



**CITY COUNCIL AGENDA**  
**Monday, November 6, 2017**

**5:30 p.m.**

**Closed session as provided by Section 2.2-3712 of the Virginia Code** *Second Floor Conference Room* (Consideration of sale of City-owned property on 2nd St. SE; discuss acquisition of real property on w. Main St. for a public purpose; City Manager annual performance evaluation follow-up; Boards & Commissions)

**7:00 p.m.**

**Regular Meeting - CALL TO ORDER**  
*Council Chambers*

**PLEDGE OF ALLEGIANCE**  
**ROLL CALL**

**AWARDS/RECOGNITIONS** Poppy Proclamation (Veterans Day)  
**ANNOUNCEMENTS** Legislative Agenda overview

**CITY MANAGER RESPONSE TO MATTERS BY THE PUBLIC**

**MATTERS BY THE PUBLIC** Public comment is provided for up to 15 speakers at the beginning of the meeting (limit 3 minutes per speaker.) Pre-registration is available for up to 10 spaces, and pre-registered speakers are announced by noon the day of the meeting. The number of speakers is unlimited at the end of the meeting.

- 1. CONSENT AGENDA\*** (Items removed from consent agenda will be considered at the end of the regular agenda.)
- a. Minutes for October 16, 2017
  - b. APPROPRIATION: State Of Good Repair (SGR) for bridge repairs –\$10,079,968.00 (2<sup>nd</sup> of 2 readings)
  - c. APPROPRIATION: Local Contributions for Crisis Intervention Team - \$105,910 (1<sup>st</sup> of 2 readings)
  - d. APPROPRIATION: Runaway Emergency Shelter Program Grant – \$209,444 (1<sup>st</sup> of 2<sup>nd</sup> reading)
  - e. RESOLUTION: Reprogramming of Existing Capital Funding for Ambulance Purchase – \$175,000 (1<sup>st</sup> of 1 reading)
  - f. RESOLUTION: Extension of the Affordable Housing Fund Grant Agreement with Piedmont Housing Alliance's Down Payment Assistance Program (1<sup>st</sup> of 1 reading)
  - g. ORDINANCE: Proposed Changes to Dog License (1<sup>st</sup> of 2 readings)
- 2. PUBLIC HEARING/ORDINANCE\*:** Water Street Parking Garage Parking Spaces Lease (1<sup>st</sup> of 2 readings) – **15 mins**
- 3. PUBLIC HEARING/ORDINANCE\*:** Dominion Utility Easement at Ragged Mountain Reservoir (1<sup>st</sup> of 2 readings) – **10 mins**
- 4. REPORT:** FY 2018 – 2020 Strategic Plan and City Council 2017 Workplan – **30 mins**
- 5. ORDINANCE\*:** Park Street Planned Unit Development Rezoning Request (1<sup>st</sup> of 2 readings) – **30 mins**
- 6. RESOLUTION\*:** 901 River Road Special Use Permit for self-storage company (1<sup>st</sup> of 1 reading) – **20 mins**
- 7. RESOLUTION\*:** Downtown Parks Master Plan Review of Scope (1<sup>st</sup> of 1 reading) – **30 mins**

**OTHER BUSINESS**  
**MATTERS BY THE PUBLIC**

\*ACTION NEEDED

## GUIDELINES FOR PUBLIC COMMENT

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**We welcome public comment;  
it is an important part of our meeting.**

**Time is reserved near the beginning and at the end of each regular City Council meeting for Matters by the Public.**

**Please follow these guidelines for public comment:**

- If you are here to speak for a **Public Hearing**, please wait to speak on the matter until the report for that item has been presented and the Public Hearing has been opened.
- Each speaker has **3 minutes** to speak. Please give your name and address before beginning your remarks.
- Please **do not interrupt speakers**, whether or not you agree with them.
- Please **refrain from using obscenities**.
- If you cannot follow these guidelines, you will be escorted from City Council Chambers and not permitted to reenter.

**CITY OF CHARLOTTESVILLE, VIRGINIA  
CITY COUNCIL AGENDA**



<b>Agenda Date:</b>	October 16, 2017
<b>Action Required:</b>	Public Hearing and Appropriation of Funds
<b>Presenter:</b>	Marty Silman, City Engineer
<b>Staff Contacts:</b>	Marty Silman, City Engineer Tony Edwards, Neighborhood Development Services Manager
<b>Title:</b>	State Of Good Repair (SGR) for bridge repairs – Appropriation of \$10,079,968.00

**Background:** The Code of Virginia authorizes the Commonwealth Transportation Board to use funds allocated to state of good repair purposes for reconstruction of structurally deficient locally owned bridges. The Commonwealth Transportation Board (CTB) approved the prioritization process and methodology for selecting SGR Bridge projects at their June 14, 2016 meeting. The State of Good Repair Program was planned to begin in FY2021. However, based on a more positive revenue outlook, VDOT began using funding through the State of Good Repair Program beginning this year (starting in FY2017).

The City submitted applications for each of our structurally deficient bridges and was fortunate to receive 100% funding for 4 of our structurally deficient bridges.

**Discussion:** Staff is requesting that \$10,079,968.00 be appropriated to new project accounts for each of the 4 bridges that were awarded funding. *The appropriation is needed to allocate the state funding that will be received on a reimbursement basis.*

The breakdown for the projects that were awarded the SGR funding is as follows:

- Route 250 Bypass over Route 29 Business - \$3,847,554
- Route 250 Bypass over Rugby Ave - \$2,488,292
- Route 250 Bypass over Norfolk Southern Railroad - \$1,303,496
- Melbourne Road over Norfolk Southern Railroad - \$2,440,626

Repairs are bridge specific, but range from minor work to address erosion around bridge abutments to full bridge deck replacement. In general, repairs consist of various items such as bearings, anchor bolts, beams, painting, railing, concrete, etc.

Each of the bridges awarded for funding are classified as structurally deficient for one or more items (deck, superstructure or substructure). It should be noted that while these bridges may be classified

as structurally deficient they are adequate to support the required loads of today's vehicles. Structurally deficient is classified as a score of 0-4 out of 10. None of the bridges have a rating below 4. Following the improvements, each bridge should be off the structurally deficient list with a minimum rating of 5 or greater.

**Community Engagement:** A Public Hearing will be held on October 16, 2017 to provide the opportunity for community input. In addition, we will issue notices and project updates to keep road users and the surrounding residents apprised of the project status and traffic impacts.

**Alignment with City Council's Vision and Priority Areas:** Approval of this agenda item will help meet the City's commitment to create "a connected community" by improving our existing transportation infrastructure.

**Budgetary Impact:** There is no match requirement as the grant applications awarded are based on 100% funding. Acceptance of this funding will allow existing bridge repair funding to be used on other structures.

**Recommendation:** Staff recommends approval of appropriation and creation of a new project number/account for each bridge.

**Alternatives:** N/A

**Attachment:** Appropriation

**APPROPRIATION**  
**State of Good Repair Program - \$10,079,968.00**

**WHEREAS**, a total of \$10,079,968.00 in state funds for the State of Good Repair Program requires appropriation;

**WHEREAS**, a total of \$0.00 in matching city funds are for the State of Good Repair requires transferring;

**WHEREAS**, the total appropriation will be allocated to the following projects (and associated project numbers listed below):

- Route 250 Bypass over Route 29 Business - **\$3,847,554**
- Route 250 Bypass over Rugby Ave - **\$2,488,292**
- Route 250 Bypass over Norfolk Southern Railroad - **\$1,303,496**
- Melbourne Road over Norfolk Southern Railroad - **\$2,440,626**

**NOW, THEREFORE BE IT RESOLVED** by the Council of the City of Charlottesville, Virginia that the following is hereby appropriated in the following manner:

**Revenues**

<b>\$ 3,847,554</b>	Fund: 426	WBS: P-00953	G/L Account: 430110
<b>\$ 2,488,292</b>	Fund: 426	WBS: P-00954	G/L Account: 430110
<b>\$ 1,303,496</b>	Fund: 426	WBS: P-00955	G/L Account: 430110
<b>\$ 2,440,626</b>	Fund: 426	WBS: P-00956	G/L Account: 430110

**Expenditures**

<b>\$ 3,847,554</b>	Fund: 426	WBS: P-00953	G/L Account: 599999
<b>\$ 2,488,292</b>	Fund: 426	WBS: P-00954	G/L Account: 599999
<b>\$ 1,303,496</b>	Fund: 426	WBS: P-00955	G/L Account: 599999
<b>\$ 2,440,626</b>	Fund: 426	WBS: P-00956	G/L Account: 599999

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**CITY OF CHARLOTTESVILLE, VIRGINIA  
CITY COUNCIL AGENDA**



Agenda Date:	November 6, 2017
Action Required:	Appropriation of ongoing funding for Crisis Intervention Team
Presenter:	Thomas McKean, Police Department
Staff Contacts:	Thomas McKean, Police Department Thomas Von Hemert, Jefferson Area C.I.T. Coordinator
<b>Title:</b>	<b>Local Contributions for Crisis Intervention Team - \$105,910</b>

**Background:**

The Thomas Jefferson Area Crisis Intervention Team (C.I.T) Program provides regular training courses for Law Enforcement and other agencies, both local and from throughout the state. These week long training sessions for Police Officers, along with other training sessions for security guards, dispatchers, and others are provided regularly over the course of each year led by C.I.T. Coordinator, Thomas von Hemert. This training serves to keep Agencies equipped with C.I.T. trained officers in order to better service those in mental crisis. Funding for this training is provided from multiple agencies on a previously agreed upon cost. The City of Charlottesville Police Department receives funding to support the C.I.T. Program in the amount of \$105,910. The funding is from several sources that include localities and agencies within the Thomas Jefferson Area C.I.T. region.

**Discussion:**

Region 10 will provide pass through funds from The Department of Behavioral Health and Disability Services (DBHDS) in the amount of \$53,700, and participating surrounding localities will provide \$34,710. Additional funding will be provided for ongoing training, consultation, and assistance to C.I.T. programs in the following manner per fiscal year:

Albemarle County Police Department	\$2,500
City of Charlottesville Police Department	\$2,500
University of Virginia Police Department	\$2,500
Albemarle/Charlottesville Regional Jail	\$2,500
Region Ten	\$2,500
Central Virginia Regional Jail	\$2,500
CAC Foundation	\$2,500
Total contributions	\$17,500

Further additional income may be received from outside jurisdiction agencies who attend training in the Thomas Jefferson Training Area. These are reimbursed through The Department of Criminal Justice Services, at \$500 per person and received on a case by case basis as the training occurs.

**Alignment with Council Vision Areas and Strategic Plan:**

Appropriation of this item aligns with Council's visions by providing funding to aid the Thomas Jefferson Crisis Intervention Team Program and the Charlottesville Police Department in delivering optimal C.I.T. services to our City as a Smart, Citizen-Focused Government. It supports our Mission of providing services that promote exceptional quality of life for all in our community by providing important quality services to those in need of mental health assistance and safety.

This appropriation also supports Goal 2 of the Strategic Plan: A Healthy and Safe City. The C.I.T. program provides education and training to members of the community who have frequent interaction with those in need of mental health assistance. These people include but are not limited to, police officers, dispatchers, corrections officers, and fire department personnel. C.I.T. encourages safer and more effective interaction between care providers and those in need, making those interactions and the community more equitable and safer for all. The Jefferson Area CIT program also embraces Objective 5.4 Foster Effective Community Engagement by involving all aspects of the mental health processes and making them more efficient and safer. C.I.T. facilitates and fosters relationships between Region 10, mental health providers, law enforcement, local hospitals, jails, and many others to ensure that those in need of mental health services can obtain them as safely and efficiently as possible.

**Community Engagement:**

N/A

**Budgetary Impact:**

There is no impact to the General Fund. The funds will be expensed and reimbursed to a Grants Fund.

**Recommendation:**

Staff recommends approval and appropriation of funds.

**Alternatives:**

The alternative is to not approve this project to the detriment of increasing much needed mental health programs.

**Attachments:**

Appropriation



**APPROPRIATION**

**\$105,910**

**Local Agency Contributions for Crisis Intervention Team**

**WHEREAS**, the City of Charlottesville, through the Thomas Jefferson Crisis Intervention Team and the Charlottesville Police Department, receives from local agencies \$105,910 per fiscal year;

**WHEREAS**, the City of Charlottesville, through the Thomas Jefferson Crisis Intervention Team and the Charlottesville Police Department, receives from other local agencies, funding to support Crisis Intervention Team programs;

**NOW, THEREFORE BE IT RESOLVED** by the Council of the City of Charlottesville, Virginia, that the lump sum of \$105,910, received from local Agencies is hereby appropriated in the following manner:

**Revenues: \$105,910**

\$88,410	Fund: 209	Cost Center: 3101003000	G/L Account: 432080
\$17,500	Fund: 209	Cost Center: 3101003000	G/L Account: 434410

**Expenditures: \$105,910**

\$79,825	Fund: 209	Cost Center: 3101003000	G/L Account: 519999
\$26,085	Fund: 209	Cost Center: 3101003000	G/L Account: 599999

**BE IT FURTHER RESOLVED**, by the Council of the City of Charlottesville, Virginia, that this appropriation is conditioned upon the receipt of funding by the participating agencies listed above.

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**CITY OF CHARLOTTESVILLE, VIRGINIA  
CITY COUNCIL AGENDA**



<b>Agenda Date:</b>	November 6, 2017
<b>Action Requested:</b>	Appropriation
<b>Presenter:</b>	Rory Carpenter, Juvenile Justice Coordinator
<b>Staff Contacts:</b>	Rory Carpenter, Juvenile Justice Coordinator Kaki Dimock, Director of Human Services
<b>Title:</b>	<b>Runaway Emergency Shelter Program Grant - \$209,444</b>

**Background:**

The Human Services Department, in partnership with ReadyKids, applied for and received a grant from the Department of Health and Human Services Administration for Children and Families in the amount of \$200,000 in federal funds and \$22,222 in local matching funds. The local match will be met with a transfer of \$9,444 from the Human Services Department for a total appropriation of \$209,444. An in-kind match of \$12,778 from ReadyKids, to provide Runaway Emergency Shelter Program (R.E.S.P.) services will be applied to the grant as well. This is the seventh grant year of the partnership.

**Discussion:**

The funds support services that provide emergency shelter, counseling and after care services for youth in crisis for the purpose of keeping them safe and off the streets, with a goal of reunification with family. Funded services will include: emergency shelter available 24 hours per day, 7 days a week; individual and family counseling to help resolve conflict and develop new communication skills to facilitate reunification with the family; and additional support services that help youth build meaningful connections with their community and encourage positive youth development.

**Alignment with City Council's Vision and Strategic Plan:**

The Runaway Emergency Shelter Program grant aligns with the goals and objectives of the City of Charlottesville's Strategic Plan - Goal 2: A Healthy and Safe City Objective 2.3: Improve community health and safety outcomes by connecting residents with effective resources.

The Human Service Department's programs, including the Runaway Emergency Shelter Program, provide residential and community based services that prevent delinquency and promote the healthy development of youth.

**Community Engagement:**

In order to increase prevention services, R.E.S.P. staff conduct extensive outreach efforts, particularly in area schools reaching out to youth through a variety of activities including presentations to health classes and tablings during lunch.

**Budgetary Impact:**

There is no impact to the General Fund. There is a local match that the Human Service's Department and ReadyKids will provide (cash match of \$9,444 – Human Services Fund and in-kind match \$12,778 – ReadyKids). This grant will be appropriated into a grants fund.

**Recommendation:**

Staff recommends approval and appropriation of funds.

**Alternatives:**

If the funds are not appropriated, the grant would not be received and the Runaway Emergency Shelter Program services would not be provided.

**Attachments:**

N/A

**APPROPRIATION**  
**Runaway Emergency Shelter Program**  
**\$209,444**

**WHEREAS**, the City of Charlottesville has been awarded \$200,000 from the Department of Health and Human Services Administration for Children and Families with cash match of \$9,444 provided by the Human Services Fund and in-kind match of \$12,778 provided by ReadyKids;

**WHEREAS**, the funds will be used to operate the Runaway Emergency Shelter Program through a partnership between the Human Services Department and ReadyKids. The grant award covers the period from September 30, 2017 through September 29, 2018;

**NOW, THEREFORE BE IT RESOLVED** by the Council of the City of Charlottesville, Virginia, that the sum of \$209,444 is hereby appropriated in the following manner:

**Revenue – \$209,444**

\$200,000	Fund: 211	Internal Order: 1900293	G/L Account: 431110
\$ 9,444	Fund: 211	Internal Order: 1900293	G/L Account: 498010

**Expenditures - \$209,444**

\$ 69,948	Fund: 211	Internal Order: 1900293	G/L Account: 519999
\$115,000	Fund: 211	Internal Order: 1900293	G/L Account: 530010
\$ 24,496	Fund: 211	Internal Order: 1900293	G/L Account: 599999

**Transfer - \$9,444**

\$ 9,444	Fund: 213	Cost Center: 3413003000	G/L Account: 561211
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**BE IT FURTHER RESOLVED**, that this appropriation is conditioned upon the receipt of \$200,000 from the Department of Health and Human Services Administration for Children and Families.

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**CITY OF CHARLOTTESVILLE, VIRGINIA  
CITY COUNCIL AGENDA**



Agenda Date:	November 6, 2017
Action Required:	Approval of Resolution
Presenter:	Mike Rogers, Deputy Chief - Operations, Charlottesville Fire Department
Staff Contacts:	Mike Rogers, Deputy Chief - Operations, Charlottesville Fire Department
Title:	<b>Reprogramming of Existing Capital Funding for Ambulance Purchase, \$175,000.</b>

**Background:**

The adopted FY17 Capital Improvement Plan (CIP) included funding for the purchase of one (1) replacement tractor drawn aerial ladder for a total cost of \$1,599,366. The tractor drawn aerial has been purchased and is being placed in service but several factors contributed to a budget savings in the amount of \$180,794. The Fire Department is requesting to reprogram \$175,000 of the remaining funds to support the purchase of a new fire department owned ambulance to aid in the delivery of EMS transport service, and support the on-going Emergency Medical Service System Improvement Strategy (EMS SIS).

**Discussion:**

On September 5, 2017 the EMS SIS, the new memorandum of understanding between the Charlottesville Albemarle Rescue Squad (CARS) and Charlottesville Fire Department (CFD) went into effect. On September 7, 2017 CFD began running a CARS -owned ambulance out of the Ridge Street Fire Station staffed with two CFD personnel from 7am-7pm each weekday. These personnel are currently utilizing an ambulance that is borrowed from CARS and is not owned in part or whole by the City. On January 1<sup>st</sup>, 2018, a second ambulance is slated to go in-service at the Fontaine Fire Station as a 24 hour unit, 7 day per week. CFD's current utilization of CARS ambulances affects their reserve fleet availability when they have units out of service due to ongoing fleet maintenance challenges. The planned implementation of the 24-hour ambulance at the Fontaine Station will only further exacerbate the capabilities of the current CARS fleet. The re-programming of these funds to procure a CFD owned ambulance with help to alleviate this stress on the CARS ambulance fleet.

As part of the City's FY 2019-2023 CIP process, the Fire Department will be requesting funds to purchase four (4) total ambulances, between FY 2019 and FY 2021. Each of these units will cost \$342, 452. These requested units will require a full complement of equipment that accounts for the additional \$167,452 above this initial unit cost of \$175,000. We will be outfitting this initial unit with equipment already purchased for the CARS units we are currently utilizing.

### **Alignment with City Council's Vision and Strategic Plan:**

Vision Statement - America's Healthiest City, "Our emergency response system is among the nation's best." CFD would be engaging this vision by starting to build a safer, more sustainable and more reliable tiered transport foundation for the City's EMS SIS.

Strategic Plan –

- Goal 2, A Healthy and Safe City, 2.1 Reduce the adverse impact from sudden injury and illness and the effects of chronic disease.
- Goal 5, Well-managed and Responsive Organization, 5.1 Integrate effective business practices and strong fiscal policies.

### **Community Engagement:**

The City's EMS System Improvement Strategy has been presented to the community over the past several months, via a Council Work Session on June 15, 2017, Public Hearing on July 17, 2017, and Council meetings on August 21, 2017 and September 5, 2017.

### **Budgetary Impact:**

This request has no impact on the General Fund. This request would reprogram previously appropriated funds in the amount of \$175,000.

### **Recommendation:**

Staff recommends approval of this resolution to re-program previously appropriated CIP funds for this purpose. Currently, the Fire Department has the opportunity to purchase one of the ambulances that will be needed to support the start-up and build out of the City's EMS SIS.

### **Alternatives:**

If the department is unable to have these funds re-appropriated to support the purchase of a City owned ambulance, CFD will need to continue to rely entirely on CARS ambulances to deliver service. This will continue to impact CARS reserve fleet for it members to staff should they have units out of service. This will also make the department fully reliant on the use of future CIP funding for the acquisition of City owned ambulances.

### **Attachments:**

N/A



**RESOLUTION**  
**Reprogramming of Existing Capital Funding for Ambulance Purchase - \$175,000**

**BE IT RESOLVED** by the City Council of the City of Charlottesville, Virginia that the sum of \$175,000 is hereby transferred in the following manner:

**Transfer From**

\$175,000      Fund: 426      WBS Element: P-00920      G/L Account: 599999

**Transfer To**

\$175,000      Fund: 426      WBS Element: P-00957      G/L Account: 599999

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**CITY OF CHARLOTTESVILLE, VIRGINIA.  
CITY COUNCIL AGENDA**



<b>Agenda Date:</b>	November 6, 2017
<b>Action Required:</b>	Resolution
<b>Staff Contacts:</b>	Stacy Pethia, Housing Program Coordinator
<b>Presenter:</b>	Stacy Pethia, Housing Program Coordinator
<b>Title:</b>	<b>Extension of the Charlottesville Affordable Housing Fund Grant Agreement with Piedmont Housing Alliance's Down Payment Assistance Program for the Orangedale and Prospect Neighborhood</b>

**Background:**

On May 18, 2015, City Council approved funding for Piedmont Housing Alliance (PHA) to implement an Orangedale & Prospect Neighborhood Down Payment Assistance Program benefitting households with incomes at or below 80% AMI. A total of \$181,125 was approved and included \$110,000 in down payment assistance loans, \$62,500 in home repair grants (to be used in conjunction with down payment assistance to make repairs) and \$8,625 in administrative expenses to cover PHA staff and related costs.

In July 2016, PHA submitted a request to amend the program:

- Expand the down payment assistance target area from the Orangedale and Prospect Neighborhood to the entire City of Charlottesville;
- Impose a maximum sales price of \$200,000;
- Eliminate the minimum housing ratio and establish maximum debt ratios; AND
- Reduce the Deed of Trust security from 15 years to ten years.

City Council approved these amendments and a grant extension on September 19, 2016. The current grant extension expired on July 30, 2017. PHA is requesting another extension of the grant in order to meet program goals.

## **Discussion:**

Since July 2016, PHA has provided down payment assistance to three homebuyers to purchase homes in the 10<sup>th</sup> and Page, Orangedale and Prospect, and North Berkshire neighborhoods; and provided home repair grants to two homebuyers. This activity has left a balance of \$22,060 in down payment assistance and \$37,500 in home repair grant funds, enough money to provide down payment assistance to an additional one or two households, and three additional home repair grants.

In an effort to expand program participation, PHA has undertaken a number of community outreach activities including: direct mailings; a news release, attending neighborhood association meetings, and working with lenders and home sellers. In January of this year, PHA relocated their financial education classes to the Carver Recreation Center as a strategy to increase attendance via a more central location. However, two primary obstacles have been identified which inhibit potential homebuyers from realizing their dreams of homeownership. The first is a lack of affordable housing stock for sale located within city limits. The second is a lack of financial stability and mortgage-readiness. Many lower-income families face significant credit and money management issues that prevent them from qualifying for mortgages. These issues can be overcome through education and effective household budgeting, but the process takes time.

Acknowledging the challenges many families face when working towards homeownership, and given the PHA's success over the past year and their ongoing efforts to promote the program, staff recommends City Council approve a 12 month extension of the grant agreement.

## **Community Engagement:**

In addition to the activities discussed above, PHA has also posted program flyers in the Orangedale and Prospect neighborhood; held three neighborhood meetings and four "Building Towards Home Ownership" workshops; participated in the Greenstone on 5<sup>th</sup> Community Days and Community Clean-Up Day; participated in meetings with CALM and the NAACP to promote the program; identified properties for sale; and posted special yard signs on those properties.

## **Alignment with City Council Vision and Strategic Plan:**

Approval of this agenda item aligns directly with Strategic Goal 1.3: Increase affordable housing options.

## **Budgetary Impact:**

No additional funds are being requested, so there is no impact on the budget.

## **Recommendation**

Staff recommends approving an extension of the program grant through July 30, 2018.

**Alternatives:**

City Council could decide to not approve an extension of the grant agreement and ask PHA to return the remaining funds to the Charlottesville Affordable Housing Fund.

**Attachments:**

PHA Request  
Resolution

## **RESOLUTION**

### **Extension of Charlottesville Affordable Housing Fund Agreement with the Piedmont Housing Alliance for the Down Payment Assistance Program for the Orangedale and Prospect Neighborhood**

**WHEREAS**, the City of Charlottesville awarded for a pilot demonstration program to Piedmont Housing Alliance for the purpose of providing down payment assistance and home repairs to potential homebuyers within the Orangedale and Prospect Neighborhood; and

**WHEREAS**, the City of Charlottesville approved an extension of the program grant agreement through July 30, 2017; and

**WHEREAS**, between December 2016 and September 2017, Piedmont Housing Alliance successfully used 67 percent of the program funds to provide down payment assistance and home repair grants to four homebuyers;

**NOW, THEREFORE BE IT RESOLVED** by the Council of the City of Charlottesville, Virginia, that the grant agreement for the Piedmont Housing Alliance's Down Payment Assistance Program for the Orangedale and Prospect neighborhood be extended through July 30, 2018.



PIEDMONT  
HOUSING  
ALLIANCE

September 27, 2017

Stacy Pethia, Housing Program Coordinator  
Department of Neighborhood Development Services  
City Hall  
PO Box 911  
Charlottesville, VA 22902

Dear Ms. Pethia,

Piedmont Housing Alliance requests an extension of time through June 30, 2018, in which to spend the remaining \$59,560 directly for down payment loans or home repair grants in support of our Home Ownership, Self-Sufficiency & Financial Capability partnership with the City. While the program has had great success providing \$112,940 in direct home ownership assistance in the City, targeted in the Orangedale/Prospect neighborhood, funds remain and we request this additional time to fully expend the allocated funding.

Should you have questions or need additional information, please contact me at [KReifenberger@piedmonthousing.org](mailto:KReifenberger@piedmonthousing.org).

Sincerely,

Karen Reifenberger  
Chief Operating Officer

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**CITY OF CHARLOTTESVILLE, VIRGINIA  
CITY COUNCIL AGENDA**



<b>Agenda Date:</b>	November 6, 2017
<b>Action Requested:</b>	Approve changes to dog license fees
<b>Presenter:</b>	Jason A. Vandever, Treasurer
<b>Staff Contacts:</b>	Jason A. Vandever, Treasurer Chad Everette Thorne, Chief Deputy Treasurer
<b>Title:</b>	Proposed Changes to Dog License: Implement Lifetime Dog Tag Fee

**Background:**

Virginia Code § 3.2-6528 “*Amount of License Tax*” stipulates that localities shall impose, by ordinance, a license tax on the ownership of dogs within their jurisdiction. Earlier this year, Virginia Code § 3.2-6528 was amended to permit localities to enact, by ordinance, a lifetime license tax on dog ownership. New language within the statute stipulates the dog license tax shall not be more than \$10 per year for an annual license, and no more than \$50 for a lifetime license.

The Treasurer’s Office currently issues dog licenses annually to residents who own or keep dogs at least four (4) months old in the City of Charlottesville. Licenses issued are for one (1) or three (3) years based on a calendar year of January 1 – December 31; and cost:

- (a) For an unsexed female or male dog, \$4.00 per year
- (b) For any dog not spayed or neutered, \$10.00 per year
- (c) For a kennel of twenty (20) dogs, \$20.00 per year
- (d) For a kennel of fifty (50) dogs, \$35.00 per year

**Discussion:**

Many localities in Virginia are considering implementation of the relatively new lifetime dog license. At present, Hanover and Stafford Counties have already implemented the lifetime tag. It is also being considered in Orange County. Chesterfield and Accomack have expressed an interest in the possibility of a lifetime dog license.

The proposed fee change would be to implement a lifetime dog license fee of \$10 and eliminate the annual tag requirement, saving residents the cost and hassle on the annual tag renewal process. Fees for kennel dogs will remain the same. The replacement fees for lost or stolen licenses will be \$1.

The implementation of a \$10 lifetime dog license tax could:

- Reduce the tax burden for dog owners over the course of their dog's lifespan
- Present a convenience for dog owners by eliminating the renewal requirements of dog licenses
- Limit the processing and supply costs of issuing license renewals for the Treasurer's Office

**Alignment with City Council's Vision and Strategic Plan:**

This supports the City's Strategic Goal 5: A Well-Managed and Responsive Organization; Objective 5.1: Integrate effective business practices and strong fiscal policies and 5.3 Provide responsive customer service.

**Community Engagement:**

CASPCA has been contacted and sees no issue with the proposed changes.

**Budgetary Impact:**

Annual dog license revenues have been fluctuating between \$11,000 – \$15,000 per year recently. It is expected that the first year's implementation will result in a slight revenue increase since many owners who would have purchased a \$4 one year dog tag will now purchase a \$10 lifetime dog tag. Over the next several years, revenue is expected to decrease as renewals are phased out and only new dogs will be added on an annual basis. The decline in revenue will be offset slightly by a decrease in program administration costs.

**Recommendation:**

Replace the annual license tax with a lifetime dog license costing \$10. These changes will go into effect with the tag year starting on January 1, 2018.

**Alternatives:**

Continue with current dog license fee structure.

**Attachments:**

Proposed Ordinance

**AN ORDINANCE  
AMENDING AND REORDAINING SECTION 4-37  
OF ARTICLE III OF CHAPTER 4 (ANIMALS AND FOWL) TO  
ESTABLISH A LIFETIME DOG LICENSE**

**BE IT ORDAINED** by the Council for the City of Charlottesville, Virginia, that Section 4-37 of Article III of Chapter 4 of the Charlottesville City Code, 1990, as amended, are hereby amended and reordained, as follows:

**ARTICLE III. DOGS GENERALLY**

**Sec. 4-36. License—Required.**

It shall be unlawful and a Class 4 misdemeanor for any person to own or keep within the city any dog four (4) months old or older for which a current license has not been secured as provided by the laws of the state.

**Sec. 4-37. Same—Year and tax.**

(a) ~~Dog licenses shall run from January 1 to December 31, inclusive, and~~ The dog license tax, payable at the office of the city treasurer, shall be as follows:

- (1) ~~For an unsexed female or male dog, four dollars (\$4.00).~~ For any individual dog, a lifetime license tax of ten dollars (\$10.00).
- (2) ~~For any dog not spayed or neutered, ten dollars (\$10.00).~~
- (3) ~~For a kennel of twenty (20) dogs, twenty dollars (\$20.00) annually.~~
- (4) ~~For a kennel of fifty (50) dogs, thirty-five dollars (\$35.00) annually.~~

(b) The lifetime license shall be valid only as long as the animal's owner resides in the City of Charlottesville and the dog's rabies vaccination is kept current. A fee of one dollar (\$1.00) will be charged for replacement of a dog license that is lost or stolen. The license for a kennel shall run from January 1 to December 31, inclusive. A dog license may be purchased for a three year period, and the license tax, payable at the office of the city treasurer, shall be twelve dollars (\$12.00) for an unsexed female or male dog, or thirty dollars (\$30.00) for any dog not spayed or neutered. The three year license shall expire on December 31 of the third calendar year, or on the last day of the month in which the rabies vaccination of the licensed animal expires, whichever occurs first.

(c) No license tax shall be levied on any dog that is trained and serves as a guide dog for a blind person or that is trained and serves as a hearing dog for a deaf or hearing impaired person or that is trained and serves as a service dog for a mobility-impaired person. As used in this section, "hearing dog" means a dog trained to alert its owner by touch to sounds of danger and sounds to which the owner should respond, and "service dog" means a dog trained to accompany its owner for the purpose of carrying items, retrieving objects, pulling a wheelchair or other such activities of service or support.

**State Law reference—** Similar provisions Virginia Code §§ 3.2-6527 – 3.2-6536

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**CITY OF CHARLOTTESVILLE, VIRGINIA  
CITY COUNCIL AGENDA**



<b>Agenda Date:</b>	November 6, 2017
<b>Actions Required:</b>	Yes (Opening of Bids and First Reading of Lease Ordinance)
<b>Staff Presenter:</b>	Craig Brown, City Attorney
<b>Staff Contacts:</b>	Craig Brown, City Attorney Chris Engel, Director of Economic Development
<b>Title:</b>	<b>Proposed Lease of 75 Parking Spaces in the Water Street Parking Garage</b>

**Background:**

The owner / developer of the Dewberry Hotel on the Downtown Mall has expressed an interest in leasing City-owned parking spaces in the Water Street Parking Garage (“WSPG”) for use by the hotel’s visitors and guests, once the hotel is built and opened. In 2007 the original developer of the hotel leased 70 parking spaces in the Garage from Charlottesville Parking Center, Inc. for an initial term of 20 years, with the right to renew the lease for two additional terms of 20 years each. That lease ended when the original hotel owner was unable to complete the project.

Virginia law provides that property owned by cities and towns can be leased for a maximum term of 40 years, and that before granting a lease in excess of five years, “the city or town shall, after due advertisement, publicly receive bids therefore.” Since the hotel developer has expressed an interest in leasing WSPG parking spaces for more than five years, City Council adopted a Resolution on September 5, 2017 authorizing staff to advertise a 40-year lease of 75 designated parking spaces in the WSPG. That advertisement, inviting written bids for the parking space lease, was published in *The Daily Progress* once a week for two successive weeks, as required by law. A copy of the proposed ordinance and Parking Space Lease, which were referenced in the legal advertisement, are attached to this agenda memo. This public advertisement and bid process has previously been used to lease property for a 40 year term to the Boys and Girls Club at the Buford Middle School site, and to the YMCA at McIntire Park.

**Discussion:**

Virginia Code §15.2-2102 describes the process for receiving bids and awarding the lease:

*The presiding officer shall read aloud, or cause to be read aloud, a brief summary of each of the bids that have been received, for public information, and shall then inquire if any further bids are offered. If further bids are offered, they shall be received. The presiding officer shall thereafter declare the bidding closed. The presiding officer shall receive recommendations from the staff relative to any bids received in advance and staff's recommendations, if any, on any bids received at the advertised council meeting.*

If one or more bids have been submitted, City Council is required to hold a public hearing on the lease of the parking spaces, prior to deciding whether to proceed with the proposed ordinance. Virginia Code §15.2-2102 states that “the council shall accept the highest bid from a responsible bidder and shall adopt the ordinance as advertised . . . however, the council, by a recorded vote of a majority of the members elected to the council, may reject a higher bid and accept a lower bid from a responsible bidder, if, in its opinion, some reason affecting the interest of the city or town makes it advisable to do so, which reason shall be expressed in the body of the subsequent ordinance granting the . . . lease”. The City also has the right to reject any and all bids received.

As of the date of this memo no bids for the lease of the 75 parking spaces have been received. It is not mandatory that City Council have a first reading on the ordinance at the November 6 meeting, although it may choose to do so. State law provides that City Council has the option to conduct additional investigation prior to moving the ordinance forward for a second reading.

**Community Engagement:**

There has been no formal community engagement to date, but Virginia Code §15.2-1800 requires that a public hearing be held prior to the lease of real property. That public hearing has been advertised for this City Council meeting, to be held following the submission of all bids.

**Budget Impact:**

The impact on the City budget will be determined by the amount bid for the parking spaces, if accepted by the City.

**Recommendation:**

Staff recommends that Council hold a public hearing on any bids received, and if appropriate move and second the attached ordinance on first reading.

**Alternatives:**

City Council can reject all bids submitted for the lease, either before or after conducting a public hearing. If all bids are rejected the City must re-advertise prior to any subsequent award of the lease.

**Attachments:**

Proposed Ordinance  
Parking Space Lease

**AN ORDINANCE  
AUTHORIZING THE LEASE OF SEVENTY-FIVE (75) DESIGNATED PARKING  
SPACES IN THE WATER STREET PARKING GARAGE**

**WHEREAS**, the City of Charlottesville seeks to lease seventy-five (75) parking spaces in the Water Street Parking Garage for a term of forty (40) years; and,

**WHEREAS**, Virginia law requires that the City advertise and receive bids on any lease of City-owned real property that is devoted to a public use and that will have a term in excess of five years; and,

**WHEREAS**, in accordance with Virginia Code § 15.2-2100 *et seq.*, this ordinance was duly advertised for the purpose of receiving bids; and,

**WHEREAS**, a bid has been received in response to the advertisement, and in accordance with Virginia Code § 15.2-1800 (B) a public hearing was held on November 6, 2017 to give the public an opportunity to comment on the proposed long term lease of City-owned parking spaces in the Water Street Parking Garage; and,

**WHEREAS**, the bid submitted by \_\_\_\_\_ has now been selected by the City Council to receive the Parking Space Lease.

**NOW, THEREFORE, BE IT ORDAINED** by the Council for the City of Charlottesville, Virginia that the City Manager is hereby authorized to execute a Parking Space Lease, in substantially the same form as attached hereto, with \_\_\_\_\_ as Lessee, for the leasing of seventy-five (75) Parking Spaces in the Water Street Parking Garage as described in the attached Lease. Said Parking Space Lease shall be approved as to form by the City Attorney prior to execution by the City Manager.



## PARKING SPACE LEASE

This PARKING SPACE LEASE (“Lease”) is made this \_\_\_\_ day of \_\_\_\_\_, 2017, by and between the CITY OF CHARLOTTESVILLE, VIRGINIA, a Virginia municipal corporation, referred to herein as “City” or “Lessor”, and \_\_\_\_\_, a \_\_\_\_\_, referred to herein as “Lessee”.

The City is the owner of approximately 629 condominium units designated and used as parking spaces in the Water Street Parking Garage Condominium, located in the City of Charlottesville, Virginia, on Water Street, between Second Street S.E. and Fourth Street S.E. The purpose of this Lease is to lease, on the terms and conditions set forth in this Lease, seventy-five (75) of those City-owned parking spaces on a long term basis to Lessee, for the purpose of parking by Lessee’s \_\_\_\_\_.

Therefore, the parties agree as follows:

1. **Lease of Parking Spaces.** The City hereby leases to Lessee, and Lessee hereby leases from the City, the following seventy-five (75) Parking Spaces located on the top floor of the Water Street Parking Garage:

- Parking Spaces designated P-884 through P-897;
- Parking Spaces designated P-915 through P-964; and,
- Parking Spaces designated P-1009 through P-1019.

These Parking Spaces are depicted on Exhibit A attached hereto, entitled “Water Street Parking Garage Expansion – Roof Parking”.

As an incident to the leasing of such Parking Spaces, Lessee is granted the right to use the area of the Condominium in which the Parking Spaces are located and to use such other areas of the Condominium as are reasonably necessary for ingress and egress to the Parking Spaces and otherwise in such manner as is consistent with appropriate parking of motor vehicles and the provisions of this Lease. Lessee shall also have the right to use the common elements and limited common elements specifically associated with the area in which the Parking Spaces are located, so long as such use does not inhibit or interfere with the proper use of common elements and limited common elements by other persons entitled to use thereof.

2. **Term of Lease; Option to Extend.**

**[Bidders should state the desired initial term of the lease, and the terms and conditions for an extension or renewal, if any. The entire term, including any extensions or renewals, cannot exceed forty (40) years. Bidders should also specify when the initial lease term begins, if the term of the lease will not begin when the lease is executed by both parties.]**

3. **Rent.**

**[Bidders should propose the amount of rent payable to the Lessor for the 75 Parking Spaces during the term of the lease.]**

If the rent is a fixed amount payable in monthly installments, the rent will be due and payable on the first of the month in advance. Lessee will be billed for such rent by the City in advance of the first of the month when such rent is due. Such rent will be reduced by 5% if Lessee pays rent on all spaces for any calendar year on or before the January 1 of any calendar year at the rate of 12 times the rent billed for the monthly rent which would be due on such January 1. If any rent is not paid within 10 days after it is due, the City may impose a charge of 10% for late payment. If any check provided by Lessee for payment of rent or any other amounts due under this Lease is returned for any reason other than lack of endorsements, Lessee will be charged \$50.00. Such late payment and returned check charges will be considered additional rent under this Lease.

**[If any bidder proposes rent in an amount other than a fixed monthly amount, the bidder should propose any necessary terms and conditions regarding calculation of the rent, billing, invoicing and payment.]**

4. **Access to Premises.** **[Bidders should state the days and hours that access to the 75 Parking Spaces is needed.]**

With the prior approval of the City, Lessee will be entitled to install signage and appropriate measures to limit access to the 75 Parking Spaces, and to insure that the spaces are reserved for Lessee's exclusive use; provided, however, that Lessee shall not take any actions or install any improvements that will in any manner limit or restrict access to or use of any parking spaces in the Water Street parking Garage that are not the subject of this Lease.

Nothing in this Lease shall be interpreted to preclude any person associated with the Lessee in any capacity from parking in other available parking spaces in the Water Street Parking Garage on the same terms, conditions and for the same fees as are applicable to members of the public at large. Notwithstanding Lessee's installation of signage and measures to limit access to the Parking Spaces leased herein, Lessee shall ensure that the City and its agents, contractors and representatives continuously have access to the Parking Spaces for purposes of maintenance, upkeep, repairs and security.

5. **Assistance with Problems.** As appropriate and upon notice, the City or its agent will provide reasonable assistance to Lessee, without charge during any hours that the Water Street Parking Garage is otherwise open to the public, in obtaining access to the Parking Spaces in the event of any problems with access due to an access system failure. The obligation to provide assistance without charge does not apply when the loss of access is due to (a) damage caused by Lessee or any authorized user of the leased Parking Spaces, or (b) when assistance is rendered outside of normal business hours, under circumstances that would result in a charge against any other person using the Garage for parking.

6. **Responsibility for Equipment, Maintenance and Repairs.** Lessee will be responsible for maintaining, repairing or replacing any improvements installed pursuant to section (4), *supra*, except that the City will be responsible for the costs of all maintenance and repairs due to the negligence or willful misconduct of the City or its employees, agents or contractors. As a member of the Water Street Parking Garage Condominium Association the City will be responsible for its *pro rata* share of the cost of maintaining, repairing, and keeping clean the other equipment, systems, structural components, lighting, doors, stairwells, elevators, and signs of the Condominium in accordance with good maintenance, repair and security practices, except that Lessee will be responsible for the costs of all maintenance, repairs and replacements due to the actions or inactions of Lessee or its \_\_\_\_\_.

7. **Risk of Loss; Insurance; Indemnification.** Lessee acknowledges that the City does not maintain insurance for damage to vehicles caused by the actions of others or for damage caused by any reason other than its own negligence, or the negligence of its employees, agents, representatives or contractors, or as is covered by general liability insurance for parking garage facilities. The City will not have any responsibility for any damage caused to any vehicles parked in the Parking Spaces or within the Condominium except for losses covered by insurance maintained by the City, or for any loss caused by the City. Therefore, as among the City and the Lessee, Lessee will be responsible for any losses or claims of any persons using the Parking Spaces when the City has no responsibility for any such loss or damages. Lessee will, therefore, be responsible for maintaining its own insurance for such purposes. Any such insurance will name the City as additional insured as its interest may appear. The City and the Lessee will request of their respective insurers that they provide for waiver of subrogation as to the other parties to this Lease. Lessee will indemnify and hold the City harmless with respect to any costs, including reasonable attorney's fees, and any damages arising from or incurred in connection with claims made by any employees, agents, invitees, and guests of Lessee, or any person using the Parking Spaces with Lessee's consent, for which the City is not legally responsible; and the City, to the extent permitted by applicable law, will indemnify and hold the Lessee harmless with respect to any costs, including reasonable attorney's fees, and any damages arising from or incurred in connection with claims made by any employees, agents, invitees, and guests of Hotel for which the City is solely legally responsible.

