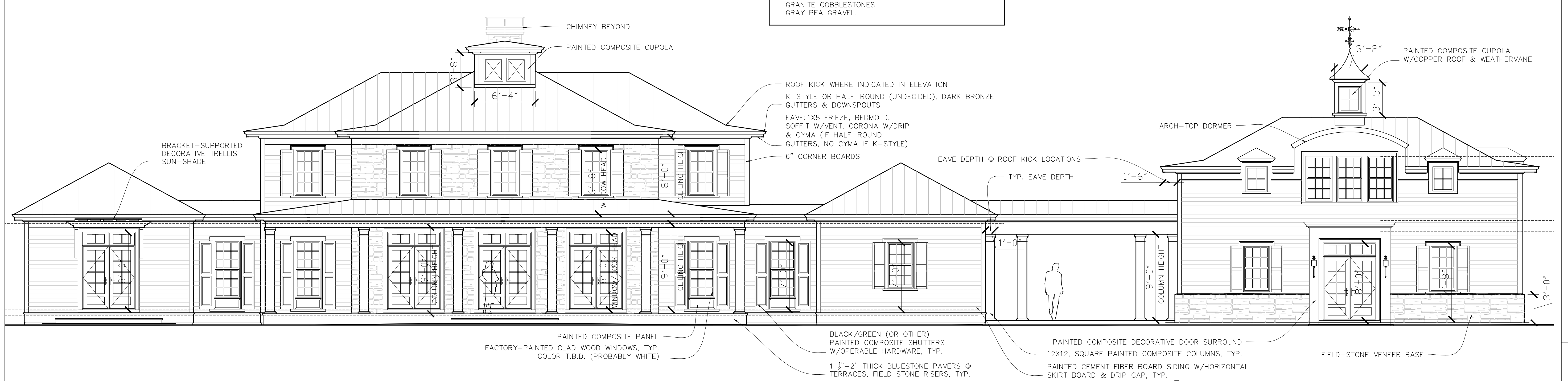
**A1.2**  
02/03/22



NORTH ELEVATION  
3/16"=1'-0"

1

NOTE:  
MATERIALS COLOR SCHEME -  
PAINTED (LIKELY WHITE) CEMENT FIBER BOARD SIDING,  
PAINTED (LIKELY WHITE) TRIM,  
PAINTED (LIKELY BLACK/GREEN) OPERABLE SHUTTERS,  
MIX OF GRAYS & BROWNS FIELD STONE  
DARK BRONZE METAL ROOF, GUTTERS & DOWNSPOUTS,  
BLUESTONE PAVERS,  
GRANITE COBBLESTONES,  
GRAY PEA GRAVEL.



SOUTH ELEVATION  
3/16"=1'-0"

2



WEST ELEVATION  
3/16"=1'-0"

1

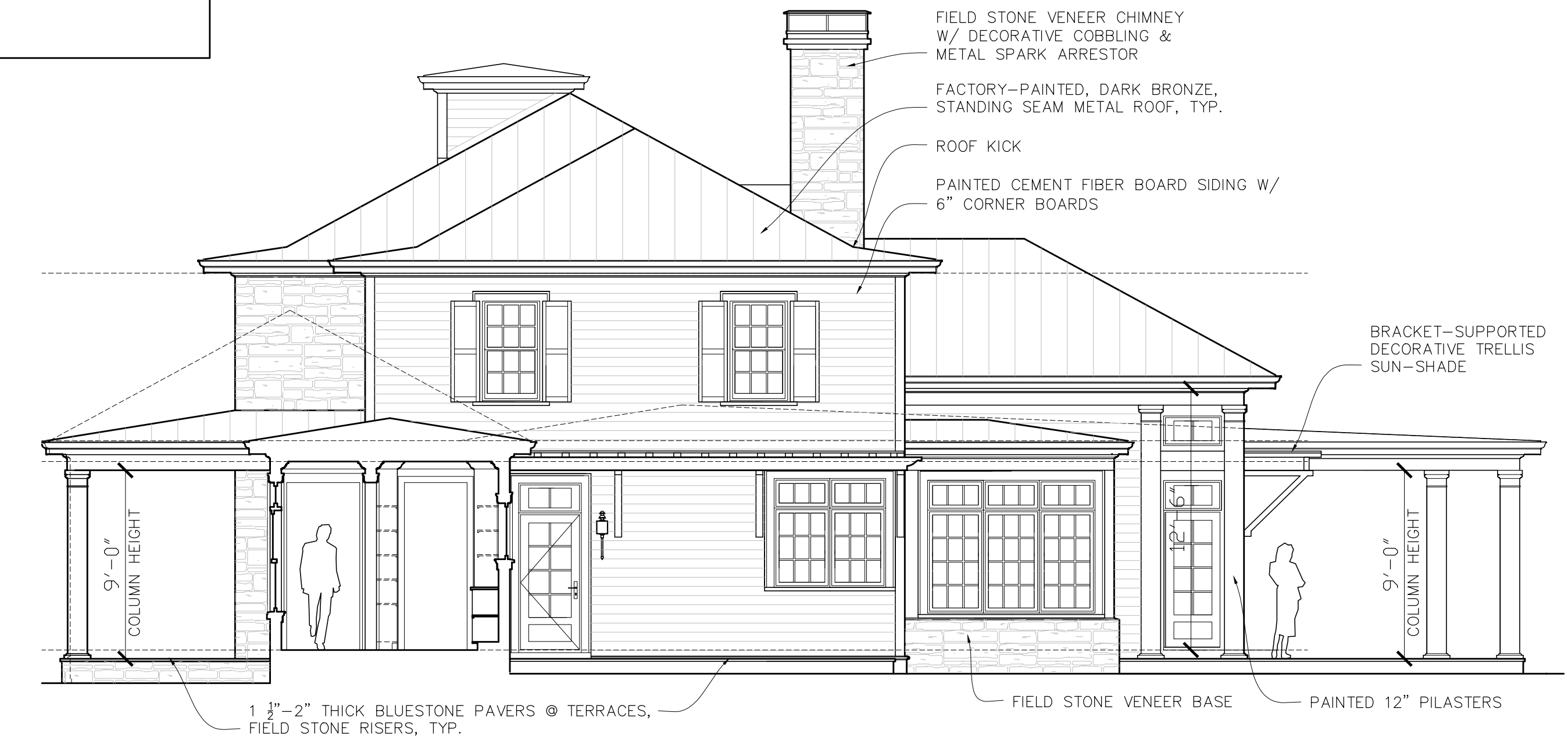
NOTE:  
MATERIALS COLOR SCHEME –  
PAINTED (LIKELY WHITE) CEMENT FIBER BOARD SIDING,  
PAINTED (LIKELY WHITE) TRIM,  
PAINTED (LIKELY BLACK/GREEN) OPERABLE SHUTTERS,  
MIX OF GRAYS & BROWNS FIELD STONE,  
DARK BRONZE METAL ROOF, GUTTERS & DOWNSPOUTS,  
BLUESTONE PAVERS,  
GRANITE COBBLESTONES,  
GRAY PEA GRAVEL.



FIELD STONE VENEER BASE

EAST ELEVATION @ GARAGE  
3/16"=1'-0"

3



1 1/2"-2" THICK BLUESTONE PAVERS @ TERRACES,  
FIELD STONE RISERS, TYP.