8. **Quiet Enjoyment.** Through the entire term of this Lease and for so long as the rent is paid to the City, but in no event for a period in excess of forty (40) years, Lessee shall peaceably and quietly hold and enjoy the provisions of this Lease, the rights of ingress and egress to and from the Parking Spaces and the Condominium, and the use of the Parking Spaces, all without hindrance or interruption by the City or any other person or persons lawfully or equitably claiming by, through or under the City; subject, nevertheless, to the terms and conditions of this Lease. Lessee agrees to provide any estoppel certificate which may be requested by the City.

9. **Use, Assignment and Sublease.** The 75 Parking Spaces leased herein will be used by Lessee exclusively for:

**[Bidders should submit a description of how the Parking Spaces will be used, i.e., by employees, customers, guests, clients, etc]**

Lessee agrees and covenants that the Parking Spaces will not be used for any other purpose, nor leased or subleased to the public or to anyone not affiliated with Lessee or Lessee's business. None of the rights of Lessee under this Lease may be assigned or sublet without the specific written approval of the City, which approval shall not be unreasonably withheld, except that Lessee reserves the right to make the following assignment or sublease without the prior approval of the City:

**[Bidders should insert any circumstances where they wish to retain the unconditional right to assign or sublet this Lease.]**

No assignment or subletting will act to release Lessee from any of its obligations under this Lease without the express written consent of the City.

10. **Default.** With respect to Lessee, a default under this Lease will have occurred if: (a) Lessee fails to make any rent payment within 10 days after such payment is due; (b) Lessee fails to perform any other obligation under this Lease and such failure is not remedied within 30 days after being given notice by the City of such failure, or if such failure cannot be remedied in 30 days, remedial action is not commenced within such 30 days and diligently pursued to completion, except that no notice is required in the event of any use being made by Lessee of the Parking Spaces or the Condominium which might violate any applicable environmental law or might increase the cost of any fire and extended coverage insurance of the City; (c) Lessee has docketed against it any judgment in excess of \$50,000 which is not released or is not bonded within 30 days after it is docketed; (d) Lessee makes any assignment for the benefit of creditors; or (e) Lessee files, or has filed against it, a petition under any insolvency or bankruptcy laws, which petition is not dismissed within 60 days after filing. If any such default occurs, the City may (i) in its sole discretion, perform such responsibility of Lessee; and/or (ii) declare the remaining amount of the rent for the term of the Lease due and payable, terminate this Lease immediately, enter upon and relet the Parking Spaces and hold Lessee liable for any deficiency in the amount of rent obtained upon such reletting. If the City terminates the Lease and declares the remaining rent due, it must make commercially reasonable efforts to rent some or all of the Parking Spaces, and the rent received or to be received from any re-letting which occurs will be credited against any amount due from Lessee with respect to such accelerated rent. Lessee will be responsible to the City for all costs incurred by the City, including attorney's fees, if the City takes any actions with respect to any default hereunder that remains uncured upon the expiration of the applicable cure period, and all such costs will be considered additional rent under this Lease.

With respect to the City, a default under this Lease will have occurred if it fails to perform any of their obligations under this Lease, and such failure continues for a period of 15 days after Lessee notifies the City in writing of such failure to perform. If any such default involves a responsibility for repair or maintenance, the City will have such additional reasonable time as may be necessary to undertake and to complete such repair or maintenance. If such a default occurs, Lessee may: (i) perform the obligation of the City under which it is in default and deduct the costs of such performance from any future rent which may be due under this Lease; or (ii), if such default unreasonably interferes with Lessee's use of the Parking Spaces or the

Condominium, terminate this Lease at a date no earlier than 30 days after giving such notice and no later than three months after giving such notice, in which case Lessee will have no further liability for rent under this Lease after such termination. The City will be responsible to Lessee for all costs incurred by Lessee, including attorney's fees, if Lessee takes any actions with respect to any default hereunder that remains uncured upon the expiration of the applicable cure period, and all such costs may be deducted from rent due under this Lease.

Waiver of or failure to take any action with respect to any default will not constitute a waiver of any subsequent or other default of the same or a different provision of this Lease. The rights of the parties to terminate this Lease and to take other actions in the event of default are in addition to any rights which such parties may otherwise have under applicable law and are subject to any provisions of applicable bankruptcy and insolvency laws.

11. **Notice of Commencement of Term.**

**[Bidders will specify the time when the term of the Lease will begin; the successful bidder will have no right under this Lease to use the Parking Spaces prior to the commencement of the Lease term.]**

12. **Destruction of the Condominium.** In the event of the destruction of all or any part of the Condominium by fire, explosion, storm, the elements, or otherwise, through no fault of Lessee or its \_\_\_\_\_, to such an extent that it becomes impracticable or unsafe for Lessee to use the Parking Spaces or the Condominium for their intended purposes, the term hereby created will, at the option of either party, upon notice to the other, be terminated as of the date of such damage, and the accrued rent will be paid up to the time of such damage.

If the owners of the Condominium elect, in their discretion, to repair the Parking Spaces and the Condominium, and during the period of repair or rebuilding the Lessee is unable to use all or any portion of the Premises, the rent due will be reduced proportionately for such period, unless Lessee or any of its \_\_\_\_\_ were responsible for the damage.

13. **Condemnation.** If all or any portion of the Parking Spaces or the Condominium is taken by condemnation by any entity other than the City, and if, after such taking, Lessee is unable to continue to use the Parking Spaces or the Condominium, then this Lease will terminate and Lessee will have no further obligation under this Lease.

14. **Miscellaneous.** This Lease contains the complete understanding of the parties with respect to the subject matter of this Lease. Any amendment to this Lease is to be in writing and signed by the parties to this Lease. This Lease will be binding upon and inure to the benefit of the respective heirs, successors, assigns and personal representatives of each of the parties. This Lease and any amendment may be executed in counterparts, any one of which will be considered an original for purposes of proof. Any signature to be affixed to this Agreement may be provided by a facsimile or by electronic signification.

Lessee shall have the right to record this Lease in the land records in and for the City of Charlottesville, Virginia.

Any notices required to be given by this Lease must be in writing and may be delivered by hand, first class mail or overnight courier to the following:

If to the City:

Maurice Jones  
City Manager  
605 East Main Street  
P. O. Box 911  
Charlottesville, VA 22902

With a copy to:

City Attorney  
605 East Main Street  
P. O. Box 911  
Charlottesville, Virginia 22902

If to Lessee:

**[Bidders to provide notice information.]**

Any party may substitute another address for notice by giving notice to the other party in the manner provided. Any party may provide a number for transmission of notice by facsimile or an address for transmission of notice by electronic mail. Any notice given by regular mail will be deemed to be received five business days after mailing. Any notice given by mail providing for return receipt or given by facsimile, electronic mail or overnight courier will be deemed to be received when delivered. A confirmation from the facsimile machine, electronic mail processor, or the overnight courier will be deemed prima facie proof of the date of delivery.

This Agreement will be governed by and construed in accordance with the laws of the Commonwealth of Virginia. As appropriate to the contest, the singular will include the plural and vice versa, and any one gender will include the others.

A waiver of any breach or of any condition of this Lease and the failure to enforce any provision of this Lease will not constitute a future waiver of the same provision or a waiver of any other provision of this Lease.

In the event that any party initiates any action against any other regarding any breach of this Lease, the party substantially prevailing upon the merits (as determined in writing by the trier of facts) will be entitled to recover all costs incurred in connection with such action, including reasonable attorney's fees, in addition to being awarded any other relief to which such

party may be entitled, which costs, including attorney's fees, may be recovered from time to time as incurred.

WITNESS the following signatures and seals, as of the date first above written.

CITY OF CHARLOTTESVILLE

By: \_\_\_\_\_ (SEAL)  
City Manager

LESSOR

By: \_\_\_\_\_ (SEAL)

Copyright 2002 VMDO Architects, PC  
 Dimensions are taken to face of concrete block or to centerlines of partition walls, as shown.

I, a licensed architect, do hereby certify to the greatest of my knowledge that these plans are accurate and they comply with section 56-79.68(B) of the Code of Virginia as amended and all units depicted herein are substantially complete.

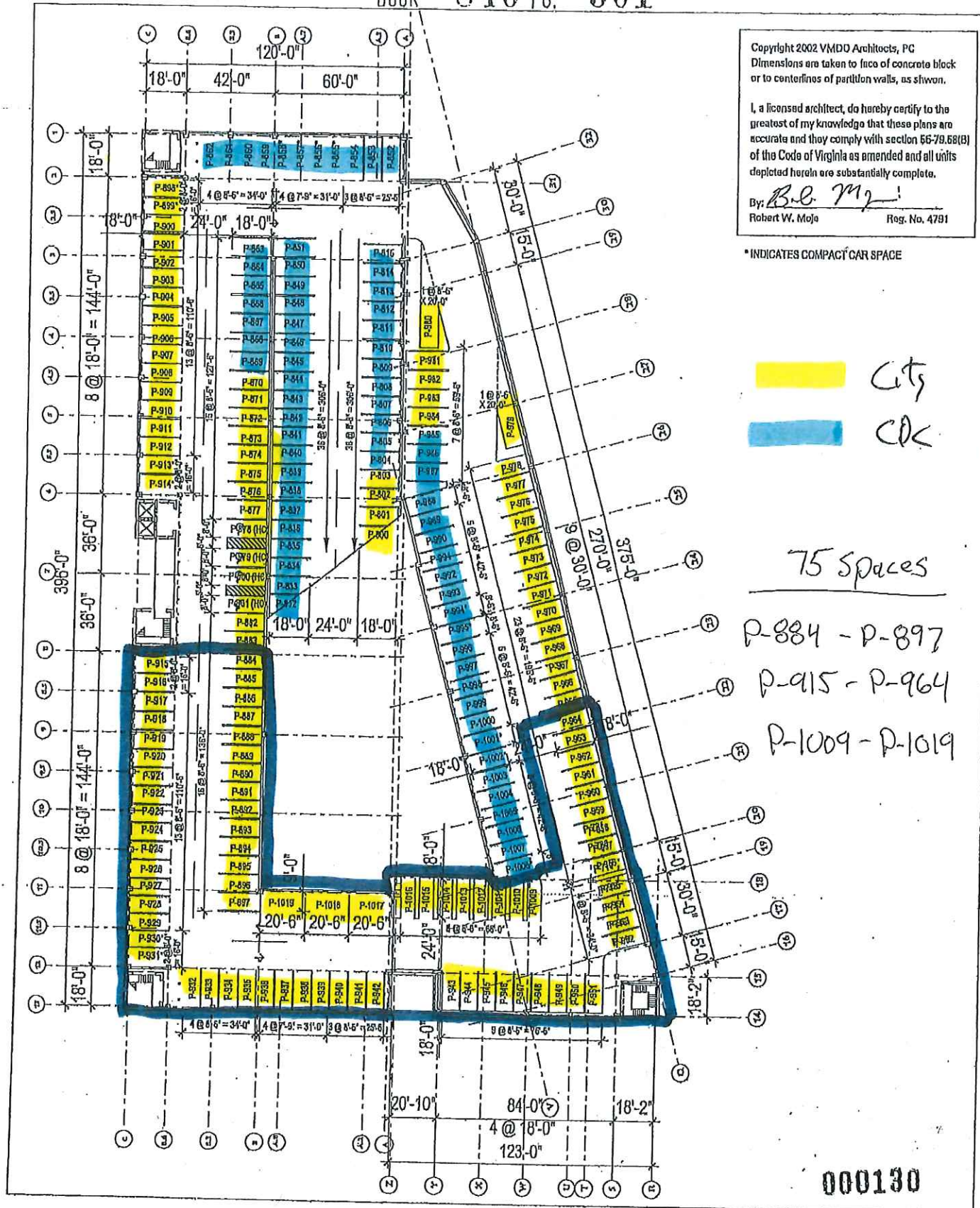
By: *R.W. Mojo*  
 Robert W. Mojo Reg. No. 4791

\* INDICATES COMPACT CAR SPACE

City  
 CDK

75 Spaces

P-884 - P-897  
 P-915 - P-964  
 P-1009 - P-1019



000130

Water Street Parking Garage Expansion  
 Condominium Documents

#837 - condo

**VMDO**  
 VMDO Architects PC  
 116 Second Street NE  
 Charlottesville, VA 22902  
 (604) 298-5034  
 (604) 298-4196 (fax)

ROOF PARKING



**CITY OF CHARLOTTESVILLE, VIRGINIA  
CITY COUNCIL AGENDA**



<b>Agenda Date:</b>	November 6, 2017
<b>Action Required:</b>	Public Hearing and Approval of Ordinance
<b>Presenter:</b>	Brian Daly – Director, Parks and Recreation
<b>Staff Contacts:</b>	Chris Gensic – Park and Trails Planner, Parks and Recreation
<b>Title:</b>	<b>Dominion Utility Easement at Ragged Mountain Reservoir</b>

**Background:**

Dominion Energy, as part of their larger effort to ensure reliable power in the region, is working to underground certain portions of their transmission lines to avoid interruptions in storm events. Dominion is working to underground the lines that service the Ragged Mountain area and has requested an easement from the city across the reservoir properties located at 1170 and 1730 Reservoir Road.

**Discussion:**

When the new dam was constructed at Ragged Mountain, the service line was placed underground in the area near the dam. However, there a section leading from the dam down to Reservoir Road that remains above ground. Dominion is proposing to underground this section along a new alignment. The current overhead alignment goes up a steep hill and runs between trees that can fall and lead to power interruption to the dam. This section is also difficult to maintain due to the steep slope and lack of good truck access. The new alignment follows the existing driveway on a much more moderate grade. Staff is working with Dominion to ensure the area on City property where the current lines and poles are removed can be replanted to establish vegetation and trees on the steep slope area being vacated. Dominion plans to bore the new lines underground to minimize the need to any cutting and covering of the new line alignment

**Alignment with City Council’s Vision and Strategic Plan:**

This project supports City Council’s vision of “America’s Healthiest City” by ensuring our emergency response system is among the nation’s best and supports Goal 3.2 of the Strategic Plan: “Provide reliable and high quality infrastructure.

**Community Engagement:**

There has not ben specific community engagement about this proposed easement. Undergrounding

utilities is one of the goals of the Comprehensive Plan. A public hearing is scheduled as required by law to allow the public to comment on the proposed conveyance of the easement.

**Budgetary Impact:**

There is no impact on the general fund. All costs associated with this easement and work will be covered by Dominion Energy.

**Recommendation:**

Staff recommends approval of the ordinance in support of the easement.

**Alternatives:**

If the easement is not approved, the power lines will remain where they are currently located and above ground.

**Attachments:**

Draft Ordinance  
Letter from Dominion Energy, Draft Easement and Plat  
Vicinity Map

**AN ORDINANCE  
AUTHORIZING THE CONVEYANCE OF EASEMENTS  
TO DOMINION ENERGY VIRGINIA  
ACROSS CITY-OWNED LAND KNOWN AS  
RAGGED MOUNTAIN NATURAL AREA**

**WHEREAS**, Dominion Energy Virginia has requested this Council to grant easements across property owned by the City of Charlottesville, Virginia, known as Ragged Mountain Natural Area located at 1730 and 1770 Reservoir Road in the County of Albemarle (County Tax Map 75, Parcels 47B1 and 1), as shown on the attached Easement Plat dated July 17, 2017, for the installation of underground electric lines and equipment; and

**WHEREAS**, relocation of certain existing overhead electrical lines to underground locations will minimize maintenance of the lines and protect major transmission lines for Dominion Energy Virginia;

**WHEREAS**, following notice to the public pursuant to Va. Code §15.2-1800(B), a public hearing by the City Council was held on November 6, 2017, and comments from the City staff, and the public were made and heard; now, therefore,

**BE IT ORDAINED** by the Council of the City of Charlottesville, Virginia that the Mayor is hereby authorized to execute a Right of Way Agreement, in form approved by the City Attorney, granting the above-described easements to Dominion Energy Virginia.



City of Charlottesville  
Attn: Chris Gensic, Park and Trail Planner  
1300 Pen Park Road  
Charlottesville, VA 22901

**Work Request #:** 10136253  
**Project Location:** 1770 Reservoir Road  
and 1730 Reservoir Road  
Albemarle County, VA 22903

Dear Chris Gensic,

We are pleased to say that your area meets the initial criteria for the Strategic Underground Program and, with your partnership, we can proceed further.

In order to proceed with the installation of underground facilities and removal of overhead electric lines, we ask property owners to grant an underground easement to Dominion. This easement authorizes the proposed work and allows Dominion to access power lines and equipment on your property for purposes of installation, maintenance, and repair.

We have enclosed the easement for your review and have included an information sheet that explains easements in greater detail. As part of converting overhead service to underground, new equipment will be installed. Dominion's authorized Contractor is available to meet with you at your convenience to review the preliminary underground plan and review the easement document. We can also assist with notarizing your signature if you are ready to sign the easement document. Once all of the required easements for the project have been received, we will communicate the schedule for the installation process.

Please feel free to contact Stantec, the authorized contractor helping to perform work on this project:

**Robert Buckley**  
Robert.BuckleyJr@stantec.com  
(804) 314-6388

We look forward to working with you on this project to improve electric service reliability. Please let us know if you have any questions.

Thank You,

**Jessica D. Burtner**  
Communications Coordinator  
Jessica.D.Burtner@dominionenergy.com  
(434) 972-6752

**Aaron Tickle**  
Project Manager  
Aaron.Tickle@dominionenergy.com  
(434) 972-6751

Strategic  
**Underground  
Program**<sup>SM</sup>

Please visit [dom.com/underground](http://dom.com/underground) for more information regarding the Dominion Virginia Power Strategic Underground Program.



## Right of Way Agreement

THIS RIGHT OF WAY AGREEMENT, is made and entered into as of this \_\_\_\_\_ day of \_\_\_\_\_, 2017, by and between

### CITY OF CHARLOTTESVILLE

("GRANTOR") and VIRGINIA ELECTRIC AND POWER COMPANY, a Virginia public service corporation, doing business in Virginia as Dominion Energy Virginia, with its principal office in Richmond, Virginia ("GRANTEE").

### WITNESSETH:

1. That for and in consideration of the mutual covenants and agreements herein contained and other good and valuable consideration, the receipt and sufficiency whereof is hereby acknowledged, GRANTOR grants and conveys unto GRANTEE, its successors and assigns, the perpetual right, privilege and non-exclusive easement over, under, through, upon and across the property described herein, for the purpose of transmitting and distributing electric power by one or more circuits; for its own internal telephone and other internal communication purposes directly related to or incidental to the generation, distribution, and transmission of electricity, including the wires and facilities of any other public service company in aid of or to effectuate such internal telephone or other internal communication purposes; and for lighting purposes; including but not limited to the right:

1.1 to lay, construct, operate and maintain one or more lines of underground conduits and cables including, without limitation, one or more lighting supports and lighting fixtures as GRANTEE may from time to time determine, and all wires, conduits, cables, transformers, transformer enclosures, concrete pads, manholes, handholes, connection boxes, accessories and appurtenances desirable in connection therewith; the width of said non-exclusive easement shall extend fifteen (15) feet in width across the lands of GRANTOR; and

Initials: \_\_\_\_\_

**This Document Prepared by Virginia Electric and Power Company and should be returned to:**  
Dominion Virginia Power, PO Box 26666, Richmond, VA 23261.

(Page 1 of 5 Pages)  
DVPIDNo(s). 13-17-0324  
Tax Map No. 0750000000100 & 075000000047B1

## Right of Way Agreement

2. The easement granted herein shall extend across the lands of **GRANTOR** situated in Albemarle County, Virginia, as more fully described on Plat(s) Numbered 13-17-0324 , attached to and made a part of this Right of Way Agreement; the location of the boundaries of said easement being shown in broken lines on said Plat(s), reference being made thereto for a more particular description thereof.

3. All facilities constructed hereunder shall remain the property of **GRANTEE**. **GRANTEE** shall have the right to inspect, reconstruct, remove, repair, improve, relocate on the easement, and make such changes, alterations, substitutions, additions to or extensions of its facilities as **GRANTEE** may from time to time deem advisable.

4. **GRANTEE** shall have the right to keep the easement clear of all buildings, structures, trees, roots, undergrowth and other obstructions which would interfere with its exercise of the rights granted hereunder, including, without limitation, the right to trim, top, retrim, retop, cut and keep clear any trees or brush inside and outside the boundaries of the easement that may endanger the safe and proper operation of its facilities. All trees and limbs cut by **GRANTEE** shall remain the property of **GRANTOR**.

5. For the purpose of exercising the right granted herein, **GRANTEE** shall have the right of ingress to and egress from this easement over such private roads as may now or hereafter exist on the property of **GRANTOR**. The right, however, is reserved to **GRANTOR** to shift, relocate, close or abandon such private roads at any time. If there are no public or private roads reasonably convenient to the easement, **GRANTEE** shall have such right of ingress and egress over the lands of **GRANTOR** adjacent to the easement. **GRANTEE** shall exercise such rights in such manner as shall occasion the least practicable damage and inconvenience to **GRANTOR**.

6. **GRANTEE** shall repair damage to roads, fences, or other improvements (a) inside the boundaries of the easement (subject, however, to **GRANTEE**'s rights set forth in Paragraph 4 of this Right of Way Agreement) and (b) outside the boundaries of the easement and shall repair or pay **GRANTOR**, at **GRANTEE**'s option, for other damage done to **GRANTOR**'s property inside the boundaries of the easement (subject, however, to **GRANTEE**'s rights set forth in Paragraph 4 of this Right of Way Agreement) and outside the boundaries of the easement caused by **GRANTEE** in the process of the construction, inspection, and maintenance of **GRANTEE**'s facilities, or in the exercise of its right of ingress and egress; provided **GRANTOR** gives written notice thereof to **GRANTEE** within sixty (60) days after such damage occurs.

Initials: \_\_\_\_\_

(Page 2 of 5 Pages)  
DVPIDNo(s). 13-17-0324

## Right of Way Agreement

7. **GRANTOR**, its successors and assigns, may use the easement for any reasonable purpose not inconsistent with the rights hereby granted, provided such use does not interfere with **GRANTEE's** exercise of any of its rights hereunder. **GRANTOR** shall not have the right to construct any building, structure, or other above ground obstruction on the easement; provided, however, **GRANTOR** may construct on the easement fences, landscaping (subject, however, to **GRANTEE's** rights in Paragraph 4 of this Right of Way Agreement), paving, sidewalks, curbing, gutters, street signs, and below ground obstructions as long as said fences, landscaping, paving, sidewalks, curbing, gutters, street signs, and below ground obstructions do not interfere with **GRANTEE's** exercise of any of its rights granted hereunder. In the event such use does interfere with **GRANTEE's** exercise of any of its rights granted hereunder, **GRANTEE** may, in its reasonable discretion, relocate such facilities as may be practicable to a new site designated by **GRANTOR** and acceptable to **GRANTEE**. In the event any such facilities are so relocated, **GRANTOR** shall reimburse **GRANTEE** for the cost thereof and convey to **GRANTEE** an equivalent easement at the new site.

8. **GRANTEE'S** right to assign or transfer its rights, privileges and easements, as granted herein, shall be strictly limited to the assignment or transfer of such rights, privileges and easements to any business which lawfully assumes any or all of **GRANTEE'S** obligations as a public service company or such other obligations as may be related to or incidental to **GRANTEE'S** stated business purpose as a public service company; and any such business to which such rights, privileges and easements may be assigned shall be bound by all of the terms, conditions and restrictions set forth herein.

9. If there is an Exhibit A attached hereto, then the easement granted hereby shall additionally be subject to all terms and conditions contained therein provided said Exhibit A is executed by **GRANTOR** contemporaneously herewith and is recorded with and as a part of this Right of Way Agreement.

10. Whenever the context of this Right of Way Agreement so requires, the singular number shall mean the plural and the plural the singular.

Initials: \_\_\_\_\_

(Page 3 of 5 Pages)  
DVPIDNo(s). 13-17-0324

Form No. 72B493-3 (Jul 2017)  
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11. GRANTOR hereby represents to GRANTEE that, to the best of GRANTOR'S knowledge, (a) GRANTOR is seized of and has the right to convey this easement and the rights and privileges granted hereunder; and (b) GRANTEE shall have quiet and peaceable possession, use and enjoyment of the aforesaid easement, rights and privileges.

12. The individual executing this Right of Way Agreement on behalf of GRANTOR warrants that they have been duly authorized to execute this easement on behalf of said GRANTOR.

**NOTICE TO LANDOWNER:** You are conveying rights to a public service corporation. A public service corporation may have the right to obtain some or all these rights through exercise of eminent domain. To the extent that any of the rights being conveyed are not subject to eminent domain, you have the right to choose not to convey those rights and you could not be compelled to do so. You have the right to negotiate compensation for any rights that you are voluntarily conveying.

IN WITNESS WHEREOF, GRANTOR has caused its name to be signed hereto by its authorized officer or agent, described below, on the date first above written.

APPROVED AS TO FORM: CITY OF CHARLOTTESVILLE

\_\_\_\_\_  
(Name) By: \_\_\_\_\_

\_\_\_\_\_  
(Title) Title: \_\_\_\_\_

State of \_\_\_\_\_

County/City of \_\_\_\_\_, to wit:

I, \_\_\_\_\_, a Notary Public in and for the State of Virginia at Large, do

hereby certify that this day personally appeared before me in my jurisdiction aforesaid

\_\_\_\_\_, \_\_\_\_\_, on behalf of the  
(Name of officer or agent) (Title of officer or agent)

City of Charlottesville, Virginia, whose name is signed to the foregoing writing dated this \_\_\_\_\_ day of \_\_\_\_\_, 2017, and acknowledged the same before me.

Given under my hand \_\_\_\_\_, 2017.

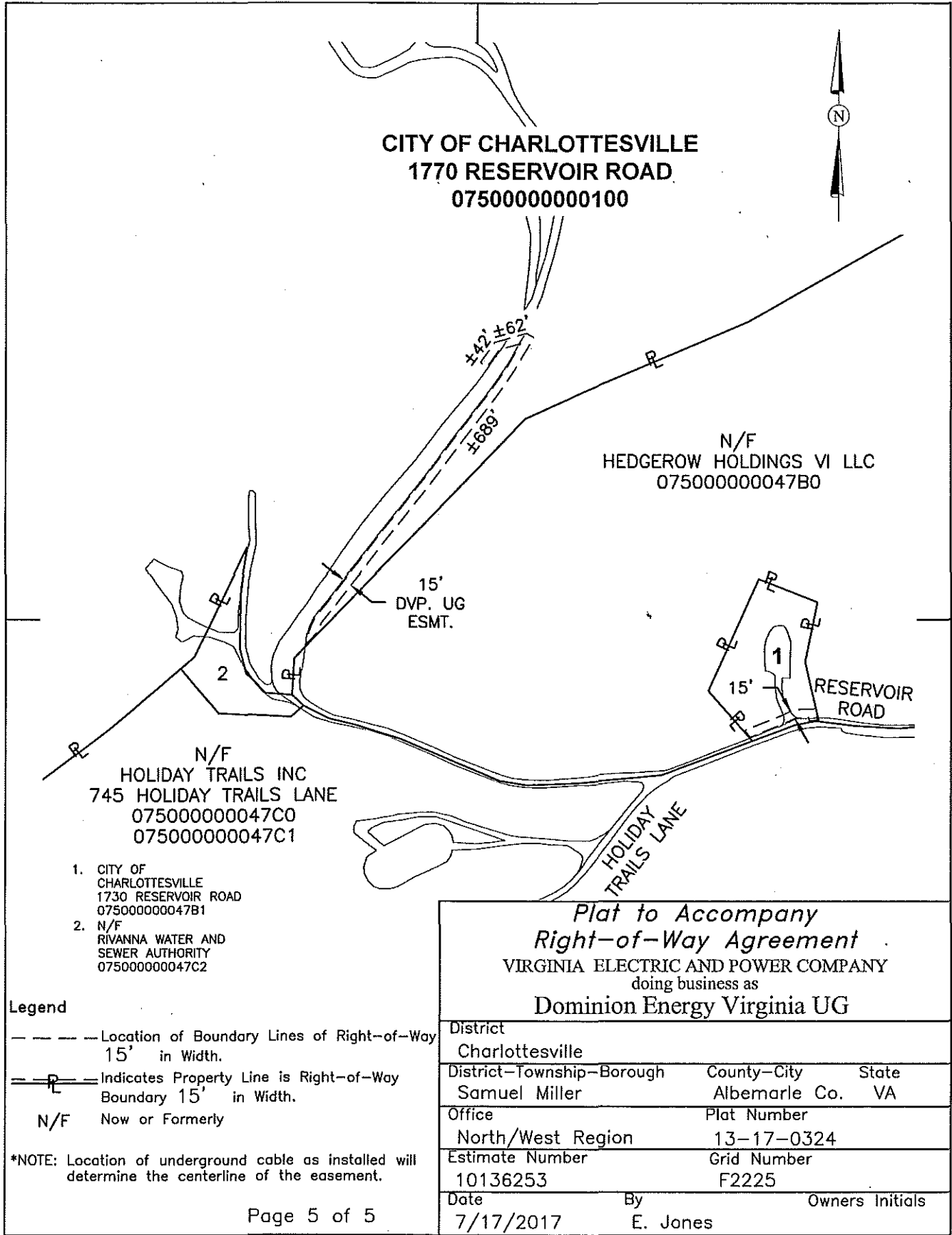
\_\_\_\_\_  
Notary Public (Print Name)

\_\_\_\_\_  
Notary Name (Signature)

Virginia Notary Reg. No. \_\_\_\_\_

My Commission Expires: \_\_\_\_\_





CITY OF CHARLOTTESVILLE  
 1770 RESERVOIR ROAD  
 07500000000100

N/F  
 HEDGEROW HOLDINGS VI LLC  
 0750000000047B0

N/F  
 HOLIDAY TRAILS INC  
 745 HOLIDAY TRAILS LANE  
 0750000000047C0  
 0750000000047C1

1. CITY OF CHARLOTTESVILLE  
 1730 RESERVOIR ROAD  
 0750000000047B1
2. N/F  
 RIVANNA WATER AND SEWER AUTHORITY  
 0750000000047C2

**Legend**

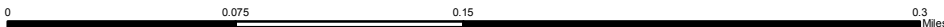
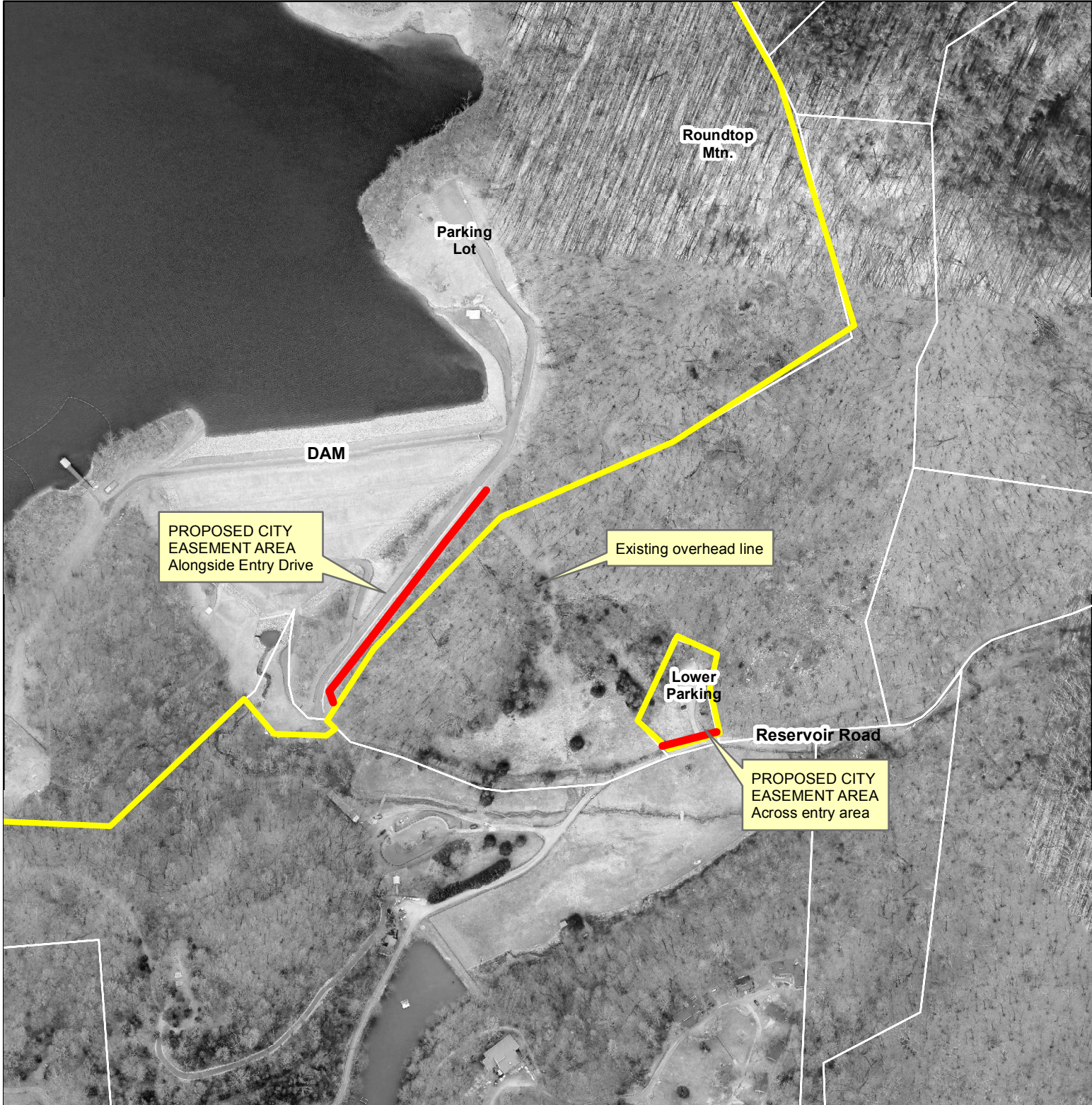
- Location of Boundary Lines of Right-of-Way 15' in Width.
- ==P== Indicates Property Line is Right-of-Way Boundary 15' in Width.
- N/F Now or Formerly

\*NOTE: Location of underground cable as installed will determine the centerline of the easement.

<b>Plat to Accompany          Right-of-Way Agreement</b> VIRGINIA ELECTRIC AND POWER COMPANY doing business as <b>Dominion Energy Virginia UG</b>		
District Charlottesville		
District-Township-Borough Samuel Miller	County-City Albemarle Co.	State VA
Office North/West Region	Plat Number 13-17-0324	
Estimate Number 10136253	Grid Number F2225	
Date 7/17/2017	By E. Jones	Owners Initials



# RAGGED MOUNTAIN Proposed Dominion Underground Easement



CITY OF CHARLOTTESVILLE, VIRGINIA  
CITY COUNCIL AGENDA



Agenda Date:	November 6, 2017
Action Required:	First Report - FY 2018 – 20 Strategic Plan and City Council 2017 Workplan
Presenter:	Leslie Beauregard, Assistant City Manager
Staff Contacts:	Maurice Jones, City Manager Leslie Beauregard, Assistant City Manager
Title:	<b>Report - FY 2018 – 2020 Strategic Plan and City Council 2017 Workplan</b>

**Background:**

FY 2018 – 2020 Strategic Plan

On June 19, 2017 City Council approved the FY 2018 – 2020 Strategic Plan the result of a refresh of the previous strategic plan that started in July 2016 with a series of interviews with City Council and engagement of numerous staff over the next several months. This work occurred between July and October 2016, and on November 10, 2016, City Council held a retreat at which time was spent reviewing the refreshed plan and making changes/additions to the plan. The plan started on July 1, 2017 and this is the first report out of this plan.

City Council Annual Workplan

City Council adopted their annual workplan on June 19, 2017. This was the first recommendation of the *City of Charlottesville Efficiency Study*, completed and presented to City Council earlier this year, is to have Council “Develop a prioritized annual workplan to strategically guide organizational efforts.” To quote directly from the *City of Charlottesville Efficiency Study*, “An annual work plan allows the governing body to respond to the changing needs of the community while not supplanting the City’s existing planning efforts. It provides a vehicle for the Council to identify, collectively, those initiatives within the various plans that are to be prioritized by City staff in the coming year. Further, it establishes clear guidance and accountability to City staff.”

**Discussion:**

Staff has created a series of scorecards to basically set the “base” for the Strategic Plan and Workplan elements. The website Open Charlottesville can be found at [www.charlottesville.org/data](http://www.charlottesville.org/data) and will not only feature the Strategic Plan scorecards but will provide performance measures, information and updates on those priorities important to City Council and the community all in one place for ease of use, contributing to the fulfillment of the City’s Strategic Plan goal of being a responsive organization. This website will feature the Strategic Plan, department scorecards, the efficiency study report and the Open Data portal as a start.

Staff will prepare a second report on each for Council to consider and discuss further at their January 2018 retreat.

Regarding an implementation plan for the Strategic Plan, a *Strategic Plan Core Team* has been meeting since the summer and will provide the framework and tools for a successful implementation. So far they have provided input into the scorecards you are reviewing as part of this report and are providing guidance and templates for the next phase of which includes each department developing their own workplan that will both align with the Strategic Plan and will be a plan for their own objectives, initiatives and will house their performance data. The draft for these plans is due by end of this calendar year, with a final product due by June 2018.

**Alignment with City Council's Vision and Strategic Plan:**

This agenda item speaks directly to the City's overall Strategic Plan.

**Community Engagement:**

Staff is encouraging the community to provide feedback on Open Charlottesville. The website has a feature that allows for such feedback.

**Budgetary Impact:**

While this approval has no budget impact by itself, there could be budget impact and needed resources should Strategic Plan and Workplan items be implemented and are to move forward. Staff will come back with specific recommendations when necessary.

**Recommendation:**

As these reports provide a base for the Strategic Plan and the Council Workplan, staff is looking for any feedback from Council as to what they would like to see differently in these scorecards and general questions about the content and any thoughts on how they would like to use this data and information.

**Alternatives:**

N/A

**Attachments:**

Strategic Plan Core Team Charter  
Work Plan

# City of Charlottesville

## Strategic Plan Core Team Charter

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### 1. Introduction

The City of Charlottesville has created a three year Strategic Plan to clarify the organization's mission, vision, goals, and objectives. The Plan identifies the initiatives the organization must implement to achieve the goals reality and the performance measures it must track to demonstrate progress. The Strategic Plan will guide the organization in decision making and resource allocation.

This document details the membership, roles and responsibilities of the Core Team.

### 2. Purpose

The Core Team is responsible and accountable for processes and tactics associated with the successful implementation of the Strategic Plan.

### 3. Roles & Responsibilities

- Institutionalizes, promotes and champions the Strategic Plan
- Aligns and supports coordination of the Plan with departmental plans, city operations and personnel evaluations to more strategically manage the organization
- Provides a template for accountability systems to be used by City Manager when talking to department heads about their department's progress/challenges as it relates to the Strategic Plan
- Creates systems and processes that ensure initiatives are successfully implemented by designated timelines, promoting collaboration on initiatives and making available any needed resources
- Assures provision of technical assistance to departments to ensure alignment of the Strategic Plan down to the departmental level
- Removes any barriers to implementing the Strategic Plan
- Facilitates the continued transition to a performance managed organization that makes decisions and allocates resources based on the strategic direction of the organization and data collected on performance measures
- Holds regular meetings with City Manager to review progress and challenges.
- Facilitates monthly meetings with Leadteam (as part of regular Leadteam meetings) about strategic plan implementation and progress

## **Roles and Responsibilities for Other Categories**

### **City Council**

- Is Responsible for the strategic direction of the organization and aligns their decision and policy making process with the Strategic Plan.

### **City Manager**

- Sponsors Strategic Plan Core Team
- Ensures organization is moving forward with the Strategic Plan and incorporating the concepts of strategic management into its daily operations by making clear Leadteam's role in the implementation of the Strategic Plan and holding department heads accountable for such. Holds department heads accountable for alignment of department plan with the Strategic Plan (working through the Assistant City Managers, annual reviews, Leadteam meetings, etc.)
- Reports successes to the Council and staff for celebration and challenges to the Council and staff for assistance with problem solving
- Require departments to show how they are meeting the provisions of the Plan as part of the annual budget process.

### **Assistant City Manager(s)**

- Serves as co-chairs of the Strategic Plan Core Team
- Supports the City Manager to keep the focus on the strategic plan and ensure the strategic plan initiatives for the current year are being accomplished and the desired outcomes are being achieved
- Supports departments and holds them accountable through regularly held meetings regarding the Strategic Plan and implementation of their elements of the plan

### **Leadteam**

- Is accountable for and takes ownership and responsibility on one or more assigned goals and related objectives, initiatives, and measures
- Has responsibility for progress for their own department plans and measures
- Holds department staff accountable for making progress and achieving desired outcomes
- Reports successes and challenges and seeks assistance as needed

**CITY OF CHARLOTTESVILLE, VIRGINIA  
CITY COUNCIL AGENDA**



Agenda Date:	November 6, 2017
Action Required:	Consideration of a Planned Unit Development (P.U.D.) Rezoning (1 <sup>st</sup> of 2 Readings)
Presenter:	Heather Newmyer, City Planner, Neighborhood Development Services
Staff Contacts:	Heather Newmyer, City Planner, Neighborhood Development Services
Title:	<b><u>ZM17-00001 – 1021, 1023 and 1025 Park Street Planned Unit Development (PUD) Rezoning Request</u></b>

**Background:**

**Applicant Request**

Kurt Wassenaar, President of Wassenaar + Winkler Architects and Planners, is representing Monticello Area Community Action Agency (MACAA) and New Millennium Senior Living Communities (NMSLC), a development group based out of Roanoke, Virginia that specializes in senior housing, independent living, assisted living and nursing properties in the Mid-Atlantic and Southeast regions of the United States.

The applicant is seeking approval to rezone properties 1021, 1023 and 1025 Park Street (“Subject Properties”) from the existing single-family Low-Density Residential (R-1) zoning to a Planned Unit Development (PUD) with proffers. The rezoning request is subject to the following proffered conditions including: (i) providing two (2) duplexes (4 units total) of age restricted (62+) housing affordable to households earning 80% of area median income (AMI), this effort to be coordinated with the Housing Program Coordinator on compliance and reporting; and, (ii) donation of \$75,000 to the Charlottesville Affordable Housing fund. In addition to the R-1 zoning, 1025 Park Street (MACAA’s current site) has a special use permit granted by City Council in 1993 for a private school/education facility (community education center) and amended in 1995 to permanently close access to 250 Bypass.

The applicant’s rezoning request proposes a PUD that allows for an “intergenerational campus” that would locate a senior housing facility, containing a mix of assisted living and independent living units (141 units proposed), on the current MACAA site (1025 Park Street), and to relocate MACAA’s operation and facilities to the adjacent “Stone House” (1021 Park Street)

immediately North of the MACAA site. The applicant proposes to re-utilize and preserve the Stone House for MACAA's executive offices and construct a new school building behind the Stone House for MACAA's early childhood development program among its other programs. At 1023 Park Street, the applicant is proposing four (4) affordable, age restricted (62+) units in the form of two (2) duplexes fronting on Park Street. The total proposed mix of units including the senior living facility and the affordable dwelling units is 145 units. The PUD request proposes to maintain the closure of the access from the property onto Route 250 Bypass, allowing for Emergency Access only.

Note: Provided below is a bullet list of major items that have been modified from the original application heard before Planning Commission August 8, 2017 to the application heard before Planning Commission October 10, 2017 (the current application):

- Intersection Improvements at MACAA Drive/Park Street: Removed left turn out of MACAA Drive, allowing for only through and right-turn movement onto Davis Avenue and Park Street and addition of pedestrian flashing beacons at proposed crosswalk (North side crosswalk has been relocated to the south side as requested by neighborhood)
- Reduced proposed total of units from 151 (all senior units (mix of assisted/independent/memory care)) to 145 (to included 141 senior units (mix of assisted/independent/memory care) and 4 units of affordable, age-restricted (62+) housing
- Proposed Senior Living Facility Building proposed building has been reduced from 5 stories to 4 stories with a proposed maximum height of 55 feet
- Surface parking has been reduced from 164 spaces to 140 spaces and 47 spaces are proposed as permeable pavers at the southern, western and eastern parking lots
- Emergency Services Access off 250 Bypass has been removed to preserve Rock Hill Garden stone walls
- The applicant has now included a proffer statement (there was no proffer statement provided in original application), where the proffers include:
  - (i) providing two (2) duplexes (4 units total) of age-restricted (62+) housing affordable to households earning 80% of area median income (AMI), this effort to be coordinated with the Housing Program Coordinator on compliance and reporting
  - (ii) donation of \$75,000 to the Charlottesville Affordable Housing fund

*For more detailed information on this application, please see the proposed PUD Development Plan (Attachment 5).*

### **Standard of Review**

City Council may grant an applicant a rezoning request, giving consideration to factors set forth within Z.O. Sec. 34-42 (Attachment 2) and Planning Commission's recommendation (see **Recommendation** section below). Relevant code sections are listed below to assist in Council's determination.



## Relevant Code Sections

- Zoning Ordinance  
**Section 34-490 – Planned Unit Development Objectives** (Attachment 3)

### **Sec. 34-1123 – Lot Area Requirements - Residential uses**

The Subject Properties' current zoning (R-1) limits residential uses to single-family detached dwellings (SFD), which may contain interior or exterior accessory dwelling units, limited to 1 SFD per 8,125 square foot lot effective density 5 DUA.

- 2013 Comprehensive Plan  
The 2013 Comprehensive Plan's General Land Use Plan specifies the Subject Property and its surrounding properties as Low Density Residential, where the recommended density range provided for Low Density Residential areas is "not to exceed 15 DUA."
- Streets That Work  
The Subject Property fronts on Park Street which is considered a *Neighborhood A* Street Typology. Chapter 3: Street Network and Typologies of the Streets That Work Plan include *Neighborhood A* streets and the remaining street typologies with their associated design parameters. To access the full Streets That Work Plan, follow this link:  
<http://www.charlottesville.org/departments-and-services/departments-h-z/neighborhood-development-services/streets-that-work/streets-that-work-plan>

## **Discussion:**

### **Overview of Staff Analysis**

Staff reviewed the PUD rezoning request in light of the Subject Property's current zoning, Streets That Work Guidelines, the PUD Objectives set forth in Sec. 34-490, and the Comprehensive Plan.

Overall, staff finds the proposed PUD Development Plan provides a unique opportunity for an "intergenerational campus" that provides housing for the growing 65+ population, sustains MACAA, an organization that provides programs that meet many of the City's goals in serving the low-income community and commits to providing four (4) affordable, age restricted (65+) units on-site in coordination with the City's Housing Coordinator. In addition, the concept layout demonstrates efforts to use environmentally sensitive design by utilizing the existing building site in order to preserve the environmental and historic features of the site (environmental features at rear of site: critical slopes, heavily wooded areas, meadows, Rock Hill Gardens, flood plain), which otherwise might not be preserved in a by-right scenario. The applicant has demonstrated their intent to improve connectivity and access through the proposed improvements at the Park/Davis Ave/MACAA Drive intersection, many of which comply with Streets That Work, and the proposed future public access via an agreement with City Parks and

Recreation to allow for public access to the historic Rock Hill Gardens and the existing John Warner Parkway trail system. Staff believes the designation of a PUD allows for the unique, integrated mix of uses that would be a benefit to this community and a site layout that is, for the most part, cohesive and environmentally sensitive. Staff would like to state that overall, they are supportive of the concept. Many of staff's previous concerns have been addressed in the updated application; however, there are concerns that remain. Staff's concerns are as follows:

- *Proposed Density:* The proposed density of 16 DUA exceeds the by-right density (effective density for R-1: 5 DUA) and the Comprehensive Plan density range for Low Density Residential, where for those areas it states to "not exceed 15 DUA." While staff sees an argument for a higher density than allowed by-right in light of the Subject Properties' size (9.312 acres), its isolated location (existing tree buffers and heavily wooded slopes on the west side), staff has concern with the proposed density exceeding the by-right density and what is intended to be the maximum density listed in the Comprehensive Plan for Low Density Residential areas. Staff also notes that in a by-right scenario, an R-1 property is allowed to have up to 8 Adult Assisted Living Residents.
- *Massing:* The proposed massing and scale of the senior living facility, reduced from 5 stories to 4 stories with a maximum height of 55' is an improvement from the original 75' maximum height in comparison to the surrounding neighborhood that contains single-family residences not to exceed 35' in height per their R-1 zoning. Staff notes that the size of the building is arguably more hidden given the location of the site and the preserved wooded areas and the location of the building situated back behind the three structures that front on Park Street (proposed not exceed the existing by-right height of 35'). While staff believes the updated proposed massing and scale would be better hidden behind the tree-line and provide for a better transition than the original proposed massing and scale, staff still has concern the scale is larger than what would be allowed in the current zoning and in light of the surrounding neighborhood.
- *Surface Parking:* Staff believes the applicant has made an effort to address this concern providing for an improved layout from the original application, where the total number of parking spaces provided has been reduced 20 spaces and there is an increase in permeable parking spaces. The applicant has also noted relocation of trees that are eight-inch caliper or greater to other places on-site to help preserve more trees. The reason this is still listed as a concern is because staff believes the scale (number of units) and business model of the senior living facility is the driving force behind the large number of parking spaces, where a smaller-scale senior living facility would require less parking. The amount of surface parking throughout the site detracts from the overall site's layout's attempt to be innovative in its arrangement of uses (See PUD Objectives 1, 2). However, staff commends the applicant's efforts to utilize shared parking, reduce the amount of spaces from the original application and provide an increase in permeable paving.

*\*For a more detailed review of staff's analysis, see the Staff Report dated October 2, 2017 provided at the Joint City Council and Planning Commission Public Hearing held October 10, 2017 (Attachment 4 OR follow the link to the staff report with application materials attached: <http://www.charlottesville.org/home/showdocument?id=56194> )*

### **Planning Commission**

The Planning Commission discussed the special use permit request at their October 24, 2017 special meeting. The topics of discussion that the Commission focused on were:

- The importance of separating the MACAA organization's mission from the land use and zoning practices being proposed as the Planning Commission deliberated a recommendation for City Council
- The environmental benefits of the proposal (preservation of Rock Hill Gardens, preservation of slopes/wooded areas, and provision of public access)
- Whether the proposal met certain Planned Unit Development (PUD) objectives; where some Commissioners felt the proposed land use and layout did not necessarily meet the intent of certain objectives (for example, innovative arrangement of buildings), others stated the layout did
- Parking: concern over the amount of surface parking, specifically:
  - for portions of the layout (north and southeast sides), although it is proposed to be screened, parking took up the majority of area directly adjacent to the neighboring residences
  - How one would have to traverse a parking lot if going from the MACAA school building and/or playground to the senior living facility
- The senior living facility building as it related to different sides of the neighborhood (250 Bypass versus the adjacent residences)

### **Alignment with City Council's Vision Areas and Strategic Plan:**

The proposed Joint Use Agreement with the City of Charlottesville to provide public access through the Subject Properties, specifically the historic Rock Hill Gardens and a connection to the greater City trail system (John Warner Parkway trail, Schenk's Branch and McIntire Park) align with the City Council Vision of **A Connected Community** and **Strategic Plan, Goal 3.3**, *"provide a variety of transportation and mobility options."*

The concept layout's demonstrated effort to use environmentally sensitive design by utilizing the existing building site in order to preserve the environmental and historic features of the site (environmental features at rear of site: critical slopes, heavily wooded areas, meadows, Rock Hill Gardens, flood plain), which otherwise might not be preserved in a by-right scenario contributes

to both the City Council Vision **A Green City** and **Strategic Plan, Goal 3.4**, “*protect historic and cultural resources*” and **Goal 3.5**, “*be responsible stewards of natural resources.*”

Providing for housing for the aging population (65+) in a central location in the City while sustaining an organization that provides programs that meet many of the City’s goals in serving the low-income community contributes to aspects of the City Council Vision **Quality Housing Opportunities For All**, specifically, “*our housing stock is connected with parks, trails, and services*” and “*our neighborhoods feature a variety of housing types...pedestrian and transit-oriented housing at employment and cultural centers.*”

### **Community Engagement:**

The Planning Commission held a joint public hearing with City Council on this matter at their meeting on October 10, 2017. Please see Attachment 6 for an excerpt of the October 10, 2017 meeting minutes for a detailed list of individual public comments made during the rezoning’s Public Hearing.

Per Sec. 34-41(c)(2), the applicant held a community meeting on July 17, 2017 (a City Planner attended as a NDS representative). The applicant held additional meetings outside of City requirements in continued efforts to answer questions and address neighborhood concerns. Many residents have sent individual comments to Staff; this correspondence can be found in Attachment 6.

A summary and overview of comments from the public throughout this process regarding the PUD Rezoning request are:

- Concern around increased in traffic generated from the senior living facility
- Concern the use is commercial in nature
- Concern the scale of the project is too large in proximity to low-residential neighborhood
- Concern around noise generated from the use (e.g. dumpsters, food deliveries)
- Desire for a public or commercial space (café or restaurant) in the development for neighborhood residents to gather
- Desire for the site to remain single-family residential in nature to maintain the neighborhood feel.
- Concern the duplexes don’t fit with the adjacent single-family residences.
- Desire for bicycle accommodations along Park Street

**Budgetary Impact:**

**A Senior Housing Project at 1021, 1023 and 1025 Park Street**, based on 145 residential units is expected to generate - \$580,000 in annual city revenue. This includes applicable real property taxes, personal property taxes, sales taxes, meals taxes, Business Professional and Occupational License (BPOL) and utility taxes. In addition, there would be an estimated one time increase of \$150,000 in BPOL and permitting fees. A number of construction related jobs (40-60) would be demanded during the construction period which is expected to last 18-24 months. The number of permanent jobs created by this project will depend on the specific needs and business model of the operator but could be expected to be in the 60-75 range. The parcels involved in this project are currently tax exempt and do not generate any city revenue annually.

**Recommendation:**

The Planning Commission took the following action:

Mr. Clayborne moved to recommend approval of this application to rezone the Subject Properties zoned R-1 Low Density Residential, to PUD with proffers provided on August 28, 2017 on the basis that the proposal would serve the interests of the general public welfare and good zoning practice. This recommendation of approval is based on *Sec. 34-42(1) Whether the proposed amendment conforms to the general guidelines and policies contained in the comprehensive plan and Sec. 34-42(2) Whether the proposed amendment will further the purposes of this chapter and the general welfare of the entire community.*

Mr. Santoski seconded the motion. The Commission voted 4-2 (Green-Santoski) to recommend approval of the application to rezone the aforementioned parcels.

**Alternatives:**

City Council has several alternatives:

- (1) by motion, take action to approve the attached ordinance for rezoning (as recommended by the Planning Commission);
- (2) by motion, take action to deny the attached ordinance for rezoning; or
- (3) by motion, defer action on the attached ordinance for rezoning.

**Attachment:**

- (1) Proposed Resolution Approving a Planned Unit Development
- (2) Sec. 34-42 – Commission study and action; Sec. 34-43 – Council study and action
- (3) Sec. 34-490 – PUD Objectives
- (4) Planning Commission Staff Report, October 10, 2017
- (5) Proffer Statement and PUD Development Plan, August 28, 2017
- (6) Public Comments: (i) Meeting Date October 10, 2017 Minutes Excerpt: MACAA Public Hearing Comments and (ii) Public Written Correspondence received

**AN ORDINANCE  
APPROVING A REQUEST TO AMEND THE PUD DEVELOPMENT PLAN  
APPLICABLE TO PROPERTY LOCATED WITHIN  
THE MACAA INTERGENERATIONAL CAMPUS PLANNED UNIT DEVELOPMENT (“PUD”)**

**WHEREAS**, the Monticello Area Community Action Agency and 1023 Park Street, LLC (“Landowners”) have submitted application number ZM17-00001, seeking a rezoning of property located at 1021, 1023 and 1025 Park Street (City Tax Map 47, Parcels 7.1, 8 and 11) consisting, of approximately 405,631 square feet of land (9.312 acres) (collectively, the “Subject Property”) in order to change the zoning district classification of the Subject Property from R-1 to PUD, subject to proffered development conditions (“Proposed Rezoning”); and

**WHEREAS**, a joint public hearing on the Proposed Rezoning was held before the City Council and Planning Commission on October 10, 2017, following notice to the public and to adjacent property owners as required by law; and

**WHEREAS**, legal notice of the public hearing held on October 10, 2017 was advertised in accordance with Va. Code Sec. 15.2-2204; and

**WHEREAS**, as part of its Proposed Rezoning the Landowners proffered two development conditions, and the proffers tendered by the Landowners were presented to and considered by the Planning Commission on October 10, 2017; and

**WHEREAS**, on October 24, 2017, the Planning Commission voted to recommend approval of the Proposed Rezoning to the City Council, based on a finding that the Proposed Rezoning is required by the public necessity, convenience, general welfare or good zoning practice; and

**WHEREAS**, in connection with the Proposed Rezoning, the Landowners submitted: (i) a written PUD Development Plan, dated August 28, 2017, titled “MACAA Intergenerational Campus”, and (ii) proffered development conditions submitted in writing to the City on August 28, 2017; and

**WHEREAS**, this Council finds and determines that the public necessity, convenience, general welfare or good zoning practice requires the Proposed Rezoning; that the existing zoning classification as well as the proposed PUD zoning are both reasonable; that the Proposed Rezoning is consistent with the Comprehensive Plan, and that the proffered development conditions are reasonable; now, therefore,

**BE IT ORDAINED** by the Council of the City of Charlottesville, Virginia that the Zoning District Map Incorporated in Section 34-1 of the Zoning Ordinance of the Code of the City of Charlottesville, 1990, as amended, be and hereby is amended and reenacted as follows:

*Section 34-1. Zoning District Map.* Rezoning from R-1 Residential to Planned Unit Development (“PUD”), the property designated on City Tax Map 47 as Parcels 7.1, 8 and 11 (1021, 1023, and 1025 Park Street) (the “Property”), consisting of approximately 405,631 square feet of land (9.312 acres) subject to the following proffered development conditions, which were tendered by the Applicant in accordance with law and are hereby accepted by this City Council:

**Proffered Development Conditions**

The use and development of the Property shall be in conformity with the following development conditions proffered by the Landowners:

1. Two duplexes (4 units, total) within the MACAA Intergenerational Campus PUD shall be age-restricted dwelling units, for individuals 62 years of age or older, and shall be affordable to households earning up to eighty percent (80%) of the area median income for the City of Charlottesville. Landowner(s) will coordinate with the City's Housing Program Director on compliance reporting.

2. Landowners will donate the amount of seventy-five thousand dollars (\$75,000) to the Charlottesville Affordable Housing Fund, for affordable workforce housing.

Sec. 34-42. - Commission study and action.

- (a) All proposed amendments shall be reviewed by the planning commission. The planning commission shall review and study each proposed amendment to determine:
  - (1) Whether the proposed amendment conforms to the general guidelines and policies contained in the comprehensive plan;
  - (2) Whether the proposed amendment will further the purposes of this chapter and the general welfare of the entire community;
  - (3) Whether there is a need and justification for the change; and
  - (4) When pertaining to a change in the zoning district classification of property, the effect of the proposed change, if any, on the property itself, on surrounding property, and on public services and facilities. In addition, the commission shall consider the appropriateness of the property for inclusion within the proposed zoning district, relating to the purposes set forth at the beginning of the proposed district classification.
- (b) Prior to making any recommendation to the city council, the planning commission shall advertise and hold at least one (1) public hearing on a proposed amendment. The planning commission may hold a joint public hearing with the city council.
- (c) The planning commission shall review the proposed amendment and shall report its findings and recommendations to the city council, along with any appropriate explanatory materials, within one hundred (100) days after the proposed amendment was referred to the commission for review. Owner-initiated petitions for zoning map amendments shall be deemed referred to the commission as of the date on which: (i) city council, by motion or by resolution, refers an amendment to the commission for review, or (ii) the first planning commission meeting following referral by the director of neighborhood development services pursuant to section 31-41(c)(3). Failure of the commission to report to city council within the 100-day period shall be deemed a recommendation of approval, unless the petition is withdrawn. In the event of and upon such withdrawal, processing of the proposed amendment shall cease without further action.

(9-15-03(3); 10-19-15(3))

Sec. 34-43. - Council study and action.

- (a) Before enacting any proposed amendment to the zoning ordinance, the city council shall advertise and hold at least one (1) public hearing thereon. The city council may hold a joint public hearing with the planning commission.
- (b) Council may make appropriate changes or corrections in the proposed ordinance or amendment as a result of the public hearing; provided, however, that no land may be rezoned to a more intensive use classification than was identified in the public notice of the public hearing without an additional public hearing conducted after notice as required by law. Where substantial changes have been made in a rezoning application following a public hearing, the city council may hold an additional public hearing.
- (c) Once a petition seeking an amendment of the zoning ordinance has been advertised for a public hearing, the city council shall not consider another petition which is substantially the same as that advertised for a period of one (1) year from the date the advertised petition was accepted by the director of neighborhood development services.

(9-15-03(3))



## Sec. 34-490. - Objectives.

In reviewing an application for approval of a planned unit development (PUD) or an application seeking amendment of an approved PUD, in addition to the general considerations applicable to any rezoning the city council and planning commission shall consider whether the application satisfies the following objectives of a PUD district:

- (1) To encourage developments of equal or higher quality than otherwise required by the strict application of zoning district regulations that would otherwise govern;
- (2) To encourage innovative arrangements of buildings and open spaces to provide efficient, attractive, flexible and environmentally sensitive design.
- (3) To promote a variety of housing types, or, within a development containing only a single housing type, to promote the inclusion of houses of various sizes;
- (4) To encourage the clustering of single-family dwellings for more efficient use of land and preservation of open space;
- (5) To provide for developments designed to function as cohesive, unified projects;
- (6) To ensure that a development will be harmonious with the existing uses and character of adjacent property, and/or consistent with patterns of development noted with respect to such adjacent property;
- (7) To ensure preservation of cultural features, scenic assets and natural features such as trees, streams and topography;
- (8) To provide for coordination of architectural styles internally within the development as well as in relation to adjacent properties along the perimeter of the development; and
- (9) To provide for coordinated linkages among internal buildings and uses, and external connections, at a scale appropriate to the development and adjacent neighborhoods;
- (10) To facilitate access to the development by public transit services or other single-vehicle-alternative services, including, without limitation, public pedestrian systems.

(9-15-03(3))

**CITY OF CHARLOTTESVILLE**  
**DEPARTMENT OF NEIGHBORHOOD DEVELOPMENT SERVICES**  
**STAFF REPORT**



**APPLICATION FOR A REZONING OF PROPERTY**

**JOINT CITY COUNCIL AND PLANNING COMMISSION**  
**PUBLIC HEARING**

**DATE OF HEARING: October 10, 2017**

**APPLICATION NUMBER: ZM17-00001**

*The following rezoning request went before Planning Commission at their August 8, 2017 meeting. The following report includes much of the same information that was provided to Planning Commission at their August 8<sup>th</sup> meeting; however, the current application moving forward has been modified by the applicant (information submitted August 28, 2017) from the original application in efforts to respond to concerns posed by the surrounding neighborhoods, Planning Commission and Council. Additional staff analysis regarding the updated application is reflected in the text in the color blue and italicized for ease of finding new analysis based off of the updated information given by the applicant.*

**Project Planner:** Heather Newmyer, AICP

**Date of Staff Report:** October 2, 2017

**Project Name:** Monticello Area Community Agency (MACAA) Intergenerational Campus – Planned Unit Development (PUD) Rezoning

**Applicant:** Monticello Area Community Agency (MACAA) and New Millennium Senior Living Communities (NMSLC)

**Applicants Representative:** Kurt Wassenaar, President of Wassenaar + Winkler Architects and Planners

**Current Property Owner:** Monticello Area Community Agency (MACAA) and 1023 Park St, LLC

**Application Information**

**Property Street Addresses:** 1021, 1023 and 1025 Park Street

**Tax Map/Parcel #:** Tax Map 47, Parcels 7.1, 8, 11

**Total Square Footage/Acreage Site:** 9.312 acres or 405,630.7 square feet

**Comprehensive Plan (Land Use Plan) Designation:** Low Density Residential

**Current Zoning Classification:** R-1 & R-1 with SUP for a Community Education Center at 1025 Park St (TM 47 P 7.1)

**Tax Status:** No delinquent taxes

### **Application Timeline**

March 22, 2017: Pre-Application Meeting required per Sec. 34-41(b)(1)

April 5, 2017: Preliminary Discussion Meeting with Council Members (Wes Bellamy & Kathy Galvin). Discussion included the following: mass of building surrounded by surface parking versus alternative ways to address parking, access to the historic Rock Hill Gardens, walkability, and affordability of units on-site.

April 11, 2017: Preliminary Discussion Planning Commission (Attachment 5)

April 25, 2017: Rezoning Application Submittal #1 (Rejection Letter May 8, 2017; Attachment 3)

May 23, 2017: Rezoning Application Submittal #2 (Rejection Letter June 5, 2017; Attachment 3)

June 19, 2017: Rezoning Application Submittal #3

July 17, 2017: Community Meeting held per Sec. 34-41(c)(2)

August 8, 2017: *Informal Public Hearing Planning Commission (Staff Report, Attachment 6)*

August 15, 2017: *Meeting with Applicant and Housing Program Coordinator*

August 28, 2017: *Rezoning Application Submittal #4 with updates in response to concerns of neighborhood, Planning Commission and Council (Attachment 1)*

September 25, 2017: *Additional Community Meeting held*

### **Applicant's Request**

Kurt Wassenaar, President of Wassenaar + Winkler Architects and Planners, is representing Monticello Area Community Action Agency (MACAA) and New Millennium Senior Living Communities (NMSLC), a development group based out of Roanoke, Virginia that specializes in senior housing, independent living, assisted living and nursing properties in the Mid-Atlantic and Southeast regions of the United States.

The applicant is seeking approval to rezone properties 1021, 1023 and 1025 Park Street ("Subject Properties") from the existing single-family Low-Density Residential (R-1) zoning to a Planned Unit Development (PUD) *with proffers. The rezoning request is subject to the following proffered conditions including: (i) providing two (2) duplexes (4 units total) of age restricted (62+) housing affordable to households earning 80% of area median income (AMI), this effort to be coordinated with the Housing Program Coordinator on compliance and reporting; and, (ii) donation of \$75,000 to the Charlottesville Affordable Housing fund.* In addition to the R-1 zoning, 1025 Park Street (MACAA's current site) has a special use permit granted by City Council in 1993 for a private school/education facility (community education center) and amended in 1995 to permanently close access to 250 Bypass.

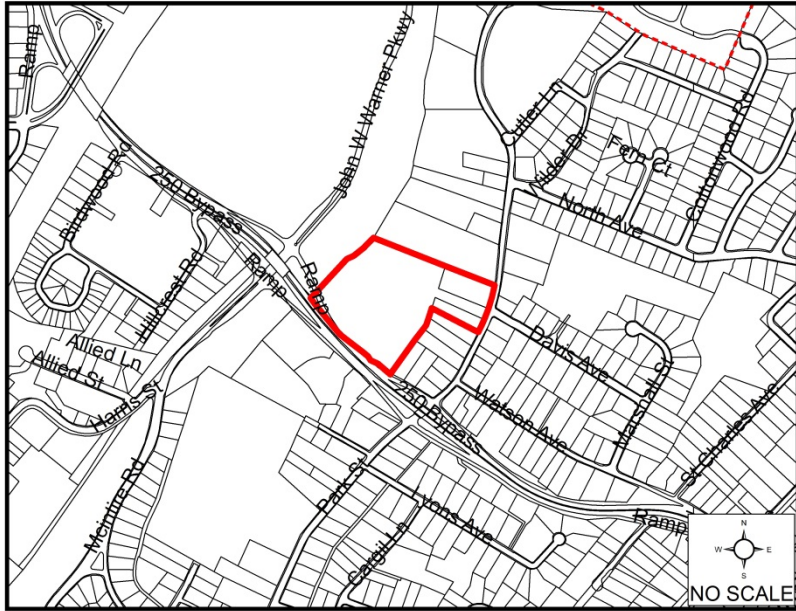
The applicant's rezoning request proposes a PUD that allows for an "intergenerational campus" that would locate a senior housing facility, containing a mix of assisted living and independent living units (*141 units proposed* ~~151 total units proposed~~), on the current MACAA site (1025 Park Street), and to re-locate MACAA's operation and facilities to the adjacent "Stone House" (1021 Park Street) immediately North of the MACAA site. The applicant proposes to re-utilize and

preserve the Stone House for MACAA's executive offices and construct a new school building behind the Stone House for MACAA's early childhood development program among its other programs. *At 1023 Park Street, the applicant is proposing four (4) affordable, age restricted (62+) units in the form of two (2) duplexes fronting on Park Street. The total proposed mix of units including the senior living facility and the affordable dwelling units is 145 units.* The PUD request proposes to maintain the closure of the access from the property onto Route 250 Bypass, allowing for Emergency Access only.

*Note: This item went before the Planning Commission August 8, 2017. Provided below is a bullet list of major items that have been modified from the original application heard before Planning Commission August 8th in the current application (Please reference the updated PUD Development Plan (Attachment 2)):*

- *Intersection Improvements at MACAA Drive/Park Street: Removed left turn out of MACAA Drive, allowing for only through and right-turn movement onto Davis Avenue and Park Street and addition of pedestrian flashing beacons at proposed crosswalk (North side crosswalk has been relocated to the south side as requested by neighborhood)*
- *Reduced proposed total of units from 151 (all senior units (mix of assisted/independent/memory care)) to 145 (to included 141 senior units (mix of assisted/independent/memory care) and 4 units of affordable, age-restricted (62+) housing)*
- *Proposed Senior Living Facility Building proposed building has been reduced from 5 stories to 4 stories with a proposed maximum height of 55 feet*
- *Surface parking has been reduced from 164 spaces to 140 spaces and 47 spaces are proposed as permeable pavers at the southern, western and eastern parking lots*
- *Emergency Services Access off 250 Bypass has been removed to preserve Rock Hill Garden stone walls*
- *The applicant has now included a proffer statement (there was no proffer statement provided in original application), where the proffers include:*
  - (i) *providing two (2) duplexes (4 units total) of age-restricted (62+) housing affordable to households earning 80% of area median income (AMI), this effort to be coordinated with the Housing Program Coordinator on compliance and reporting*
  - (ii) *donation of \$75,000 to the Charlottesville Affordable Housing fund*

**Vicinity Map**

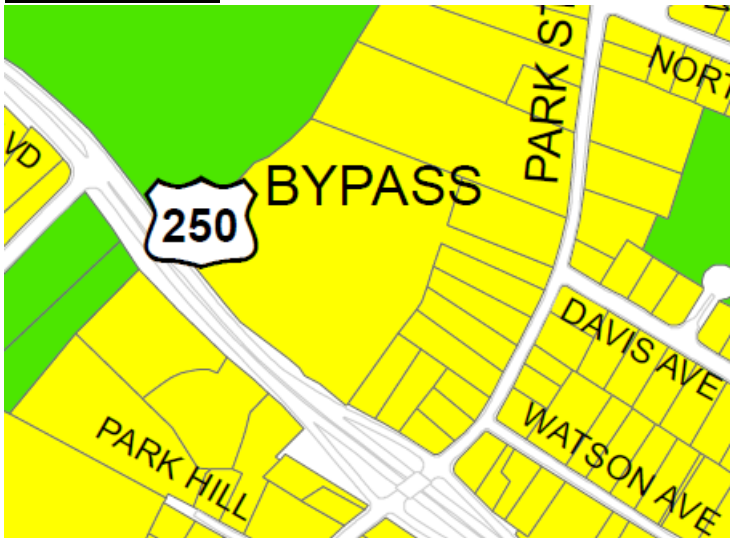


### Zoning Map



Purple Dashed Outline: Special Use Permit (SUP), Yellow: R-1 (Single-Family), Blue Cross-Hatch: Individual Protected Property (IPP), Green: Parks, Brown: McIntire-5<sup>th</sup> Residential (MR)

### 2013 Comp Plan



Yellow: Low Density Residential, Green: Park or Preserved Open Space

### Standard of Review

City Council may grant an applicant a rezoning request, giving consideration to a number of factors set forth within Z.O. Sec. 34-42. The role of the Planning Commission is to make an advisory recommendation to the City Council, as to whether or not Council should approve a proposed rezoning based on the factors listed in Z.O. Sec. 34-42(a):

(a) All proposed amendments shall be reviewed by the planning commission. The planning commission shall review and study each proposed amendment to determine:

- (1) Whether the proposed amendment conforms to the general guidelines and policies contained in the comprehensive plan;
- (2) Whether the proposed amendment will further the purposes of this chapter and the general welfare of the entire community;
- (3) Whether there is a need and justification for the change; and
- (4) When pertaining to a change in the zoning district classification of property, the effect of the proposed change, if any, on the property itself, on surrounding property, and on public services and facilities. In addition, the commission shall consider the appropriateness of the property for inclusion within the proposed zoning district, relating to the purposes set forth at the beginning of the proposed district classification.

### **Preliminary Analysis**

The Subject Properties are approximately 9.312 acres and include three (3) lots. The Subject Properties collectively have frontage on Park Street and Route 250 Bypass. The Subject Properties, specifically the current MACAA site (1025 Park Street), are unique in that they are somewhat isolated from the adjacent stretch of single-family residential homes along Park Street. The Subject Properties are bounded by heavily wooded slopes on the west side, which connect directly to the John Warner Parkway trail system, Schenk's Branch and McIntire Park. The Subject Properties contain environmental features including: large stand of trees, critical slopes and are home to the historic Rock Hill Gardens.

The proposed conceptual plan (Attachment 2 PUD Development Plan – see specifically Component 2(a) & Component 2(b)) proposes ~~five~~ ~~four~~ structures throughout the Subject Properties:

- (1) Existing repurposed 2-story "Stone House" (1021 Park Street) fronting on Park St to house MACAA administrative offices
- (2) A newly constructed 2-story school building located behind existing "Stone House"
- (3) *Two (2) newly constructed duplexes (4 units total) of age restricted (62+) independent living cottages affordable to households earning 80% of AMI*
- (4) A newly constructed ~~4-story~~ ~~5-story~~ Senior Living Center to locate in the middle/rear of site and replace existing MACAA buildings/facilities containing ~~141~~ ~~150~~ units

*The plan proposes a total of 144 parking spaces ~~164 parking spaces~~. This number has been reduced 20 spaces from the original application, where the applicant has indicated the MACAA parking lot (parking lot closest to the MACAA office (Stone House) and school building) will be shared with the senior living facility staff and visitors during MACAA's off hours. MACAA's operations are from 7:15am-3:00pm, allowing for shared parking during the weekday after 4:00pm. The applicant states most visitors for the senior housing facility come between the hours of 4:00pm and 8:00pm. In addition, the applicant has been in coordination with CAT regarding the existing Route 11 which serves Park Street but stops at North Avenue just north of MACAA Drive. The applicant, should this request be approved, will continue to coordinate with CAT by requesting that Route 11 be extended to include a bus stop location within the MACAA campus given the proposed use as a senior housing project.*

*140 of those spaces are proposed in the form of surface parking spaces ancillary to the proposed senior living facility and education uses and the remaining 4 spaces are within the affordable independent cottages which will have garages; 47 spaces are called out as permeable spaces (originally there were 33 permeable parking spaces) and, included in the permeable parking spaces, there is a portion to be used as a shared use plaza for NMSLC/MACAA gatherings in off-hours (See Component 2(b) of the PUD Development Plan, Attachment 2).*

The buildings featured on the PUD Development Plan collectively are proposed to have up to approximately no greater than 219,500 gross square feet (5.04 acres) with a Floor Area Ratio (FAR) of 0.54. The applicant is proposing a total of *145 units* (units includes a mix of memory care, assisted living and independent living units) which equates to an approximate **density of 16 DUA**. *141 of those units would locate in the proposed 4 story senior living facility with the remaining units replacing the existing single-family dwelling on 1023 Park Street with two (2) newly constructed duplexes (4 units total) of age restricted (62+) independent living cottages affordable to households earning 80% of AMI (Residential proposed at a range of 165,000 – 200,000 gross square feet (GSF)).* The applicant proposes to maintain MACAA's current operations on-site, which include a 2-story school building (proposed at a range of 13,500-15,000 GSF) and the MACAA offices that would locate in the existing Stone House (approximately 3,800-4,500 GSF). Lastly, a temporary sales office is proposed in what will be one of the affordable independent living cottages fronting on Park St mentioned above. Should this PUD be approved, the property would be limited to the following proposed uses that include the Senior Living Facility (mix of Adult Assisted Living and Independent Living), Education Facility: Vocational, *and four (4) affordable, age restricted (62+) independent living cottages that are monitored by the Housing Program Coordinator per the proposed proffer statement.* A full breakdown of uses that includes Open Space is included on Component 2(b) of the PUD Development Plan. Building Heights range from 35' maximum height along Park Street to maximum ~~55' 75'~~ height at the rear of the property where the senior living facility would locate.

*The updated proposed total number of units on-site, including the senior living facility (mix of assisted, independent and memory care) and affordable independent living cottages is 145, down 6 units from the original proposed 151 units. The residential density proposed remains the same when taking into account the reduction in units, equaling 16 dwelling units per acre (DUA) which exceeds what would be allowed under by-right zoning.*

The by-right zoning (R-1) limits residential uses to single-family detached dwellings (SFD), which may contain interior or exterior accessory dwelling units, limited to 1 SFD per 8,125 square foot lot (**effective density 5 DUA**). Based off of the total area of the site, this would equate to approximately **46 units total**. This does not, however, take into account the area needed for new road/utility construction or the large portion of the site in the rear that contains critical slopes/floodplain area. Staff has approximated that if those environmental areas are taken into account, a more realistic by-right unit number would be between **25-30 SFD** units total (Note: this is an *approximate* figure is given to provide an approximate comparison to the proposed 151 units). The zoning specific to 1025 Park Street (existing MACAA site) also allows for a Community Education Center allowed via SUP granted in 1993.



Open Space: The proposal preserves existing natural areas located at the rear of the site and make up approximately 3.30 acres as Open Space. The Preserved Natural Areas (3.30 acres) contain the Rock Hill Gardens and are proposed to remain. Within this portion of the Open Space, the plan calls for a “Joint Use Agreement between NMSLC and Charlottesville Parks and Rec Department” to allow for future public access to the natural areas, Rock Hill Gardens and for future connectivity to the John Warner Parkway trail, Schenk’s Branch and McIntire Park.

**-Total Open Space: 58.92% or 5.49 acres**

-Total Open Space includes Preserved Natural Areas (3.30 Acres), landscaped areas, resident gardens and courtyard, and playground

**-Net Loss Vegetative Cover: 7.03 acres** (pre-development vegetative cover) – **5.78 acres**  
**5.72 acres** (post-development vegetative cover) = ~~1.32 Acres~~ **1.25 acres**

\*\*Full % Site Area breakdown found on Component 2(b) of the PUD Development Plan (Attachment 2)

Traffic Impact: The traffic impact is an important part of the discussion given the existing condition versus the proposed condition of the MACAA Drive/Davis Avenue intersection, the limited visibility along Park Street and the amount of trips estimated as a result of the proposed use of a senior living facility that would be in addition to the existing MACAA operation on-site.

Existing Conditions

*Under existing conditions, traffic on Park Street in front of the proposed site is approximately 11,000 ~~20,000~~ VPD (Vehicles per Day); the 11,000 VPD figure has been verified by traffic counts done in early August 2017 by the City Traffic Engineering Department.* The existing use of the MACAA site generates approximately 86 trips per day (43 in/43 out). The driveway for MACAA creates its own difficulties. The current orientation of the driveway does not line up with Davis Ave across the street and there is a vertical curve on Park Street that limits visibility to both MACAA Drive and Davis Ave. Along with this orientation, there is an existing stone wall along the west side of Park Street that greatly reduces visibility. Due to this constraint, there is currently a “No Left Turn” sign for the MACAA driveway. Pedestrian movements in this location are limited to a single, skewed, crosswalk from the south side of Davis to the south side of the MACAA driveway.

Proposed Improvements

Under the proposed intersection improvements, traffic will increase from approximately 86 trips per day, to 486 trips per day, an approximated 400 trip increase. Much of this traffic will be due to staff for the senior living facility which has shift changes in off peak hours creating less of an impact to the existing traffic patterns. In working with the applicant on what may be appropriate to deal with traffic at the site, several improvements have been proposed (Please see Component 3(b) – Transportation Plan of the PUD Development Plan (Attachment 2) to see the proposed improvements). First, to deal with the additional traffic, the applicant has proposed the installation of a left turn lane into their site so that traffic on northbound Park St. will not be backed up waiting for a vehicle to turn into

MACAA. Secondly, to deal with sight distance issues, they have proposed several improvements:

- Realigning MACAA Drive to orient it directly across from Davis Ave. This creates better traffic efficiencies and gives drivers a more conventional intersection to anticipate driver movements
- Modifications to the existing stone wall will increase the sight distance from 100' to over 225'. While this does not meet the VDOT criteria for stopping sight distance for a 25mph roadway, the applicant proposes to install a warning sign with an advisory speed limit of 20mph on Park Street to alert drivers of the upcoming intersection.
- *The updated application has removed the originally proposed left turn out of MACAA Drive to match the existing conditions ("No Left Turn" sign out of MACAA Drive).* ~~The proposed improvements show a left turn out of MACAA Drive onto Park Street. The Traffic Engineer considers this not ideal due to the crest in the hill and notes should this PUD Development Plan get approved, the left turn could be removed per the Traffic Engineer requiring it under site plan review.~~
- Installation of the left turn lane to the south provides room to provide a landscaped island to the north.
- *The north side crosswalk has been moved back to the south location (as requested by neighbors) and flashing beacons with pushbuttons are proposed, which provides greater pedestrian safety.* ~~There may be additional opportunity through the site plan process to enhance this crossing further with a rapid flashing beacon, which would provide greater pedestrian safety in this sensitive area. Currently, there is no rapid flashing beacon proposed.~~

#### By Right Comparison

The site was preliminarily evaluated for developable land after removing critical slopes and roadway needed to provide access and it was found that approximately 25-30 SFD could be built on the site. This would generate approximately 366 trips per day versus the proposed 486 trips per day. The nature of single family homes versus the combination of the senior living facility and MACAA would have very minimal difference on the peak hour traffic as the difference both in the morning and afternoon peaks are single digit vehicles (5 and 4 respectively).

#### Conclusion

The City Traffic Engineer concludes the following:

- While there will be an increase in daily trips from existing conditions (MACAA operations: 86 trips per day) to what is proposed in the PUD Development Plan (Senior Living Facility + MACAA operations: 486 trips per day), much of this traffic will be due to staff for the senior living facility that will occur in *off peak hours* creating less of an impact to existing traffic patterns along Park Street.

- The project’s approximated trips compared to a potential by-right scenario have minimal difference, specifically peak hour morning and afternoon trips (the difference of both am/pm peak hours are in the single digits: 5 and 4 respectively).
- *The proposed improvements to the intersection will benefit sight distance and provide increased pedestrian connectivity and increased pedestrian safety via the south crosswalk location and proposed beacons.*
- Improvements generally comply with the Streets That Work Design Guidelines for the *Neighborhood A Street Typology*; however, the proposal does not account for a climbing bike lane along Park Street, where bicycle facilities are listed as the highest priority element within the *Neighborhood A Street Typology*.

**Z.O. Sec. 34-42(a)**

**1. Whether the proposed amendment conforms to the general guidelines and policies contained in the comprehensive plan;**

**a. Land Use**

The applicant’s own analysis of the development’s consistency with the Comprehensive Plan, as required by Z.O. Sec. 34-41(d)(2), is provided in the applicant’s Narrative Statement and Zoning Compliance on Sheet N2 of the PUD Development Plan (Attachment 2).

**Staff Analysis**

The Subject Properties are currently zoned R-1, where 1025 Park Street also has a Special Use Permit for a community education center to operate MACAA. All by-right, provisional, and special uses allowed within this zoning district are found in Sec. 34-420 – Use Matrix - Residential zoning district, where single-family detached housing is the most common of these uses.

**Existing Uses**

<b>Address</b>	<b>Zone</b>	<b>Use</b>
1021 Park Street	R-1	Single-Family House
1023 Park Street	R-1	Single-Family House (Stone House)
1025 Park Street	R-1 with SUP for private school/education facility (community education center)	Existing MACAA facility site

The Subject Properties’ current zoning (R-1) limits residential uses to single-family detached dwellings (SFD), which may contain interior or exterior accessory dwelling units, limited to 1 SFD per 8,125 square foot lot effective density **5 DUA**. The 2013 Comprehensive Plan Land Use Map indicates the Subject Properties to remain as

Low Density Residential, where the recommended density range provided for Low Density Residential areas is “not to exceed **15 DUA.**” The residential density proposed is **16 DUA** and exceeds what would be allowed under by-right zoning and the recommended Comprehensive Plan Low Density Residential range.

Should this PUD be approved, the property would be limited to the following proposed uses found in the PUD Development Plan only. These include the Senior Living Facility (mix of Adult Assisted Living and Independent Living – total *141 units* ~~151 units~~), Education Facility: Vocational (MACAA operations) and *four (4) affordable, age restricted (62+) independent living cottages that are monitored by the Housing Program Coordinator per the proposed proffer statement.*

Staff finds the proposed density is not consistent with the City’s future Land Use Map; and, further, is not consistent with what is allowed by-right. Staff sees an argument for a higher density than allowed by-right in light of the Subject Properties’ size (9.312 acres), its isolated location (existing tree buffers and heavily wooded slopes on the west side), and the proposed use of a senior living facility having most traffic being generated from its employees; however, staff reserves concern with the proposed density (16 DUA) exceeding what is intended to be the maximum density listed in the Comprehensive Plan for Low Density Residential areas (not to exceed 15 DUA) and the by-right zoning allowance of 5 DUA in light of the surrounding R-1 neighborhood. *Staff wants to note the reduction from 151 to 145 units, 4 of which are being proffered as affordable, is an improvement from the original application.*

While the proposed density is not consistent with the Future Land Use Map or by-right zoning density allowance, the PUD Development Plan contributes to other goals within the Land Use chapter of the Comprehensive Plan. The PUD Development Plan conforms to the following Land Use goals:

Goal 2 – Mixed Use

- Creates a unique opportunity for an “intergenerational campus,” where the children of the MACAA programs could interact and have joint programs with the residents of the Senior Living Facility. The proposed public access to the site allows neighborhood residents to enjoy the site’s environmental features and historic Rock Hill Gardens as well provide connection to the John Warner Parkway trail system.
- Goal 2.3 Enhance pedestrian connections between residences, commercial centers, public facilities, amenities and green spaces. The PUD Development Plan conforms to Goal 2.3 by enhancing the MACAA Drive/Davis Ave intersection and proposing public access through an agreement with City Parks and Recreation Department to the historic Rock Hill Gardens and future connectivity to the John Warner Parkway trail system adjacent to Schenk’s Branch and McIntire Park.

### Goal 3 – Public Space

- Goal 3.1 Respect natural resources and sensitive environmental areas, including designated flood plain areas, river and streams. The PUD Development Plan stays largely out of the back portion of the site that contains the following significant environmental features: large stand of trees, critical slopes, flood plain, historic Rock Hill Gardens. Instead, the project proposes to retain this area as Open Space and allow for a portion thereof to be dedicated for public access.

#### **b. Community Facilities**

The applicant's own analysis of the development's consistency with the Comprehensive Plan, as required by Z.O. Sec. 34-41(d)(2), is provided in the applicant's Narrative Statement and Zoning Compliance on Sheet N2 of the PUD Development Plan (Attachment 2).

#### **Staff Analysis**

Staff finds that the central location of the Subject Properties would be well serviced by many of the existing community facilities. The applicant notes the proposed project will conform to all applicable fire codes and regulations and will provide appropriate primary and secondary emergency ingress and egress points for fire, police and emergency responders. As part of the PUD Development Plan, the applicant provided (per Sec. 34-517(a)(7-8)) confirmation from Charlottesville's Fire and Public Utilities Departments that there is adequate fire flow and water/wastewater capacities at the Subject Properties.

[The proposed PUD Development Plan notes there are emergency access points of ingress and egress proposed at 1) the primary MACAA Drive entrance off Park Street, 2) access point adjacent to the Stone House along the existing driveway to Park Street with demountable bollards, and 3) the existing 250 Bypass onramp with demountable bollards. The Traffic Engineer and Fire Department have assessed that the two access points off of Park Street are adequate for EMS response and the access point off of 250 is not needed. In addition, the existing access has parts of the original stone wall of the Rock Hill Gardens located on either side as well as existing curb, grass strip and shared use path as a result of the interchange project. Staff has concern that while the applicant has noted to staff in e-mail correspondence that they will no longer propose this as an EMS access point, it is noted as a proposed EMS route on the PUD Development Plan currently proposed. The existing width of the access point (12') is not wide enough for an emergency vehicle (standard width required is 20'), leaving staff to believe if this were to be used as an access point, the columns of the original wall and existing infrastructure (curb/shared use path) would be at risk. Because staff prefers the original stone wall be preserved and the access point is not needed or usable in its current state, staff is not in support of this EMS access point as shown on the current plan.]