FIELD STONE VENEER BASE PAINTED 12" PILASTERS

EAST ELEVATION/SECTION THROUGH HALL/PANTRY  
3/16"=1'-0"

2

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LEWIS RESIDENCE  
PRESTON PLACE, CHARLOTTESVILLE, VA. 22903

ELEVATIONS

A2.2  
02/03/22

1301 WERTLAND ST.  
PARCEL 040303000  
BAR SUBMISSION

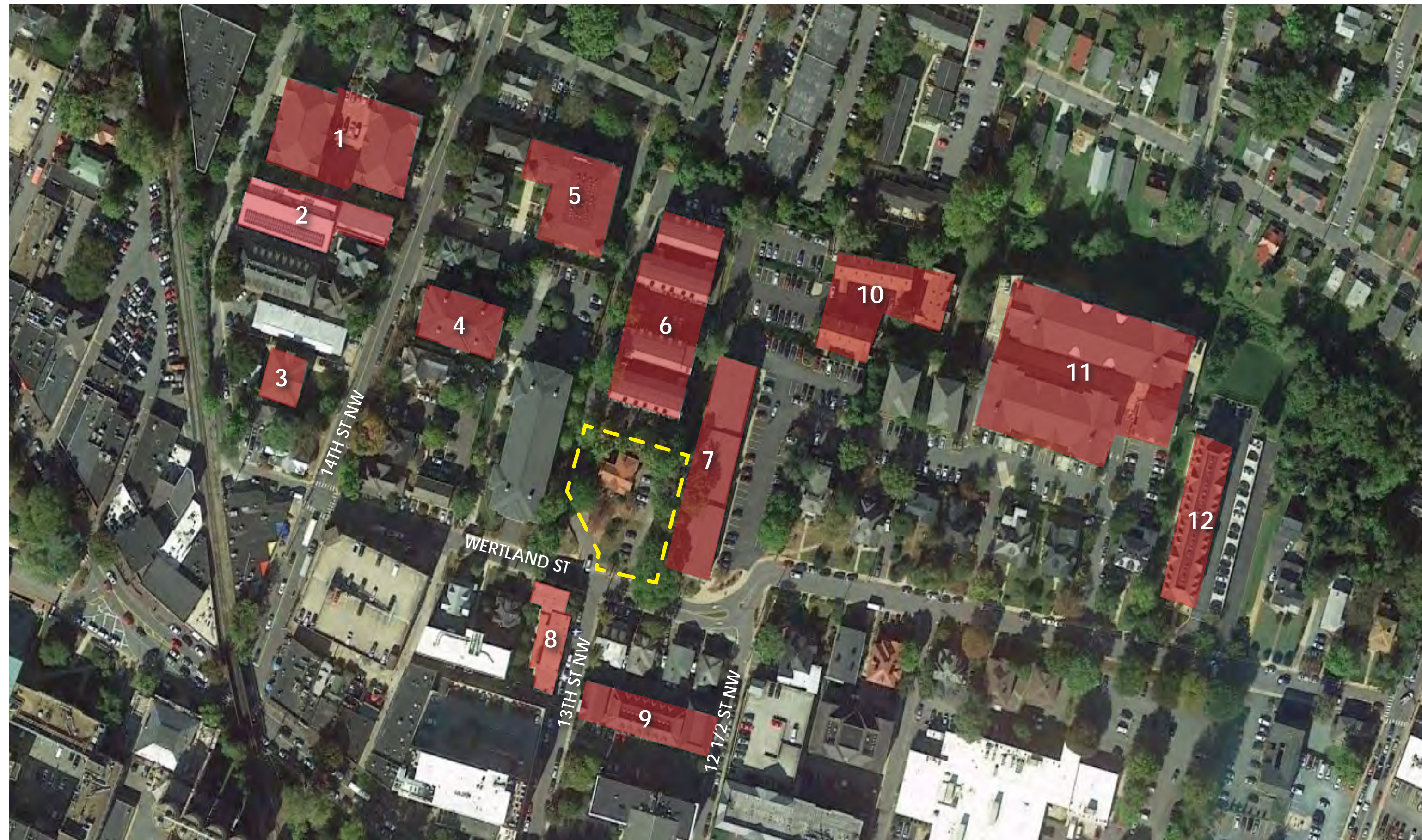
PRESENTED BY



**DESIGN**  
DEVELOP

02 | 15 | 2022

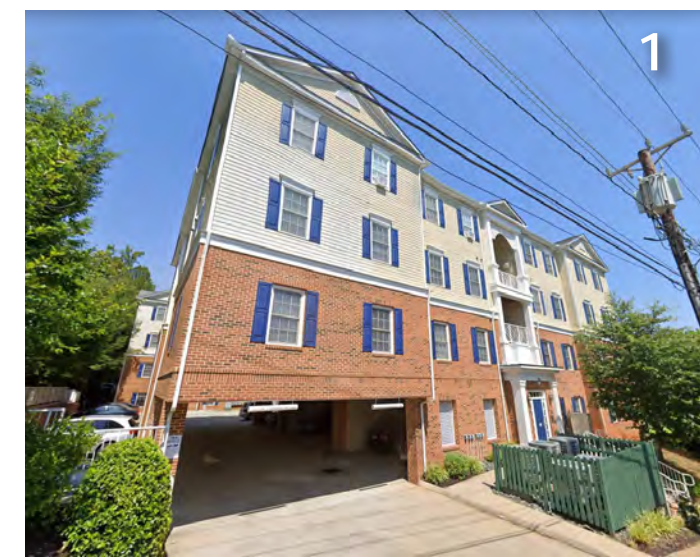
3 | TABLE OF CONTENTS  
4 | NEIGHBORHOOD MAP  
6 | STREETWALL CONDITIONS  
8 | ZONING MAP  
9 | EXISTING CONDITIONS  
10 | SURVEY  
11 | WERTENBAKER HOUSE  
12 | SITE OBSERVATIONS AND EVALUATION  
14 | DESIGN CONSIDERATION: PRESERVE EXISTING TREES  
16 | SITE ORGANIZATIONAL DIAGRAMS  
18 | PARKING LEVEL PLAN AND TYPICAL LEVEL PLAN  
20 | MASSING STUDIES  
22 | ELEVATIONS  
24 | RENDERINGS  
32 | DESIGN CONSIDERATION: PARKING ENTRY



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CHARLOTTESVILLE, VA

NEIGHBORHOOD MAP  
4

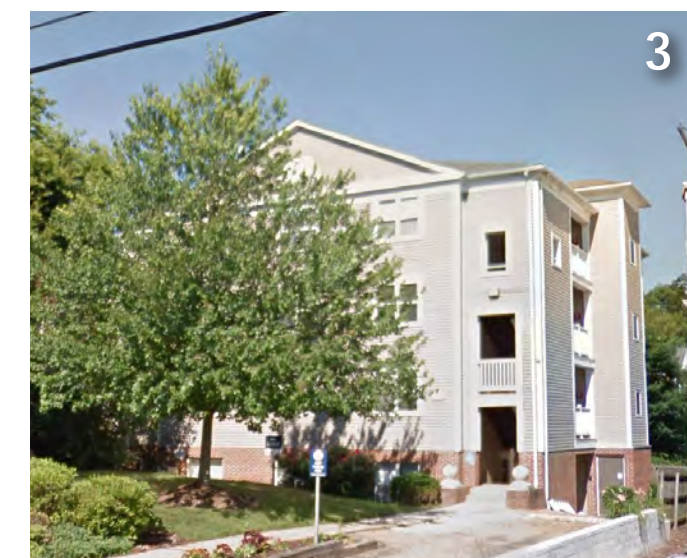
BAR SUBMISSION  
FEBRUARY 15, 2022



1989



2011



1992



2006



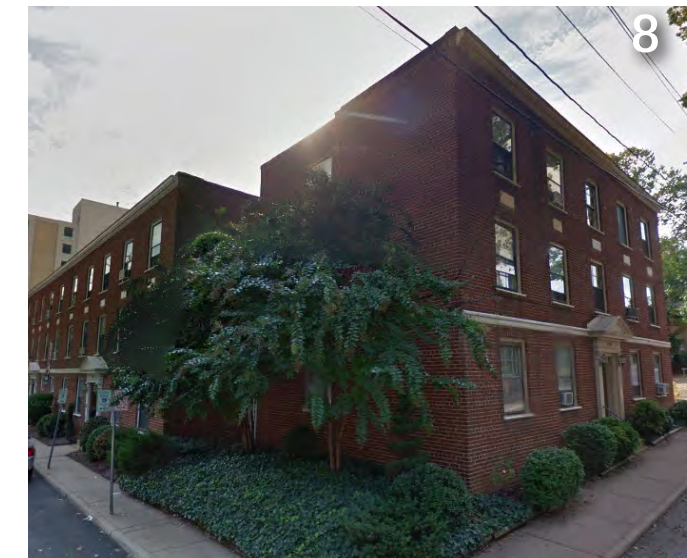
2005



1984



1965



1930



1997



1987



2010



1999

\* DENOTES A CONTRIBUTING STRUCTURE

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CHARLOTTESVILLE, VA

CONTEXT PHOTOS  
5

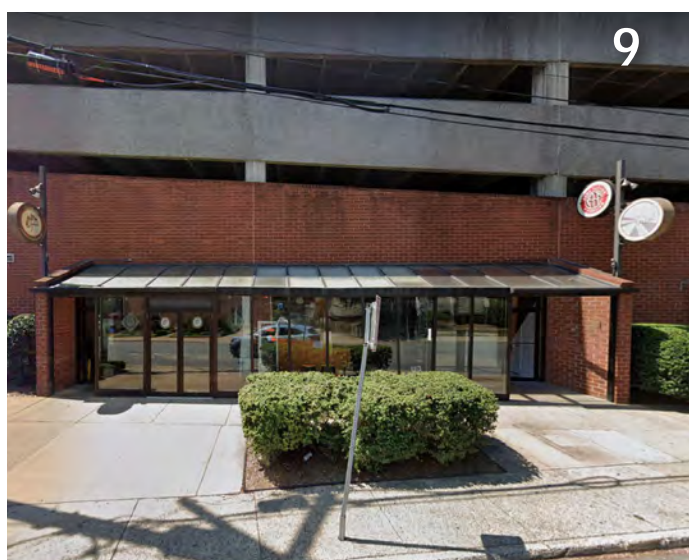
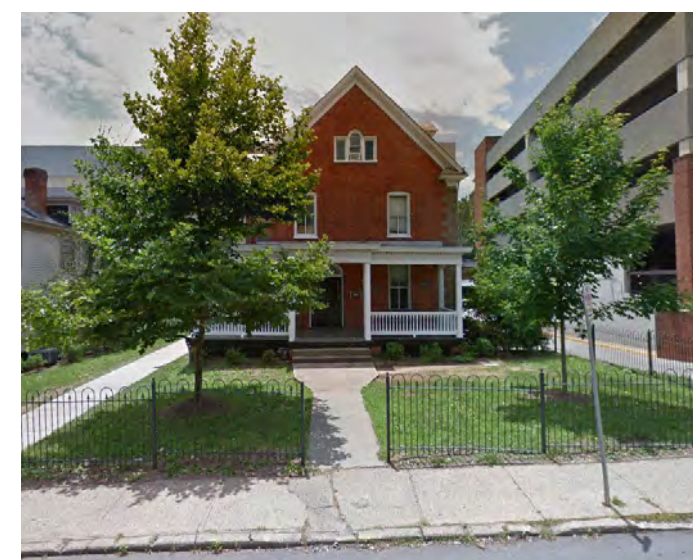
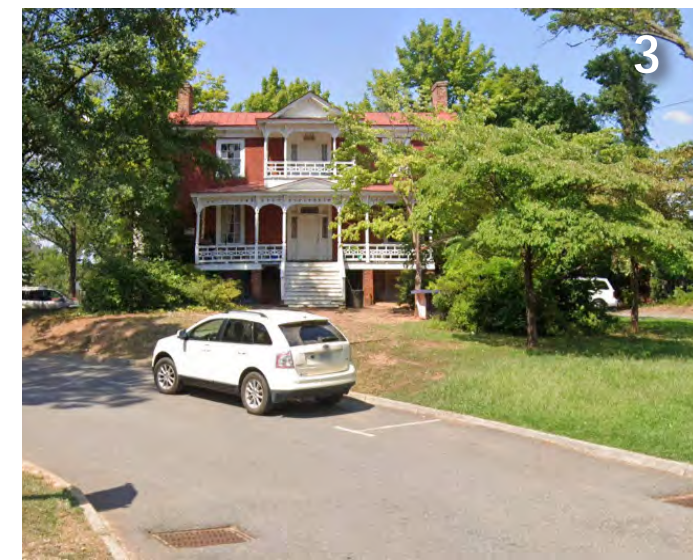
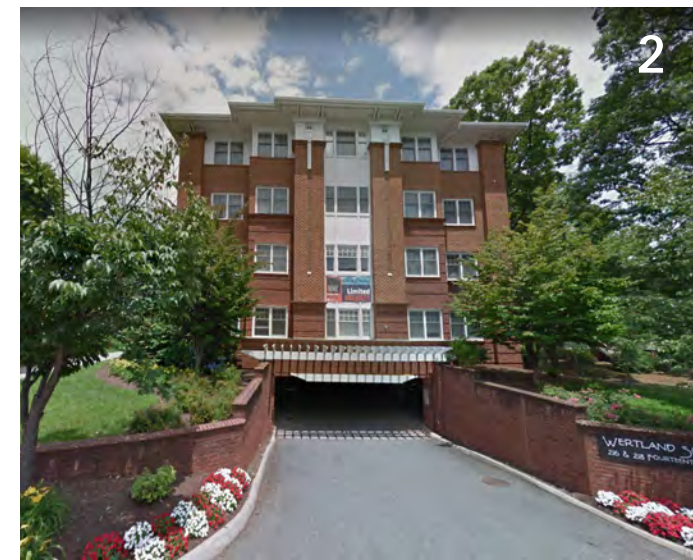
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STREETWALL CONSIDERATIONS  
6

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CONTEXT PHOTOS  
7

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ZONING MAP  
8

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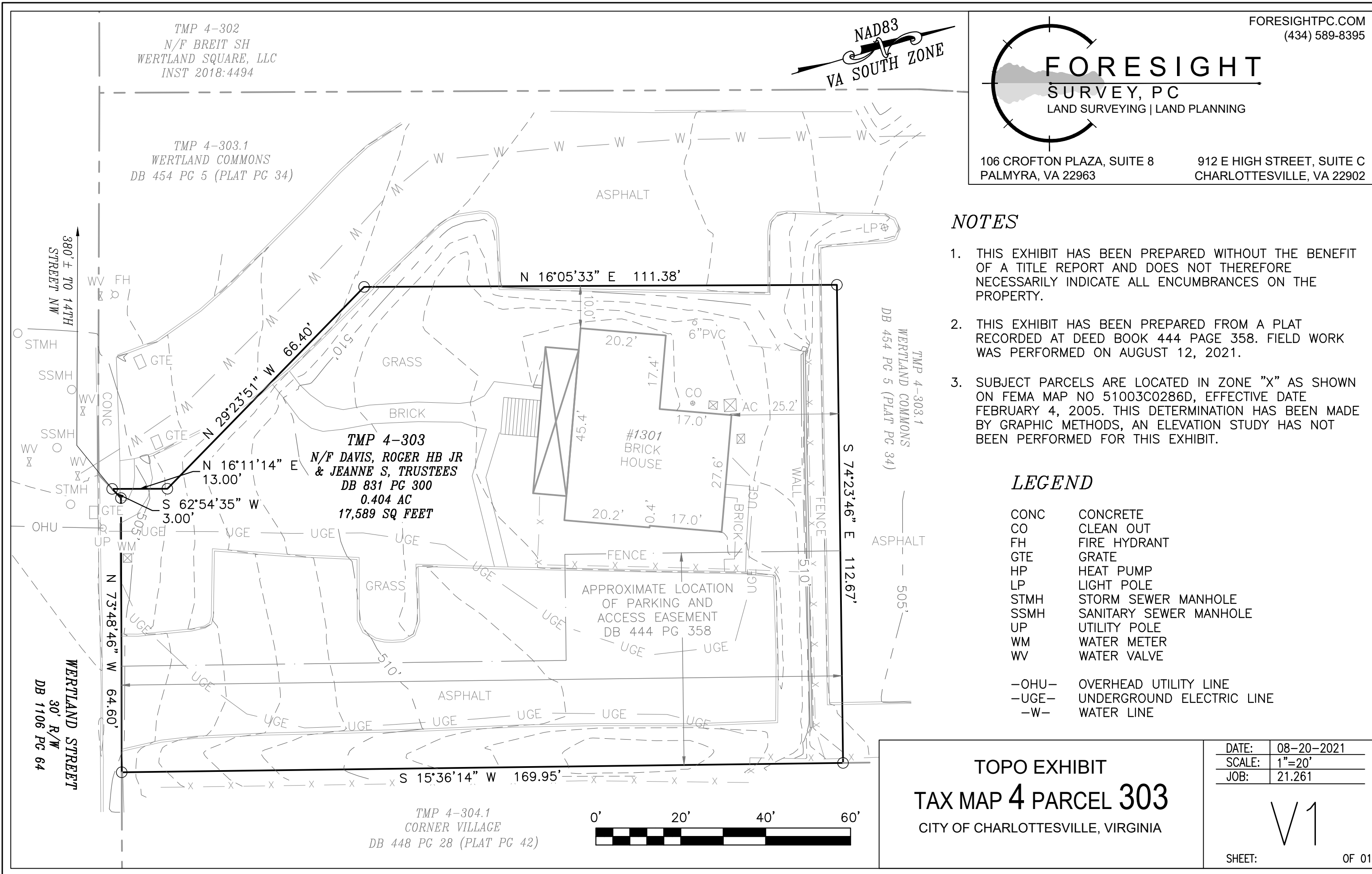