*UPDATE: The EMS access point originally proposed off of the 250 Bypass, posing risk to the original columns of the Rock Hill Gardens, has been removed.*

**c. Economic Sustainability**

The applicant's own analysis of the development's consistency with the Comprehensive Plan, as required by Z.O. Sec. 34-41(d)(2), is provided in the applicant's Narrative Statement and Zoning Compliance on Sheet N2 of the PUD Development Plan (Attachment 2).

**Staff Analysis**

Staff finds that NMSLC partnering with MACAA to support MACAA and its programs conforms to Goal 3 - Partnerships in the Economic Sustainability Chapter. Staff also finds the PUD Development Plan conforms to Goal 6 – Workforce by creating between 75-85 full and part-time positions associated with NMSLC and retaining 25 positions associated with MACAA operations at the Park Street location.

**d. Environment**

The applicant's own analysis of the development's consistency with the Comprehensive Plan, as required by Z.O. Sec. 34-41(d)(2), is provided in the applicant's Narrative Statement and Zoning Compliance on Sheet N2 of the PUD Development Plan (Attachment 2).

**Staff Analysis**

Staff finds the PUD Development Plan conforms to Goal 3 – Urban Landscape & Habitat Enhancement, “protect, increase, and provide an interconnected system of green space and buffers...” The PUD Development Plan includes a Protection Plan (Component 3(h)) where approximately 3.3 acres to the rear of the site that contain critical slopes, heavily wooded areas, Rock Hill Gardens, successional meadow and space for a stormwater garden BMP are called for preservation).

While staff commends the applicant for placing the building structures generally within the existing MACAA building site and preserving many significant environmental features of the site, staff notes there would be an increase in impervious area, shown at approximately 20% on Component 2(b) of the PUD Development Plan. Staff also has concern that the majority of parking is shown as surface parking (impervious area), where a small portion of parking is proposed as permeable paving. Staff has concern there are trees of eight-inch caliper or larger that are proposed to be removed in the area called out to be surface parking and had asked the applicant previously to consider tuck-under parking or a portion thereof, where more of these existing trees could be preserved.

In addition, staff does have concern there is discrepancy with the figures listed for 'Total Tree Canopy Removed' throughout the PUD Development Plan (See

Component 3(f), Component 3(h) and Component 4(a)). There are at least two figures listed (40,000 SF vs. 50,000 SF) that need to be clarified. Should this PUD Development Plan be approved, a tree canopy calculation that lists tree type, number of trees, and canopy per tree will be required during the site plan review process.] *UPDATE: The impervious area has been reduced from 20% to 15%. The applicant in response to the concern of the amount of surface parking has reduced the amount of surface parking spaces from 164 to 140 and increased the amount of proposed permeable parking spaces from 33 to 47 spaces. In addition, the Protection Plan proposes to relocate a portion of the existing trees of 8" caliper or greater to other locations on-site (See Component 3h of the PUD Development Plan, Attachment 2). Please note the Total Tree Canopy to remain (SF) does not reflect potential canopy preserved from relocation of trees. The applicant has also clarified the Tree Canopy Removed figure at 50,000 SF.*

Current stormwater regulations will prevent the subject properties from discharging additional stormwater above current levels. A detailed Erosion and Sediment Control Plan and Stormwater Management Plan will be required at site plan review should the PUD be approved. PUD approval does not relieve the applicant from the responsibility of adhering to and meeting all federal, state and local design standard requirements prior to final site plan approval.

**e. Housing**

The applicant's own analysis of the development's consistency with the Comprehensive Plan, as required by Z.O. Sec. 34-41(d)(2), is provided in the applicant's Narrative Statement and Zoning Compliance on Sheet N2 of the PUD Development Plan (Attachment 2).

**Staff Analysis**

Staff finds the PUD Development Plan contributes to the following Housing goals:

**Goal 2 – Maintain & Improve Housing Stock**

- Goal 2.5 “...providing support to programs and organizations serving the homeless and near-homeless population.” Part of the MACAA program offers housing and intensive case management for families facing homelessness in the community.

**Goal 7 – Design Options**

- “Offer a range of housing options to meet the needs of Charlottesville’s residents, including those presently underserved”

By 2030, residents of Virginia who are 65 and older are approximated to double to 1.8 million and grow to 19% of the overall population.<sup>1</sup>

Residents who are 65 and older currently make up approximately 9.2% of Charlottesville’s population.<sup>2</sup> It is staff’s opinion the PUD Development Plan provides a type of housing the Charlottesville can benefit from.

**[**However, there was discussion at the April 5, 2017 preliminary meeting with Councilors Wes Bellamy & Kathy Galvin in attendance over potential partnerships that would enable a portion of the senior living units

<sup>1</sup>Cai, Qian, “Virginia’s Diverse and Growing Older Population,” The Virginia Newsletter (Vol. 8, No. 2), April 2009, <<http://www.coopercenter.org/sites/default/files/publications/vanl0409.pdf>>

<sup>2</sup>US Census Bureau, 2011-2015 American Community Survey (ACS) 5-Year Estimates



to be subsidized at a more affordable rate. This was not indicated as part of the proposed PUD Development Plan.] *Update: The applicant has proffered two (2) newly constructed duplexes (4 units total) of age restricted (62+) independent living cottages affordable to households earning 80% of AMI, this effort to be coordinated with the Housing Program Coordinator on compliance and reporting. In addition, the applicant has proffered a donation of \$75,000 to the City's Affordable Housing fund.*

**f. Transportation**

The applicant's own analysis of the development's consistency with the Comprehensive Plan, as required by Z.O. Sec. 34-41(d)(2), is provided in the applicant's Narrative Statement and Zoning Compliance on Sheet N2 of the PUD Development Plan (Attachment 2).

**Staff Analysis**

Staff finds the PUD Development Plan contributes to Goal 1 – Complete Streets in the Transportation chapter of the Comprehensive Plan. The Transportation Plan featured on Component 3(b) of the PUD Development Plan depicts improvements that conform to the Neighborhood A Street Typology Design Guidelines found in the Streets That Work Plan. The improvements include: a newly constructed 5' sidewalk, 4' curbside buffer strip along MACAA Drive and street trees every 40 feet. The proposal does not include a 4' curbside buffer along Park Street in order to maintain adequate sight line. The proposal includes a raised, landscaped median strip along Park Street. **However, the proposal does not account for a climbing bike lane along Park Street, where bicycle facilities are listed as the highest priority element within the Neighborhood A Street Typology. A climbing lane should be incorporated with the pedestrian refuge.**

Staff supports the increased pedestrian connectivity throughout the site, specifically the public access piece of the proposal. [However, the PUD Development Plan does not show a connection from the existing 250 Bypass shared use path to the internal walkways within the site that connect to Park Street. This access would be required during site plan review should the PUD Development Plan be approved.] *Update: The PUD Development Plan now calls for a pedestrian connection from the existing 250 Bypass shared use path to the internal walkways within site (See Component 2b, 3a).*

[Staff is concerned the PUD Development Plan only partially contributes to Goal 5 – Parking, to “provide parking to adequately meet demand and support economic vitality without sacrificing aesthetics, while minimizing environmental impacts and accommodating pedestrians, bicycles, transit users and disabled individuals.” While the proposal provides adequate parking spaces, staff has concern with the majority of the parking being provided as surface parking, where it was suggested by Staff and Council members to consider tuck-under parking.] *Update: The applicant has*

*indicated after exploring tuck-under parking that this would not be financially feasible; however, efforts to address the concern has reduced the overall parking spaces from 164 to 144. The applicant justifies the reduction by stating the MACAA parking lot will be shared with senior living facility staff and visitors during MACAA's off hours (MACAA's operating hours are 7:15am-3:00pm). In addition, the applicant has increased the amount of permeable parking spots from 33 to 47 spaces. Staff believes the increased permeable paving locations are intentional as they are in close proximity to the proposed courtyards to the west and existing tree cover to the south. Staff believes that while the plan still contains a high number of parking spaces due to the scale of use, the reduced parking combined with the increase in permeable parking spaces is an improvement from the original application.*

Bicycle Parking is also not identified on the PUD Development Plan and would be required per Sec. 34-881 as part of the site plan review should the PUD Development Plan be approved.

**g. Historic Preservation & Urban Design**

The applicant's own analysis of the development's consistency with the Comprehensive Plan, as required by Z.O. Sec. 34-41(d)(2), is provided in the applicant's Narrative Statement and Zoning Compliance on Sheet N2 of the PUD Development Plan (Attachment 2). The applicant has also provided a history of the Rock Hill Gardens (Sheet H1 of the PUD Development Plan).

**Staff Analysis**

Staff finds certain elements of the proposed PUD Development Plan are consistent with the Historic Preservation and Urban Design goals of the Comprehensive Plan in that the proposal is largely centered around preserving existing mature landscape to the rear portion of the Subject Properties, preserving the historic Rock Hill Gardens, and refurbishing the existing Stone House (1021 Park Street).

*[In addition, the PUD Development Plan includes Architectural Design Guidelines (Sheet G1 of the PUD Development Plan) for the MACAA school building and senior living facility in efforts to provide a context-sensitive design. While staff believes the scale of the proposed MACAA school building (2-story; maximum height 35'), **the Independent Living Cottages (maximum height 35')**, and the existing Stone House are context sensitive (located appropriately to front on Park Street and adjacent to existing single-family residences), staff has concern with the scale of the proposed senior living facility being proposed at 4-5 stories (75' maximum height) when the surrounding properties zoned R-1 have a by-right maximum height of 35'. Staff does understand that given its location, the existing tree lines and grade would help mitigate the transition of this larger building; however, there is concern with the scale of the building in comparison to the surrounding area.] **Update: The applicant has reduced the senior living facility by a full story, where the maximum height is 55'. In addition, the applicant has provided more detail on proposed materials of the***

*building to break up the massing. Please see Sheet G1 of the PUD Development Plan for details. Staff notes this is an improvement from the 75' maximum height and believes the building, now that it is articulated differently, will be transition better given the location (existing tree lines and grade).*

The PUD Development Plan includes a Protection Plan (Component 3(h)) which specifically calls out the preservation of the historic Rock Hill Gardens, contributing to Goal 6, “provide effective protection to the City of Charlottesville’s historic resources.” The PUD Development Plan notes “Potential Public Open Space” as part of the Land Use Plan (Component 2(b)), where it notes there will be a “joint-use agreement between NMSLC and Charlottesville Parks and Recreation Department” for public access to the Rock Hill Gardens. This would likely be in form of a trail easement, the details of which would be worked out during the site plan review process should the PUD Development Plan be approved. Parks and Recreation staff has already had preliminary discussions with the applicant about the idea of opening this area up to the public for connectivity and access to the Rock Hill Gardens and are supportive of the joint-use agreement.

*[Staff does want to point out that on the Protection Plan (Component 3(h)), there is a note which states “This area *may* be included in a “joint use agreement” with the City defined for public access.” Staff’s only concern is the language on this sheet differs from the Land Use Plan provided and could be interpreted in the future as something that isn’t required as part of the PUD Development Plan.] Update: The language on Component 3(h) has been changed to “This area will be included in a “joint use agreement.”*

Staff believes preserving the Rock Hill Gardens and opening them to the public for access is a vital part of this PUD Development Plan for resource protection. During the Interchange project, the City compiled a treatment plan for the Rock Hill Gardens as part of the Section 106 process (federal funds on a historic property) which notes the gardens are eligible to be listed on the National Register (<http://www.charlottesville.org/home/showdocument?id=33962>). However, the Rock Hill Gardens are currently not listed and the PUD Development Plan provides definitive protection over this historic resource.

**2. Whether the proposed amendment will further the purposes of this chapter and the general welfare of the entire community;**

The applicant’s own analysis of the development’s furtherance of the general welfare of the entire community is provided in the applicant’s narrative statement.

**Staff Analysis**

Overall, staff agrees the concept of providing a senior living facility *with the addition of four (4) affordable, age restricted units* in a central location to serve the aging population in

conjunction with sustaining MACAA, which provides a number of services to the community (Head Start, Hope House, Project Discovery and Rural Outreach), is a benefit to Charlottesville.

**3. Whether there is a need and justification for the change;**

The applicant has provided information on the factors that lead to a request to rezone the subject properties from R-1 to a PUD in the Narrative section of their application (Sheet N1 of the PUD Development Plan).

**Staff Analysis**

Staff finds the proposed uses of a senior living facility and MACAA are both assets to the Charlottesville community given the aging population and the programs run by MACAA that serve facets of the community in need. In addition, staff is aware the partnership between NMSLC and MACAA will sustain MACAA where otherwise MACAA might not be able to continue given their financial situation. As stated before, staff agrees with the overall concept paired with the uniqueness of the site it would locate on; [however, has concerns with scale, density and aspects of the layout (e.g. amount of surface parking, elements of intersection design) in relation to the surrounding residential neighborhood.] *Update: Staff believes the scale of the building and the parking improvements (reduced number and increase in permeable parking spots) is an improvement to the overall layout of the site. Staff reserves concern with the density of the project; however, believes the uniqueness of the site (approximately 9 acres in size, somewhat of an isolated location with its grade and tree lines) will provide a buffer to the surrounding neighborhood, improving the transition.*

**4. When pertaining to a change in the zoning district classification of property, the effect of the proposed change, if any, on the property itself, on surrounding property, and on public services and facilities. In addition, the commission shall consider the appropriateness of the property for inclusion within the proposed zoning district, relating to the purposes set forth at the beginning of the proposed district classification.**

The location of the subject properties is currently served by existing public utilities and facilities. As part of the PUD Development Plan, the applicant provided per Sec. 34-517(a)(7-8) confirmation from Charlottesville’s Fire Department and Public Utilities Department that there is adequate fire flow and water and wastewater capacities at the Subject Properties.

**Staff Analysis**

Any development on the subject properties would be evaluated during site plan review and need to meet all current regulations related to public utilities and facilities.

Staff believes the overall concept of the PUD Development Plan as an “intergenerational campus” is appropriate for inclusion in the proposed zoning district. More detailed analysis provided in the following section: PUD Considerations.

## **PUD Considerations**

The applicant's own analysis of the objectives listed as part of the Planned Unit Development (PUD) zoning district (Sec. 34-491) are included on Sheet N3 of the PUD Development Plan.

## **Staff Analysis**

In reviewing an application for approval of a planned unit development (PUD) or an application seeking amendment of an approved PUD, in addition to the general considerations applicable to any rezoning the city council and planning commission shall consider whether the application satisfies the following objectives of a PUD district:

### **(1) To encourage developments of equal or higher quality than otherwise required by the strict application of zoning district regulations that would otherwise govern;**

**On Objective 1:** Staff concludes that the applicant does meet this PUD objective. Strict application of the zoning would not allow for a larger senior living facility (R-1 allows for up to 8 Adult Assisted Living Residents) in conjunction with MACAA, preserving the Head Start and other programs that serve low-income families throughout the region. In addition, the proposed concept of the "intergenerational campus" is centered largely around preserving the environmental features located on the back of the property, including the preservation of and creating public access to the Rock Hill Gardens, which otherwise could be altered by a private property owner. The proposal includes preservation of the existing Stone House at 1021 Park Street, which currently has no overlay protection. In addition, the proposal provides connection to the existing John Warner Parkway trail, Schenk's Branch and McIntire Park.

It is staff's opinion that current zoning would create a lesser quality site layout as the zoning designations would not support the opportunity presented in the PUD Development Plan, and rather, would promote a future development of single-family dwellings, in which the Rock Hill Gardens and existing Stone House aren't protected and would not necessarily be preserved. The environmental features of the back portion of the property do have some protection as a developer would be required to apply for a Critical Slope Waiver if the proposed development disturbed any portion of the critical slope area; however, the future trail allowing public access to the Rock Hill Gardens and connections to the John Warner Parkway trail, Schenk's Branch and McIntire Park would not be required in a by-right scenario.

### **(2) To encourage innovative arrangements of buildings and open spaces to provide efficient, attractive, flexible and environmentally sensitive design.**

**On Objective 2:** Staff concludes that the applicant does overall meet this PUD objective. The applicant has proposed an environmentally sensitive development in the sense that the applicant has located the buildings within the existing MACAA operation building site, some of which front closer to the Park Street. The location of the buildings is in efforts to stay out of the preserved natural areas (3.30) at the back of the site which contain critical slopes, heavily wooded areas and

the Rock Hill Gardens. The PUD Development Plan depicts 58.92% of the site as Open Space to include the preserved natural areas (3.30 Acres) at the rear of the property.

*[However, staff does want to note it has a few comments in regards to the arrangement of proposed buildings on the building site. Staff would have liked to see more of an effort made to arrange the parking in such a way that it was more environmentally sensitive (use of “tuck-under” parking), where more of the existing trees of eight-inch caliper or greater located where the surface parking is proposed could be preserved.] Update: Staff believes that while the plan still contains a high number of parking spaces due to the scale of use, the reduced parking combined with the increase in permeable parking spaces is an improvement from the original application.*

**(3) To promote a variety of housing types, or, within a development containing only a single housing type, to promote the inclusion of houses of various sizes;**

**On Objective 3:** Staff concludes the applicant does meet this PUD objective. The applicant’s proposal provides a mix of independent, assisted and memory care units within the senior living facility that will serve different needs within the aging community of Charlottesville.

**(4) To encourage the clustering of single-family dwellings for more efficient use of land and preservation of open space;**

**On Objective 4:** Staff concludes that the applicant does meet this PUD objective. Though there are no single-family dwellings proposed, the applicant has proposed a development plan with buildings clustered closer to Park Street and largely within the existing MACAA building site in order to preserve the 3.30 acres of natural areas at the back of the site.

**(5) To provide for developments designed to function as cohesive, unified projects;**

**On Objective 5:** Staff concludes that the applicant does meet this PUD objective. The proposed development plan provides a unique concept of an “intergenerational campus” that locates a senior living facility and the MACAA operations/school in the same place, where the applicant states shared programs will occur between the NMSLC and MACAA. Staff is eager to learn more about the future shared programming as these events would make the site a true “Intergenerational Campus.” The PUD Development Plan indicates a parking/event space designed with pavers, landscaping and lighting to encourage during off hours shared evening events. In addition, the site is unified through close proximity and connected walkways.

**(6) To ensure that a development will be harmonious with the existing uses and character of adjacent property, and/or consistent with patterns of development noted with respect to such adjacent property;**

**On Objective 6:** Staff concludes the applicant *has improved its application to* ~~does not~~ meet this PUD objective. The PUD Development Plan includes *more detailed* Architectural Design Guidelines (Sheet G1 of the PUD Development Plan) for the MACAA school building and senior living facility in

efforts to provide a context-sensitive design. Staff believes the scale of the proposed MACAA school building (2-story; maximum height 35'), *the affordable, age-restricted Independent Living Cottages (maximum height 35')*, and the existing Stone House are context sensitive and locate appropriately to front on Park Street (adjacent to existing single-family residences). *Staff believes the senior living facility is improved in overall scale now that it has been reduced a full story, with a new maximum height of 55'.* The surrounding properties zoned R-1 have a by-right maximum height of 35'. Staff does understand that given its location, the existing tree lines and grade would help mitigate appearance of the *4-story building* and provide for a transition; however, *staff still has concern with the building in light of the building's proposed scale and density. The proposed density (16 DUA) exceeds what would be allowed under by-right zoning (5 DUA) and the recommended Comprehensive Plan Low Density Residential range (not to exceed 15 DUA).*

**(7) To ensure preservation of cultural features, scenic assets and natural features such as trees, streams and topography;**

**On Objective 7:** Staff concludes that the applicant does significantly contribute to this PUD objective. The applicant is preserving 3.3 acres of the back portion of the site that include critical slopes, floodplain, large stand of trees and the historic Rock Hill Gardens.

**(8) To provide for coordination of architectural styles internally within the development as well as in relation to adjacent properties along the perimeter of the development; and**

**On Objective 8:** Staff concludes the applicant meets this PUD objective and has included a unified architectural style internally to the development as shown in the Architectural Design Guidelines (Sheet G1 of the PUD Concept Plan). The structures closer to Park Street are of most concern in their relation to the adjacent properties and staff believes their scale and style will coordinate appropriately with the adjacent single-family residences.

**(9) To provide for coordinated linkages among internal buildings and uses, and external connections, at a scale appropriate to the development and adjacent neighborhoods;**

**On Objective 9:** Staff concludes that the applicant *does meet this PUD objective.* The proposed development plan provides a shared use plaza/park space (permeable paver area) for NMSLC/MACAA events and gatherings, internal and external walkways available for use by the potential users and neighboring residents, an area dedicated for a future public trail allowing access to the historic Rock Hill Gardens and connection to the John Warner Parkway trail system, 5' sidewalks along the perimeter of the site and a realigned intersection with pedestrian refuge for crossing Park Street from Davis Ave. *In addition, the PUD Development Plan now shows a connection from the existing 250 Bypass shared use path to the internal walkways within the site that connect to Park Street.*

**(10) To facilitate access to the development by public transit services or other single-vehicle-alternative services, including, without limitation, public pedestrian systems.**

On Objective 10: Staff concludes that the applicant does meet this PUD objective. The proposed development improves the Park Street/Davis Ave/MACAA Drive intersection and both NMSLC and MACAA use their own multi-person transit vans and JAUNT. The applicant has also expressed should the PUD Development Plan be approved, they would inquire about a Charlottesville Area Transit (CAT) bus route to the site. Bicycle Parking is not identified on the PUD Development Plan and would be required per Sec. 34-881 as part of the site plan review should the PUD Development Plan be approved.

### Proffers

~~The applicant did not provide a proffer statement as part of this application.~~

*The updated application includes a proffer statement proffering the following:*

- (i) Providing two (2) duplexes (4 units total) of age restricted (62+) housing affordable to households earning 80% of area median income (AMI), this effort to be coordinated with the Housing Program Coordinator on compliance and reporting; and,*
- (ii) Donation of \$75,000 to the Charlottesville Affordable Housing fund.*

### Public Comments Received

Per Sec. 34-41(c)(2), the applicant held a Community Meeting on July 17, 2017. There have been several neighborhood residents who have sent separate written correspondence to NDS that are attached to this report (Attachment 4).

General comments from the public regarding the PUD Rezoning request are:

- Concern around increased in traffic generated from the senior living facility
- Missing portion of sidewalk along Davis not included as part of intersection improvements
- Desire for applicant to maintain the already established crosswalk that runs from south side of Davis to south side of MACAA Drive *Update: Applicant has removed the crosswalk from the north side and relocated to south side at neighbors request (with the addition of flashing beacons)*
- The proposed intersection showing a left turn onto Park Street out of MACAA Drive where currently there is a “No Left Turn” sign *Update: The proposed intersection improvements have eliminated the left turn and proposed a pork chop to force traffic right*
- Concern around noise generated from the use (e.g. dumpsters, food deliveries)
- Desire for a public or commercial space (café or restaurant) in the development for neighborhood residents to gather
- *Desire for the site to remain single-family residential in neighbor to maintain the neighborhood feel. Concern the duplexes don't fit with the adjacent single-family residences.*

For more detailed public comment, please see correspondence in Attachment 4.



## Staff Recommendation

Overall, staff finds the proposed PUD Development Plan provides a unique opportunity for an “intergenerational campus” that provides housing for the growing 65+ population, sustains MACAA, an organization that provides programs that meet many of the City’s goals in serving the low-income community *and commits to providing four (4) affordable, age restricted (65+) units on-site in coordination with the City’s Housing Coordinator*. In addition, the concept layout demonstrates efforts to use environmentally sensitive design by utilizing the existing building site in order to preserve the environmental and historic features of the site (environmental features at rear of site: critical slopes, heavily wooded areas, meadows, Rock Hill Gardens, flood plain), which otherwise might not be preserved in a by-right scenario. The applicant has demonstrated their intent to improve connectivity and access through the proposed improvements at the Park/Davis Ave/MACAA Drive intersection, many of which comply with Streets That Work, and the proposed future public access via an agreement with City Parks and Recreation to allow for public access to the historic Rock Hill Gardens and the existing John Warner Parkway trail system. Staff believes the designation of a PUD allows for the unique, integrated mix of uses that would be a benefit to this community and a site layout that is, for the most part, cohesive and environmentally sensitive. Staff would like to stress that overall, they are supportive of the concept. *Many of staff’s previous concerns (listed below) have been addressed in the updated application; however, there are concerns that remain. Please see the original list of staff’s concerns below with updates so that Planning Commission can take these into consideration when making their recommendation:*

- ~~1. The proposed intersection improvements (Component 3(b) of the PUD Development Plan) show a left turn out of MACAA Drive onto Park Street (existing conditions: “No Left Turn” sign out of MACAA Drive). The Traffic Engineer considers this not ideal due to the crest in the hill and notes should this PUD Development Plan get approved, the Traffic Engineer can require the left turn be removed under site plan review. *The application no longer includes the left turn out of MACAA Drive and has proposed to install a “pork-chop” to direct traffic right.*~~
- ~~2. The PUD Development Plan does not show a connection from the existing 250 Bypass shared use path to the internal walkways within the site that connect to Park Street. This access could provide an integral connection to the greater City trail systems and staff notes this would be required during site plan review should the PUD Development Plan be approved per Sec. 34-897. *The application includes allowance for pedestrian access from the existing 250 Bypass shared use path to the internal walkways within the site connecting to Park Street.*~~
3. The proposed density of 16 DUA exceeds the by-right density (effective density for R-1: 5 DUA and the Comprehensive Plan density range for Low Density Residential, where for those areas it states to “not exceed 15 DUA.” While staff sees an argument for a higher density than allowed by-right in light of the Subject Properties’ size (9.312 acres), its isolated location (existing tree buffers and heavily wooded slopes on the west side), and the proposed use of a senior living facility having most traffic being generated from its employees, *staff has concern with the proposed density (16 DUA) exceeding the by-right density (5 DUA) and what is intended to be the maximum density listed in the Comprehensive Plan for Low Density Residential areas (not to exceed 15 DUA). Staff still holds its concern with the propose density,*

*but wants to note the new layout and reduction of height in the proposed senior living facility building is an improvement from the original application in countering the impact of the number of units proposed.*

4. *The proposed massing and scale of the senior living facility, reduced from 5 stories to 4 stories with a maximum height of 55' is an improvement from the original 75' maximum height in comparison to the surrounding neighborhood that contains single-family residences not to exceed 35' in height per their R-1 zoning. Staff notes that the size of the building is arguably more hidden given the location of the site and the preserved wooded areas and the location of the building situated back behind the three structures that front on Park Street (proposed not exceed the existing by-right height of 35'). While staff believes the updated proposed massing and scale would be better hidden behind the tree-line and provide for a better transition than the original proposed massing and scale, staff still has concern the scale is larger than what would be allowed in the current zoning and in light of the surrounding neighborhood.*
5. *[Staff has concern with the amount of surface parking for the following: resulted loss of some of the existing trees of eight-inch caliper or greater and there being more innovative and environmentally sensitive approaches ("tuck-under" parking) that might not have been explored.] Staff believes the applicant has made a considerable effort to address this concern providing for an improved layout, where the total number of parking spaces provided has been reduced 20 spaces and there is an increase in permeable parking spaces. The applicant has also noted relocation of trees that are eight-inch caliper or greater to other places on-site to help preserve more trees. While staff believes the scale (number of units) is the driving force behind the large number of parking spaces, where a smaller-scale senior living facility would require less parking, staff believes this is an improvement from the original application and commends the applicant's efforts to utilize shared parking and permeable paving.*
- ~~6. Staff has concern with the proposed EMS access point off of 250 Bypass being that the recently constructed shared use path as part of the Interchange project blocks that access of and that part of the original Rock Hill Garden walls are on either side of the existing access, putting them at risk. Traffic Engineering and Fire Department have confirmed the two EMS access points off of Park are adequate. It is of staff's opinion this should not be an EMS access point and should remain permanently closed. Staff does not support the proposed EMS access point as shown on the PUD Development Plan currently proposed plan. Staff will note the applicant has stated through e-mail correspondence the EMS point would be removed and there would be no change; however, staff has to evaluate the proposed PUD Development Plan as shown. The EMS access point off of the 250 Bypass has been removed.~~
- ~~7. In light of the public comment received, staff would like to note it supports maintaining the existing crosswalk that runs from south side of Davis to south side of MACAA Drive. The applicant has proposed to maintain existing crosswalk that runs from south side of Davis to south side of MACAA Drive and has proposed flashing beacons for improved pedestrian safety.~~

- ~~8. Regarding the “joint use agreement between NMSLC and Charlottesville Parks and Recreation” for the public access to the Rock Hill Gardens, staff is slightly unclear about the note provided on the Protection Plan (Component 3(h)), which states “This area may be included in a “joint use agreement” with the City defined for public access.” Staff’s only concern is the language on this sheet differs from the Land Use Plan provided (Component 2(b)) and could be interpreted in the future as something that isn’t required as part of the PUD Development Plan. *The applicant has clarified the discrepancy in language regarding the area called that is called out for a joint use agreement between NMSLC and Charlottesville Parks and Recreation for public access to the Rock Hill Gardens, noting that the area will be under a joint-use agreement.*~~
- ~~9. Staff has concern there is discrepancy with the figures listed for ‘Total Tree Canopy Removed’ throughout the PUD Development Plan (See Component 3(f), Component 3(h) and Component 4(a)). There are at least two figures listed (40,000 SF vs. 50,000 SF) that need to be clarified. Should this PUD Development Plan be approved, a tree canopy calculation that lists tree type, number of trees, and canopy per tree will be required during the site plan review process. *The applicant has clarified the Total Tree Canopy Removed figure as being 50,000 SF.*~~

## **Attachments**

- (1) Application
- (2) *PUD Development Plan, dated August 28, 2017*
- (3) Application Rejection Letters dated May 8 and June 5, 2017
- (4) *Public Comments Received*
- (5) PC Preliminary Discussion Report, dated April 11, 2017
- (6) *PC Informal Public Hearing Staff Report, August 8, 2017:*  
<https://www.charlottesville.org/Home/ShowDocument?id=55723>

## **Suggested Motions**

1. I move to recommend the approval of this application to rezone the properties located on Tax Map 47, Parcels 7.1, 8, 11 from R-1, and SUP for Community Education Center on Tax Map 47, Parcel 7.1 to PUD, on the basis that the proposal would serve the interests of the general public welfare and good zoning practice.
2. I move to recommend denial of this application to rezone properties located on Tax Map 47, Parcels 7.1, 8, 11 from R-1, and SUP for Community Education Center on Tax Map 47, Parcel 7.1, to PUD for the following reasons:
3. I move to recommend deferral of this application to rezone properties located on Tax Map 47, Parcels 7.1, 8, 11 from R-1, and SUP for Community Education Center on Tax Map 47, Parcel 7.1, to PUD for the following reasons:



August 28, 2017

Ms. Heather Newmyer AICP  
 City Planner  
 City of Charlottesville Virginia  
 610 East Market Street  
 Charlottesville, VA 22902

Re: MCACAA Intergenerational Education Campus PUD Rezoning Application [IM 47:P7.1, 8, and 11]

Dear Heather,

Please find in the attached revised application for the above project. We appreciate the time you, Missy Creasy, and Brennan Duncan have spent helping us to refine our submission based on staff, community and planning commission comments. As we discussed in our last meeting we have included a "red line" narrative and "clouded" PUD plan version of the submission indicating those areas which have been revised as well as a final "clean" version as our revised submission. We believe that the project has benefited and been improved from your helpful suggestions and advice and we appreciate your work with us.

We have also included an executed Statement of Preliminary Proffer Statement with to address the affordable housing concerns and in response to those components of the comprehensive plan which we have coordinated with the Housing Program Director at the City.

We are in the process of setting up some additional community meetings for the project as well as individual meetings with concerned neighbors and City Officials where appropriate. We will notify you of these meetings as they develop and would welcome your attendance and comments.

As you noted we will be preparing a power point presentation for the Planning Commission meeting in October and I will get this to you in advance of the meeting as well as paper version for the Planning Commission and City Council members.

We have attached a summary of the written concerns you identified in the staff report and our responses to those which are included in the revised submission package. Please feel free to let me or any member of our team know if you have additional questions or concerns which arise as you review our revised submission.

With Kind Regards,

Kurt Wassenaar, Architect  
 Representative for NMSLC and MACAA  
 Cc: Mr. Bruce Hedrick, Ms Harriet Kaplan, Mr. David Mellen

**Responses to Staff Recommendations – MACAA Intergenerational Education Campus**  
8/28/17

- 1) The proposed intersection improvements (Component 3(b) of the PUD Development Plan) show a left turn hot of MACAA Drive onto Park Street (existing conditions: “No Left Turn” sign out of MACAA Drive). The Traffic Engineer considers this not ideal due to the crest in the hill and notes should this PUD Development Plan get approved, the Traffic Engineer can require the left turn be removed under site plan review. ...

*Response: Removed “left turn” movement and added “park chop” (see clouded area p. 2b)*

- 2) The PUD Development Plan does not show a connection from the existing 250 Bypass shared use path to the internal walkways within the site that connect to Park Street. This access could provide an integral connection to the greater City trail systems and staff notes this would be required during site plan review should the PUD Development Plan be approved per Sec. 34-897.

*Response: Access added to 250 Bypass (see clouded area p. 2b)*

- 3) The proposed density of 16 DUA exceeds the by right density (effective density for R-1: 5 DUA and the Comprehensive Plan density range for Low Density Residential, where for those areas it states to “not exceed 15 DUA.” While staff sees an argument for a higher density than allowed by-right in light of the Subject Properties’ size (9.312 acres), its isolated location (existing tree buffers and heavily wooded slopes on the west side), and the proposed use of a senior living facility having most traffic being generated from its employees, staff has concern with the proposed density (16 DUA) exceeding what is intended to be the maximum density listed in the Comprehensive Plan for Low Density Residential areas (not to exceed 15 DUA). Note that the total land area has been determined to be 9.02 acres as a result of the land taken by VDOT during the development of the Warner Parkway and its ramp improvements. Normally MACAA would have sought a waiver of the loss of development rights from the loss of this acreage but unfortunately it did not anticipate this prior to the deed of the .28 acres to the Parkway project.

*Response: Total number of senior housing units will be reduced from 151 units to 141 units. In an effort to meet the City’s goal of increasing the number of affordable housing units, the applicant will add 4 affordable age-restricted (62+) housing units (see below). The number of adult assisted living units will not exceed 64 units, the number of memory care units will not exceed 60 units and the number of independent units will not exceed 85 units, however the total number of these combined units will not exceed 141 units (see clouded area p. 2b).*



- 4) Staff has concern with the proposed massing and scale of the senior living facility, proposed at 5 stories with a maximum height of 75' if measured to the roof ridge as noted on Sheet G1 in comparison to the surrounding neighborhood that contains single-family residences not to exceed 35' in height per their R-1 zoning. Staff notes that the size of the building is arguably more hidden given the location of the site and the preserved wooded areas and the location of the building situated back behind the three structures that front on Park Street (proposed not exceed the existing by-right height of 35'), however there is still concern the scale is significantly different than what would be allowed in the current zoning and in light of the surrounding neighborhood.

*Response: The senior living building has been reduced in height by a full story. The building shifts a full story to accommodate the grade shift of about 12' on the 250 Bypass and Warner Parkway sides of the site. The building wings on the side of the Warner Parkway side shift down a full floor and will be 4 stories in height as well with a maximum height at the eave line of 55' and the rest of the building remains at 4 stories with a maximum height at the eave line of 55' (see clouded area on p. 2b). A raised courtyard on the Warner Parkway side of the building transitions the height of the back of the courtyard building height to 4 stories as well.*

- 5) Staff has concern with the amount of surface parking for the following: resulted loss of some of the existing trees of eight-inch caliper or greater and there being more innovative and environmentally sensitive approaches ("tuck-under" parking) that might not have been explored.

*Response: Surface parking number has been reduced from 134 spaces to 110 spaces (see clouded area on p. 2b), an additional 46 spaces will have permeable pavers at the Southern, Western and Eastern parking lots and where possible, existing trees transplanted (see clouded area on p. 3h).*

*Most visitors to the senior housing project will be from 4:00 p.m. to 8:00 p.m. during the weekday, and throughout the day on weekends. The majority of MACAA's parking needs are between 7:15 a.m. - 3:00 p.m. allowing for shared parking during the weekday after 4:00 p.m. for the senior housing visitors and subsequently the need for fewer total spaces. The shared parking arrangement will be memorialized in the easement and shared maintenance agreement between the parties.*

*The applicant has also spoken with CAT regarding their existing Route 11 which currently serves Park Street, but stops at North Avenue just north of MACAA Drive. According to CAT, they currently have a feasibility study under way studying their existing routes. As a "life line" location, the Senior Housing project has put in a letter*



*requesting Route 11 be extended to include a bus stop location within the MACAA campus.*

- 6) Staff has concern with the proposed EMS access point of 250 Bypass being that the recently constructed shared use path as part of the Interchange project blocks that access of and that part of the original Rock Hill Garden walls are on either side of the existing access, putting them at risk. Traffic Engineering and Fire Department have confirmed the two EMS access points off of Park are adequate. It is of staff's opinion this should not be an EMS access point and should remain permanently closed. Staff does not support the proposed EMS access point as shown on the PUD Development Plan currently proposed plan. Staff will note the applicant has stated through e-mail correspondence the EMS point would be removed and there would be no change; however, staff has to evaluate the proposed PUD Development Plan as shown.

*Response: The EMS access off 250 Bypass has been removed (see clouded area p. 2b)*

- 7) In light of the public comment received, staff would like to note it supports maintaining the existing crosswalk that runs from the south side of Davis to the south side of MACAA Drive and, if possible with the adjacent property owner, providing the missing portion of sidewalk on Davis Avenue as part of the intersection improvements (a potential bulb-out scenario). These items are currently not included as part of the PUD Development Plan's proposal.

*Response: North side crosswalk has been relocated to the south side and flashing beacons added (see clouded area p. 2b).*

- 8) Regarding the "joint use agreement between NMSLC and Charlottesville Parks and Recreation" for the public access to Rock Hill Gardens, staff is slightly unclear about the note provided on the Protection Plan (Component 3(h), which states "This area may be included in a "joint use agreement" with the City defined for public access." Staff's only concern is the language on this sheet differs from the Land Use Plan provided (Component 2(b)) and could be interpreted in the future as something that isn't required as part of the PUD Development Plan.

*Response: The language will be changed to "This area will be included in a "joint use agreement" with the City defined for public access" (see clouded area p. 3h).*

- 9) Staff has a concern there is discrepancy with the figures listed for 'Total Tree Canopy Removed' throughout the PUD Development Plan (See Component 3(f), Component 3 (h) and Component 4(a)). There are at least two figures listed (40,000 SF vs. 50,000 SF) that need to be clarified. Should this PUD Development Plan be approved, a tree



canopy calculation that lists tree type, number of trees, and canopy per tree will be required during the site plan review process.

*Response: Total Tree Canopy removed is 50,000 sq. ft. (trees 8" caliper and larger) and has been changed (see clouded area p. 3f, 3h)*

## Other

- **Affording housing**

*Response: Applicant will proffer; two duplexes (4 units total) of age-restricted (62+) affordable housing (80% of AMI) and a donation of \$75,000 to the Charlottesville Affordable Housing Fund for affordable work force housing (see clouded area p. 2b).*

*Residents of the age-restricted affordable housing units will access to the life enrichment programs, educational programs, scheduled transportation, and building/campus amenities at no charge. Other services such as meals, housekeeping, laundry and personal care services would be available on a fee for service basis.*

- **Critical Slopes**

*Response: Protection plan has been changed to reflect all critical slopes (see clouded area on p. 2b, 3h).*





BEFORE THE CITY COUNCIL OF THE CITY OF CHARLOTTESVILLE, VIRGINIA

IN RE: PETITION FOR REZONING (City Application No.ZM17-00001)

STATEMENT OF PRELIMINARY PROFFER CONDITIONS

For the MCACAA Intergenerational Education Campus PUD Rezoning Application [TM 47:P7.1, 8, & 11]

Dated as of August 28, 2017

TO THE HONORABLE MAYOR AND MEMBERS OF THE COUNCIL OF THE CITY OF CHARLOTTESVILLE:

The undersigned individuals are the owners of land subject to the above-referenced rezoning petition ("Subject Property"). The Owner/Applicant seeks to amend the current zoning of the property subject to certain voluntary development conditions set forth below. In connection with this rezoning application, the Owner/Applicant seeks approval of a PUD as set forth within a PUD Development Plan dated August 28, 2017.

The Owner/Applicant hereby proffers and agrees that if the Subject Property is rezoned as requested, the rezoning will be subject to, and the Owner will abide by, the approved PUD Development Plan as well as the following conditions:

1. Applicant will proffer two duplexes (4 units total) of age-restricted (62+) housing affordable to households earning 80% of AMI, and coordinate with the Housing Program Director on compliance reporting.
2. Applicant proffers a donation of \$75,000 to the Charlottesville Affordable Housing Fund for affordable work force housing.

WHEREFORE, the undersigned Owner(s) stipulate and agree that the use and development of the Subject Property shall be in conformity with the conditions hereinabove stated, and requests that the Subject Property be rezoned as requested, in accordance with the Zoning Ordinance of the City of Charlottesville.

Respectfully submitted this 28<sup>th</sup> day of August, 2017.

By: 

Owner: MACAA, Inc.

Print Name: Harriett D. Kaplan

Owner's Address: 1025 Park Street  
Charlottesville, VA 22901

By: 

Applicant: NMSLC, LLC

Print Name: Bruce H. Hedrick  
President

Applicant's Address: 2917 Penn Forest Blvd  
Roanoke, VA 24018

By: 

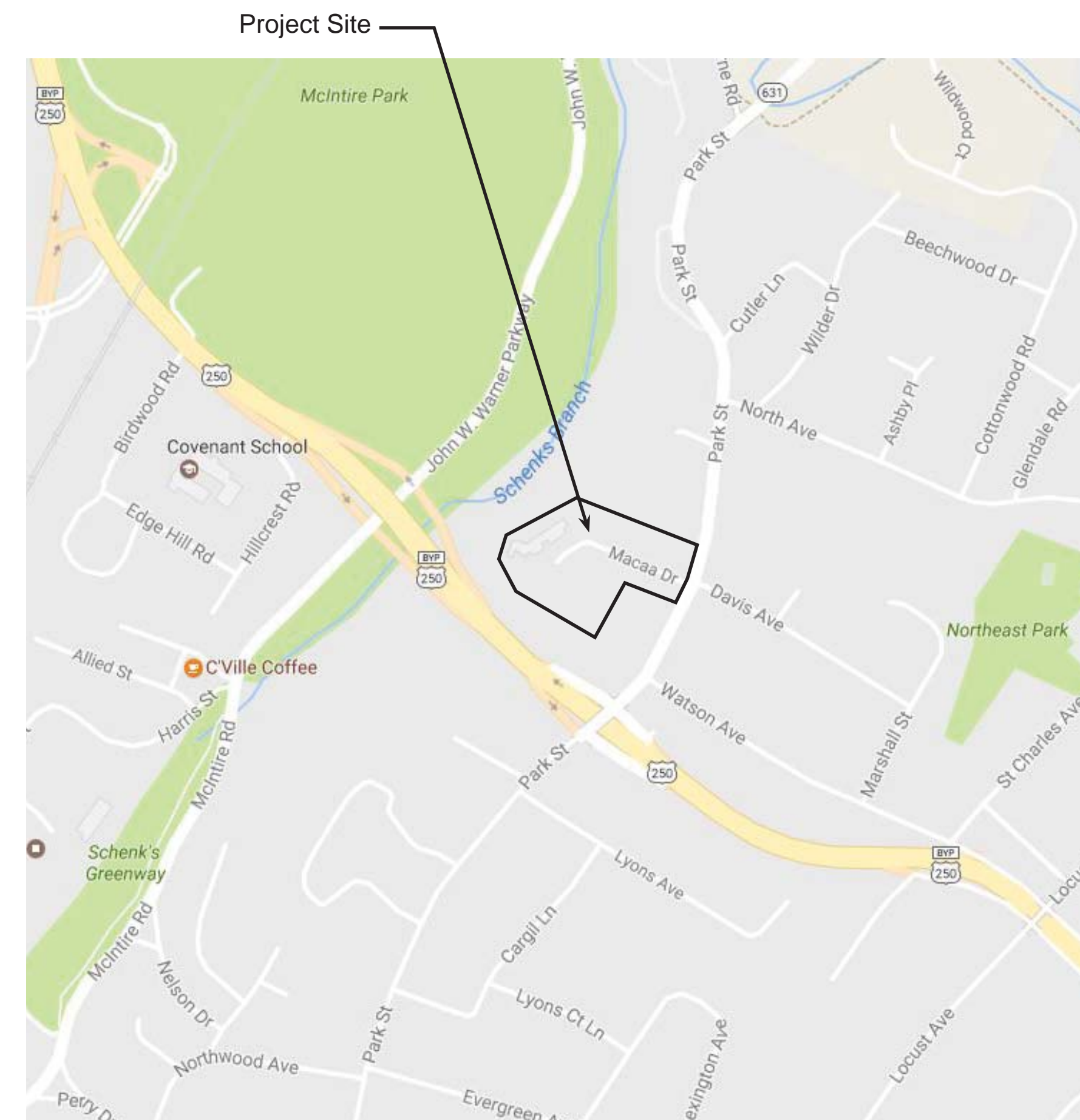
Owner: 1023 Park Street, LLC

Print Name: Bruce H. Hedrick, President NMSLC, LLC  
On behalf of owner per limited power  
of attorney submitted  
with original application

Owner's Address: 455 Sward St. SE  
Fourth Floor  
Charlottesville, VA  
22902



Campus Entrance View from Park Street Northbound



Vicinity Map

## P.U.D. DEVELOPMENT PLAN

### MACAA INTERGENERATIONAL EDUCATION CAMPUS

1025 Park Street, Charlottesville, VA 22901

Tax Map Parcels:	Address	Size	Zone
TM-47-7.1	1025 Park Street	7.64 acres	R-1
TM-47-11	1023 Park Street	0.47 acres	R-1
TM-47-8	1021 Park Street	0.91 acres	R-1
Total		9.02 acres	

**Current Zoning:**

All Parcels are zoned R-1. In addition, TM-47-7.1 has a SUP that was granted by City Council on January 4, 1993, allowing MACAA to use the former YMCA Site as a Community Education Center, with the following conditions:

1. Administrative approval of the site plan
2. A grading and E&S Plan being submitted and approved
3. The hours of operation shall not exceed 9:00 p.m. on Sunday through Thursday, 11:00 p.m. on Friday and 10:00 p.m. on Saturday
4. All site plan improvements must be implemented within one year of SUP approval
5. There shall be physical barriers on access roads during prohibited hours of operation

An amendment to the SUP was approved on July 6, 1993 granting a one year trial period to eliminate the SUP requirements that there be access from the property onto the Route 250 Bypass and that the entrance onto Park Street be chained off during prohibited hours of operation. On December 4, 1995 a second amendment was approved allowing permanent closure of access to the 250 Bypass from 1025 Park Street, and also that MACAA would not be required to chain off the entrance to 1025 Park Street after hours of operation and the hours of operation could not exceed 10:00 p.m. on Sunday through Thursday and 11:00 p.m. on Friday and Saturday. Approval of these amendments was conditioned upon administrative approval of the site plan.