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EXISTING STREET CONDITIONS  
9

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F:\Survey\PROJECTS\21.261 1301 WERTLAND STREET\SURVEY\DWG\TOPO\21.261 - 1301 WERTLAND ST - TOPO (20210818).dwg

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106 CROFTON PLAZA, SUITE 8      912 E HIGH STREET, SUITE C  
PALMYRA, VA 22963              CHARLOTTESVILLE, VA 22902

**NOTES**

1. THIS EXHIBIT HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND DOES NOT THEREFORE NECESSARILY INDICATE ALL ENCUMBRANCES ON THE PROPERTY.
2. THIS EXHIBIT HAS BEEN PREPARED FROM A PLAT RECORDED AT DEED BOOK 444 PAGE 358. FIELD WORK WAS PERFORMED ON AUGUST 12, 2021.
3. SUBJECT PARCELS ARE LOCATED IN ZONE "X" AS SHOWN ON FEMA MAP NO 51003C0286D, EFFECTIVE DATE FEBRUARY 4, 2005. THIS DETERMINATION HAS BEEN MADE BY GRAPHIC METHODS, AN ELEVATION STUDY HAS NOT BEEN PERFORMED FOR THIS EXHIBIT.

**HISTORIC DESCRIPTION**  
BUILT AROUND 1830 (POSSIBLY AS EARLY AS 1816) BY WILLIAM AND LOUISANNA WERTENBAKER, 1301 WERTLAND STREET IS THE OLDEST HOUSE IN THE WERTLAND DISTRICT AND THE NAMESAKE OF THE STREET ON WHICH IT STANDS CURRENTLY. WILLIAM WAS THE SECOND LIBRARIAN AT THE UNIVERSITY OF VIRGINIA, APPOINTED BY THOMAS JEFFERSON AND SERVED IN THAT ROLE FOR OVER 50 YEARS. THE PROPERTY ORIGINALLY BORDERED WEST MAIN STREET, THEN KNOWN AS "THREE NOTCH'D ROAD" AND THE CURRENT 13TH STREET WAS THE FORMER DRIVEWAY TO THE RESIDENCE.

THE BUILDING IS A CONTRIBUTING RESOURCE IN THE WERTLAND STREET HISTORIC DISTRICT, WHICH IS LISTED IN THE NATIONAL REGISTER OF HISTORIC PLACES.

**ARCHITECTURAL DESCRIPTION**  
THE WERTENBAKER HOUSE IS A 2-STORY, 3 BAY SINGLE-PILE VIRGINIA I-HOUSE SET ON A VERY HIGH ENGLISH BASEMENT. THE MAIN BLOCK OF THE HOUSE HAS A GENTLY-SLOPING GABLED ROOF COVERED WITH STANDING-SEAM METAL. THE FACADE IS LAID IN FLEMISH BOND. "BESIDES THE FINE BRICKWORK, THE MOST NOTABLE FEATURE OF THE HOUSE IS THE ELABORATE SYMMETRICAL STICK STYLE PORCH."

"THE WERTENBAKER HOUSE IS A FEDERAL / GREEK REVIVAL RESIDENCE THAT WAS MADE-OVER IN THE VICTORIAN STYLE TOWARD THE END OF THE 19TH CENTURY... THE CHIMNEY TOPS HAVE BEEN REPAIRED, OTHERWISE THERE ARE VIRTUALLY NO POST-1900 CHANGES TO THE EXTERIOR."



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THE WERTENBAKER HOUSE  
11

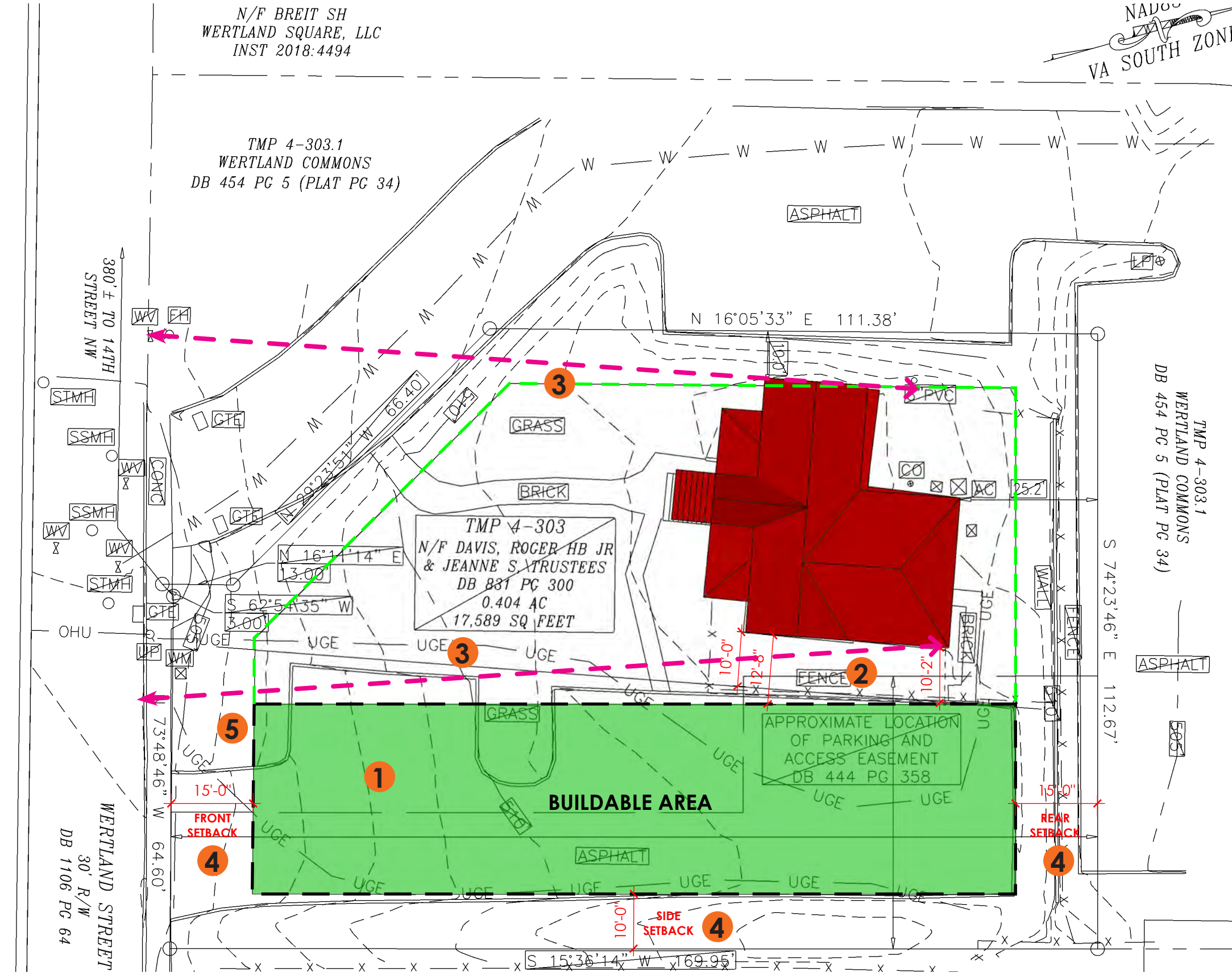
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FEBRUARY 15, 2022

**SITE OBSERVATIONS:**

1. THE EXISTING SURFACE PARKING LOT IS THE ONLY APPROPRIATE LOCATION ON THE SITE TO DEVELOP. THE EXISTING HOUSE IS TOO SIGNIFICANT TO ENCROACH ON OR DEMOLISH.
2. THE RELATIONSHIP OF THE HISTORIC HOUSE TO THE STREET SHOULD BE PRESERVED (I.E. NEW BUILDING SHOULD NOT BE IN FRONT OF THE HISTORIC FACADE). THIS WILL CREATE AN OPPORTUNITY FOR A DYNAMIC AND THOUGHTFUL FRONT COURTYARD.
3. THE DESIGN OF THE FRONT COURTYARD SHOULD INFORM THE DESIGN OF THE STRUCTURE.
4. THE LANDSCAPING ON SITE HAS DEFERRED MAINTENANCE THAT SHOULD BE ADDRESSED DURING THE PROJECT.
5. THE EXISTING GRADE PROVIDES OPPORTUNITIES FOR SUB-GRADE PARKING.



STREET VIEW FROM WERTLAND  
12



1 SITE PLAN WITH BUILDABLE AREA  
A1.1 1" = 20'-0"

**KEY:**

1. UTILIZE EXISTING HARDSCAPE PARKING AREA TO A HIGHER / BETTER USE
2. ESTABLISH A SUFFICIENT DISTANCE TO THE HISTORIC HOUSE TO ENSURE SAFE PRESERVATION.
3. MAINTAIN HISTORIC STREETWALL AND ENHANCE FRONT COURTYARD.
4. RESPECT SETBACKS PER ZONING REQUIREMENTS.
5. ALIGN BUILDING FACADE WITH WERTLAND STREET.

SITE EVALUATION  
13

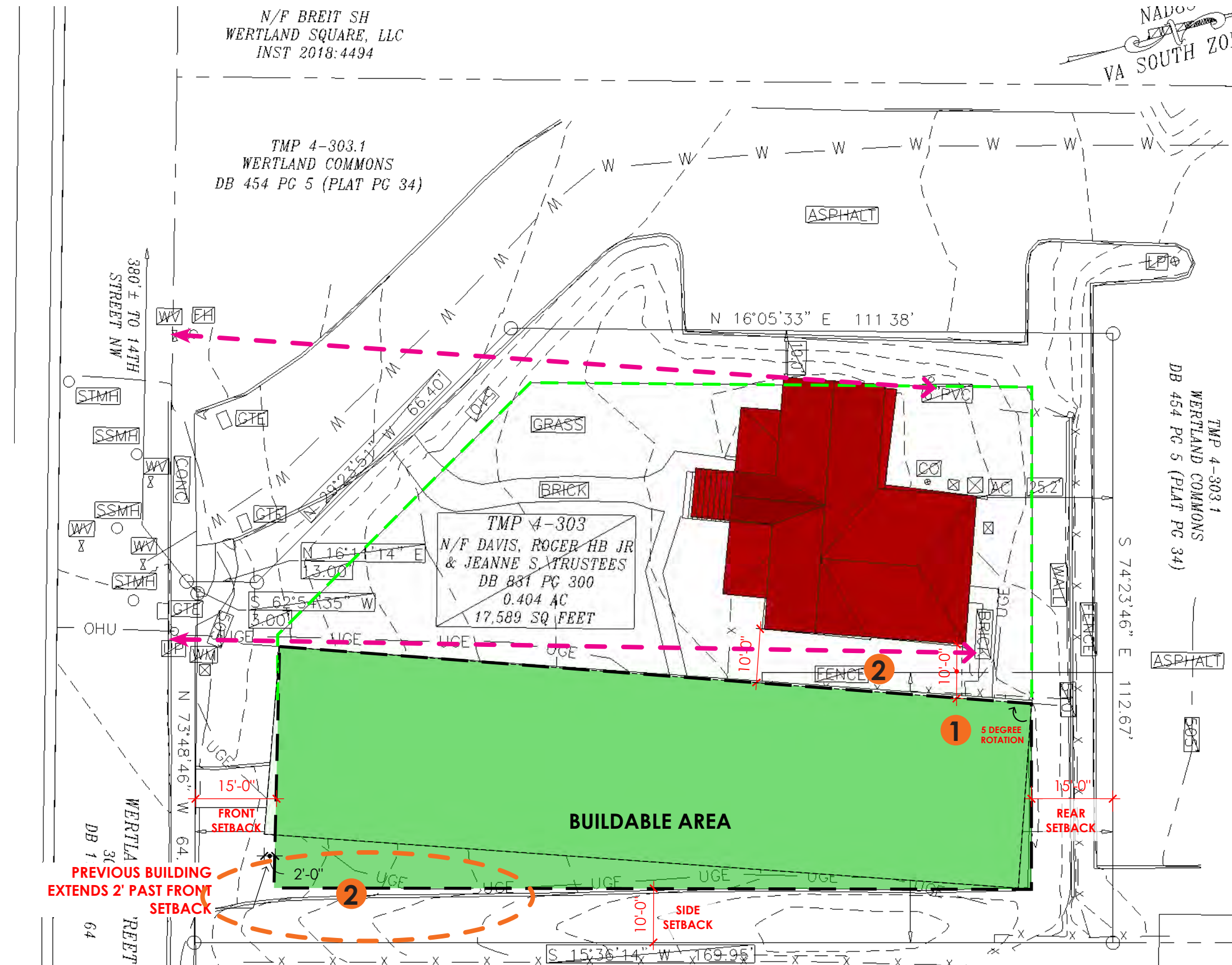


**EXISTING TREES AT PROPERTY LINE**

GIVEN BAR AND PC'S RECENT RECOMMENDATIONS TO PRESERVE MATURE TREES, THE APPLICANT PROACTIVELY SOUGHT OUT THE OPINION OF A RESPECTED LOCAL ARBORIST.

THE ARBORIST'S OPINION WAS THAT TREES IN VERY POOR CONDITION (THE ASH IN THE FRONT AND THE OAK IN THE REAR) BRACKET SEVERAL REASONABLY HEALTHY TREES (THE OAKS IN THE MIDDLE). HOWEVER, THE MIDDLE OAKS ARE TOO CLOSE TOGETHER TO FLOURISH.

THE ARBORIST ADVISED THAT PRESERVING THE TREES WOULD REQUIRE A 16' BUFFER FROM THE TRUNK OF EACH TREE.



1 SITE PLAN WITH BUILDABLE AREA  
A1.1 1" = 20'-0"

**KEY:**

1. ROTATE PROPOSED BUILDABLE AREA 5 DEGREES TO BE PARALLEL WITH HISTORIC HOUSE
2. PROVIDE SPACE TO PROTECT EXISTING TREE ROOT SYSTEM