**Proposed Zoning:**

Planned Unit Development (P.U.D.)

**Owner/Developer:**

New Millennium Senior Living Communities, LLC  
2917 Penn Forest Blvd.  
Roanoke, VA 24018  
540-776-7458

**Site Survey:**

Roger W. Ray & Associates, Inc.  
663 Berkmar Court  
Charlottesville, VA 22901  
434-293-3195

**Land Planning and Landscape Architects:**

Land Planning Design Associates  
1006 East Jefferson Street, Suite B  
Charlottesville, VA 22902  
434-296-2108

**Civil Engineers:**

Collins Engineering  
200 Garrett Street, Suite K  
Charlottesville, VA 22902  
434-293-3719

**Architects:**

GHLA Architects  
1300 West Randol Mill Road  
Arlington, TX 76012  
817-801-7200

**Design and Planning Support:**

Wassenaar + Winkler  
200 West 12th Street  
Waynesboro, VA 22980  
540-941-3567

Approved by City Council Ordinance dated \_\_\_\_\_ 2017

**Index:**

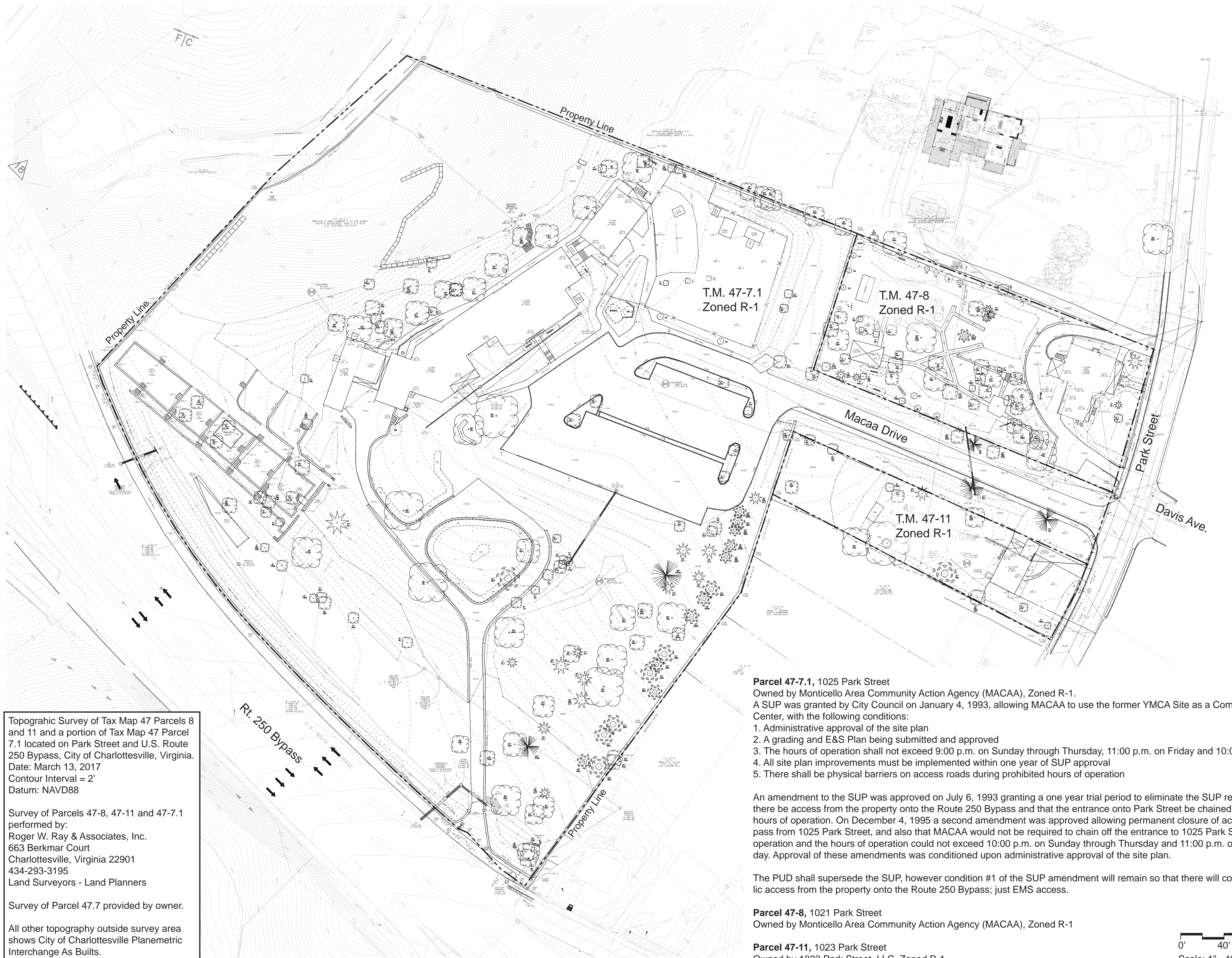
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1(b) Adjacent Property Inventory	
Component 2: Land Use Plan .....	34-517(a)(4)
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2(b) Detailed Site Plan, Land Uses and Connections	
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Component 3: Infrastructure .....	34-517(a)(3)
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3(d) Signage Plan	
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3(g) Site Photographs	
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G(1) PUD Concept Plan Narrative and Architectural Design Guidelines	
T(1-4) Park Street Traffic Impact Analysis	
S(1-2) Stormwater Management Narrative and Calculations	
A(1-3) Typical Senior Housing Unit Exhibits	
H(1-3) Rock Hill Property History, Locust Grove Neighborhood History	

City Code Reference:



P.U.D. Development Plan

Title Page



Topographic Survey of Tax Map 47 Parcels 8 and 11 and a portion of Tax Map 47 Parcel 7.1 located on Park Street and U.S. Route 250 Bypass, City of Charlottesville, Virginia. Date: March 13, 2017 Contour Interval = 2' Datum: NAVD88

Survey of Parcels 47-8, 47-11 and 47-7.1 performed by:  
 Roger W. Ray & Associates, Inc.  
 663 Berkmar Court  
 Charlottesville, Virginia 22901  
 434-293-3195  
 Land Surveyors - Land Planners

Survey of Parcel 47.7 provided by owner.

All other topography outside survey area shows City of Charlottesville Planometric Interchange As Built.

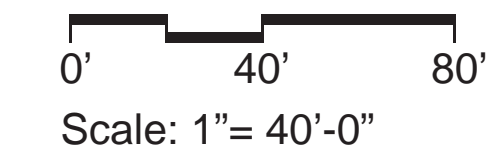
**Parcel 47-7.1, 1025 Park Street**  
 Owned by Monticello Area Community Action Agency (MACAA), Zoned R-1.  
 A SUP was granted by City Council on January 4, 1993, allowing MACAA to use the former YMCA Site as a Community Education Center, with the following conditions:  
 1. Administrative approval of the site plan  
 2. A grading and E&S Plan being submitted and approved  
 3. The hours of operation shall not exceed 9:00 p.m. on Sunday through Thursday, 11:00 p.m. on Friday and 10:00 p.m. on Saturday  
 4. All site plan improvements must be implemented within one year of SUP approval  
 5. There shall be physical barriers on access roads during prohibited hours of operation

An amendment to the SUP was approved on July 6, 1993 granting a one year trial period to eliminate the SUP requirements that there be access from the property onto the Route 250 Bypass and that the entrance onto Park Street be chained off during prohibited hours of operation. On December 4, 1995 a second amendment was approved allowing permanent closure of access to the 250 Bypass from 1025 Park Street, and also that MACAA would not be required to chain off the entrance to 1025 Park Street after hours of operation and the hours of operation could not exceed 10:00 p.m. on Sunday through Thursday and 11:00 p.m. on Friday and Saturday. Approval of these amendments was conditioned upon administrative approval of the site plan.

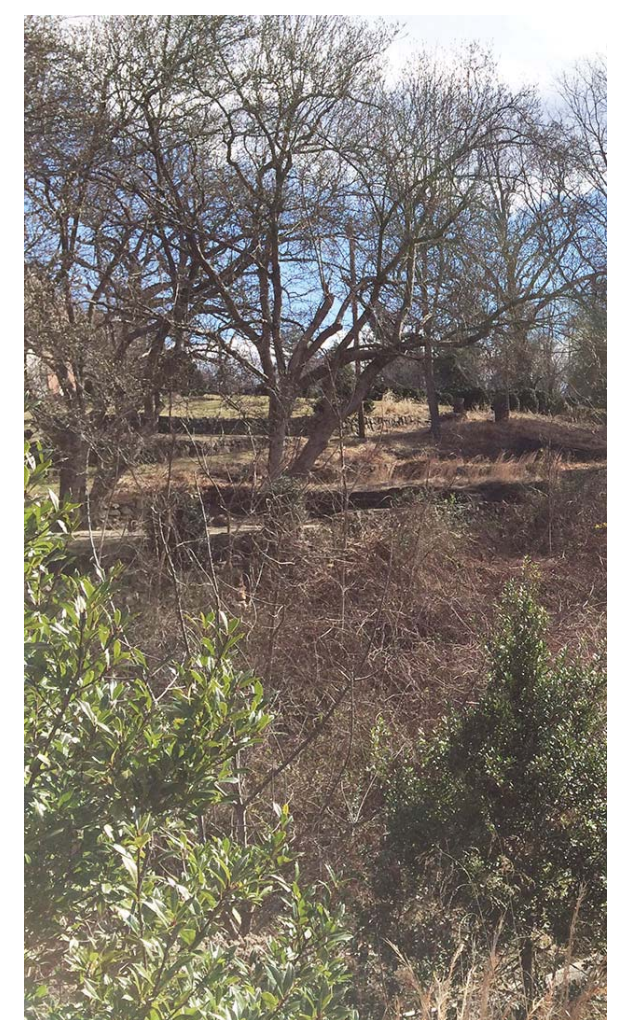
The PUD shall supersede the SUP, however condition #1 of the SUP amendment will remain so that there will continue to be no public access from the property onto the Route 250 Bypass; just EMS access.

**Parcel 47-8, 1021 Park Street**  
 Owned by Monticello Area Community Action Agency (MACAA), Zoned R-1

**Parcel 47-11, 1023 Park Street**  
 Owned by 1023 Park Street, LLC, Zoned R-1



**MACAA Intergenerational  
 Education Campus**  
 Charlottesville, VA



P.U.D. Development Plan

Survey Plat -  
 Site Survey

Component 1(a)

August 28, 2017



T.M. 470007000  
Address: 1105 Park Street  
Owner: Nicholas Dominick & Alpern Cafferillo, Elaine Connor  
Lot Size: 3.547 acres  
Building Height: 3 story  
Zone: R-1H

T.M. 450001000 (McIntire Park)  
Address: 345 250 Bypass  
Owner: City of Charlottesville  
Lot Size: 145.179 acres  
Building Height: NA  
Zone: MLTP

T.M. 470012000  
Address: 1007 Park Street  
Owner: Kathleen Free  
Lot Size: 0.442 acres  
Building Height: 1 story  
Zone: R-1

T.M. 470013000  
Address: 1005 Park Street  
Owner: Daniel L. Buckman  
Lot Size: 0.475 acres  
Building Height: 1 story  
Zone: R-1

T.M. 470016300  
Address: 513 250 Bypass  
Owner: Bradley R. Taylor  
Lot Size: 0.418 acres  
Building Height: 1 story  
Zone: R-1

T.M. 470014000  
Address: 1003 Park Street  
Owner: Jonathan & Marcella Eldridge  
Lot Size: 0.501 acres  
Building Height: 1 story  
Zone: R-1

- 01 - Parcel: 470005000, Zone: R-1, Address: 1115 Park Street
- 02 - Parcel: 470004000, Zone R-1, Address: 1117 Park Street
- 03 - Parcel: 470051100, Zone R-1, Address: 1126 Park Street
- 04 - Parcel: 470051000, Zone: R-1, Address: 1122 Park Street
- 05 - Parcel: 470051200, Zone: R-1, Address: 608 North Avenue
- 06 - Parcel: 470051300, Zone: R-1, Address: 608 North Avenue
- 07 - Parcel: 470051400, Zone: R-1, Address: 610 North Avenue
- 08 - Parcel: 470051500, Zone R-1, Address: 612 North Avenue
- 09 - Parcel: 470051600, Zone: R-1, Address: 614 North Avenue
- 10 - Parcel: 470006000, Zone: R-1, Address: 1109 Park Street
- 11 - Parcel: 470050000, Zone: R-1 with IPP Overlay, Address: 1112 Park Street
- 12 - Parcel: 470007000, Zone: R-1 with IPP Overlay, Address: 1105 Park Street
- 13 - Parcel: 470049000, Zone: R-1 with IPP Overlay, Address: 1108 Park Street
- 14 - Parcel: 470047000, Zone: R-1, Address: 1106 Park Street
- 15 - Parcel: 470008000, Zone: R-1, Address: 1021 Park Street
- 16 - Parcel: 470046000, Zone: R-1, Address: 1100 Park Street
- 17 - Parcel: 470047100, Zone: R-1, Address: 605 Davis Avenue
- 18 - Parcel: 470047200, Zone: R-1, Address: 607 Davis Avenue
- 19 - Parcel: 470047300, Zone: R-1, Address: 609 Davis Avenue
- 20 - Parcel: 470047400, Zone: R-1, Address: 613 Davis Avenue
- 21 - Parcel: 470011000, Zone: R-1, Address: 1023 Park Street
- 22 - Parcel: 470045200, Zone: R-1, Address: 1012 Park Street
- 23 - Parcel: 470045300, Zone: R-1, Address: 604 Davis Avenue
- 24 - Parcel: 470045400, Zone: R-1, Address: 608 Davis Avenue
- 25 - Parcel: 470045500, Zone: R-1, Address: 612 Davis Avenue
- 26 - Parcel: 470045600, Zone: R-1, Address: 616 Davis Avenue
- 27 - Parcel: 470012000, Zone: R-1, Address: 1007 Park Street
- 28 - Parcel: 470045100, Zone: R-1, Address: 1010 Park Street
- 29 - Parcel: 470013000, Zone: R-1, Address: 1005 Park Street
- 30 - Parcel: 470044000, Zone: R-1, Address: 1006 Park Street
- 31 - Parcel: 470014000, Zone: R-1, Address: 1003 Park Street
- 32 - Parcel: 470043100, Zone: R-1, Address: 1002 Park Street
- 33 - Parcel: 470015000, Zone: R-1, Address: 1001 Park Street
- 34 - Parcel: 470043200, Zone: R-1, Address: 1000 Park Street
- 35 - Parcel: 470043000, Zone: R-1, Address: 603 Watson Avenue
- 36 - Parcel: 470042000, Zone: R-1, Address: 605 Watson Avenue
- 37 - Parcel: 470041000, Zone: R-1, Address: 607 Watson Avenue
- 38 - Parcel: 470040000, Zone: R-1, Address: 609 Watson Avenue
- 39 - Parcel: 470016300, Zone: R-1, Address: 513 250 Bypass
- 40 - Parcel: 470016200, Zone: R-1, Address: 517 250 Bypass
- 41 - Parcel: 470016100, Zone: R-1, Address: 901 Park Street
- 42 - Parcel: 470016000, Zone: R-1, Address: 907 Park Street
- 43 - Parcel: 470023000, Zone: R-1, Address: 600 Watson Avenue
- 44 - Parcel: 470024000, Zone: R-1, Address: 605 250 Bypass
- 45 - Parcel: 470024100, Zone: R-1, Address: 602 Watson Avenue
- 46 - Parcel: 470025000, Zone: R-1, Address: 604 Watson Avenue
- 47 - Parcel: 470026000, Zone: R-1, Address: 606 Watson Avenue
- 48 - Parcel: 470027000, Zone: R-1, Address: 608 Watson Avenue
- 49 - Parcel: 470028000, Zone: R-1, Address: 620 Watson Avenue
- 50 - Parcel: 470017000, Zone: R-1, Address: 0 250 Bypass
- 51 - Parcel: 470019000, Zone: R-1, Address: 502 Park Hill
- 52 - Parcel: 470020100, Zone: R-1, Address: 505 Park Hill
- 53 - Parcel: 470022000, Zone: R-1, Address: 809 Park Street
- 54 - Parcel: 470021000, Zone: R-1, Address: 807 Park Street
- 55 - Parcel: 470018100, Zone: R-1, Address: 501 Park Hill
- 56 - Parcel: 470018000, Zone: R-1, Address: 503 Park Hill
- 57 - Parcel: 470020000, Zone: R-1, Address: 801 Park Street
- 58 - Parcel: 520001000, Zone: R-1, Address: 810 Park Street
- 59 - Parcel: 520003000, Zone: R-1, Address: 806 Park Street
- 60 - Parcel: 520004000, Zone: R-1, Address: 802 Park Street
- 61 - Parcel: 520010000, Zone: R-1, Address: 606 250 Bypass
- 62 - Parcel: 520049200, Zone: R-1, Address: 500 Park Hill
- 63 - Parcel: 520049100, Zone: R-1, Address: 504 Park Hill
- 64 - Parcel: 520049000, Zone: R-1, Address: 751 Park Street
- 65 - Parcel: 520005000, Zone: R-1, Address: 800 Park Street
- 66 - Parcel: 520006000, Zone: R-1, Address: 605 Lyons Avenue
- 67 - Parcel: 450001000, Zone: R-1 with PPO Overlay, Address: 345 250 Bypass



MACAA Intergenerational Education Campus  
Charlottesville, VA



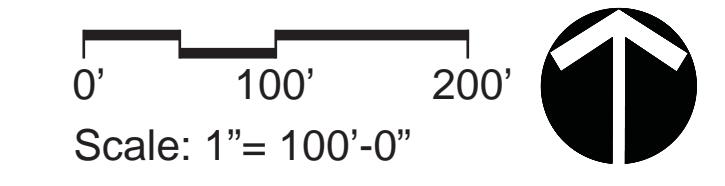
P.U.D. Development Plan

Survey Plat -  
Adjacent Property  
Inventory

Component 1(b)

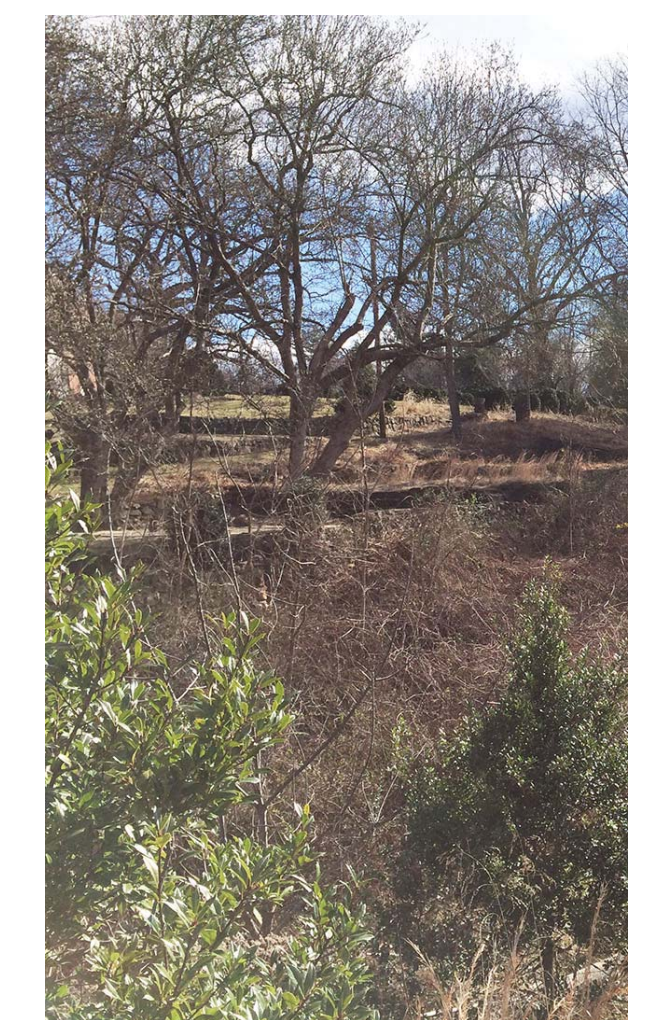
August 28, 2017

Development within the PUD Site will comply with Sec. 34-501(b)(1) of City Code and as such, will be harmonious with the character and regulations of the properties adjacent to and in the neighborhood of the PUD Site. All proposed buildings within 75 feet of the R-1 Zoning District shall comply with the building height restrictions of the R-1 Zoning District. (See Sheet N4)





MACAA Intergenerational  
Education Campus  
Charlottesville, VA



P.U.D. Development Plan

Land Use Plan -  
Concept Rendering

Component 2(a)

August 28, 2017

0' 50' 100'  
Scale: 1"= 50'-0"





Recreational Use Table

Uses	Acreeage	Ownership and Use
Potential Public - Open Space	3.30	Joint Use Agreement between NMSLC and Charlottesville Parks & Rec
Private - Resident	0.66	NMSLC
Private - MACAA	0.08	MACAA
Private - Shared Programmed Use	0.07	NMSLC and MACAA

NMSLC = New Millenium Senior Living Community

Land Use Key

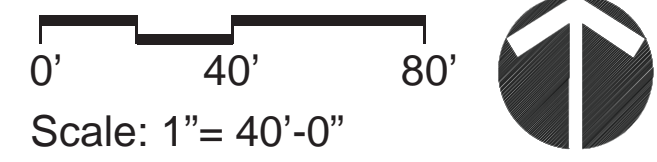
Buildings	Building Ht.	Gross SF	Acreeage	FAR
Residential	75' Max.	165,000 - 200,000	3.79 - 4.59	
Commercial (Classrooms)	35' Max.	13,500 - 15,000	0.31 - 0.34	
Office	Same as exist-ing building	3,800 - 4,500	0.09 - 0.10	
<b>Total</b>		<b>192,300 - 219,500</b>	<b>4.41 - 5.04</b>	<b>0.47 - 0.54</b>
Open Space		238,990	5.49	
Recreation		17,120	0.39	
Landscape Areas		78,000	1.79	
Preserved Natural Areas/ potential public access		143,870	3.30	

Note: Specific building height maximums are included on Sheet G1: Architectural Design Guidelines

Land Use Table

Uses	Allowed By-Right	Units	Approximate Area	% of Site Area	Ownership & Maintenance
<b>Residential Use</b>					
Adult Assisted Living > 8 residents		42	47,500 sq. ft.		NMSLC
Memory Care		30	29,370 sq. ft.		NMSLC
Residential Density 1-21 DUA/Independent		69	85,420 sq. ft.		NMSLC
Two Family Age-Restricted (62+) Cottage	X	4	7,600 sq. ft.	1.93%	NMSLC
<b>Residential Total</b>		<b>145</b>	<b>145 units min/max. Unit mix typical to development but subject to change based on final assessment of user needs.</b>		
<b>Commercial</b>					
Educational Facility: Vocational*	By S.U.P.		12,040 sq. ft.	2.97%	MACAA
Offices: Property Management - existing			2,700 sq. ft.	0.67%	MACAA
<b>Open Space/Recreation</b>					
Playground			3,650 sq. ft./0.08 acres	0.90%	MACAA
Resident Gardens and Courtyard			13,470 sq. ft./0.31 acres	3.33%	NMSLC
Landscape Areas			79,300 sq. ft./1.82 acres	19.23%	NMSLC and MACAA
Preserved Natural Areas (includes 1/3 of floodplain area, in compliance with City Code Sec. 34-493)			143,870 sq. ft./3.30 acres (4,865 sq. ft./0.11 acres of floodplain area counted towards Preserved Natural Areas)	35.47%	NMSLC and City
<b>Ancillary Uses</b>					
Parking: Surface parking lots (includes permeable paver plaza/parking areas)			44,670 sq. ft./1.02 acres (13,480 sq. ft./0.31 acres permeable plaza/parking areas)	11.37%	NMSLC and MACAA
<b>General Site</b>					
Total Site Area			393,004 sq. ft./9.022 acres	100.00%	
Total Open Space Area			238,990 sq. ft./5.49 acres	58.92%	
Total Impervious Area			61,375 sq. ft./1.41 acres	15.46%	
Senior Living Center Gross Floor Area			175,000 SF	43.14%	
Senior Living Center Building Unit Density			15.7 units per acre		
Classroom Gross Floor Area			4,013 sq. ft. x 2 floors, total 12,040 SF	2.97%	
Cottage Gross Floor Area			7,066 sq. ft. x 1 floor, total 7,066 SF	1.80%	

\* = variable unit count based on actual needs. 85 Independent Living max., 64 Assisted Living max., 60 Memory Care max., total not to exceed 141.  
\*\* = MACAA parking lot to be used for additional 11 staff parking spaces



Site Parking Table

Building Use	Qty.	Parking Use	City Ordinance	Total Required Parking Spaces	Parking Provided
Residential Density 1-21 DUA/Independent	69 units*	Residential: Single Family	1 space/unit	69 units x 1 space per unit = 69 spaces	69
Adult Assisted Living > 8 residents	42 beds*	Residential: Adult Care - Assisted Living	1 space/3 beds	42 beds / 3 beds per 1 space = 14 spaces	14
Memory Care	30 beds*	Residential: Adult Care - Nursing Homes	1 space/4 beds	30 beds / 4 beds per 1 space = 8 spaces	8
Total Staff	30 employees	Residential: Adult Care	1 space/staff member	30 staff x 1 space per staff = 30 spaces	19**
Affordable Housing Cottage Units	4 units	Residential: Single Family	1 space/unit	4 units x 1 space per unit = 4 spaces	4
<b>Total Parking</b>				<b>125</b>	<b>114</b>
Educational Facility: Vocational	48 students	Educational Facilities: Vocational/training	1 space/two students	48 students / 2 students per space = 24 spaces	24
Offices: Property Management	2,700 sq. ft.	Office Uses: General Office Use	1 space/500 sq. ft.	2,700 sq. ft. / 500 sq. ft. = 5.4 spaces	6
<b>Total Parking</b>				<b>30</b>	<b>30</b>



MACAA Intergenerational Education Campus  
Charlottesville, VA



P.U.D. Development Plan

Land Use Plan - Detailed Site Plan, Land Uses and Connections

Component 2(b)

August 28, 2017



View of campus from Park Street showing existing vegetation and proposed screening



View of campus from Route 250 Eastbound showing existing vegetation and proposed screening

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**CE** COLLINS ENGINEERING

**W**ASSENAR  
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Education Campus  
Charlottesville, VA



P.U.D. Development Plan

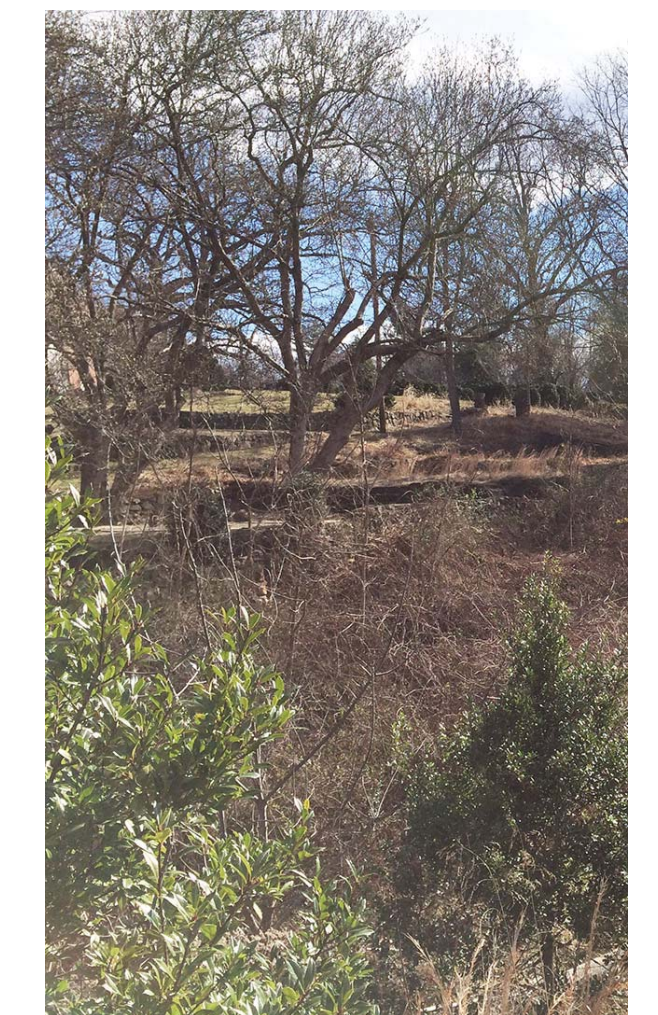
Land Use Plan -  
*Proposed Views*

Component 2(c)

August 28, 2017



MACAA Intergenerational  
Education Campus  
Charlottesville, VA



P.U.D. Development Plan

Infrastructure -  
Common Areas and  
Connecting Circulation

Component 3(a)

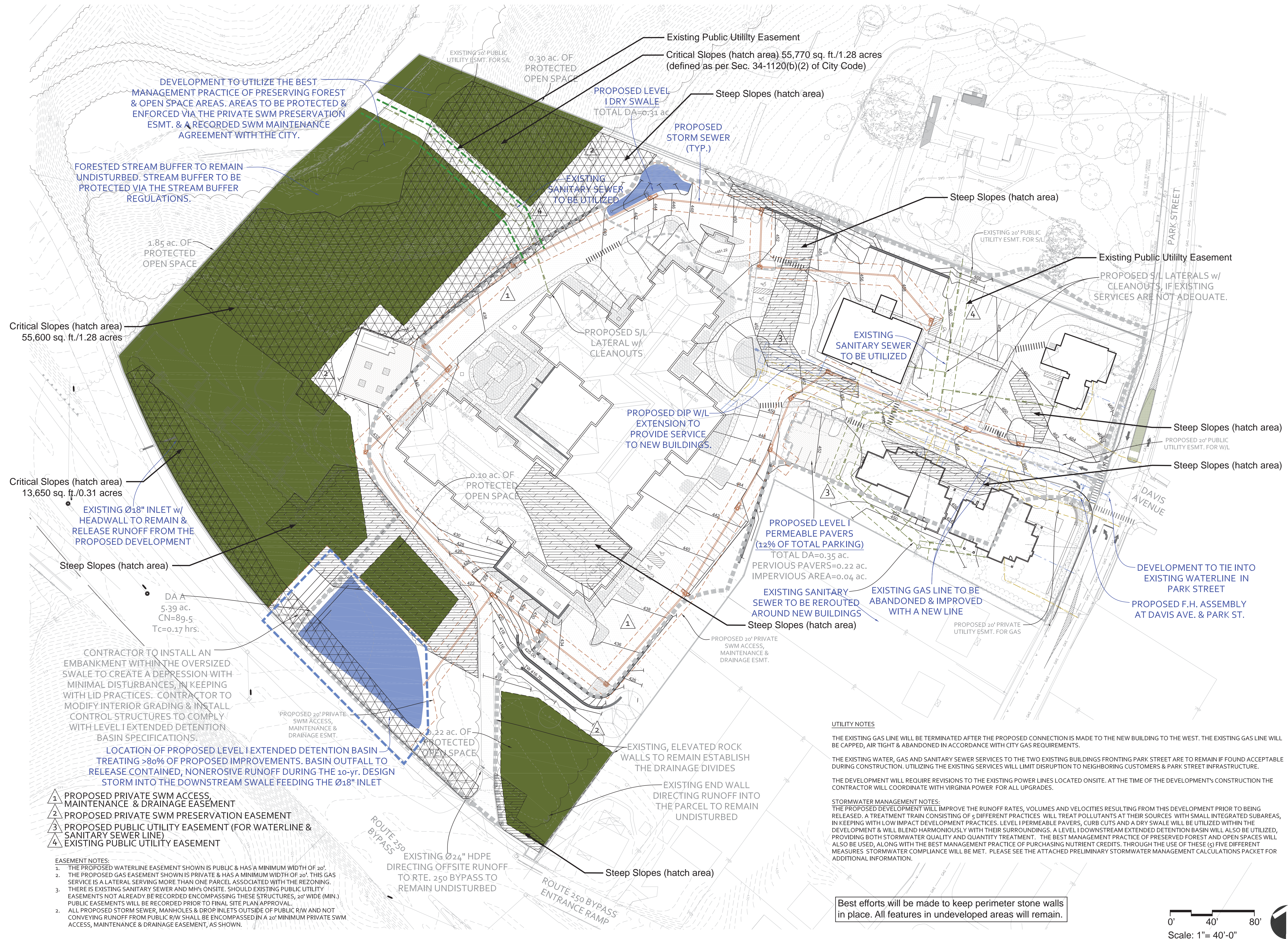
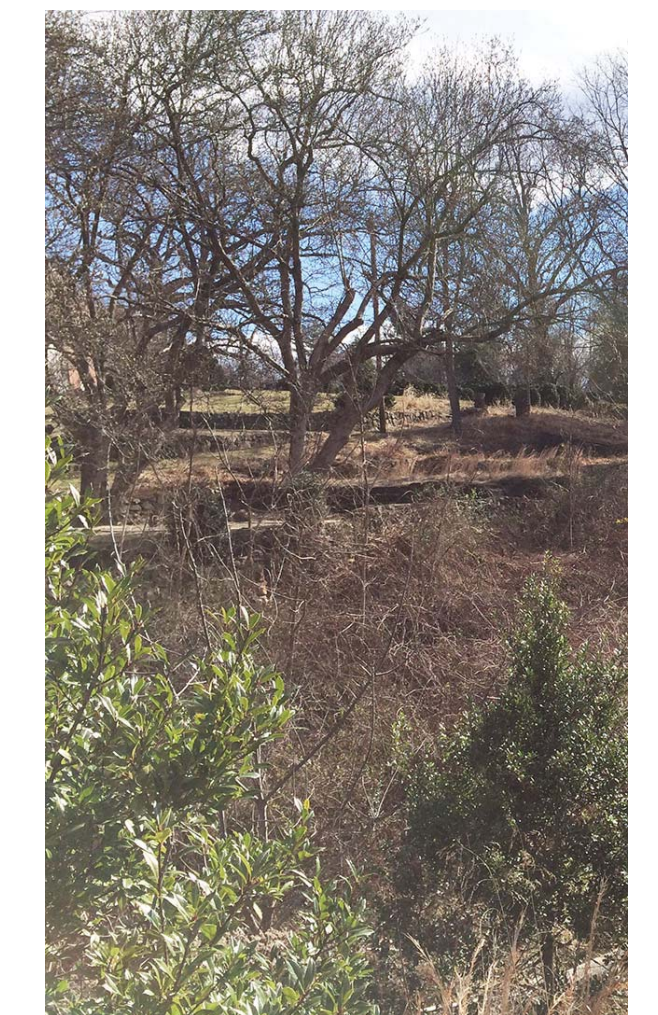
August 28, 2017

- Legend**
- Streets/Vehicular Access
  - Walkways/Pedestrian Access
  - Common Areas - for P.U.D.
  - Private Gardens/Spaces for NMSLC residents

Note: See Sheet N4 for Narrative regarding common elements essential to unified site design, Code Sec. 34-494.







DEVELOPMENT TO UTILIZE THE BEST MANAGEMENT PRACTICE OF PRESERVING FOREST & OPEN SPACE AREAS. AREAS TO BE PROTECTED & ENFORCED VIA THE PRIVATE SWM PRESERVATION ESMT. & A RECORDED SWM MAINTENANCE AGREEMENT WITH THE CITY.

FORESTED STREAM BUFFER TO REMAIN UNDISTURBED. STREAM BUFFER TO BE PROTECTED VIA THE STREAM BUFFER REGULATIONS.

1.85 ac. OF PROTECTED OPEN SPACE

Critical Slopes (hatch area) 55,600 sq. ft./1.28 acres

Critical Slopes (hatch area) 13,650 sq. ft./0.31 acres

Steep Slopes (hatch area)

DA = 5.39 ac.  
CN = 89.5  
Tc = 0.17 hrs.

CONTRACTOR TO INSTALL AN EMBANKMENT WITHIN THE OVERSIZED SWALE TO CREATE A DEPRESSION WITH MINIMAL DISTURBANCES, IN KEEPING WITH LID PRACTICES. CONTRACTOR TO MODIFY INTERIOR GRADING & INSTALL CONTROL STRUCTURES TO COMPLY WITH LEVEL I EXTENDED DETENTION BASIN SPECIFICATIONS.

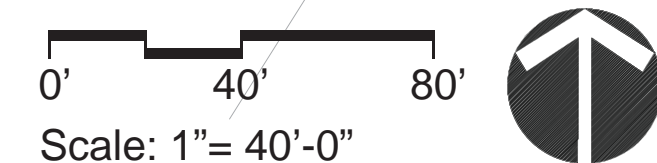
LOCATION OF PROPOSED LEVEL I EXTENDED DETENTION BASIN TREATING >80% OF PROPOSED IMPROVEMENTS. BASIN OUTFALL TO RELEASE CONTAINED, NONEROSIVE RUNOFF DURING THE 10-yr. DESIGN STORM INTO THE DOWNSTREAM SWALE FEEDING THE Ø18" INLET

- 1 PROPOSED PRIVATE SWM ACCESS, MAINTENANCE & DRAINAGE EASEMENT
- 2 PROPOSED PRIVATE SWM PRESERVATION EASEMENT
- 3 PROPOSED PUBLIC UTILITY EASEMENT (FOR WATERLINE & SANITARY SEWER LINE)
- 4 EXISTING PUBLIC UTILITY EASEMENT

EASEMENT NOTES:  
1. THE PROPOSED WATERLINE EASEMENT SHOWN IS PUBLIC & HAS A MINIMUM WIDTH OF 20'.  
2. THE PROPOSED GAS EASEMENT SHOWN IS PRIVATE & HAS A MINIMUM WIDTH OF 20'. THIS GAS SERVICE IS A LATERAL SERVING MORE THAN ONE PARCEL ASSOCIATED WITH THE REZONING.  
3. THERE IS EXISTING SANITARY SEWER AND MH'S ON SITE. SHOULD EXISTING PUBLIC UTILITY EASEMENTS NOT ALREADY BE RECORDED ENCOMPASSING THESE STRUCTURES, 20' WIDE (MIN.) PUBLIC EASEMENTS WILL BE RECORDED PRIOR TO FINAL SITE PLAN APPROVAL.  
4. ALL PROPOSED STORM SEWER, MANHOLES & DROP INLETS OUTSIDE OF PUBLIC R/W AND NOT CONVEYING RUNOFF FROM PUBLIC R/W SHALL BE ENCOMPASSED IN A 20' MINIMUM PRIVATE SWM ACCESS, MAINTENANCE & DRAINAGE EASEMENT, AS SHOWN.

**UTILITY NOTES**  
THE EXISTING GAS LINE WILL BE TERMINATED AFTER THE PROPOSED CONNECTION IS MADE TO THE NEW BUILDING TO THE WEST. THE EXISTING GAS LINE WILL BE CAPPED, AIR TIGHT & ABANDONED IN ACCORDANCE WITH CITY GAS REQUIREMENTS.  
THE EXISTING WATER, GAS AND SANITARY SEWER SERVICES TO THE TWO EXISTING BUILDINGS FRONTING PARK STREET ARE TO REMAIN IF FOUND ACCEPTABLE DURING CONSTRUCTION. UTILIZING THE EXISTING SERVICES WILL LIMIT DISRUPTION TO NEIGHBORING CUSTOMERS & PARK STREET INFRASTRUCTURE.  
THE DEVELOPMENT WILL REQUIRE REVISIONS TO THE EXISTING POWER LINES LOCATED ONSITE. AT THE TIME OF THE DEVELOPMENT'S CONSTRUCTION THE CONTRACTOR WILL COORDINATE WITH VIRGINIA POWER FOR ALL UPGRADES.  
**STORMWATER MANAGEMENT NOTES:**  
THE PROPOSED DEVELOPMENT WILL IMPROVE THE RUNOFF RATES, VOLUMES AND VELOCITIES RESULTING FROM THIS DEVELOPMENT PRIOR TO BEING RELEASED. A TREATMENT TRAIN CONSISTING OF 5 DIFFERENT PRACTICES WILL TREAT POLLUTANTS AT THEIR SOURCES WITH SMALL INTEGRATED SUBAREAS, IN KEEPING WITH LOW IMPACT DEVELOPMENT PRACTICES. LEVEL I PERMEABLE PAVERS, CURB CUTS AND A DRY SWALE WILL BE UTILIZED WITHIN THE DEVELOPMENT & WILL BLEND HARMONIOUSLY WITH THEIR SURROUNDINGS. A LEVEL I DOWNSTREAM EXTENDED DETENTION BASIN WILL ALSO BE UTILIZED, PROVIDING BOTH STORMWATER QUALITY AND QUANTITY TREATMENT. THE BEST MANAGEMENT PRACTICE OF PRESERVED FOREST AND OPEN SPACES WILL ALSO BE USED, ALONG WITH THE BEST MANAGEMENT PRACTICE OF PURCHASING NUTRIENT CREDITS. THROUGH THE USE OF THESE (5) FIVE DIFFERENT MEASURES STORMWATER COMPLIANCE WILL BE MET. PLEASE SEE THE ATTACHED PRELIMINARY STORMWATER MANAGEMENT CALCULATIONS PACKET FOR ADDITIONAL INFORMATION.

Best efforts will be made to keep perimeter stone walls in place. All features in undeveloped areas will remain.