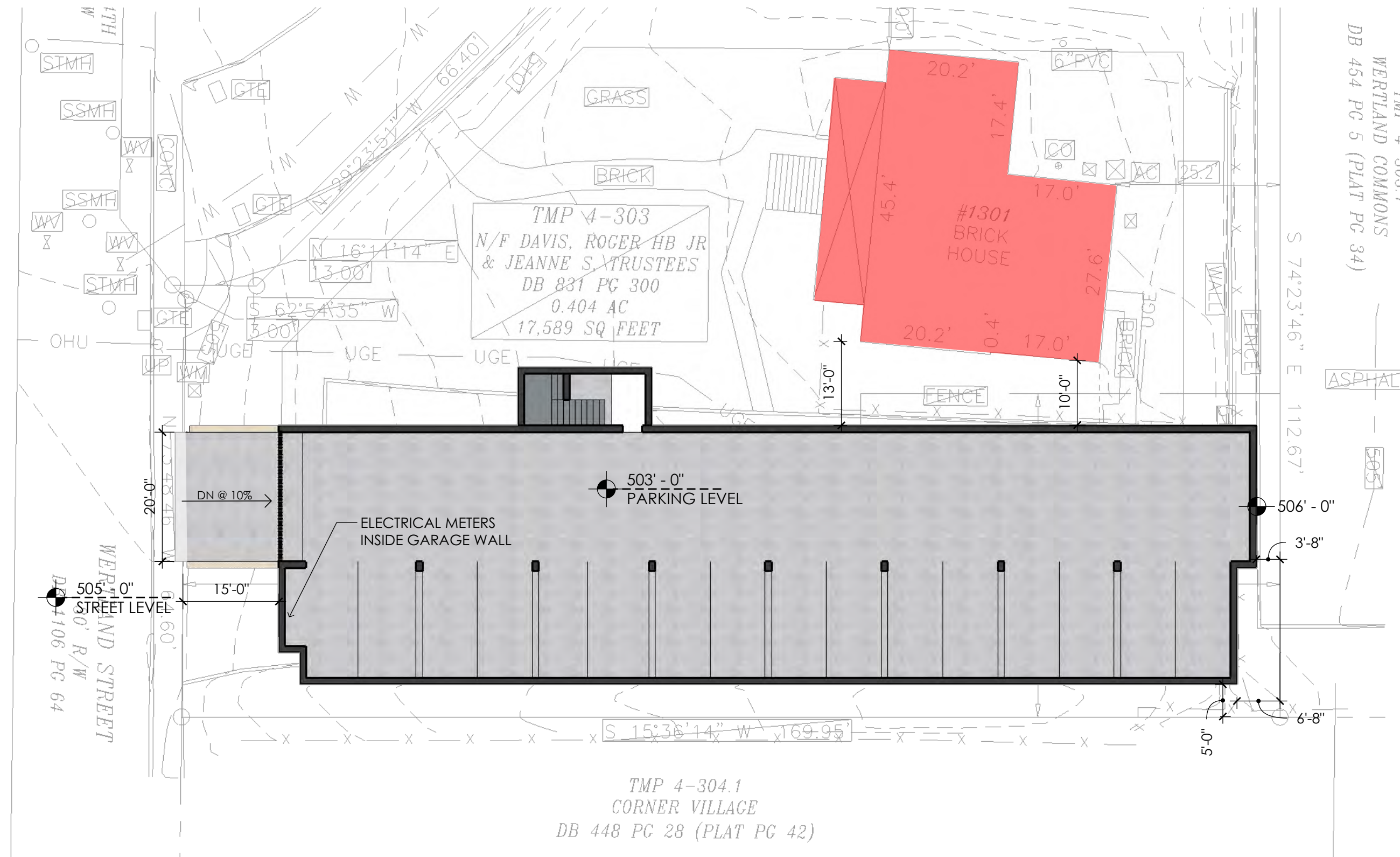
**PROS:**

- EXISTING TREES MAY BE RETAINED.

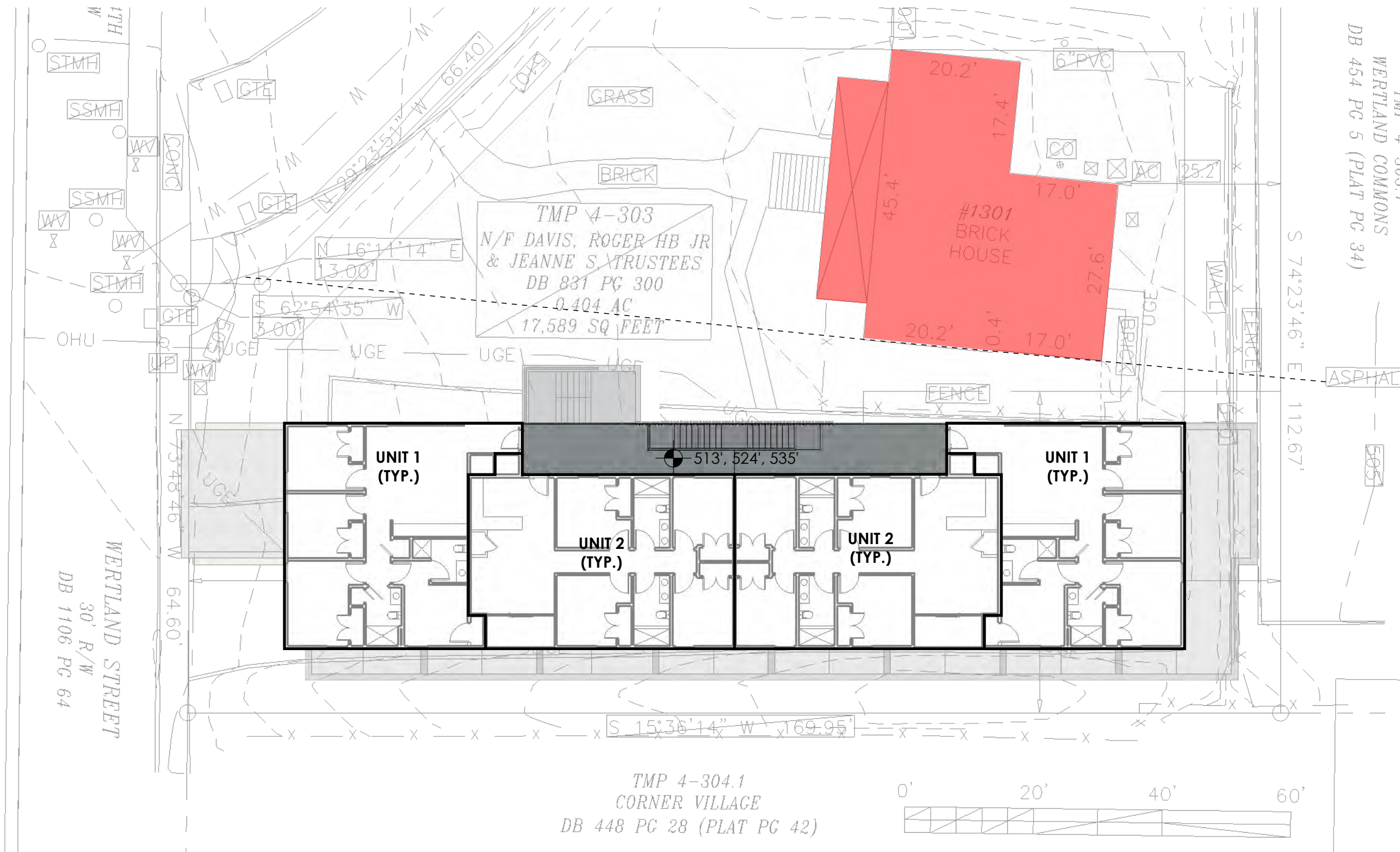
**CONS:**

- PROPOSED BUILDABLE AREA RESPONDS TO HISTORIC HOUSE AND NOT EXISTING STREETWALL. THIS RELATIONSHIP REDUCES THE IMPACT OF THE HISTORIC HOUSE TO THE STREET (STREETWALL).
- THE NEW BUILDING WOULD ENCROACH ON THE VIEW SHED OF THE HISTORIC HOUSE FROM WERTLAND STREET.
- THE SKEW IS AWKWARD ON SITE
- TREES ARE OF QUESTIONABLE BENEFIT.