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Charlottesville, VA






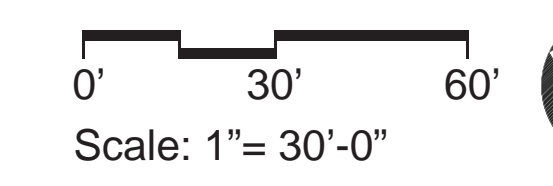
P.U.D. Development Plan

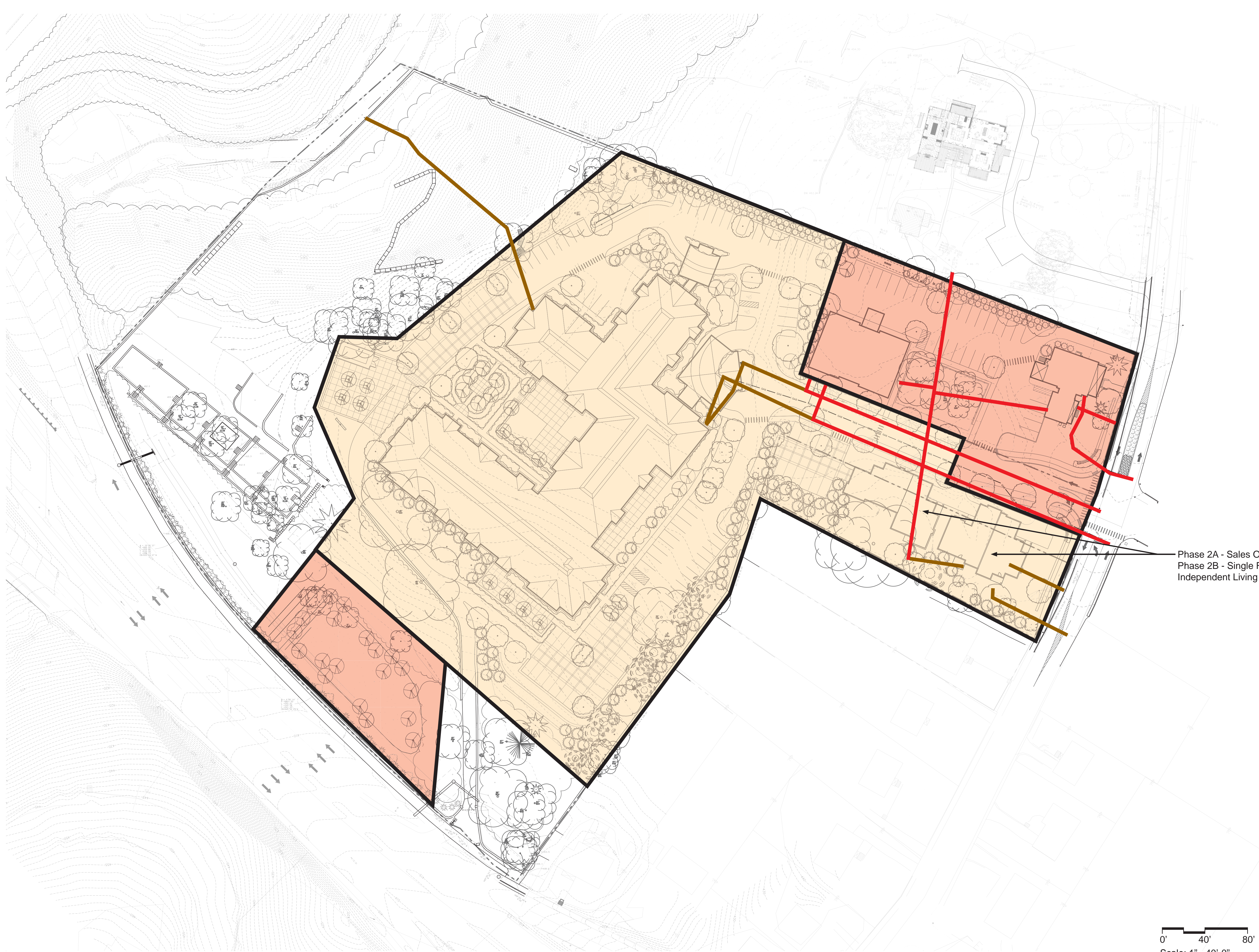
Infrastructure -  
Signage Plan

Component 3(d)

August 28, 2017

- Legend**
-  Entrance Sign
  -  Wayfinding Sign
  -  Building Sign





Phase 2A - Sales Office  
 Phase 2B - Single Family  
 Independent Living Cottages

MACAA Intergenerational  
 Education Campus  
 Charlottesville, VA

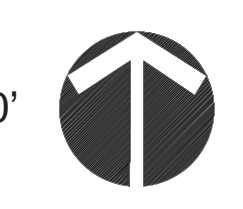
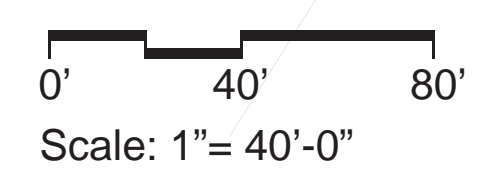


P.U.D. Development Plan

Infrastructure -  
 Phasing Plan

Component 3(e)

August 28, 2017







View of existing classroom and playground



Existing classroom building



Abandoned entrance at Rt. 250



View of existing parking looking west



South edge of Macaa Drive



Macaa Drive



View of classrooms and playground



Abandoned entrance



View from Rt. 250



Existing developed area looking west



View from Rt. 250 at property line

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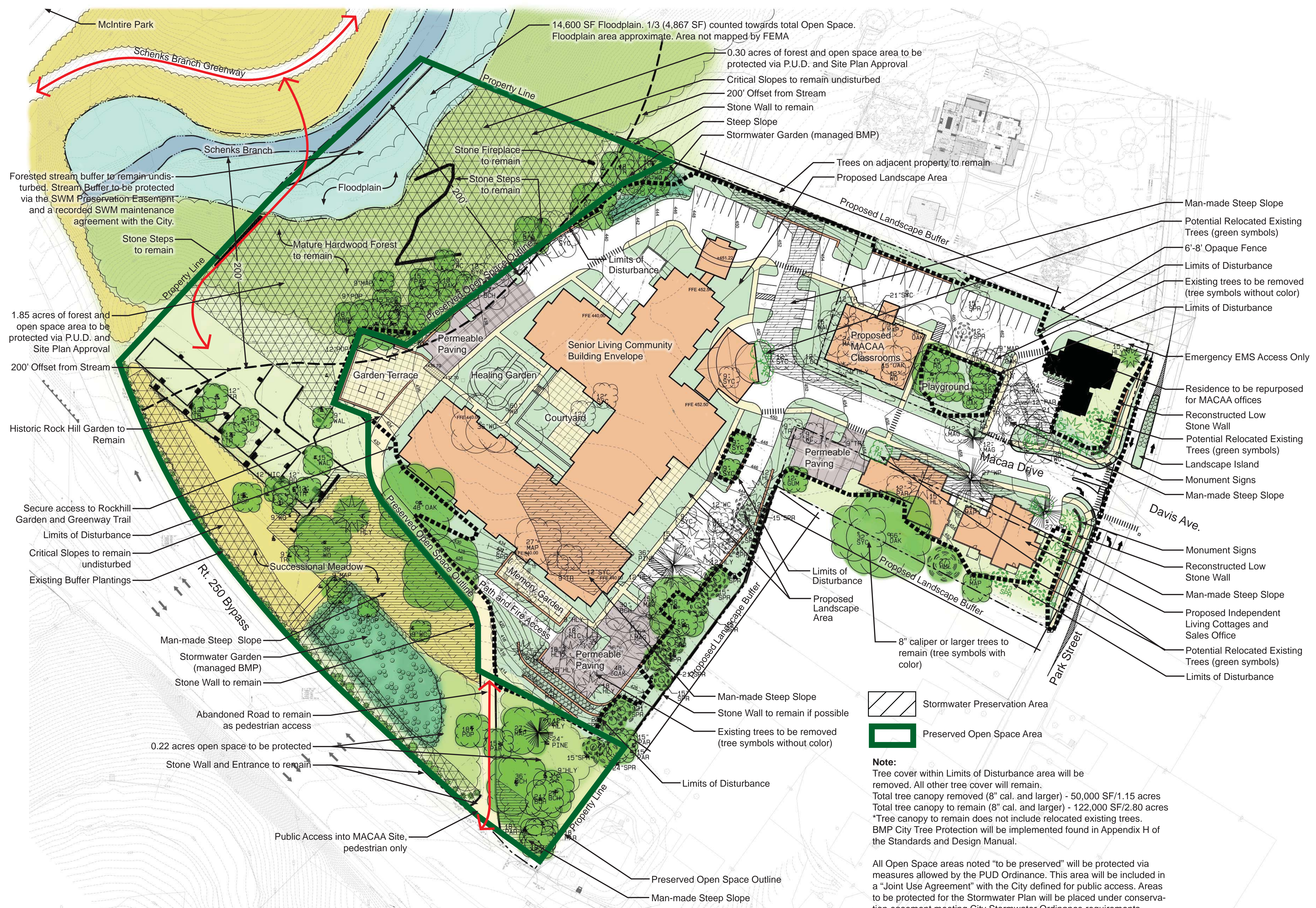


P.U.D. Development Plan

Infrastructure -  
Site Photographs

Component 3(g)

August 28, 2017



14,600 SF Floodplain, 1/3 (4,867 SF) counted towards total Open Space. Floodplain area approximate. Area not mapped by FEMA

- 0.30 acres of forest and open space area to be protected via P.U.D. and Site Plan Approval
- Critical Slopes to remain undisturbed
- 200' Offset from Stream
- Stone Wall to remain
- Steep Slope
- Stormwater Garden (managed BMP)

Forested stream buffer to remain undisturbed. Stream Buffer to be protected via the SWM Preservation Easement and a recorded SWM maintenance agreement with the City.

1.85 acres of forest and open space area to be protected via P.U.D. and Site Plan Approval

Historic Rock Hill Garden to Remain

Secure access to Rockhill Garden and Greenway Trail  
Limits of Disturbance  
Critical Slopes to remain undisturbed  
Existing Buffer Plantings

Man-made Steep Slope  
Stormwater Garden (managed BMP)  
Stone Wall to remain

Abandoned Road to remain as pedestrian access  
0.22 acres open space to be protected  
Stone Wall and Entrance to remain

Public Access into MACAA Site, pedestrian only

Trees on adjacent property to remain  
Proposed Landscape Area

- Man-made Steep Slope
- Potential Relocated Existing Trees (green symbols)
- 6'-8' Opaque Fence
- Limits of Disturbance
- Existing trees to be removed (tree symbols without color)
- Limits of Disturbance

- Emergency EMS Access Only
- Residence to be repurposed for MACAA offices
- Reconstructed Low Stone Wall
- Potential Relocated Existing Trees (green symbols)
- Landscape Island
- Monument Signs
- Man-made Steep Slope

- Monument Signs
- Reconstructed Low Stone Wall
- Man-made Steep Slope
- Proposed Independent Living Cottages and Sales Office
- Potential Relocated Existing Trees (green symbols)
- Limits of Disturbance

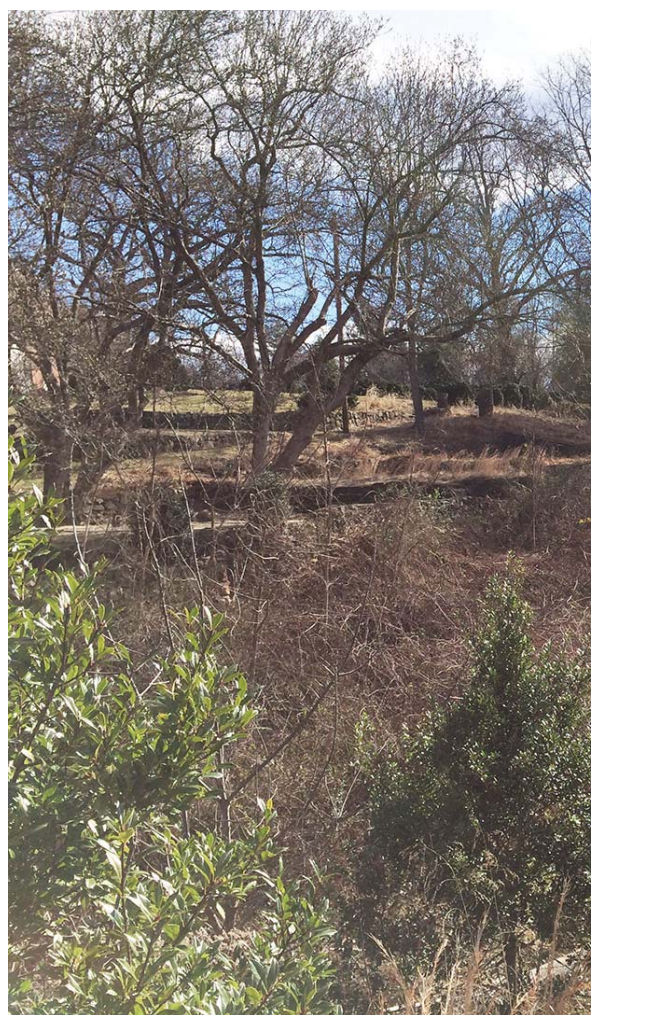
- Stormwater Preservation Area
- Preserved Open Space Area

**Note:**  
Tree cover within Limits of Disturbance area will be removed. All other tree cover will remain.  
Total tree canopy removed (8" cal. and larger) - 50,000 SF/1.15 acres  
Total tree canopy to remain (8" cal. and larger) - 122,000 SF/2.80 acres  
\*Tree canopy to remain does not include relocated existing trees.  
BMP City Tree Protection will be implemented found in Appendix H of the Standards and Design Manual.

All Open Space areas noted "to be preserved" will be protected via measures allowed by the PUD Ordinance. This area will be included in a "Joint Use Agreement" with the City defined for public access. Areas to be protected for the Stormwater Plan will be placed under conservation easement meeting City Stormwater Ordinance requirements.



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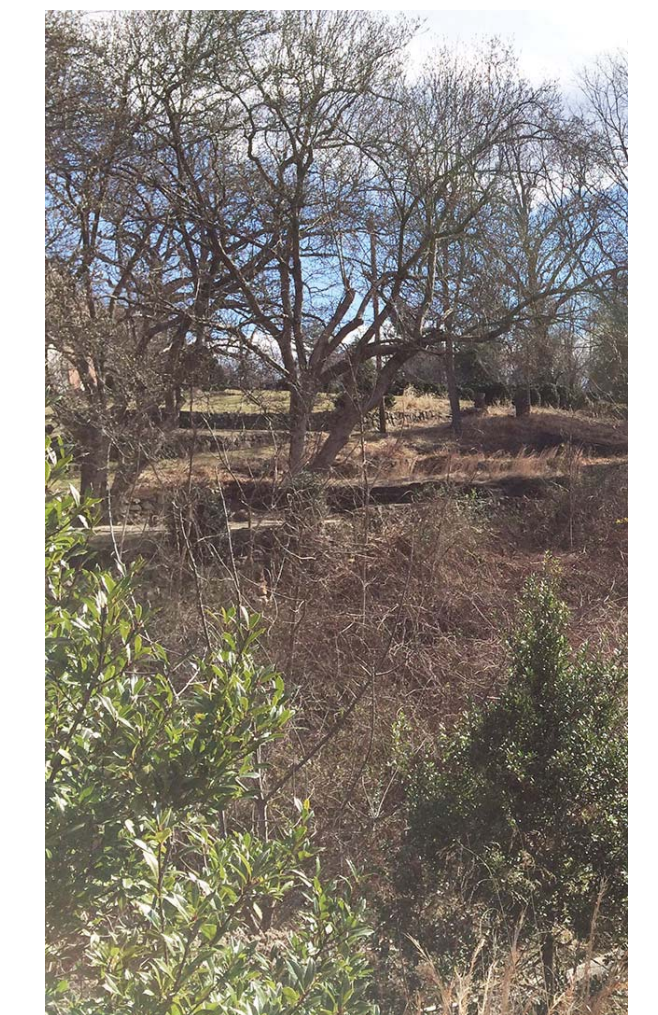


P.U.D. Development Plan

Infrastructure -  
Protection Plan

Component 3(h)

MACAA Intergenerational  
Education Campus  
Charlottesville, VA

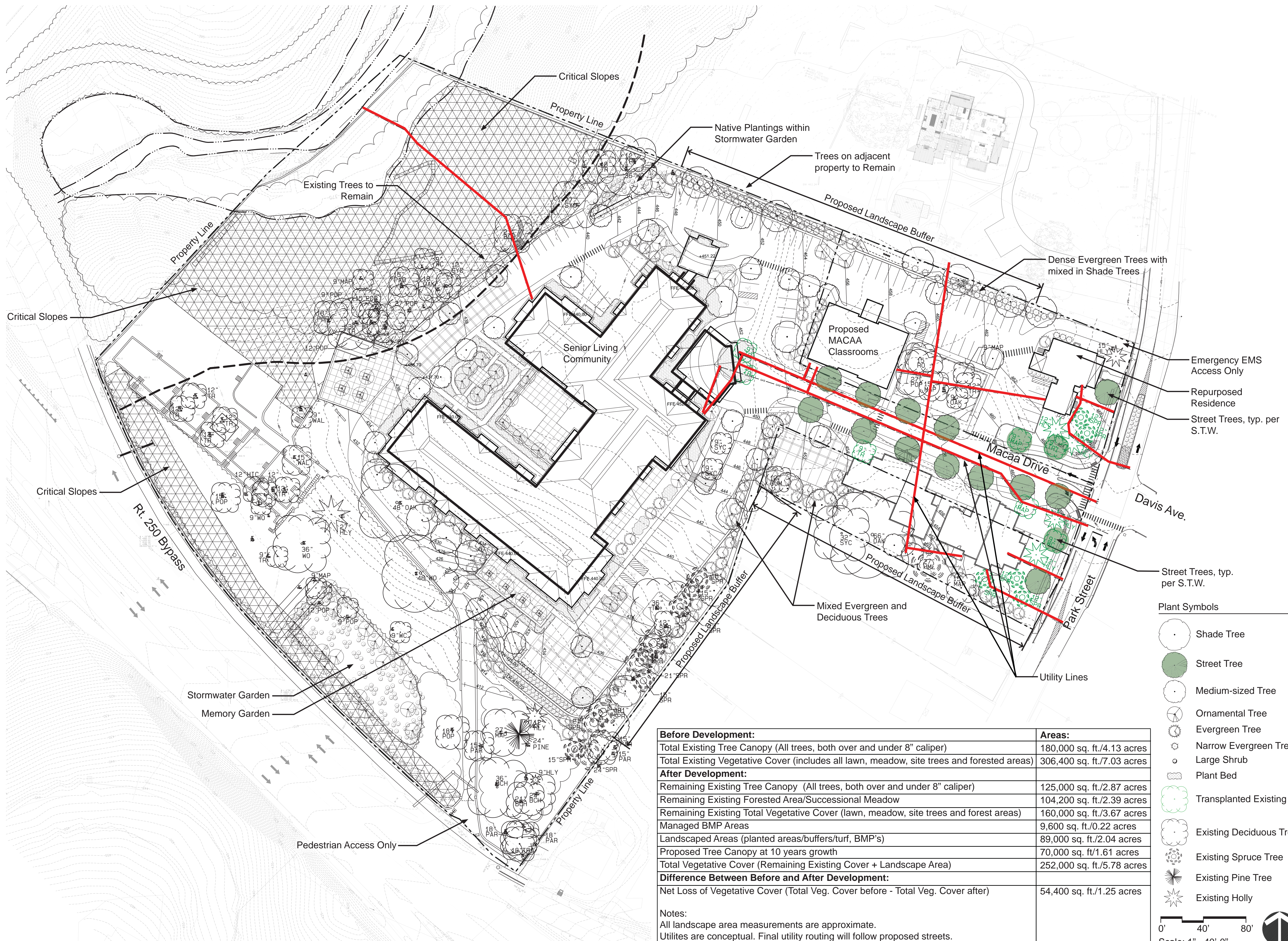


P.U.D. Development Plan

Landscape Plan

Component 4(a)

August 28, 2017



Before Development:	Areas:
Total Existing Tree Canopy (All trees, both over and under 8" caliper)	180,000 sq. ft./4.13 acres
Total Existing Vegetative Cover (includes all lawn, meadow, site trees and forested areas)	306,400 sq. ft./7.03 acres
<b>After Development:</b>	
Remaining Existing Tree Canopy (All trees, both over and under 8" caliper)	125,000 sq. ft./2.87 acres
Remaining Existing Forested Area/Successional Meadow	104,200 sq. ft./2.39 acres
Remaining Existing Total Vegetative Cover (lawn, meadow, site trees and forest areas)	160,000 sq. ft./3.67 acres
Managed BMP Areas	9,600 sq. ft./0.22 acres
Landscape Areas (planted areas/buffers/turf, BMP's)	89,000 sq. ft./2.04 acres
Proposed Tree Canopy at 10 years growth	70,000 sq. ft./1.61 acres
Total Vegetative Cover (Remaining Existing Cover + Landscape Area)	252,000 sq. ft./5.78 acres
<b>Difference Between Before and After Development:</b>	
Net Loss of Vegetative Cover (Total Veg. Cover before - Total Veg. Cover after)	54,400 sq. ft./1.25 acres

Notes:  
All landscape area measurements are approximate.  
Utilities are conceptual. Final utility routing will follow proposed streets.

**Plant Symbols**

- Shade Tree
- Street Tree
- Medium-sized Tree
- Ornamental Tree
- Evergreen Tree
- Narrow Evergreen Tree
- Large Shrub
- Plant Bed
- Transplanted Existing Tree
- Existing Deciduous Tree
- Existing Spruce Tree
- Existing Pine Tree
- Existing Holly

0' 40' 80'  
Scale: 1" = 40'-0"



## Documents Provided In Support of the Application

### A. PROJECT DEVELOPMENT OVERVIEW, BACKGROUND AND CONTEXT

### B. CITY OF CHARLOTTESVILLE REZONING APPLICATION CHECKLIST

- SECTION 34-157(a)(2): Narrative Statement: Applicant's Analysis of Conformity with the Comprehensive Plan
- SECTION 34-157(a)(4): Narrative Statement identifying and discussing any potential adverse impacts, as well as any measures included within the development plan, to mitigate those impacts.
- SECTION 34-158(a)(6): Compliance with the Zoning Ordinance PUD Ordinance Checklist and Narrative
- Other pertinent information for the proposed project. Supplemental Project Information
  - Proposed Building Architectural Massing and Design Guidelines
  - MACAA New School Building
  - NMSLC Senior Living Community Building
  - Park Street Traffic Impact Analysis
  - Project Stormwater Management Narrative and Calculations
  - Typical Senior Housing Units Exhibit
  - Rock Hill Property History – Background
  - Locust Grove Neighborhood History – Background
- Completed Proffer Statement – No Additional Specific Proffers are provided other than the PUD Application Proposal itself.

## A. PROPOSED PUD REZONING DEVELOPMENT OVERVIEW, BACKGROUND AND CONTEXT

### Summary Overview

The proposed PUD rezoning involves three parcels located on Park Street immediately north of the 250 Bypass intersection with Park Street. The primary parcel [1025 Park Street] is approximately 7.63 acres and is zoned R1 with a special use permit to operate as a school, and is owned by the Monticello Area Community Action Agency [MACAA] as its program administrative headquarters and the location for three of its Head Start classrooms. Note that the total acreage was reduced from 7.91 acres to 7.63 acres as a result of land lost during the VDOT construction of the Warner Parkway and associated ramp improvements.

The second parcel [1021 Park Street] is an existing residential property zoned R1 and is known as the "Stone House." MACAA was able to acquire the property, which is approximately .913 acres, in 2016 as a part of its proposed redevelopment plan. The parcel is immediately adjacent and north of MACAA's entrance drive from Park Street.

The third parcel is a residential property [1023 Park Street] of approximately .492 acres with a small house on Park Street and adjacent to the south of the existing MACAA entrance road.

Together the parcels total 9.02 acres and are adjacent to the Warner Parkway to the west, the 250 Bypass on the south, and residential neighborhoods on the north and east sides of the site.

MACAA has partnered with New Millennium Senior Living Communities of Roanoke Virginia [NMSLC] and proposes to rezone the combined properties into an intergenerational living and education campus. The proposed project will provide significant new senior living housing opportunities through NMSLC and new administrative and Head Start school facilities for MACAA. The adjacent facilities will provide seniors and young children with intergenerational contact and program opportunities on a routine basis, add needed senior housing and care services within the Downtown Charlottesville community, and provide much-needed, new facilities and financial stability to one of the Community's most important organizations serving low-income children and families.

In addition, the proposed project will provide the City of Charlottesville with significant new tax revenues and employment opportunities and will resolve current safety and alignment issues at the Park Street/MACAA Drive intersection. It will also serve to protect significant historic landscape features from future development and enable appropriate portions of these to be enjoyed by the community through a cooperative approach with City of Charlottesville Parks and Recreation Department.

### Project Background

Approximately two years ago, MACAA [Monticello Area Community Action Agency] began a process to evaluate its long-range options for replacing its failing facility and school and explore the redevelopment of its largest asset, its large parcel of land on Park Street, with the intent of restoring its financial stability and securing the future of its programs and services to the communities it serves. MACAA's existing classrooms and facilities are in dire need of replacement as soon as is practically possible, and it faces significant financial pressures operationally.

MACAA engaged professional development and design consultants to look at alternative scenarios that would accomplish its goals and, as importantly, would respect and maintain the character and history of this important site and its place in the community both in terms of land use and its proximity and connection to the Charlottesville Downtown and surrounding neighborhoods. Careful exploration of the R-1 zoned site and the "by right" development potentials revealed some significant problems in terms of MACAA's values and goals as a member of the community and adverse impacts that "by right" residential development would create. While feasible, "by right" development of the site would require significant adverse impacts on the site with respect to erasing much of the tree cover, history, character, and visual impact of the site with respect to the adjacent Warner Parkway and McIntire Park, and likely adverse traffic impacts to the Davis Avenue entrance. In addition, the site development costs and market realities of a "by right" residential project were not favorable in terms of overall returns for this site. This reality, along with the adverse land development and community impacts, led to an intense search for alternative options.

After significant additional efforts to find alternatives, MACAA was fortunate to find a partner and use for the site that would meet the goals of MACAA's long-term financial and facilities needs along with an appropriate use for the site meeting MACAA's community values and goals. The proposed senior living community will have 141 residential units in the senior housing project [a "residential unit" within the context of the senior living community is typically one or two bedrooms and small adjacent support areas] and will be a mix of active senior, assisted living and memory care units. The project will also have four age-restricted (62+), affordable housing units. Within this context, the fact that these "units" are not "family" units and serve individuals or couples, and the operational metrics of the community with regard to low trip generation for services such as grocery, doctors, employment, schools, etc. as well as individual services such as trash pickup makes this a much lower impact with respect to comparable family home density zoning impact metrics. This proposed alternative, while adding residential density, does minimal damage to the existing fabric of the site with low impacts to the adjacent neighborhood, traffic on Park Street, and perhaps, most importantly, provides an opportunity for a vibrant and exciting synergy with and for MACAA and its programs and the senior living community.

The proposed projects will allow children from the Head Start program as well as from Project Discovery and seniors to share experiences and enrich each other's lives. The proposed project will provide significant independent living and assisted living options for seniors and allow these members of our community to remain close to their families and the neighborhoods and city, which have formed the fabric of their lives. MACAA was excited that the proposed project would preserve almost all of the existing history, landscaping, topography, and character of the site, provide employment opportunities, directly add significant new tax revenues to support City programs, and improve existing safety of the Davis Avenue/MACAA entrance road with minimum requirements for additional City services for schools, transportation, and other associated support and infrastructure costs required for traditional residential developments. The proposed plan of development will allow for the new structures to primarily be developed on the existing center parking lot and over the existing building footprints on the site, thus preserving much of the perimeter tree cover and historic fabric in a manner that is contained and reduces the overall visual impact of the project with respect to the surrounding City, park, and parkway.

The proposed plan provides for MACAA to move its executive offices to the existing Stone House, thus preserving this residential property virtually "as is" on the site. The new school structure will be at an appropriate scale and residential character and will be located at the rear of the existing Stone House property. The preservation of the Stone House and the new school will act as a transitional element to the adjacent residential neighbor and will be heavily screened to buffer the impacts on the adjacent property.

The MACAA intergenerational education campus has the opportunity to bring together children and seniors in purposeful and mutually-beneficial activities that enhance the quality of life for all participants while also providing opportunities to share resources and needed services to the community. The proximity of these uses within the campus allows for more flexible and frequent intergenerational programming, and because the interactions are walkable distances apart, this will be a safer means of getting the children and seniors together.

The operator of the senior living community will be Retirement Unlimited Inc. [RUI]. RUI communities currently have a variety of intergenerational programs involving preschool and school age children. Activities include talent shows (poetry reading, singing, playing instruments, gymnastics, etc.), show and tell, board and Wii games, storytelling, crafts, cooking, shared community service projects, holiday and birthday celebrations, reading clubs, pen-pals, sharing meals together, or just general interaction and conversation. Both the Boy and Girl Scouts also visit RUI communities on a regular basis for activities, projects, or community service.

### Background Information for NMSLC and RUI

NMSLC [New Millennium Senior Living Communities ("NMSLC")] is a leading developer of senior housing, independent living, assisted living, and skilled nursing properties in the Mid-Atlantic and Southeast regions of the United States. NMSLC is developing first-class facilities and, through a network of experienced, capable, regional operating partners, delivers best-in-class services to the residents of these communities and their families.

NMSLC is able to leverage more than 140 combined years of experience in real estate development, acquisitions, project financing, and operations management across a broad range of real estate disciplines including healthcare, senior housing, multifamily, residential, institutional, industrial, retail, and office.

RUI [Retirement Unlimited, Inc. ("RUI")] is a Roanoke, Virginia based senior housing, independent living, and assisted living community management company founded in 1984 currently managing seven retirement and assisted-living communities located throughout Virginia. RUI is a second-generation, family-owned-and-operated business established to satisfy a need for quality, progressive personal care services in a residential setting with strong clinical protocols to allow for residents to age in place while enjoying a high quality of life. RUI's philosophy and vision are to deliver a lifestyle that our residents have earned and deserve—placing our emphasis on integrity in everything we do, attention to detail, respect and value of individuality, and, finally, genuine care and concern for the well-being of our residents and their families. RUI currently manages a total of 809 units, with communities ranging in size from 72 units up to 181 units with four of the communities providing specialized programming in secure settings for memory care seniors.

RUI's services are provided on a monthly rental basis, with no large, upfront endowment or entrance fees. For independent living residents, the all-inclusive rental rate provides numerous amenities and services, including both casual and fine dining meal options, housekeeping, laundry, concierge service, salon, unit maintenance and utilities, scheduled transportation for appointments, shopping and events, an on-site therapy and wellness clinic, and a variety of activities designed to meet every resident's emotional, social, physical, spiritual, and intellectual needs. Our independent living residents have the peace of mind knowing our building is staffed 24 hours per day, 7 hours per day, 365 days per year, and, with our emergency call system, assistance is available around the clock.

For assisted-living residents, the all-inclusive rental rate includes the above, as well as all meals with a choice of menus, and personal care with activities of daily living and medication management based upon individual assessed needs. RUI's Inspiritas program is specifically designed for those with cognitive impairment or dementia. The Inspiritas areas are secured for resident safety yet offer beautiful, landscaped grounds to stimulate the senses and to enhance connectedness to nature. The daily calendar of activities reflects the five components of our Life Enrichment program as our staff uses a variety of creative approaches such as music and movement, art, small- and large-group social interactions, yoga and chair exercise, technology, and cognitive stimulation through brain fitness and reminiscence opportunities.

Providing for a continuum of care within the building allows us to maximize the independence of our residents by providing them with the most appropriate level of care they need when they need it. Also, couples in which each spouse has different care needs are able to live in close proximity to one another to maintain the needed support, care, and connection with the other spouse.

Through RUI's Life Enrichment programs, the entire staff work together to ensure each resident receives compassionate care to meet his/her emotional, social, physical, spiritual, and cognitive needs. Programs are provided throughout the day and evenings, as well as on weekends. To encourage lifelong learning, "RUI University" also provides short-course classes for those looking for additional educational opportunities (see attached sample calendar). RUI University is in the process of becoming certified as a host location for the Osher Lifelong Learning Institute (OLLI) curriculum.

The interior of the building will have well-appointed common areas throughout the building including a wellness spa, bistro, library, pub/café, activity rooms, fitness gym, multiple dining venues, private dining room, education room, wellness center/doctor's office and movie theater, to name a few.

### Background Information for MACAA

Monticello Area Community Action Agency [MACAA] was founded in 1965 and has led the effort to eradicate poverty and improve the lives of people with low income in Central Virginia. Serving the City of Charlottesville and the counties of Albemarle, Fluvanna, Louisa, and Nelson, MACAA provides a range of services and support to families of low income. As part of the services it offers, MACAA administers a Head Start school program within the City of Charlottesville and the counties it serves, providing early childhood education to 213 children across its service area, 60 of which are served at the Park Street location.

Head Start provides a comprehensive, early childhood development program for three- and four-year-old children from families in the greatest need. Head Start children participate in a wide range of educational activities designed to enhance school readiness. In addition, Head Start Family Advocates provide case management support, assist parents in addressing social service needs, and help parents attain family management and parenting skills and reach self-identified goals.

Hope House offers housing and intensive case management for families facing homelessness in the community. The program works with families to provide a safe home, stabilize the family, help them to reach employment goals, attain money-management skills, and maintain a healthy, stable home environment. Since 1988, Hope House has transformed the lives of dozens of families.

Project Discovery promotes academic achievement as a means of propelling high school students from low-income families out of poverty. The program specifically focuses on encouraging and helping these students prepare for and pursue a college education. Students receive assistance with completing college applications, locating and applying for financial aid, planning for their careers, and preparing to excel academically and socially beyond high school. One goal for the Project Discovery is to identify mentors in the community for the students in the program.

Rural Outreach has offices in Fluvanna, Louisa, and Nelson counties and provides emergency assistance to families by offering food, clothing, and financial resources to cover rent and utility costs. Each site director assesses a client's needs and links them to other resources in the region to help meet their longer-term needs. The Fluvanna office operates a thrift shop as well as a large food bank in cooperation with the Fluvanna Christian Aid Society.

Additional information on MACAA can be found on their website at [www.MACAA.org](http://www.MACAA.org).

  
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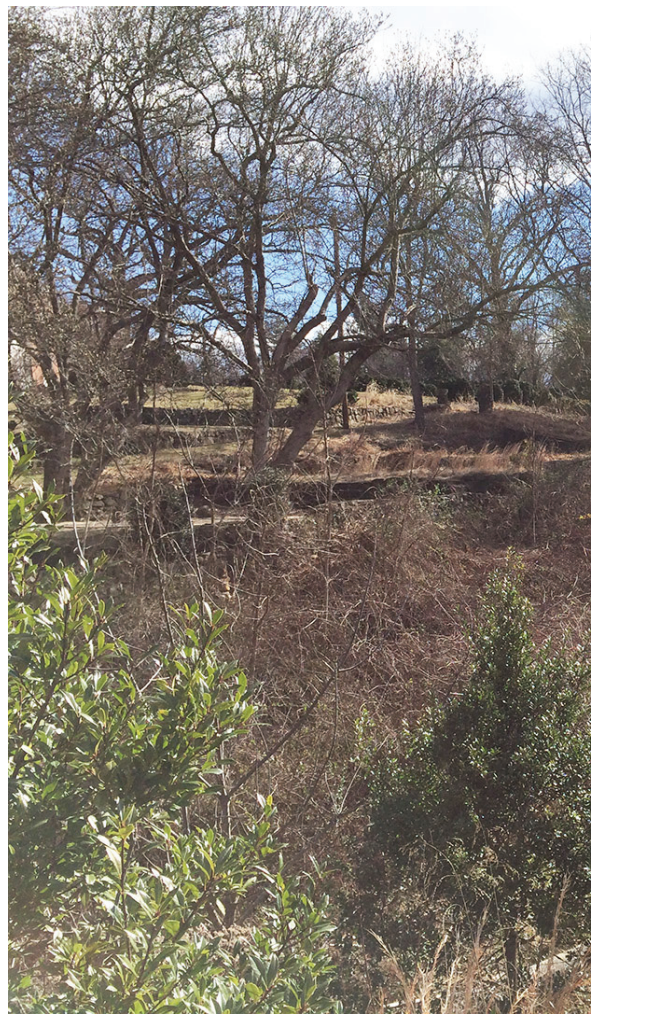
  
GHLA Architecture  
Planning  
Interior Design

  
COLLINS ENGINEERING

  
WASSENAAR  
WINKLER  
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## MACAA Intergenerational Education Campus

Charlottesville, VA



## P.U.D. Development Plan

## Narrative Statement and Zoning Compliance

N1

August 28, 2017

## B. CITY OF CHARLOTTESVILLE REZONING APPLICATION SUPPORT DOCUMENTS

The Applicant has met with the City several times, including the required Pre-Application Meeting, and the City of Charlottesville has identified the following sections of the City Zoning Ordinance Section 34 that apply to this project. The following documents and information are provided to meet these requirements for the application.

### 1. SECTION 34-157)a)(2): Narrative Statement: Applicant's Analysis of Conformity with the Comprehensive Plan

The City of Charlottesville Comprehensive Plan of 2013 identifies 7 areas of guidance with respect to new development and rezoning projects within the City and include the following:

CP Goal 1 Land Use  
CP Goal 2 Community Facilities  
CP Goal 3 Economic Sustainability  
CP Goal 4 Environment  
CP Goal 5 Housing  
CP Goal 6 Transportation  
CP Goal 7 Urban Design and Historic Preservation

The proposed Project meets these goals of the Comprehensive Plan as follows:

#### CP Goal 1 – Land Use

General Comments - The existing MACAA Site and the adjacent and included parcels with this PUD application combined are one of the largest underdeveloped parcels in the Central Downtown and adjacent Locust Grove and North Downtown neighborhoods. The site is unique in that it is a somewhat isolated parcel within the City bounded by steep and heavily-wooded slopes on the west side, which connects directly to the new Warner Parkway, the John Warner Parkway trail, the Schenks Branch Creek, and McIntire Park on the other side of the Parkway. The lower southern portion of the site has the remains of the historic gardens of the Rock Hill Estate and the 250 Bypass, which is a significant divide between the Downtown area and the outlying Park Street/Locust Grove neighborhood. There is a thin band of single-family, residential homes along Park Street, which are in part isolated from the Locust Grove neighborhood, and are heavily wooded at their rear edges, effectively buffering that edge from the existing MACAA site. The north edge of the site is adjacent to the existing single-family residence known as the "Stone House" and one very large and recently-renovated, residential property on a large lot immediately adjacent to the lower boundary of the north edge of the site.

As such, the site is physically isolated, and there is little connection, visually or directly, between the adjacent neighborhood and the MACAA parcel except the existing entrance drive off of Park Street. The original 1825 Rock Hill estate home burned in 1963, and the large center portion of the site is now a large parking lot with the existing ramshackle MACAA buildings spread along the west perimeter. The significant value of the site is in its mature wooded areas on the south and west steep slopes, the historic gardens and landscaping along the 250 Bypass and Warner Parkway borders, and its significant setback from Park Street separating it from the Locust Grove neighborhood and Park Street.

Goal 1 – Sense of Place. Rather than creating an isolated and disconnected extension of the adjacent residential neighborhoods, the proposed project has focused on creating a functionally-integrated, intergenerational, residential and education campus. This plan allows the site to have direct interconnections between the senior living and children's school areas and to create a distinctive sense of place while achieving the "highest and best use" of the land within the bounds of an economically-feasible project. While additional residential density beyond the R1 "by right" zoning is necessary economically to achieve a feasible project, this is achieved by creating much-needed senior living residential units, which are quite different from traditional single-family homes and can be combined and consolidated into a building footprint that does not create significant negative impacts to the valuable character and attributes of the site. The proposed 141 "residential units" are not single-family homes in the context of typical residential zoning, but are effectively single- or double-bedrooms with supporting bathroom, kitchenette and living spaces. An additional four age-restricted (62+), affordable residential units are being provided by proffer on MACAA Drive at the Park Street entrance. Examples of the typical living unit configurations proposed are included in Supplemental Information, attached.

Goal 2 – Mixed Use. The proposed project creates needed housing for seniors, community-accessible walking trails to adjacent parklands, potential access to historic gardens and memorial site historic attributes, and needed classroom, outdoor play, and supports uses for the MACAA program consistent and appropriate for the size of the site and preservation of existing site attributes.

Goal 3 – Public Space. The proposed project will provide preserved wooded areas adjacent to the Warner Parkway and 250 Bypass, will explore public access to the historic gardens and adjacent landscape areas, and will create a public open space at the Davis Avenue entrance for scheduled community events and gathering with pervious paver hardscape and other amenities. The project creates opportunities for employment centers and diverse employment opportunities for the City.

Goal 4 – Regional Cooperation. The proposed project provides senior housing opportunities to community citizens on a regional basis so that they can remain in their local and regional community with access to family and familiar community resources. The essence of the MACAA program is to support regional well-being and cooperation for the benefit of low-income families. Developing this property with NMSLC will make the continuation of these services and programs possible, both now and in the future. In addition, it is RUI's desire to work with the University of Virginia on its lifelong learning and OLLI programs.

Goal 5 – Innovation. The planned intergenerational connection between seniors and young children in the Head Start program and teens in its Project Discovery program is highly innovative in redefining healthy aging and the strong positive impact that older people can have on young children and teens as well as the cognitive and health benefits social interaction will have on older adults. The building design repurposes existing topography and previous impacts resulting in preservation of much of the outlying landscape areas and cultural landscape features.

#### CP Goal 2 – Community Facilities

Goal 1 – Fire Department, Goal 2 – Emergency Rescue, Goal 3 – Police Department. The proposed project will conform to all applicable fire codes and regulations and will provide appropriate primary and secondary emergency egress and entry points for fire, police, and emergency responders. The proposed facilities are fully secured and will comply with all local regulations as well as those required by applicable federal, state, and local agencies, which regulate these respective facilities as well as normal best practices for indoor and outdoor security and safety. Emergency access points of entry and egress are proposed with the primary at the Park Street/Davis Avenue entrance, and the existing minor entrance as a backup access point adjacent the Stone House along its existing driveway to Park Street with demountable bollards.

Goal 4 – Solid Waste. The proposed project will actively participate in and encourage recycling and will use all local solid waste, and recycling programs.

Goal 5 – Water Infrastructure. The project proposes to use City of Charlottesville domestic water infrastructure for drinking water.

Goal 6 – Wastewater Infrastructure. Public sanitary sewer infrastructure connections are proposed for the project. Storm water management is proposed to be handled onsite with the creation of an onsite storm water management collector system connected and draining to an onsite lake or green storm water basin at the location where an original historic small lake structure was located adjacent to the 250 Bypass and the historical gardens.

Goals 7, 8, 9, 10 – Parks and Recreation [Upgrades and Expansion], Recreational Uses, and Best Practices. The proposed project plans to engage with the existing Warner Parkway trail system and explore connections to McIntire Park and will develop appropriate interconnections with Parks and Recreation Department to achieve these goals.

Goal 11 – Parks and Recreation Trails. We will work with the City Parks and Recreation Department and will enter into a mutually-agreeable program to access the historic gardens and its property adjoining McIntire Park consistent with project security, and to create additional trails for use by residents of the project and the public. Public pedestrian access to the historic gardens will be facilitated through the existing former access drive off of the 250 Bypass ramp, which is now designated as a pedestrian walkway and entrance.

Goal 12 – Parks and Recreation Environment. We will work with the Parks and Recreation Department to evaluate and maintain the entire site environment consistent with the City's current plans for removal of invasive plants, wild area preservation on the critical slopes and wooded areas, and other collaborative measures with the City to ensure that the environmental attributes of the site and adjacent impacts are preserved and maintained.

Goal 13 – Parks and Recreation Access. In working with the Parks and Recreation Department on a potential access program, we will work with them to provide accessible [ADA compliant] access where possible with a mutually-agreeable security and access plan that provides appropriate public access and security for residents, children, and staff of the proposed project.

Goals 14 – Parks and Recreation Programs. Both MACAA and NMSLC are enthusiastic about working with the City and Parks and Recreation on the development of collaborative programs that would enrich the residents of the project as well as MACAA programs and children in either a leadership or supportive role. NMSLC has both the intent and proposed available facilities that can support community-based recreational programs based on schedule and program type. NMSLC and RUI have a history of doing this in their other locations.

Goals 15 – Recreational Finances. The proposed NMSLC project will be providing significant additional revenues to the City of Charlottesville as a component of its operations. NMSLC and MACAA support the development and enhancement of recreational programs and capital improvements through the careful allocation of these new financial resources available to the City.

Goals 16 – Educational Institutions. The proposed MACAA new school facility will be providing critically-important classroom and support facilities for their community-based educational work and mission. NMSLC are also committed to community-based educational programs and collaboration with other community educational resources and institutions. RUI will be an OLLI-certified educational location and resource to both the project residents and to the community at large. Additional collaborative opportunities may be possible with respect to archaeology, botany, and landscape architecture education and clinical and service training.

Goals 17 - Public Buildings. The proposed project is not currently proposing any sole-use public buildings as a component of its program or proposal, however it does support and will provide significant upgrades and improvements to roadways, sidewalks, fences and stone wall landscaping and trails, which are part of the City infrastructure grid. In particular, the project will resolve long-standing deficiencies of Park Street and the Park Street/MACAA Drive intersection. Improvements will include pedestrian facilities, improved sight lines and intersection re-alignment, meeting City engineering and Streets That Work standards.

#### CP Goal 3 – Economic Sustainability

General Notes and Goal 1 Innovation and Goal 2 Sustaining Business. The proposed MACAA and NMSLC projects will represent a combined capital investment in the City of more than \$50 million. We expect that, once construction commences, the project will be complete within 26 months. Annual wages and employee benefits for the senior housing project are expected to be approximately \$2.5 million. In addition to wages and employee benefits, RUI will pay real estate taxes and business license and personal property taxes, estimated at total of \$400,000 annually and associated with its property

NMSLC and RUI are well-established business entities with a significant track record of successful operations that will provide a stable and ongoing successful financial component to the City of Charlottesville community. The primary and secondary economic impacts for the City of Charlottesville Downtown and the community in general are expected to be significant over a long period of time.

By successfully completing the proposed project, MACAA will be able to become financially stable, which will greatly enhance its ability to provide critical services and support to low-income members of the community and to children enrolled in its Head Start and Project Discovery programs.

Goal 3 – Partnerships. MACAA is engaged in a wide range of local and regional partnerships in support of its mission to support and assist low-income citizens and help erase the underlying causes of poverty in the community.

NMSLC and RUI are similarly committed to business and other partnerships that will enhance the local business community and provide increased opportunities for its citizens.

Goal 4 – Tourism. We believe that the proposed senior living community will provide modest but measurable opportunities for enhanced tourism, with families visiting residents and visiting local tourist attractions, eating out, staying in hotels, and participating in local entertainment options.

Goal 5 – Downtown Mall. One of the most important features of the proposed project is its proximity to the Downtown Mall and the opportunities that this will provide for our residents to visit, shop, and participate in the active life of this important part of our community. We believe that the additional residents and their proximity to the Mall will provide enhanced economic interests and vitality to the Downtown Mall.

Goal 6 – Workforce. The workforce economic impact of the proposed projects is significant and will include the creation of between 45 and 55 full-time employee positions staffed by approximately 75-85 full- and part-time staff members, as well as the preservation of the current approximately 25 staff employees associated with MACAA operations at the Park Street location. The senior living community will be staffed 24 hours per day, 7 days per week. Except for administrative staff whose hours are generally 9 a.m. – 5 p.m., our health care professionals and service staff will work in three shifts: typically 7 a.m. – 3 p.m.; 3 p.m. – 11 p.m.; and, 11 p.m. – 7 a.m. The approximately 85 full- and part-time employees at the senior living community will be provided with competitive wages, benefits, training and career advancement opportunities. MACAA and NMSLC will work together to utilize local workforce development programs so that MACAA constituents are well positioned for employment at the facility. Ideally, MACAA constituents employed at the facility will receive ongoing education and training that will allow them to continually progress to higher paying positions at the facility, or, if constituents prefer, outside the facility. This close cooperation between MACAA and NMSLC will help MACAA deliver on its promise "From poverty to self-reliance through education."

Construction-related jobs are estimated at appropriately 700 – 800, including direct labor, materials management and local housing, and merchant and food impacts over the two year construction period. In addition, long-term economic benefits will also accrue to the community for both supplier and vendor businesses as a result of operations from this senior living community.

#### CP Goal 4 Environment

Goals 1 & 2 – Urban Landscape and Habitat Enhancement. As we have outlined in prior sections, one of our foremost goals in the development of the property was the preservation of the existing woodlands, habitat, natural features, and historical landscape features of the existing site. The first essential component of this effort was to locate the required new building density for a feasible project on areas that had minimal adverse impact on the natural environment of the site. The second component is in the preservation and enhancement of these landscape features through additional tree plantings, buffering plants, and appropriate land and landscape management to prevent soil erosion and excess of contaminated storm water into the Rivanna River watershed and associated ground water systems. Our landscape plans shown on the attached landscape plans illustrate how the proposed project preserves as many existing trees and other valuable plants as possible as well as replants and supports urban forestry efforts along the boundary and buffer areas of the site.

Goal 3 – Urban Habitat and Greenspace Interconnections. Our proposed development plan for the site focuses on the preservation and enhancement of the existing trails, connections to the Warner Parkway Trail, and interconnections to McIntire Park and other trails in the system. These are shown on the attached buffer plan and landscape plans and will be further developed in our site plan details and submission.

Goal 4 -Water Resources Protection. Our proposed project includes provisions for a new, private storm water management system, which will detain, convey, and manage existing storm water run-off from the site as well as existing adjacent residential lots. Field investigation identified several areas where the existing and original stone fences have created unwanted storm water detention areas, and these will be addressed in our storm water management plan. The draft concept for the PUD for the storm water management system is included in the storm water plan graphic and the attached storm water management calculations exhibits in the supplemental information. Water collected by the system will be managed in a large, green, engineered storm water detention lake or planted bed pond on the site close to the location of an original site pond on the site. This then would interpret an historic feature of the site as well as provide a safe and appropriate filtering and detention system.

Goals 5 & 6 - Sustainable Development and Resource Efficiency. The developer and building-design team will explore and implement sustainable, green building design elements and systems where possible and which are consistent with the overall economic feasibility of the project, including life cycle energy, water, material, and other operational costs.

Goals 7 & 8 Water Conservation and Waste Reduction. The developer will implement appropriate current water-conservation and waste-reduction strategies on the site and in the design of the buildings and operational considerations including overall life-cycle operating efficiencies and costs.

#### CP Goal 5 Housing

Goals 1, 2 & 3 – Consider the Impact of Housing on City Goals and Maintain, Improve and Grow the City's Housing Stock. The proposed project will provide additional high-quality senior housing options and opportunities for 145 or more residents in the City [141 senior housing residential units plus four age-restricted (62+), affordable units]. We note that there is a need for more and better senior housing alternatives within the City that would enable elderly members of our community to continue to engage in and be a part of the life of the City without being relocated to an area outside of the main parts of the City or adjacent to a hospital.

Goal 4 - Funding Initiatives. One of the important economic impacts of the proposed development plan and rezoning is the ability of the City to receive significant additional tax and other revenues from the project, which are now unavailable since MACAA is a 501(c)(3) Organization. The additional revenues to the City are more than \$400,000 per year and sufficient to fund a number of significant initiatives if the City so desires. In addition, MACAA is intimately engaged in programs and support for low-income families with respect to housing alternatives and options. MACAA and NMSLC would be interested in exploring and administratively supporting City efforts to provide affordable and other housing options in the City either directly or indirectly through MACAA programs. NMSLC will also be providing a \$75,000 donation proffer to the Charlottesville Affordable Housing Fund for work force affordable housing units in addition to its provision of four age-restricted (62+), affordable housing units.

Goals 5 & 6 – Partnerships and Incentives. MACAA and NMSLC are supportive of and interested in partnering and supporting City and other efforts to enhance housing alternatives within the City.

Goal 7 – Design Options/Underserved Housing Needs. The design of a feasible project on the existing site while providing a much-needed and valuable response to the needs of seniors who need quality options for retirement housing and care within the City. The addition of four age-restricted (62+), affordable residential housing units adds to the availability of mixed-use housing options and complies with the goals of the comprehensive plan. As noted above, the development of this project would provide significant potential for additional, ongoing resources to fund the development of other mixed-use projects within the City.

Goal 8 – Sustainability Principles. As we have outlined earlier, MACAA is fundamentally engaged in its mission and work to provide and support low-income families in finding and creating housing options in the City. MACAA has concluded that its ability to continue to provide existing services and potentially to expand supportive services can only be accomplished by the sale of its land to NMSLC and the development of this intergenerational education campus.

Upon consideration of the goal of creating additional housing density where appropriate in Section 8.3, we believe that the proposed NMSLC/MACAA development is an appropriate and important opportunity for the City and that this goal supports the increased density we seek in the PUD application. This applies to employment opportunities and other economic impacts to the significant benefit of the City and with minimal to no additional costs for services, schools, and other City costs.

#### CP Goal 6 Transportation

Goal 1 – Complete Streets. The proposed project, while requiring security and safety for its residents, will provide bicycle pathways and walking trails where appropriate and will be included in the project's detailed site plan submission. We are exploring options with City Parks and Recreation to provide appropriate pedestrian public access to the historic and cultural resources on the property particularly along the Warner Parkway Trail, pedestrian connections to the trail and McIntire Park, as well as sidewalks and pedestrian and bicycle pathways along the new Davis Avenue/MACAA/ NMSLC entrance drive and appropriate connections to the surrounding neighborhood and City pathways. We will enter into a mutually-acceptable agreement with the City for the development and maintenance of these access routes to public spaces and the existing trails and historic resources on or adjacent to the site.

On-site focus on safety for children involved in the MACAA Head Start school program is also a primary concern and will be addressed with appropriate safe crossing points for both the public street connection and interior road and walkway connections.

Also included in Goal 3 narrative, the proposed project will address significant safety and traffic-flow problems at the connection of the new MACAA/NMSLC entrance drive and Park Street as well as the adjacent Davis Avenue neighborhood connection intersection with Park Street.

All street, sidewalk, pathways, and trails [where appropriate] will conform to current ADA standards as well as approved VDOT design standards.

  
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## MACAA Intergenerational Education Campus

Charlottesville, VA



## P.U.D. Development Plan

## Narrative Statement and Zoning Compliance

Goals 2, 3, 4, 5, and 6 – Land Use and Community Design/Arterial Road Network/Efficient Mobility/Parking/Transit System. One of the primary design components that the project proposes is the redesign and resolution of several functional- and safety-related components of the connection at the existing MACAA entrance drive, Park Street, and the adjacent Davis Avenue intersection. By purchasing the property on both sides of the existing MACAA entrance drive, the project proposes to create a new entrance drive shown in more detail in the attached Exhibit Sheet 11, which illustrates the proposed realigned MACAA/NMSLC entrance drive with Davis Avenue at Park Street and provides for an advance warning sign with a lower advisory speed, intersection markings, pedestrian crossing measures, and traffic calming markings. We also are encouraging and anticipating cooperation with the City on the reprogramming of the Park and 250 Bypass traffic lights, which we believe will significantly improve the safety and efficiency of traffic flow along Park Street. The developers have provided a detailed traffic analysis for the proposed new entrance drive at Park Street and Davis Avenue, which shows traffic trips generation from the proposed new project with minimal statistical impact on traffic levels, and improving the overall traffic impact and safety at this entrance drive connection.

The Senior Living Community operator, RUI, will be providing transportation busses or other transportation for residents as a part of their basic services.

The proposed project has worked to minimize the total required parking on the site for both the senior living community and the MACAA school and administrative offices. Most of the senior living community residents will not be driving and will be using either community-provided transportation buses or public transportation. Since the MACAA program is entirely preschool students and these children primarily arrive on JAUNT busses or other public transportation, the total need for on-site parking has been minimized. On-site parking has been located wherever possible in landscaped areas that are not visible from public roads or adjacent residential areas and has been kept close to the building wherever possible. Those parking areas that are visible to public roadways and sidewalks are proposed to be pervious pavers with appropriate landscaping to minimize the appearance of open-paved parking lots as much as possible. Additional screening and landscaping will be provided to minimize visual access to parking areas and to screen those that may be visible.

The senior living community and MACAA are interested and supportive of enhanced public transportation opportunities along Park Street for both residents and staff members. The applicant has contacted the Charlottesville Transportation Authority to explore the possibility of extending Route 11 from the North Avenue/Park Street stop to include a stop within the MACAA/senior living campus.

Goals 7, 8 and 9 – Regional Transportation/Sustainable Transportation Infrastructure/Infrastructure Funding. The proposed project anticipates working cooperatively and collaboratively with the City and regional transportation authorities to enhance and support the goals of the Comprehensive Plan where appropriate. The proposed improvements to the MACAA/NMSLC entrance drive connections at Park Street and Davis Avenue are included as improvements by the project as detailed on the traffic improvements Exhibit Sheet and subsequent site plan submissions.

#### CP Goal 7 Historic Preservation and Urban Design

Goal 1 – Urban Design. The overarching design approach to the proposed project is to provide a wide array of public benefits that derive from the proposed development of this site to the City of Charlottesville, regional outreaches as provided by the MACAA programs, and to the adjacent neighborhoods and Downtown areas within a financially- viable framework for MACAA and NMSLC. To accomplish these goals, the overall design of the project has focused on protecting and enhancing the existing mature landscaping and garden historical features, integrating needed storm water management features into appropriately-interpreted landscape features where possible in the form of the planned pond or planted bio-filter area, and redesigning the project entrance to significantly improve the safety and efficiency of the existing entrance drive. The design of the proposed new structures preserves and re-utilizes the existing “Stone House,” without significant changes, and places the new school building on the rear of the site and designed as residential in character to form an appropriate transitional building between the existing adjacent residential house and the new senior living community structure. The proposed site plan includes specific buffering and planting design elements to minimize the impact on the one house [1105 Park Street] adjacent to the rear of the property. The design of the senior living community structure is located more than 350 feet back from Park Street and is substantially screened from view from Park Street. The adjacent rear residential yards along Park Street are heavily wooded, and additional screening trees are proposed to further screen these residences from viewing the senior living community building. Model and view shed studies demonstrate that the senior living community building is barely visible if at all from residential properties along Park Street, and the mass of the new building is mostly below the tree canopy screen of the wooded areas along the 250 Bypass and the Warner Parkway.

The detailed architectural design of the new senior living community building and the new MACAA school building will be in keeping with traditional Charlottesville architectural aesthetics and with massing and architectural design guidelines provided in the proposed ordinance narrative sections below.

Goal 2 – Educational Programming. NMSLC supports efforts to appropriately interpret and provide educational programming for the historic gardens on the site as well as other historical elements of the site. The senior living community has planned educational programs and will support appropriate architectural, historical, archaeological, and other programs of community interest.

Goals 3 & 4 – Incentives and Tools/Resource Inventory. MACAA and NMSLC support community-based efforts to provide incentives, recognition, and the inventory of historic sites and preservation and specifically those located on this project site.

Goals 5, 6, 7, 8 and 9 – Neighborhood Conservation/Resource Protection/Comprehensive Approach/Entrance Corridors/Sustainable Reuse. MACAA and NMSLC desire to be a significant positive and supportive part of the adjacent local neighborhoods and the community at large. The proposed project will provide significant educational programming opportunities, which will be open to the public through the OLLI course offerings and within walking distance to adjacent neighborhoods. The project will also work toward offering appropriate neighborhood access to the historic gardens and will preserve and enhance significant portions of the existing tree- and landscaping-character of the existing site and will provide a range of learning and other community-recreational resources in the connection to the gardens, the Warner Parkway Trail, and connections to McIntire Park. The design of the project has focused on a comprehensive approach to development, which will contribute to the community on a number of significant levels within a feasible financial and physical approach overall. While not within the entrance corridor design purview, the project designers are aware of the visual connection to the 250 Bypass, the Warner Parkway, and the surrounding community. To the extent possible we are providing preservation of existing landscape elements and trees as well as additional plantings and the design of the buildings themselves, to minimize any negative visual impacts from these view shed components. For the most part, the buildings are well screened from adjacent neighborhood residential and Park Street views, and the structures are predominately under or masked by the existing and proposed tree canopy on the site. In addition, the general building design, exterior colors, roofing design, and materials will be designed to minimize and adverse visual impacts of the MACAA school building, or the senior living community building.

## 2. SECTION 34-157(a)(4): Narrative Statement identifying and discussing any potential adverse impacts, as well as any measures included within the development plan, to mitigate those impacts.

Narrative follows the Pre-Application Checklist for this Section.

a.) Statistically insignificant traffic or parking congestion is indicated by the proposed rezoning or project plan and significant safety improvements result from the proposed traffic improvements of the proposed PUD Plan. The proposed plan provides for significant traffic and safety improvements to the Davis Avenue/Park Street/MACAA-NMSLC entrance intersection with minimal increased traffic, which will occur in off peak hours.

b.) Minimal to no additional lights, dust, odor, fumes, vibration or other factors adverse to the natural environment are being created. The proposed plan protects, and enhances the existing natural and historic elements of the site. Significant measures are included to eliminate or mitigate any adverse environmental factors with respect to adjacent properties or City areas.

c.) No displacement of existing residents or businesses is created by the proposed rezoning plan. One residential property at 1021 Park Street owned by the applicant is being repurposed for the new MACAA executive offices. In addition four age-restricted (62+), affordable residential units are proposed by proffer for the proposed project.

d.) No existing economic development activities, employment or increased tax base are being discouraged. The proposed rezoning and project will provide for significant economic value to the City including additional residential senior housing opportunities, affordable housing units, significantly enhanced tax base of more than \$400,000 per year, and increased employment opportunities by the creation of up to 85 new full- and part-time jobs, an estimated 700 construction jobs during the project construction, and perhaps most importantly, the preservation and enhancement of the existing MACAA programs benefiting low-income families and the Head Start school program.

e.) No undue density or population or intensity of use in relation to existing or available community facilities is created by this project or rezoning. Due to the nature of the NMSLC senior living community virtually no adverse impacts on City schools, transportation, infrastructure, and other City services are created by this project. The proposed rezoning and project plan do consider enhanced community access to natural and historic site features as well as other potentials for new community accessible educational and other program opportunities. The MACAA community based Head Start school and low-income family support services will be maintained and enhanced by this project. Perhaps most importantly, the proposed project creates a unique opportunity, through the intergenerational campus and adjacent location of the Head Start school and senior living community, for seniors and young children to connect and enrich each other’s lives.

f.) No reduction in the availability of affordable housing in the neighborhood is created by this project. The proposed rezoning and project creates new residential opportunities for seniors in the neighborhood on land which is not currently in residential use. In addition, the proposed project creates through a proffer the creation of four age-restricted (62+), affordable housing units in the neighborhood, a donation to the Charlottesville Affordable Housing Fund, and significant potential additional financial resources which the City may utilize to provide affordable housing opportunities. MACAA is an enthusiastic and current partner with the City in creating housing opportunities for low income families. Preservation of MACAA and its programs through the development of this project will enhance the availability of future affordable housing in the City.

g.) There are no impacts on the school population and facilities. The proposed rezoning and project is for senior residents and no school or facility related impacts from additional school age children are created. The construction of the new proposed MACAA school building for Head Start programs will augment available school facilities in the City.

h.) No destruction or encroachment upon conservation or historic districts result from this proposed project. The proposed rezoning and project protect and enhance existing conservation and historic resources on the project site and through our joint agreement with the City will enhance public access to these resources.

i.) The project will demonstrate and certify that it is in conformance with all applicable, federal, state and local laws.

j.) Massing and Scale of the Project  
The predominant potential adverse impact from the proposed project derives from the reality that the building envelope and massing required to obtain a feasible project and residential density involves a building of larger scale than would generally be considered desirable in predominantly residential neighborhood areas.

Mitigating factors in considering this potential impact were carefully considered in the overall conceptual development of the design plan and the various details of the proposed design for the project. These are as follows:

i.) The Project site has several inherent mitigating attributes and is approximately 350 feet at its closest to Park Street and only then down what will be a wooded-tree-lined entrance drive, which will mostly obscure any view from Park Street.

ii.) On the Warner Parkway west side and the southern 250 Bypass side, the site is more than 200 feet from the major 250 Bypass traffic artery and significantly further from the Warner Parkway.

iii.) The proposed project site is located at the center of the 9+ acre site and well back from thick existing mature trees and heavy buffering plant coverings, which substantially obscure the site visually from adjacent residential neighborhoods.

iv.) The north side of the site has one existing large and recently renovated adjacent house [1105 Park St.], which is bounded at the front along Park Street by the existing “Stone House,” which is proposed for MACAA’s executive offices immediately adjacent to Park Street and the proposed new MACAA school building at the rear of the existing Stone House parcel [1021 Park St]. The NMSLC senior living community abuts the 1105 Park St. house on the rear of the north edge of the site. The developer is working with the owners of the 1105 Park St. house to devise appropriate landscape buffers and tree cover that will mitigate most of the visual site lines to both the MACAA property and the NMSLC property. We note that this house now looks on the ramshackle existing MACAA buildings and playground and that these are at the rear of the 1105 Park Street house lot.

v.) The proposed project will further mitigate potential adverse visual impact by providing significant additional plantings and buffer landscaping, and through the careful selection of building materials with compatible colors and design, which will attractively blend in the building exteriors of the new MACAA School building and the NMSLC building with the surrounding landscape cover as much as possible. The height of the buildings has been limited to four stories to the ground plane on all sides of the project and the mass of the buildings has been articulated to break up its visual massing. Our goal is to hide the mass of the buildings as much as possible in the surrounding tree canopy and landscape buffers on the site. Further, we aim to create a residential scale and character as a transition building for the MACAA school building and an appropriately- detailed traditional building compatible with Charlottesville architecture for the much larger NMSLC building. Computer modeling of the proposed site and adjacent buildings illustrates that adjacent residential neighborhoods and residences will have minimal if any visual impact from the project.

A second impact is that the proposed project requests and creates a slight increase in residential density adjacent to the existing R1 neighborhoods, which is greater than the current R1 zoning for the site and the maximum “by right” density if one considers single- and two-bedroom senior housing units as dwelling units. The units being proposed are not comparable to the scale of individual single family residential units that would be created in a “by right” scenario.

The primary mitigating factors are inherent in the character of the MACAA school building and the residential character and nature of a senior living community use. As we have noted, the MACAA school and offices are already on the site under a special use permit, and the proposed new school building and re-use of the existing Stone House will only serve to minimize any adverse impacts from this current use through an appropriately-designed school facility and a new, buffered playground area. The residential density of the proposed 141 residential units in the new senior living community are predominately single- or double-bedrooms with supporting bathroom, kitchenette and living spaces. The additional proposed four age-restricted (62+), affordable units are in scale and type as adjacent residential units in the neighborhood. As such, these residential “units” cannot be equated with typical zoning defined “family” residential density structures and are therefore effectively much less dense than the zoning definition would imply. Further, the residents of the community will not generally create traffic, noise, and other adverse factors, which are an underlying component of the relevant “residential” zoning considerations. As such, while the number of residential “units” is much larger than the R1 zoning, the actual comparable additional zoning impact of this proposed project is significantly less.

Examples of the typical living unit configurations proposed are included in the attached supplemental information exhibit plan Sheet A1-4.

The proposed plan also provides for a replacement of the single family home now at 1023 Park Street. This replacement home is initially proposed to be a temporary sales office for the senior living community but, upon completion of the initial buildings of the main project, will be converted into four age-restricted (62+), affordable rental senior residential units and be included as an adjunct part of the overall senior living community. While the sales office use of one of the units is temporary in nature, this use is incompatible with the surrounding R1 zoning. In addition, and in order to accommodate needed parking, a small parking lot is proposed immediately behind the replacement affordable residential houses at 1023 Park. This parking area is partially visible from Park Street and is proposed to be of permeable parking pavers and well landscaped to make its character not like a standard parking lot.

Mitigating factors proposed with respect to this potential adverse condition with respect to the replacement houses will include the fact that the house will be designed as two age-restricted (62+), affordable residential duplex units and will be returned to residential use as soon as feasible with respect to the completion of the senior living community and its initial operations. Designations with respect to any signage or other designations of a “sales office” will be in keeping with a residential neighborhood and will be temporary and aesthetically designed to fit with the overall signage and graphics proposed for the project. At the conclusion of its temporary use as a sales office, the residences will be thereafter used as affordable senior living residences and part of the senior living community.

Mitigating factors with respect to the parking area behind the 1023 Park Street residence will include pervious pavers, buffering landscaping and trees to minimize its visual “read” as a parking lot, and other site design elements to be proposed in the site plan submission to reduce any adverse impacts from this site plan feature of the proposed plan. The developer will make the parking lot space available for community access at appropriate regular intervals. We note also that the adjacent MACAA school facility has main operating hours only from about 8:00 a.m. to 3:00 p.m. each weekday and the balance of the time most if not all of the 30 some parking spaces will be available for additional or alternate parking. MACAA and NMSLC will have a formal shared parking agreement.

## 3. SECTION 34-158(a)(6): Whether the proposed use or development will meet applicable general and specific standards set forth within the zoning ordinance, subdivision regulations, or the city ordinances or regulations.

The following ordinance outline and comments track the compliance of the proposed project rezoning request with the required ordinance sections.  
ARTICLE V. - PLANNED UNIT DEVELOPMENT DISTRICTS  
DIVISION 1. - GENERALLY

Sec. 34-490. - Objectives.  
In reviewing an application for approval of a planned unit development (PUD) or an application seeking amendment of an approved PUD, in addition to the general considerations applicable to any rezoning the city council and planning commission shall consider whether the application satisfies the following objectives of a PUD district:

(1) To encourage developments of equal or higher quality than otherwise required by the strict application of zoning district regulations that would otherwise govern;

*The existing “by right” zoning for the parcels is R1. The proposed project provides additional, much-needed senior housing opportunities and affordable housing units beyond those which would be possible in an R-1 zoning and at a density on minimally greater than a “by right” density, significant financial benefits to the City in taxes and other fees, preservation of the natural landscape and other historical resources on the site, and the preservation and enhancement of the MACAA Head Start and other support programs for low-income families.*

(2) To encourage innovative arrangements of buildings and open spaces to provide efficient, attractive, flexible and environmentally sensitive design.

*The proposed design of the proposed project concentrates almost all of the proposed development into an efficient building for the most part on existing parking lots and non-sensitive parts of the site, avoids impacts on surrounding neighborhoods, and preserves and enhances the natural environment of the site.*

(3) To promote a variety of housing types, or, within a development containing only a single housing type, to promote the inclusion of houses of various sizes;

*The proposed development, while focused on senior housing opportunities, provides various sizes of units with various levels of service and support for specific diverse senior housing and care needs as well as four new, age-restricted, affordable residential units on the Park Street side of the project site. The adjacent MACAA Head Start program provides a unique intergenerational dimension of care for seniors and children. The Developer and MACAA note that MACAA has as one of its key mission components the facilitation of housing opportunities for affordable housing. MACAA is prepared to work with the City to develop additional programs and resources [including the tax income from this project] as a component of its efforts to meet these goals.*

(4) To encourage the clustering of single-family dwellings for more efficient use of land and preservation of open space;

*While the proposed project is providing only four new, single-family dwellings, it provides for an optimally efficient development configuration for the available site and enables the preservation and enhancement of open space, and environmental and historical site character and resources while providing much needed senior housing options for Charlottesville residents and four new, age-restricted (62+), affordable residential units by proffer.*

(5) To provide for developments designed to function as cohesive, unified projects;

*The proposed project creates a sense of place integrating the MACAA school and offices with a unified senior living community into an intergenerational educational campus. This will be accomplished through a unified landscape plan, signage, walkway and traffic design, unified design for street and path lighting, and harmonious design of the buildings on the site both within the development and consistent with the general design of buildings in the City of Charlottesville. The parking/event space at the front of the site immediately off of the MACAA Drive entrance is envisioned as a dual-use space which at times during the day when parking loads may be higher the space can be used as normal parking. The parking/event space is designed with grass pavers, tree cover landscaping and lighting to facilitate evening events. As we noted before, the approximately 30 spaces provided at the MACAA school facility are primarily utilized only between 8:00 am and 3:00 pm on weekdays and provide additional parking for events and in order the provide a clear event space for events during appropriate times.*

(6) To ensure that a development will be harmonious with the existing uses and character of adjacent property, and/or consistent with patterns of development noted with respect to such adjacent property;

*While the senior living community building is larger than adjacent residential neighborhoods, great care has been taken to create natural buffer zones around the project to minimize any visual intrusions to neighborhood residential areas, to design the new MACAA school building to be in the style of a residential building and as a transitional building in keeping with the adjacent architectural typology and scale, and to preserve the existing residential “Stone House” on the site in its repurposing as executive offices for MACAA.*

## MACAA Intergenerational Education Campus

Charlottesville, VA



## P.U.D. Development Plan

## Narrative Statement and Zoning Compliance

(7) To ensure preservation of cultural features, scenic assets and natural features such as trees, streams and topography;

*Cultural, historical, and natural features of the site including the adjacent stream, trees, topography, and historical features are preserved and enhanced by the proposed project and public access will be facilitated through a mutual agreement with the City.*

(8) To provide for coordination of architectural styles internally within the development as well as in relation to adjacent properties along the perimeter of the development; and  
*Architectural guidelines for the proposed new senior living community building, age-restricted (62+)/temporary sales office and new MACAA school building are provided to coordinate with each other internally and respect the styles and patterns of adjacent traditional Charlottesville residential buildings.*

(9) To provide for coordinated linkages among internal buildings and uses, and external connections, at a scale appropriate to the development and adjacent neighborhoods;  
*The proposed new buildings on the site are designed as a unified campus internally with coordination between the new MACAA school and the new senior living community. Connecting pathways are designed to facilitate the interchange of children from the MACAA school to common spaces in the new senior living community building. While the proposed building are larger than adjacent neighborhood buildings, the new structures are located on an predominately isolated and large site adjacent to residential neighborhood on two sides and set well back and buffered visually from adjacent R1 neighborhoods in order to not create adverse scale impacts.*

(10) To facilitate access to the development by public transit services or other single-vehicle-alternative services, including, without limitation, public pedestrian systems.  
*The proposed development will significantly improve the Park Street, Davis Avenue, and project entrance on Park Street, and the proposed senior living community and MACAA utilize their own multi-person transit vans, JAUNT, and other public [non single vehicle] services wherever possible.*

(9-15-03(3))

Sec. 34-491. - Permitted uses.

Only those uses shown on an approved PUD development plan shall be permitted uses.

(9-15-03(3)); 9-16-13)

Sec. 34-492. - Configuration.

A PUD shall contain two (2) or more acres of land. A PUD may be comprised of one (1) or more lots or parcels of land. The lots or parcels proposed for a PUD, and all acreage(s) contained therein, shall either be contiguous, or shall be within close proximity to one another and integrated by means of pedestrian walkways or trails, bicycle paths, and/or streets internal to the development. City council may vary or modify the proximity requirement.

*The proposed project conforms to the required size and configuration required under the ordinance. See attached development plan sheets.*

(9-15-03(3)); 11-20-06(5); 9-16-13)

Sec. 34-493. - Required open space.

(a) As used within this article, the term "open space" shall mean land designated on an approved development plan for a PUD as being reserved for the use, benefit and enjoyment of all residents of the PUD. Such open space may consist of common areas owned and maintained by a developer, or non-profit corporation or property owners' association, and/or any parkland, hiking trails, drainage area, or similar areas dedicated to the public and accepted by the city.

*The proposed project conforms to the required size and open space configurations required under the ordinance. NMSLC and MACAA will implement shared common space maintenance and access agreements that meet the requirements of the ordinance. See attached development plan sheets.*

(b) The following amount of open space shall be required within a PUD: At least fifteen (15) percent of the gross area of all land included within the PUD development site; however, the city council may reduce this requirement in situations where through creative design, or in light of the nature and extent of active recreational facilities provided, it deems the overall objectives of the PUD are best served by such reduction.

*The proposed project conforms to the required size and configuration required under the ordinance. The applicant has not requested a reduction of this standard. See attached development plan sheets.*

(c) Open space must be useable for recreational purposes, or provide visual, aesthetic or environmental amenities. The following areas shall be excluded from areas counted as open space: buildable lots, buildings and structures, streets, parking areas, and other improvements, other than those of a recreational nature. The following improvements may be counted as part of required open space: playgrounds, ball courts, swimming pools, picnic areas and shelters, parks, walking paths and hiking trails, landscaped terraces, open-air plazas, and similar amenities. Land within a floodway or floodway fringe may be used to satisfy the open space requirement for a PUD; however, not more than thirty-three (33) percent of such land may be counted towards open space requirements.

*The proposed project conforms to the required size and configuration required under the ordinance. See attached development plan sheets.*

(d) Open space shall be provided within each phase of a PUD, in sufficient amounts to serve the expected uses and/or residential population of that phase.

*The proposed project conforms to the required size and configuration required under the ordinance. See attached development plan sheets.*

(e) All property owners within a PUD shall have access to the open space by means of a public street, or a private street or walkway located within an easement reserving property for such access.

*The proposed project conforms to the required access provisions and configuration required under the ordinance. See attached development plan sheets.*

9-15-03(3))

Sec. 34-494. - Ownership of land; common areas.

(a) All property within a PUD shall remain under single entity ownership of a developer, or group of developers, unless and until provision is made which insures the establishment and ongoing maintenance and operation of all open space, recreational facilities, and other common areas within the development. The developer or developers of the PUD shall not lease or sell any property within the PUD unless or until the director of neighborhood development services determines, in writing, that such satisfactory provisions have been made.

***MACAA is the present owner of parcels 1025 Park Street and 1021 Park Street. 1023 Park Street is owned by 1023 Park Street LLC, and New Millennium Senior Living Communities LLC [NMSLC] is the contract purchaser for 1025 Park Street and 1023 Park Street. Following a successful PUD rezoning of the parcels under the proposed development plan, NMSLC will be the owner of record of the 1023 Park Street and 1025 Park Street parcels. NMSLC will not subdivide or sell of any of the parcels post PUD approval.***

(b) Where a property owners' association is established to own and maintain common areas within a PUD (including all required open space remaining in private ownership) the following requirements shall apply:

(1) The property owners' association shall be established and constituted in accordance with the Virginia Property Owners' Association Act, prior to the final approval, recordation and lease or sale of any lot within the PUD;

(2) The membership of the property owners' association, and the obligations of such association with respect to the common areas, shall be set forth within a declaration, suitable for recording in the land records of the Circuit Court for the City of Charlottesville, meeting the requirements of the Virginia Property Owners' Association Act. The declaration shall detail how the association shall be organized, governed and administered; specific provisions for the establishment, maintenance and operational responsibilities of common areas and the improvements established therein; and the method of assessing individual property owners for their share of costs associated with the common areas.

***This section is not applicable and MACAA and NMSLC will operate under a private easement maintenance and operation agreement which will be provided to the City if requested.***

(c) All common areas and required open space within a PUD shall be preserved for their intended purpose as expressed in the approved development plan. All deeds conveying any interest(s) in property located within the PUD shall contain covenants and restrictions sufficient to ensure that such areas are so preserved. Deed covenants and restrictions shall run with the land and be for the benefit of present as well as future property owners and shall contain a prohibition against partition.

***MACAA and NMSLC agree to these provisions.***

(9-15-03(3))

Secs. 34-495—34-499. - Reserved.

DIVISION 2. - DEVELOPMENT STANDARDS

Sec. 34-500. - Dimensional standards, generally.

The dimensional standards (i.e., restrictions of the height, area, location and arrangement of buildings and structures, lot area requirements, and required yards) and landscaping requirements applicable within a PUD district shall consist of: (i) any specific requirements or limitations set forth within this article, (ii) those shown on the approved development plan for the PUD, and (iii) those described within any approved proffers.

***The proposed project development plan generally illustrates the proposed location of buildings, structures, lot areas, required yards, and landscaping, which define the project specifics and will be further defined in detail in the subsequent site plan documents, and which will be submitted to the City for approval. Note that the MACAA and NMSLC properties may include minor parcel boundary line adjustments to accommodate the project entrance drive from Park Street as well as utility and other minor requirements site adjustments which will be included in the Site Plan submissions for approval. In addition, architectural guidelines for the proposed MACAA school building, the age-restricted (62+), affordable housing units/temporary sales office, and the proposed new senior living community building are attached and included as a part of this application for rezoning and the proffer for the age-restricted (62+) affordable housing and donation to the Charlottesville Affordable Housing Fund.***

(9-15-03(3))

Sec. 34-501. - Context.

(a) Within a PUD district:

(1) With respect to any building located within seventy-five (75) feet of a low-density residential zoning district, which includes R-1, R-1S, and R-2, the height regulations of the residential district shall apply to that building.

***The proposed project complies with the ordinance and the senior living community building is outside of the 75 foot required setback from adjacent residential R1 parcels. The proposed MACAA new school building will comply with the ordinance.***

(2) No non-residential use shall be located within seventy-five (75) feet of the perimeter of a PUD unless such use is permitted within the adjacent zoning district at the time of PUD approval.

***The proposed senior living community building is a residential use and complies with the ordinance.***

***The proposed MACAA school building is currently operating under a permitted special use permit for schools on the 1025 Park Street parcel as provided under the ordinance and the applicant requests that the continuation of this school use on the 1021 Park Street be permitted as a part of the PUD application and approval and using a 50 foot side yard setback on the north R1 adjacent parcel and a 0 foot rear setback against the senior living community parcel on 1025 Park Street to the rear.***

(b) Except as specifically provided within paragraph (a), above, building height, scale and setbacks of buildings within a PUD shall complement existing development on adjacent property, taking into consideration:

(1) The nature of existing uses, and of uses anticipated by the city's comprehensive plan, adjacent to and in the neighborhood of the PUD development site. Where a PUD is established on property that shares a block face with improved property, development within the PUD facing such existing improvements shall be harmonious as to height, mass, lot coverage, and setbacks;

(2) The number, type, and size of the various buildings proposed within the PUD;

(3) The location of natural, topographical, cultural or other unique features of the site;

(4) The location of public utilities, public streets, roads, pedestrian systems and bicycle paths, and of associated easements;

(5) The objectives of the PUD district.

***The proposed layout and footprint of the senior living community building and the new proposed MACAA school building are shown on the accompanying project development plan drawings as well as the proposed architectural design guidelines for the project structures. The development plan drawings illustrate the approximate location and size of the proposed buildings +/- 15' and in conformance with all required setbacks for the senior living community building. Landscape, topography, and natural and cultural resources and character of the site are also shown within the development plan drawing set as well as public streets, roads, pedestrian systems and paths and associated easements. Note that some final designation of public and private areas and easements with respect to the natural and historical gardens and Warner Parkway trail systems remain to be determined in detail and will be finalized at the site plan level of the project submission.***

***While we acknowledge that the proposed project is of greater density and scale than the adjacent residential R1 zoned neighborhoods, we believe that the proposed development meets the intent and spirit of the comprehensive plan overall and the PUD ordinance provisions. The proposed project preserves and enhances the natural character, topography and historical resources on the site, provides valuable and much needed senior housing opportunities and significant financial resources to the City with minimal to no adverse impacts on the adjacent neighborhoods. Importantly, this proposed project allows for the physical and financial survival of the MACAA and its Head Start and other program services offered in support of low-income families in the City and regionally. The combined MACAA and senior living community as a unique intergenerational education and living campus offers an optimal utilization of this important site and provides maximum benefits to the city with minimal costs and adverse impacts.***

(9-15-03(3)); 9-16-13)

Sec. 34-502. - Landscaping.

(a) A portion of the required open space shall consist of landscaped open areas, in an amount equal to twenty (20) percent of the aggregate gross floor area of commercial uses within the development.

***The proposed project complies with the ordinance.***

(b) In all PUD districts landscaping shall be provided using materials consistent with those required by Article VIII, sections 34-861, et seq.) and the city's list of approved plantings.

***The proposed project will comply with these provisions of the ordinance.***

(c) In addition to the requirements of paragraphs (a) and (b), above, landscaping shall be utilized within a PUD:

(1) To provide visual separations or buffers, as may be appropriate, between uses and areas different in intensity or character from one another, and between the PUD and adjacent low-density residential districts;

***The proposed project will comply with these provisions of the ordinance.***

(2) To protect and enhance the scenic, recreational, or natural features of a site; priority shall be given to preservation of existing trees having a caliper of eight (8) or more inches and in-place natural buffers;

***The proposed project will comply with these provisions of the ordinance wherever possible.***

(3) As a means of harmonizing the street frontage along the perimeter of a PUD with the street frontage of adjacent properties;

***The proposed project will comply with these provisions of the ordinance wherever possible.***

(4) To minimize the impact of noise, heat, light and glare emanating from a building, use or structure upon adjacent buildings, uses or structures.

***The proposed project will comply with these provisions of the ordinance wherever possible.***

(9-15-03(3))

Sec. 34-503. - Sensitive areas.

The following areas shall be left natural and undisturbed, except for street crossings, hiking trails, utilities and erosion control devices:

(1) Land within a floodway; and

(2) Wetlands.

***The proposed project will comply with these provisions of the ordinance.***

(9-15-03(3)); 11-21-11(3); 9-16-13)

Sec. 34-504. - Parking.

Off-street parking for each use within a PUD shall be provided in accordance with the standards set forth within Article IX, sections 34-970, et seq., unless otherwise approved by city council.

***The proposed project will comply with these provisions of the ordinance.***

(9-15-03(3)); 9-16-13)

Sec. 34-505. - Phased development.

PUDs may be developed in phases, provided the following requirements are met:

(1) All phases must be shown, and numbered in the expected order of development, on the approved development plan.

While the project will be developed in its entirety in sequence and as quickly as possible, the MACAA School portion of the proposed development plan is designated a Phase prior to the construction of the main senior living community portion of the project. The proposed phasing will allow for the MACAA programs to be available as rapidly as possible and to allow MACAA to move out of the way of the second NMSLC phase of the project along with the demolition of the existing MACAA buildings. Phasing is shown on sheet 10 of the development plan drawing set.

(2) The open space within each recorded phase may constitute fifteen (15) percent of the gross land area within that phase, or all required open space may be provided in the first phase.

The proposed project will comply with these provisions of the ordinance.

(3) All project data required in section 34-517 for the project as a whole shall be given for each individual phase of development.

The proposed project will comply with these provisions of the ordinance.

(4) Phasing shall be consistent with the traffic circulation, drainage and utilities plans for the overall PUD.

The proposed project will comply with these provisions of the ordinance.

#### 4. Other pertinent information for the proposed project:

Supplemental Project Information

G-1	PUD Concept Plan Narrative and Proposed Building Architectural Massing and Design Guidelines
	a. MACAA New School Building
	b. NMSLC Senior Living Community Building
T	Park Street Traffic Impact Analysis
S	Project Stormwater Management Narrative and Calculations
A	Typical Senior Housing Units Exhibit
H	Rock Hill Property History – Background and Locust Grove Neighborhood History – Background
I	Completed Proffer Statement See attached proffer statement.
J	All items noted in the Pre-Application Meeting Verification. – <b>Completed</b>
K	Community Meeting – <b>Completed</b>

**nm**  
NEW MILLENNIUM  
SENIOR LIVING COMMUNITIES

**LPDA**  
LAND PLANNING & DESIGN  
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Landscape Architecture • Land Planning  
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**GHILA** Architecture  
Planning  
Interior Design

**CE** COLLINS ENGINEERING

**W** ASSENAAR  
**W** INKLER  
ARCHITECTS | PLANNERS

MACAA Intergenerational  
Education Campus

Charlottesville, VA



P.U.D. Development Plan

Narrative Statement and  
Zoning Compliance

N4

August 28, 2017

**PUD Concept Plan Narrative and Architectural Guidelines for the MACAA New School Building and the NMSLC Senior Living Community Buildings**

The PUD Concept Plan is illustrated in detail on the attached Concept Plan Sheets and shows the proposed new entrance roadway, access and egress points, the location of the 4 new affordable housing units and the New Millennium Senior Living Facility, the Renovated Stone house, and the Proposed new MACAA School building.

General Building Envelope Dimensions and Location are shown on the following Concept Plan Sheets

**FAR DETERMINATION** The Site Data Tables on Component 2(b) sheet shows the total combined acreage of the parcels at 9.02 acres or 392,911 square feet of Site Area. Note: the reduction in the total corrected site area is the result of land taken by VDOT for the Warner Parkway and Ramp Construction. Had MACAA anticipated the proposed develop plan it would have sought a development right credit for the .28 acres of land taken by the Warner Parkway expansion but did not do so.