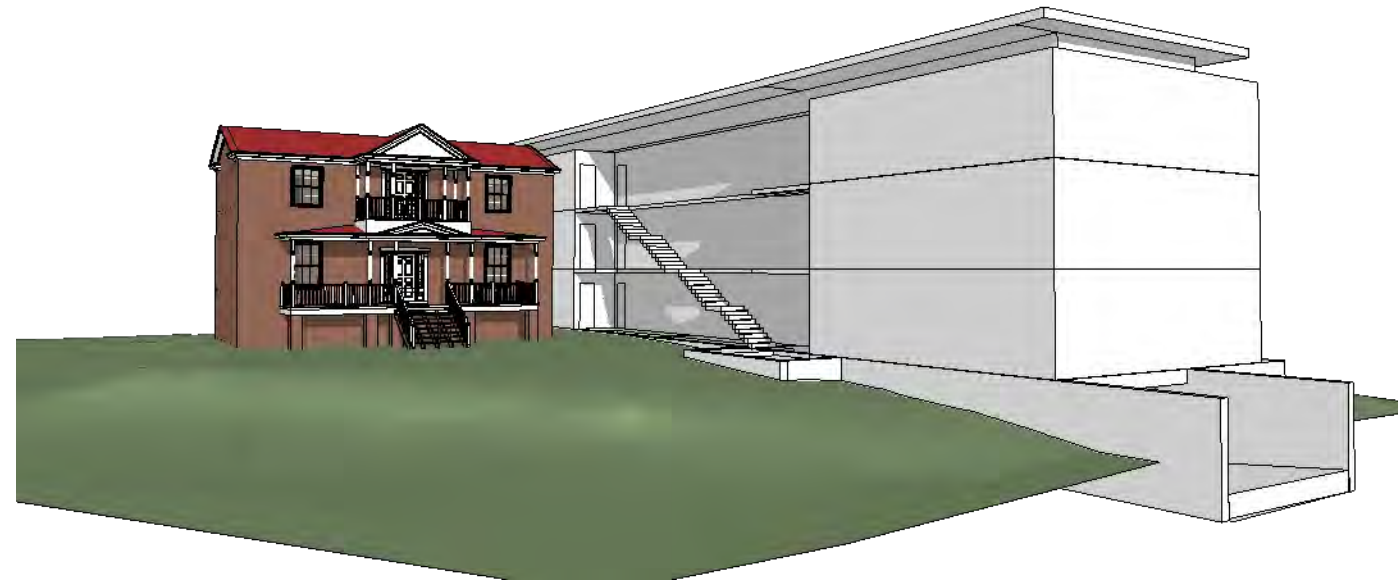
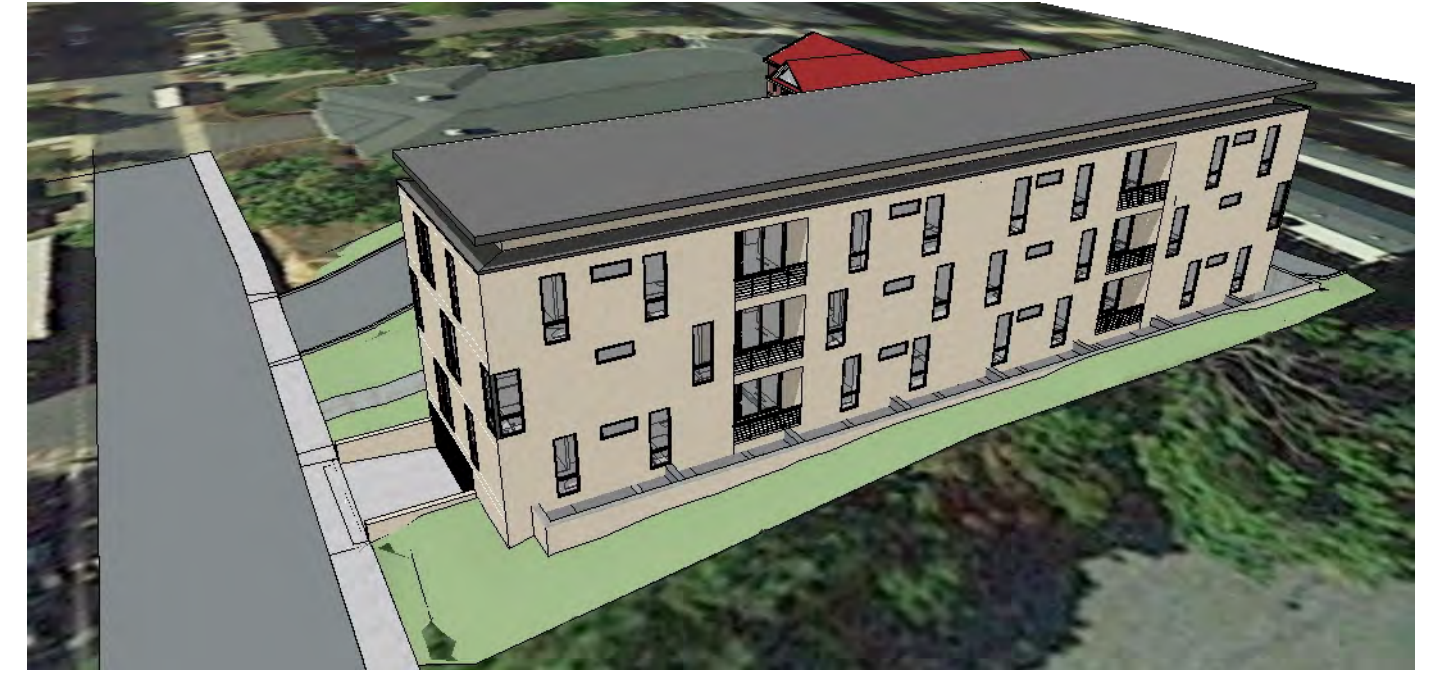
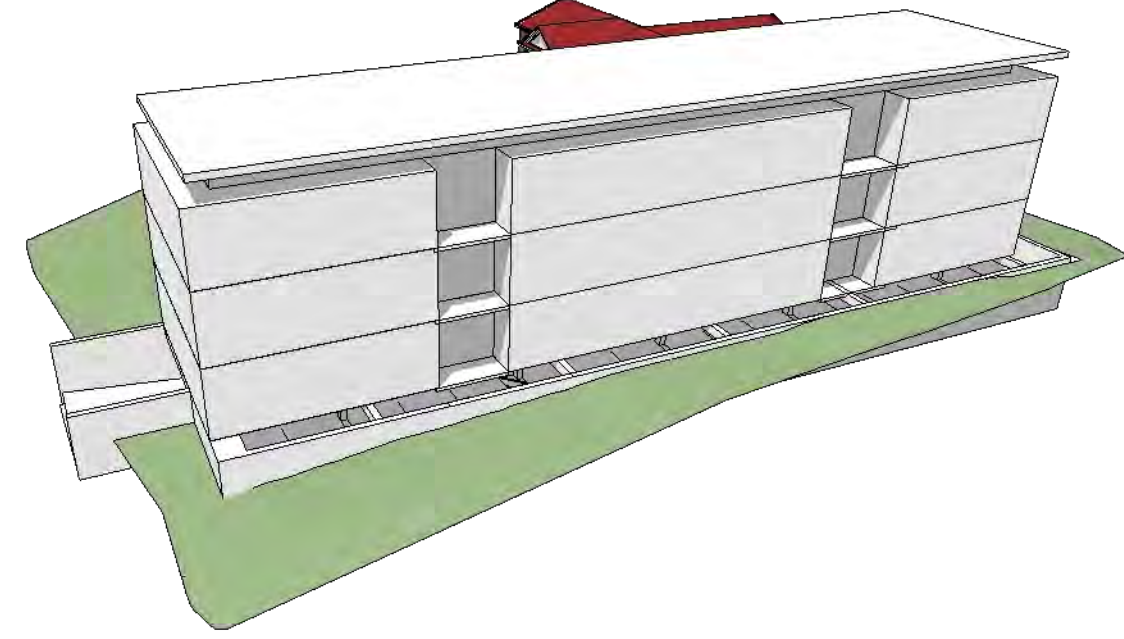
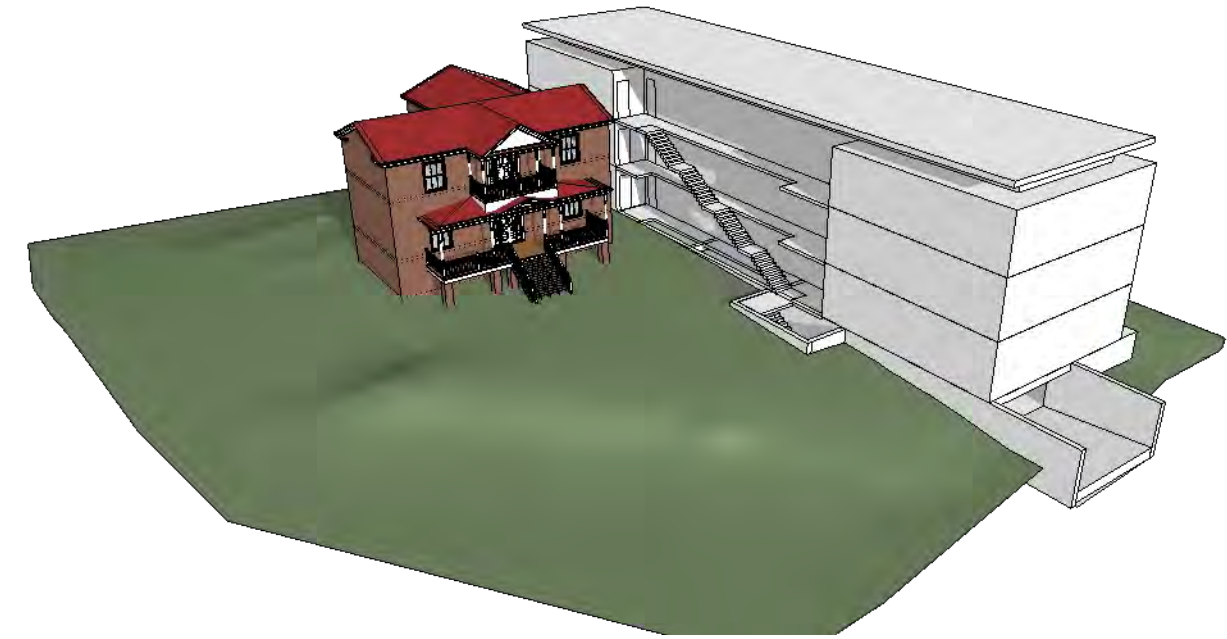
**ULTIMATELY, FROM OUR PERSPECTIVE, THE NEGATIVE CONSEQUENCES OUTWEIGH THE BENEFITS OF RETAINING THE TREES.**

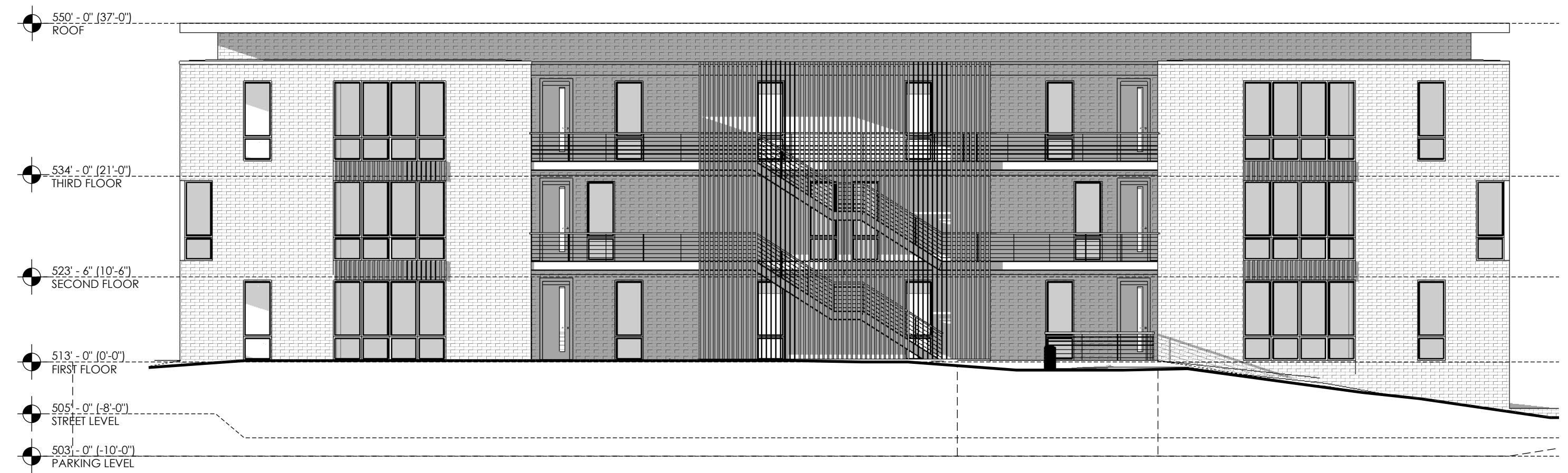


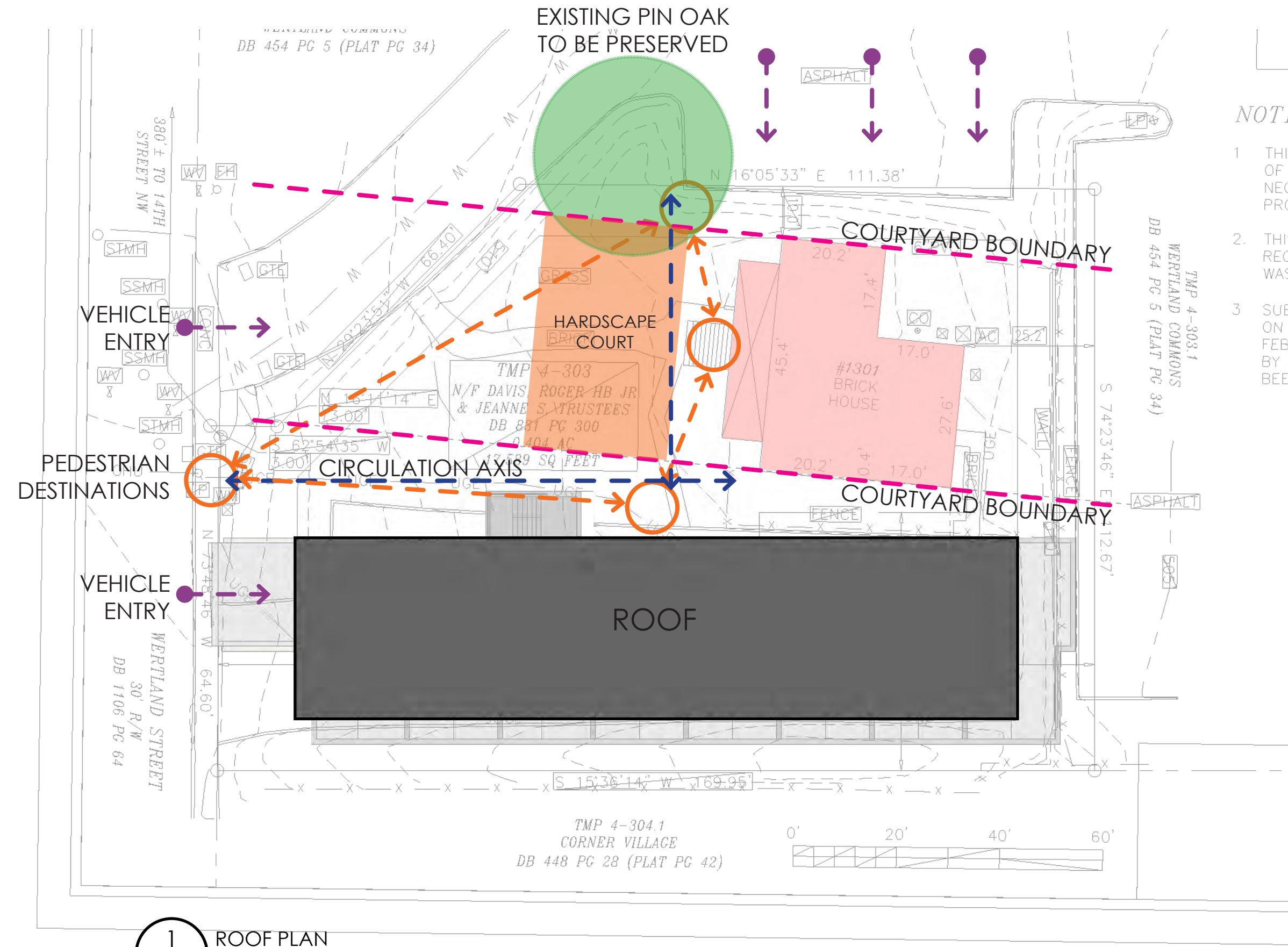
**1** PARKING PLAN  
**A1.2** 1/16" = 1'-0"



**1** TYPICAL RESIDENTIAL LEVEL  
**A1.3** 1/16" = 1'-0"







1 ROOF PLAN  
A1.4 1/20" = 1'-0"







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EXISTING PERSPECTIVE FROM 13TH STREET  
24

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PROPOSED PERSPECTIVE FROM 13TH STREET  
25

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EXISTING PERSPECTIVE FROM WERTLAND STREET  
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PROPOSED PERSPECTIVE FROM WERTLAND STREET  
27

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PROPOSED PERSPECTIVE ON WERTLAND ST.  
28

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CHARLOTTESVILLE, VA

AERIAL ABOVE WERTLAND  
29

BAR SUBMISSION  
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1301 WERTLAND ST.  
CHARLOTTESVILLE, VA

COURTYARD PERSPECTIVE  
30

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FEBRUARY 15, 2022



1301 WERTLAND ST.  
CHARLOTTESVILLE, VA

RENDERED SITE PLAN  
31

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FEBRUARY 15, 2022



1. UTILIZE EXISTING CURB CUTS AND REDUCE THE DRIVE-AISLE WIDTH TO CITY MINIMUM REQUIREMENTS.
2. DESIGN SITE WALLS TO BE MINIMAL AND EXTENSIONS OF THE BUILDING FORM.
3. SCREEN WITH LANDSCAPING.
4. INCORPORATE BUILDING ELEMENTS TO DESIGN A UNIQUE GARAGE DOOR THAT IS RATIONAL AND THOUGHTFULLY COORDINATED WITH THE BUILDING ELEVATION ABOVE WHILE SCREENING A MORE UTILITARIAN PARKING LEVEL ENTRANCE.



LOCAL PRECEDENTS



ALUMINUM WOODGRAIN PRODUCT: LONGBOARD PRODUCTS / KNOTWOOD