**Proposed Building Areas:**

	Proposed	Maximum	
Senior Living Center GSF / no more than	=	169,000 GSF	180,000 GSF
Proposed New MACAA School Building	=	12,040 GSF	14,000 GSF
Existing Stone House Building	=	2,700 GSF	3,500 GSF
New Affordable Housing Units [4]	=	7,066 GSF	7,500 GSF
<b>TOTAL</b>	<b>=</b>	<b>190,806 GSF</b>	<b>205,000 GSF</b>
<b>FAR CALCULATION</b>	<b>=</b>	<b>0.47</b>	<b>0.51</b>

**Proposed Building Heights:**

Senior Living Center – 4 Stories Max Height = 55’ to Building Parapet Edge Maximum – Note: the buildings are generally 48’ to the parapet edge for the max 4 story buildings, but the ground plane drops by approximately 12’+/- over the length of the building and the additional 7’ allows for the adjustment of the ground plane transitions over the building length.

Proposed 4 New affordable homes Maximum Height = 35’ in 2 duplex buildings.

Proposed New MACAA School Max Height = 35’

Existing Stone House Existing Height of Building with no additions above existing height.

**Unit Numbers and Types** Are Shown on the Site Data Table on the Concept Plan Sheets

**Architectural Design Standards**

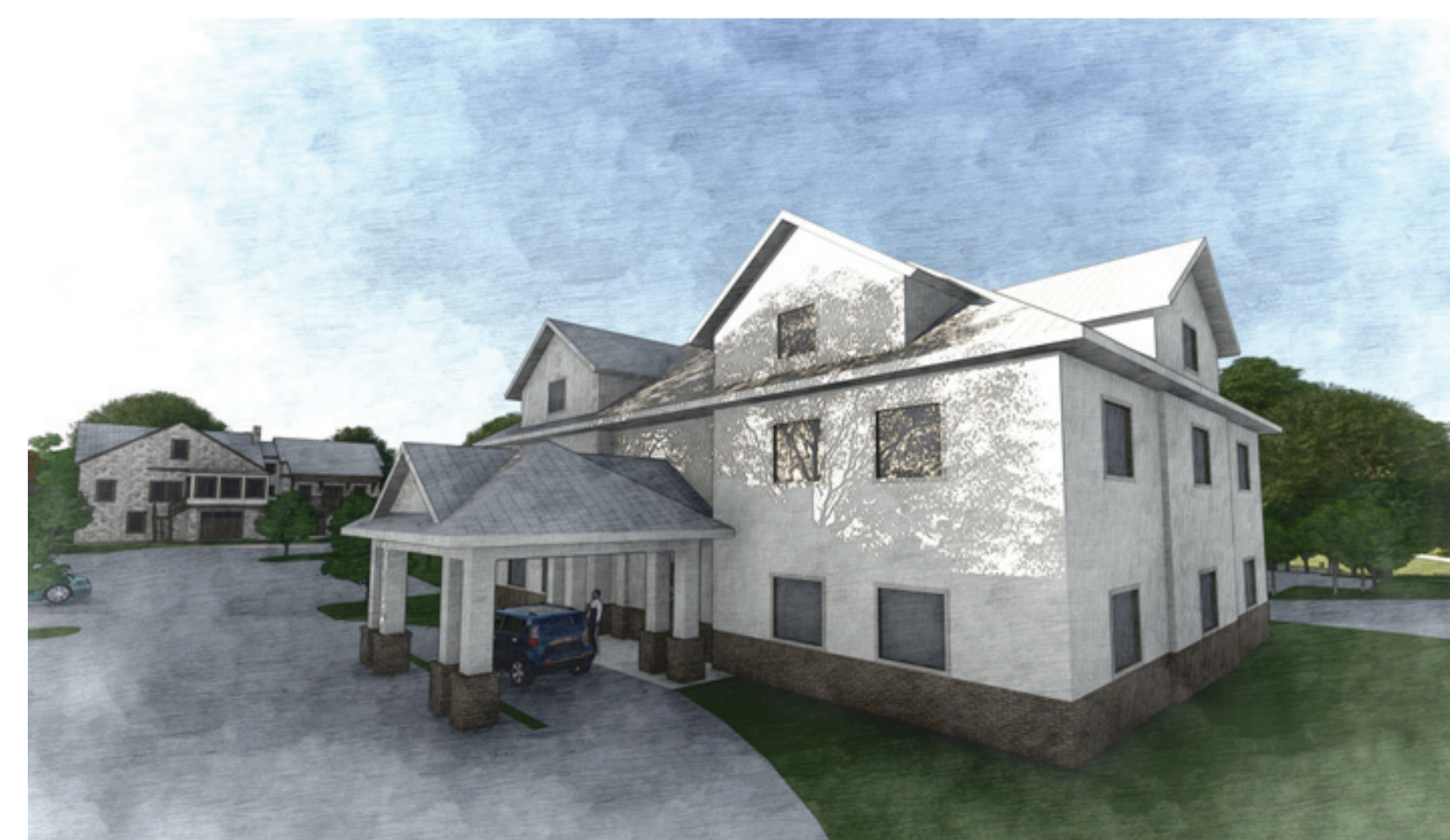
**MACAA NEW SCHOOL BUILDING** The concept rendering below illustrates the general character and context of the existing MACAA Stone House along Park Street and the proposed MACAA new school at the rear of the parcel. The Proposed MACAA new School building is designed to be a transitional building at a generally residential scale, although larger and well buffered by landscaping and trees from the adjacent Stone house and form a scale shift between the residential scale of the adjacent larger home to the North of the property, the MACAA property and the larger Senior Living Community building which is deeper on the site and well removed from the residential parts of the neighborhood. Note that some of the tree cover has been removed to illustrate the buildings.

The new MACAA School building will be of brick, stucco, and / or hardiplank construction with asphalt shingles or metal standing seam roofing. The building will have traditional double hung windows and an entrance portico for student drop off and pick up. The building is located behind the MACAA head start playground which is surrounded by a safety fence which will be a traditional design compatible with other residential fences in the neighborhood.



Concept Aerial Renderings above and below looking from Park Street towards the 250 Bypass

**MACAA NEW SCHOOL BUILDING**



Concept rendering of the new MACAA school building looking towards the rear of the Stone House and Park Street. Any entry structure adds relief to the front of the school building and its scale and massing is broken up with insets and dormers so that it is in a compatible residential style.

The concept rendering above illustrates the general architectural character of the proposed new MACAA school building which is 2 stories in height plus a habitable attic level. The building is residential in scale, establishes a base at the ground plane as a pediment and uses compatible traditional materials and matches the larger homes in the area and is compatible with the neighborhood aesthetic. The MACAA playground is current planned to be a separation point between the restored and re-purposed Stone House and the new school and establishes a respectful separation from the front and back of the property to allow for a shift in architectural styles from the Stone House in the front to the more traditional siding on the rear school building.

**RESIDENTIAL DUPLEX AFFORDABLE HOMES**

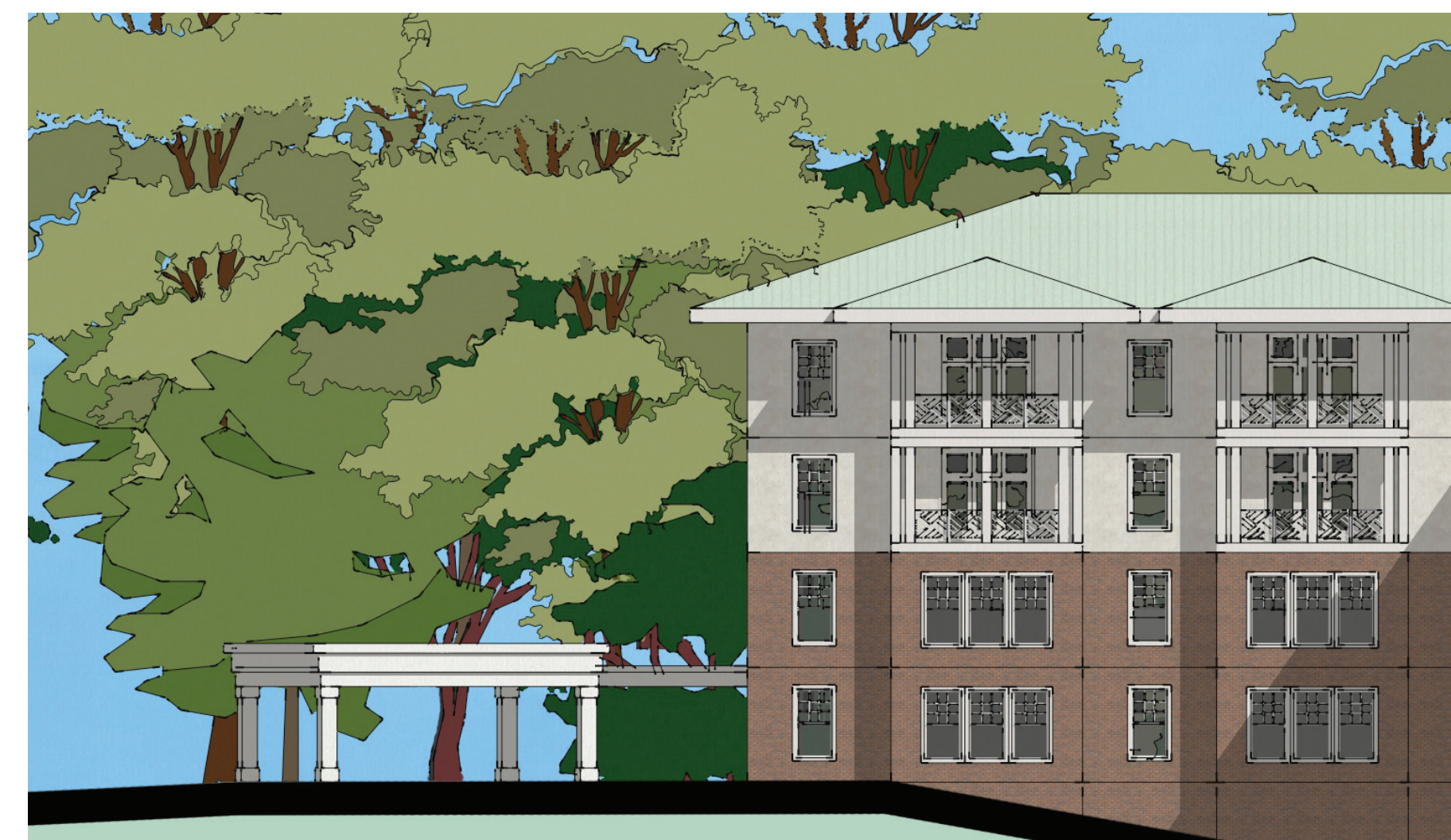
The architecture and design character of these two duplex homes will follow the typology and character of single family residential homes in the adjacent Locust Grove neighborhood in both scale, height and materials. Materials may include brick, stucco, hardiplank, wood trim, traditional double hung windows, and asphalt shingles. While not required the homes will generally follow the recommended City Architectural design guidelines for infill residential housing.

**NMSLC SENIOR LIVING RESIDENTIAL BUILDING**

Concept Massing and Character Diagrams of NMSLC Senior Living Building

The proposed senior living community building is designed to be no more than four stories in height with two ground/ basement levels. The topography of the site drops approximately twelve feet from the front corner of the building footprint at the end of the entrance drive to the diagonal corner of the building footprint overlooking the 250 Bypass / Warner Parkway.

The scale of the building and its height, as well as the resolution of the grade shifts visually, are reduced in scale and impact by creating a base pediment around the building and shifting as needed to maintain a visually lower proportion as the grade shifts toward the steeper slopes at the rear of the building. This base is reinforced by the addition of a horizontal banding watercourse line at the top of the Ground level [1st floor] of the building. Conceptually this base for the building would be in brick material and which will allow the grade shift transitions as the building meets the ground to be resolved in an appropriate manner and in proportion to the overall vertical scale of the building elements above.



Typical Concept of Exterior Elements and Character of Building 1

**NMSLC SENIOR LIVING RESIDENTIAL BUILDING**



Typical Concept Porch and Elevation Elements 2

The intermediate parts of the building mass above the water table line of the pediment and the upper roof system are light in color to reduce their visual mass and are in an appropriate siding, stucco, or other neutral material.

The scale of the building horizontally is reduced and broken up into a hierarchy of outset bays, porches with column edges and traditional railings in a regular pattern of appropriately proportioned bays relative to the upper sections of the building above the base pediment. These outset bays may be capped by a dormers which visually connects the roof system to the main mass of the building at transition points of the roof sections. Additional porch sections at the entrance areas and at side entrances and outdoor area connections are anticipated and will use traditional columns and Charlottesville architectural typology in their design. Appropriately proportioned chimneys and other entrance elements such as entry porte-cochere components will similarly follow traditional forms and typology found in Virginia buildings.

Traditional windows systems are anticipated conceptually using divided light double hung windows in a contrasting color if appropriate and used singly, or in multiples to correspond to the proportions of the exterior sections and interior floor plan layouts. Window layouts should be in alignment and rational to the mass of their building part and wherever possible their internal function.

The main entrances for the building will have a porte-cochere and these are conceptually designed to provide cover for vehicle pickup and drop off. These entrance elements of the building shall be designed in a compatible style to the rest of the building and designed to have a minimal visual impact when seen from Park Street. We anticipate that there may be more than one entrance porte-cochere entry points but not more than 3 which will correlate to the three unit types in the building. These shall be scaled so that there is one main entrance point and sub-entrance points visually.

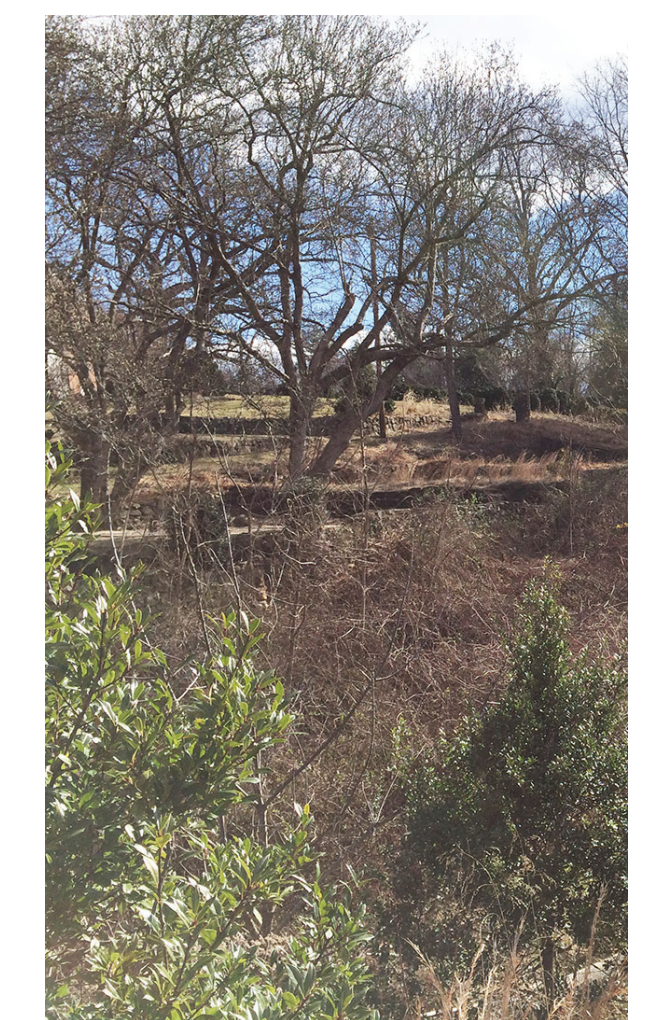
Parking generally and service entry points specifically shall be screened wherever possible. The grade shifts around the building allow for substantial vertical screening of on-site parking and visual screening using vertical grade shifts and walls shall be optimized whenever possible.

Building materials and colors in general shall be neutral and compatible with the natural landscape and tree cover and shall be used to minimize the visual impact of the building wherever possible. Materials will be of brick, stucco, and / or hardiplank construction with asphalt shingles or metal standing seam roofing. Traditional detailing of the building is desired as appropriate to the scale of the structure.

Building HVAC, generators, and other exterior mechanical and electrical system components shall be screened, and acoustically isolated wherever possible.



MACAA Intergenerational Education Campus  
Charlottesville, VA



P.U.D. Development Plan

PUD Concept Plan Narrative and Architectural Design Guidelines

January 27, 2017

Mr. Tony Edwards  
City of Charlottesville  
610 East Market Street  
Charlottesville, Virginia 22902  
Phone: (434) 970-3992

Reference: Monticello Area Community Action Agency (MACAA) – Traffic Impact Analysis  
Charlottesville, Virginia

Dear Mr. Edwards,

Ramey Kemp & Associates, Inc. (RKA) has performed a Traffic Impact Analysis (TIA) to support the proposed redevelopment of the property located in the north quadrant of the US 250 Bypass at Park Street interchange. The property currently supports a day care and small amount of office space. The concept plan includes redeveloping the property with an independent living / assisted living community with up to 145 units. The proposed access plan includes realigning the existing MACAA Drive directly across from Davis Avenue. If approved, the community is expected to be built and occupied in 2019. Figure 1 shows the site location and study intersections.

Based on our meeting with you, Mr. Ali, and Mr. Wuensch on December 8, the purpose of this letter report is to provide the following:

- Trip generation calculations
- Collision data analysis
- Sight distance evaluation
- Capacity analysis of the study intersection

**Existing Traffic Volumes**

The existing 2017 AM peak hour (7:00 to 9:00 AM) and PM peak hour (2:00 to 6:00 PM) turning movement counts were conducted by RKA at the following intersection on January 19:

- Park Street at MACAA Drive / Davis Avenue

Note that the University of Virginia Spring semester started on January 18.

The existing peak hour traffic volumes and pedestrian volumes are shown in Figure 2. The AM peak hour occurs between 7:45 and 8:45 AM, and the PM peak hour occurs between 4:45 and 5:45 PM. All of the count data is enclosed for reference.

Charleston, SC - Charlotte, NC - Raleigh, NC - Richmond, VA - Winston-Salem, NC

Mr. Tony Edwards  
Page 4 of 7

**Trip Generation**

Table 3 shows the trip generation potential of the proposed plan.

Land Use (ITE Land Use Code)	Size	Average Daily Traffic (vpd)		AM Peak Hour (vph)		PM Peak Hour (vph)	
		Enter	Exit	Enter	Exit	Enter	Exit
Existing MACAA Trips	60 students	43*	43*	19	8	1	6
Senior Adult Housing – Detached (251)	4 units	8	8	0	1	2	2
Congregate Care Facility (253)	69 units	70	70	3	2	7	5
Assisted Living / Memory Care (254)	72 beds	118	118	7	3	7	9
<b>Total</b>		<b>239</b>	<b>239</b>	<b>29</b>	<b>14</b>	<b>17</b>	<b>22</b>

\* The ITE average trip rates for Land Use 520 (Elementary School) are 1.29 daily trips per student, 0.45 AM peak hour trips per student, and 0.15 PM peak hour trips per student. Therefore, 46% of the daily trips occur in the AM and PM peak hours. To be conservative, this comparison assumes 40% of the daily trips occur in the AM and PM peak hours.

**Site Traffic Distribution**

The following site traffic distribution was assumed for vehicle trips based on a review of the existing traffic volumes, the adjacent roadway network, engineering judgment, and the Lochlyn TIA:

- 60% to / from the south on Park Street
- 40% to / from the north on Park Street

Figure 4 shows the site trip distribution and assignment, and Figure 5 shows the build 2019 traffic volumes.

Mr. Tony Edwards  
Page 2 of 7

**Existing Roadway Conditions**

Park Street is a two-lane major collector with an average daily traffic (ADT) volume of approximately 11,000 vehicles per day, and a posted speed limit of 25 mph.

Davis Avenue is a two-lane local collector with an ADT volume of approximately 450 vehicles per day, and a posted speed limit of 25 mph.

MACAA Drive has an ADT volume of approximately 175 vehicles per day, and an unposted speed limit. For the purposes of this TIA, MACAA drive has an assumed speed limit of 25 mph.

**Collision Data Analysis**

Collision data was collected from the Virginia Department of Motor Vehicles (DMV) from January 1, 2013 to December 31, 2015 within 500 feet of the intersection of Park Street at MACAA Drive / Davis Avenue. In the past three years, there have been zero reported collisions within 500 feet of the study intersection.

**Sight Distance Evaluation**

The existing sight distance for drivers exiting MACAA Drive was measured in the field. Table 1 summarizes the sight distance requirements for driveways on two-lane roadways according to *A Policy on Geometric Design of Highways and Streets*, which is published by the American Association of State Highway and Transportation Officials (AASHTO).

Design Speed	Turn	Minimum Sight Distance	Actual Sight Distance
Park Street: 30 mph	Left	335 feet	260 feet*
	Right	290 feet	100 feet*

\* Existing sight distance is less than the required minimum.

At the intersection of Park Street at MACAA Drive, drivers exiting the site are able to see approximately 100 feet to the north, and 250 feet to the south. The applicant is planning to grade the property and realign the driveway directly across from Davis Avenue to achieve the required sight distance.

Enclosed for reference are photos taken at MACAA Drive looking in both directions.

**Background Traffic Growth**

Based on a review of the historical ADT's, the volumes on Park Street have not changed in the last five years. To be conservative, the existing 2017 peak hour traffic volumes were grown by an annual rate of 1.0% for two years and combined with the approved development volumes to estimate the 2019 no-build traffic volumes, which are shown in Figure 3.

Mr. Tony Edwards  
Page 5 of 7

**Turn Lane Warrant Analysis**

The AM and PM peak hour traffic volumes at the study intersection were compared to the turn lane warrants in the Virginia Department of Transportation (VDOT) *Access Management Design Standards for Entrances and Intersections*:

- A northbound left-turn lane on Park Street is warranted based on **existing** volumes
- A southbound right-turn lane on Park Street is **not** warranted based on **build-out** volumes

A northbound left-turn lane on Park Street is not recommended for the following reasons:

- The existing volumes already warrant a left-turn lane
- There is insufficient right-of-way across the property frontage, so the applicant would have to acquire property from several land owners
- There are no left- or right-turn lanes on Park Street between U.S. 250 Business (High Street) and Cutler Lane – a distance of approximately 1 mile
- The intersection geometry and sight distance will be improved with the proposed realignment of MACAA Drive
- The traffic model does not include the traffic signals on Park Street at the U.S. 250 Bypass interchange or at North Avenue. These traffic signals create gaps in the traffic flow on Park Street, which allows drivers to make left turns at MACAA Drive / Davis Avenue.

The turn lane warrant diagrams are enclosed for reference.

Mr. Tony Edwards  
Page 3 of 7

**Approved Development**

Based on discussion with the City, we understand there is one approved development near the site. A TIA for Lochlyn Hill was conducted by Engineering & Planning Resources, P.C. in June 2012. Lochlyn Hill is located in the south quadrant of the intersection of Pen Park Lane at Woodmont Drive and is expected to consist of 130 single family homes and 70 townhomes. The trip potential was based on the June 2012 TIA, and is shown in Figure 3. The neighborhood is partially built-out and the trip generation potential of the remaining units during a typical weekday, AM peak hour and PM peak hour was estimated using the methodologies published by the Institute of Transportation Engineers (ITE) *Trip Generation Manual – 9<sup>th</sup> Edition* is shown in Table 2.

Land Use (ITE Land Use Code)	Size	Average Daily Traffic (vpd)		AM Peak Hour (vph)		PM Peak Hour (vph)	
		Enter	Exit	Enter	Exit	Enter	Exit
<b>Proposed Land Uses</b>							
Single Family Detached Housing (210)	130 homes	619	619	25	73	82	48
Townhomes (230)	70 homes	236	236	7	32	30	15
<b>Existing Land Use</b>							
Single Family Detached Housing (210)	26 homes	-124	-124	-5	-15	-16	-10
<b>Net New External Trips</b>		<b>731</b>	<b>731</b>	<b>27</b>	<b>90</b>	<b>96</b>	<b>53</b>

Mr. Tony Edwards  
Page 6 of 7

**Traffic Capacity Analysis**

Traffic capacity analysis for the study intersection was performed using Synchro 9.1, which is a comprehensive software package that allows the user to model signalized and unsignalized intersections to determine levels-of-service based on the thresholds specified in the 2010 Highway Capacity Manual (HCM).

Table 4 summarizes the capacity analysis results for the unsignalized intersection of Park Street at MACAA Drive / Davis Avenue, and all of the Synchro output is enclosed for reference.

CONDITION	LANE GROUP	AM PEAK HOUR			PM PEAK HOUR		
		Lane LOS	Queue (ft)	Overall LOS (Delay)	Lane LOS	Queue (ft)	Overall LOS (Delay)
Existing 2017 Traffic Conditions	EBL/TR <sup>1</sup>	C	3	N/A <sup>3</sup>	B	0	N/A <sup>3</sup>
	WBL/TR <sup>1</sup>	B	5		C	8	
	NBL/TR <sup>2</sup>	A	3		A	0	
No-Build 2019 Traffic Conditions	EBL/TR <sup>1</sup>	C	3	N/A <sup>3</sup>	B	3	N/A <sup>3</sup>
	WBL/TR <sup>1</sup>	C	8		C	8	
	NBL/TR <sup>2</sup>	A	3		A	0	
Build 2019 Traffic Conditions	EBL/TR <sup>1</sup>	C	10	N/A <sup>3</sup>	C	10	N/A <sup>3</sup>
	WBL/TR <sup>1</sup>	C	8		C	8	
	NBL/TR <sup>2</sup>	A	3		A	0	

1. Level of service for minor approach  
2. Level of service for major street left-turn movement  
3. HCM methodology does not provide lane group or overall LOS, delay, and queue lengths for major street through movements or right turns at unsignalized intersections.

Capacity analysis indicates that all movements at this intersection are projected to operate with short delays (less than 25 seconds) during the AM and PM peak hours under all scenarios, with a queue length of one vehicle or less.

**Recommendation**

The study intersection is expected to operate acceptably at build-out of the site with the following improvement:

- Realign MACAA Drive directly across from Davis Avenue, and grade the property frontage as needed to achieve adequate sight distance to allow eastbound left-turns out of the site.

Figure 5 shows the recommended lane configuration.

MACAA Intergenerational  
Education Campus  
Charlottesville, VA

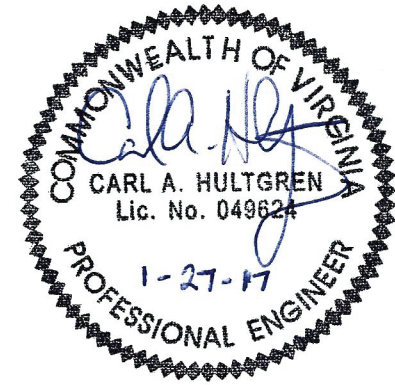


P.U.D. Development Plan

Park Street  
Traffic Impact Analysis

We appreciate your attention to this matter. Please contact me at (804) 217-8560 if you have any questions about this report.

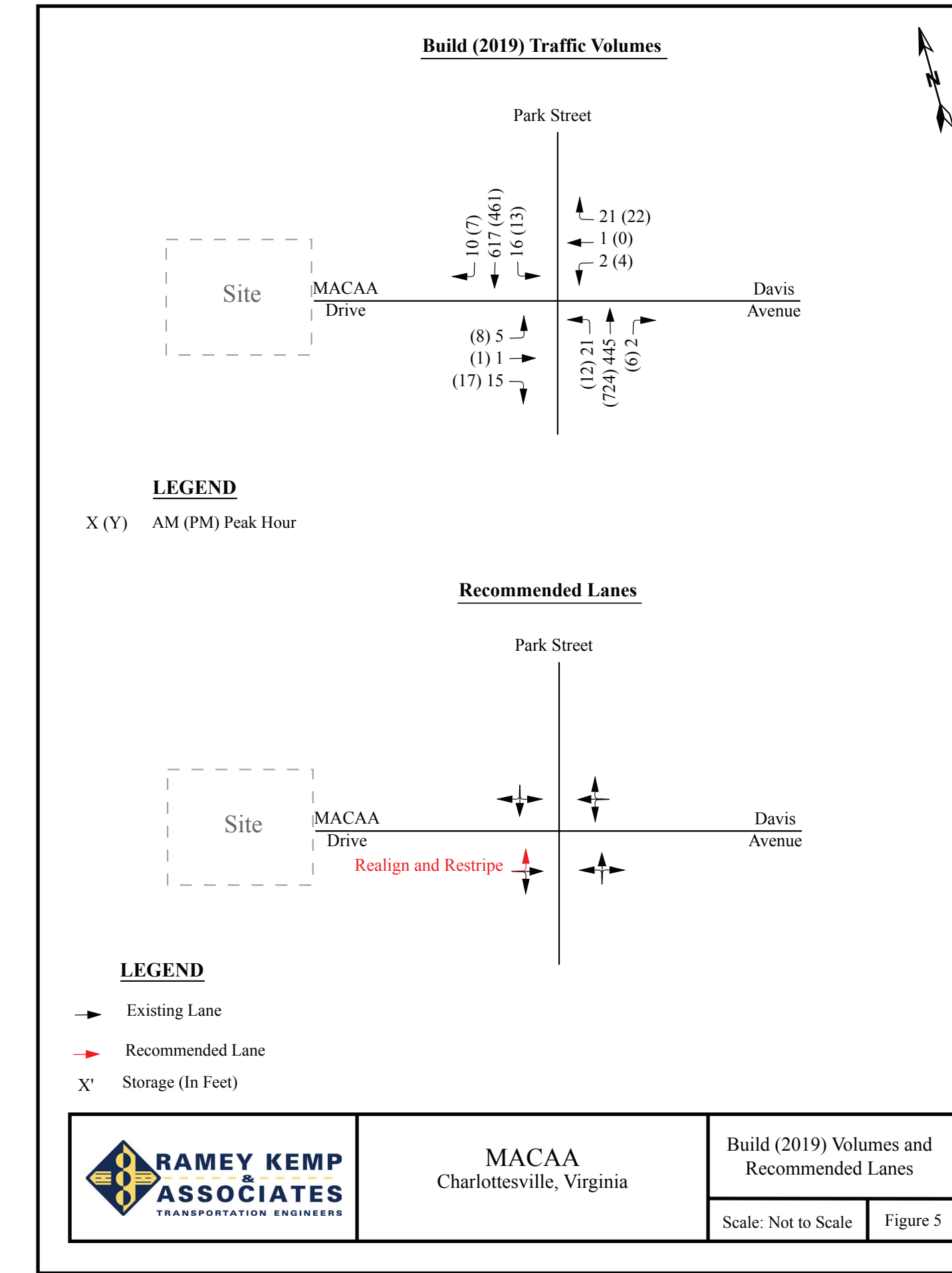
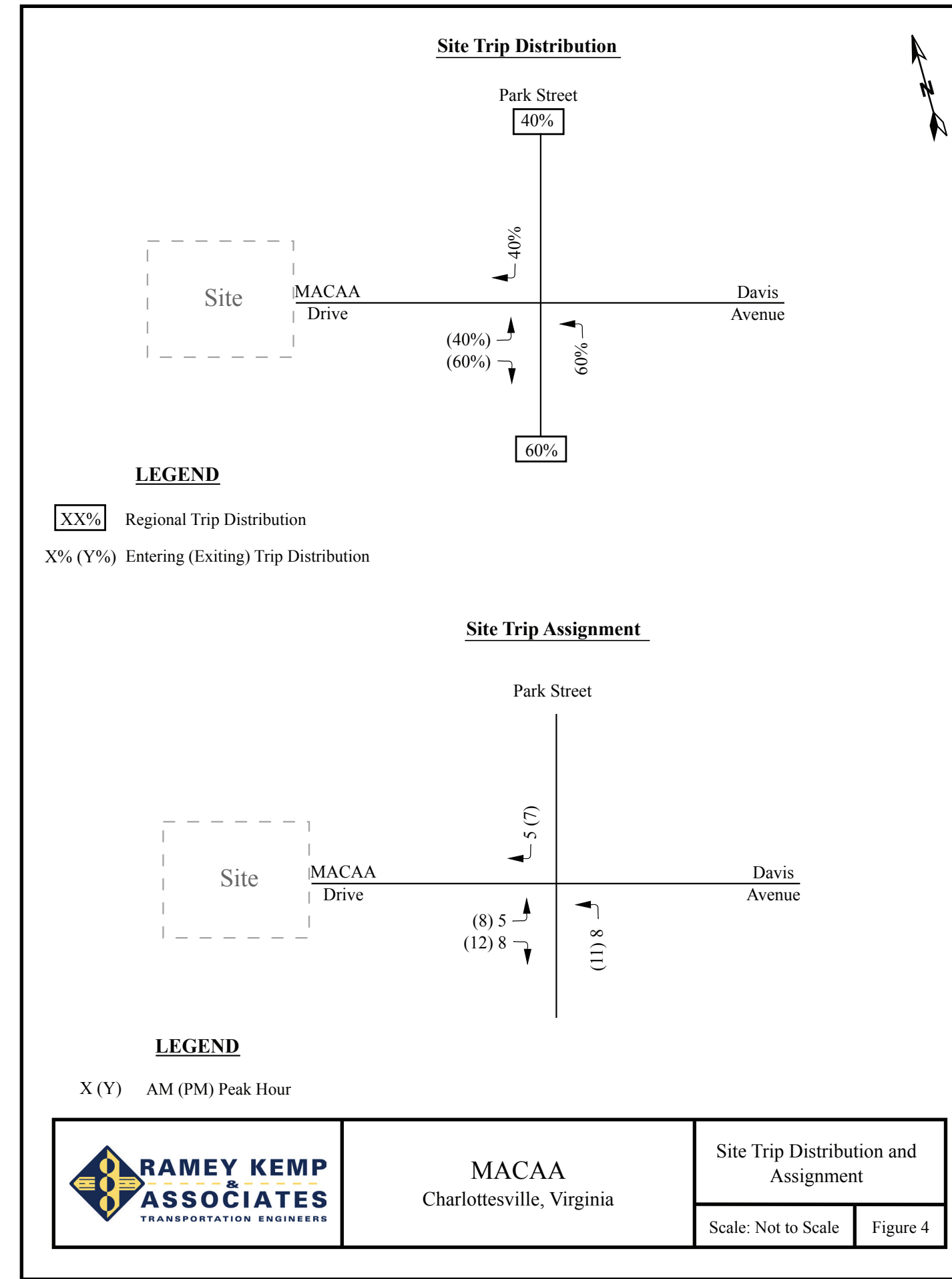
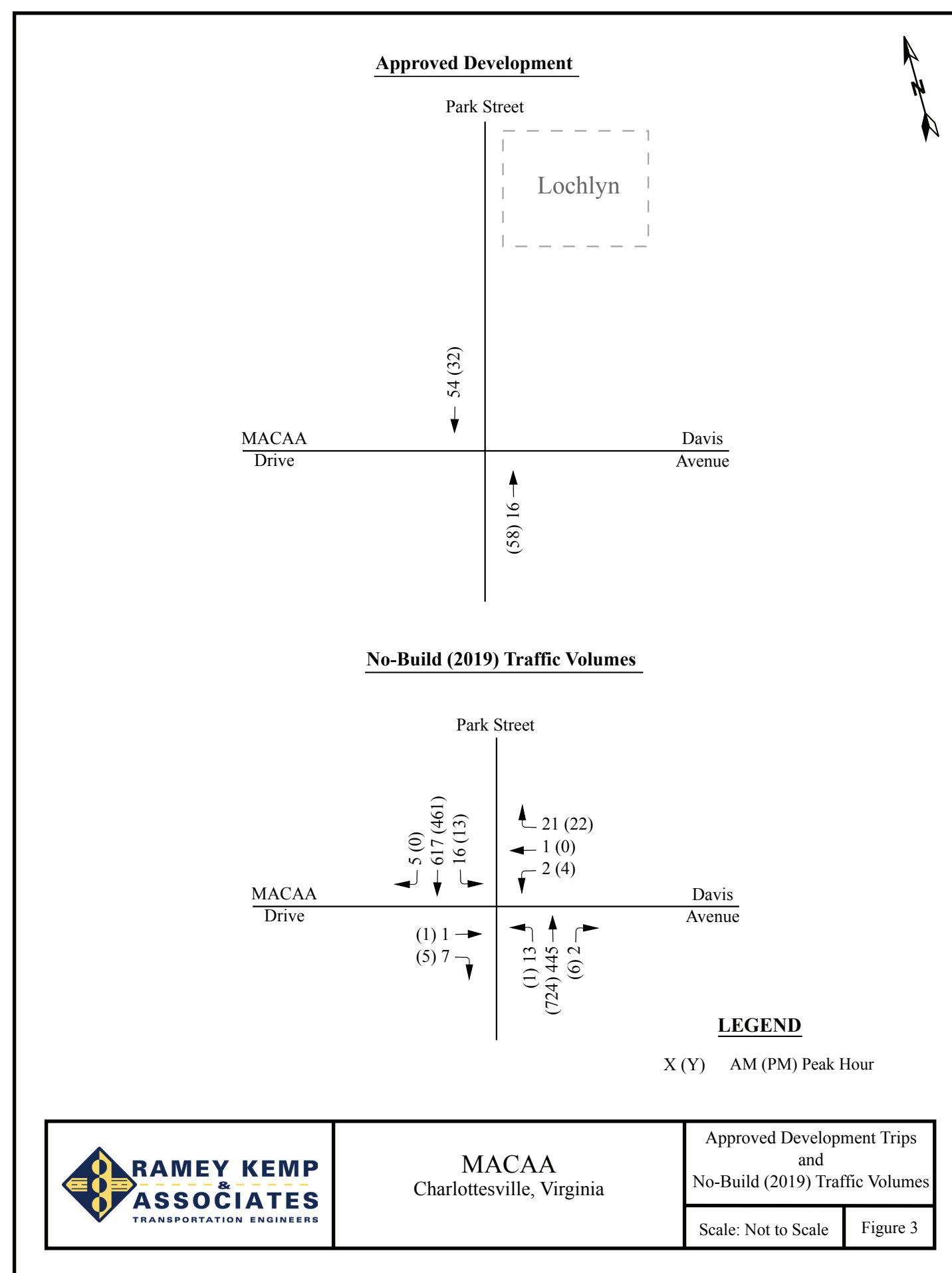
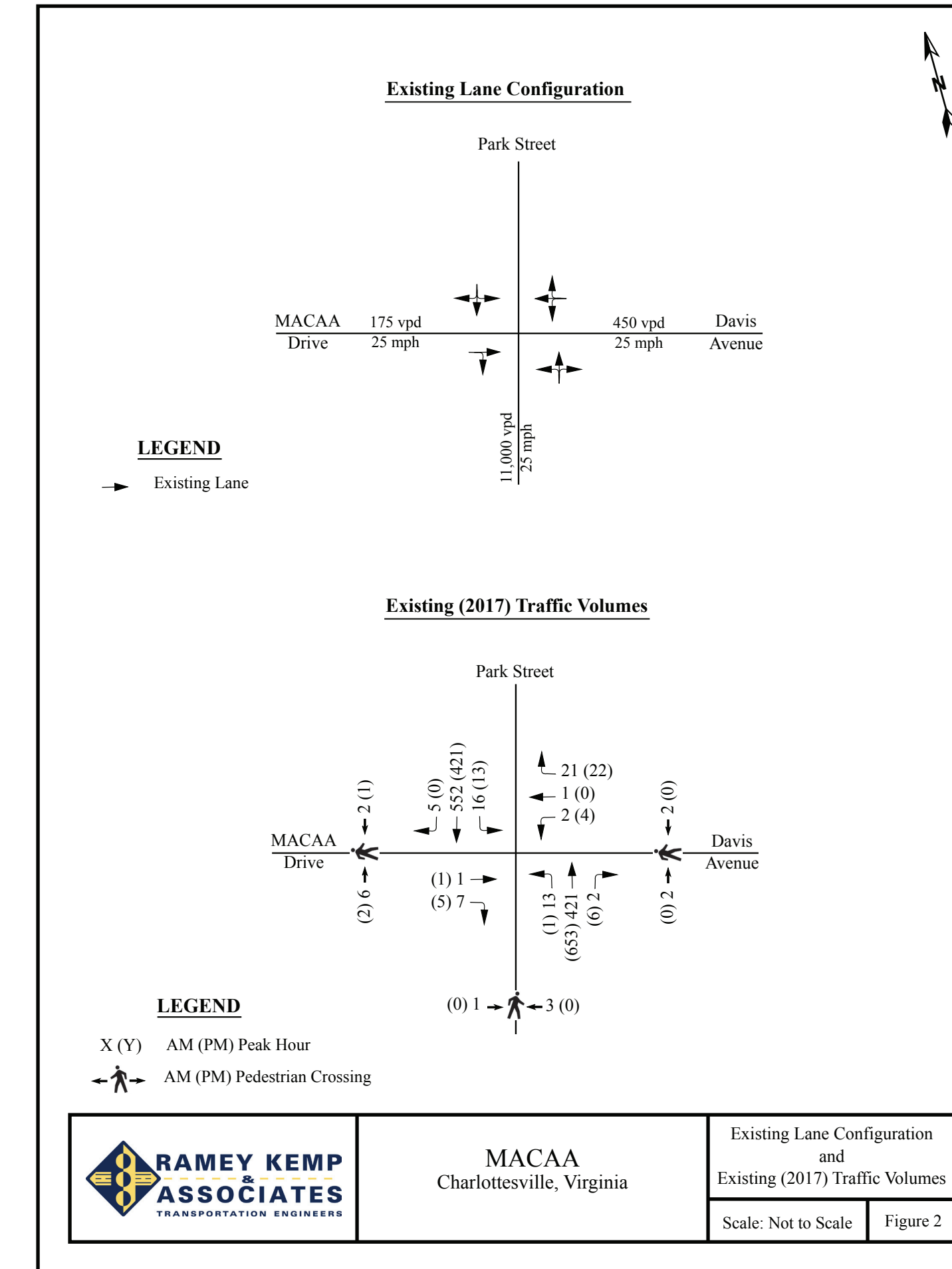
Sincerely yours,  
Ramey Kemp & Associates, Inc.



Carl Hultgren, P.E., PTOE  
Regional Manager

Enclosures: Figures, Traffic count data, Sight distance photos, Turn lane warrant diagrams, Synchro output

Copy to: Mr. Bruce Hedrick, New Millennium Senior Living Communities  
Mr. Bill Mechnick, LPDA, Inc.  
Mr. Greg Winkler, W&W Design



MACAA Intergenerational  
Education Campus  
Charlottesville, VA



P.U.D. Development Plan

Park Street  
Traffic Impact Analysis

Counted By: Lee  
Weather: Clear  
Equipment ID: 3295

File Name : Park St at MACAA Dr - Davis Ave - AM  
Site Code : 00000001  
Start Date : 1/19/2017  
Page No : 1

Counted By: Lee  
Weather: Clear  
Equipment ID: 3295

File Name : Park St at MACAA Dr - Davis Ave - PM  
Site Code : 00000002  
Start Date : 1/19/2017  
Page No : 1

Start Time	Park Street Southbound				Davis Avenue Westbound				Park Street Northbound				Macaa Drive Eastbound				Int. Total			
	Right	Thru	Left	Peds	Right	Thru	Left	Peds	Right	Thru	Left	Peds	Right	Thru	Left	Peds				
07:00 AM	0	44	0	0	1	0	0	0	1	0	0	0	0	0	0	0	2	98		
07:15 AM	0	78	0	1	7	0	0	0	7	1	81	0	3	85	0	0	0	171		
07:30 AM	0	109	0	1	110	3	0	1	0	4	95	2	0	97	0	0	0	211		
07:45 AM	0	163	2	0	165	8	0	1	3	12	0	157	1	0	0	0	1	335		
Total	0	394	2	2	398	19	0	2	3	24	1	382	2	5	390	1	0	2	815	
08:00 AM	2	149	10	1	162	6	0	1	0	7	0	82	4	3	89	1	0	0	260	
08:15 AM	2	102	2	1	107	3	1	0	0	4	1	96	7	3	107	4	0	0	222	
08:30 AM	1	138	2	0	141	4	0	0	0	4	1	88	2	0	91	1	0	0	238	
08:45 AM	2	140	5	0	147	5	1	4	0	10	0	102	6	0	108	5	0	0	270	
Total	7	529	19	2	557	18	2	5	0	25	2	368	19	6	395	11	0	1	13	990
Grand Total	7	923	21	4	955	37	2	7	3	49	3	750	21	11	785	12	0	1	3	1805
Approach %	0.7	96.6	2.2	0.4	75.5	4.1	14.3	6.1	0.4	95.5	2.7	1.4	75	0	6.2	16.8	0	0	0	18.8
Total %	0.4	51.1	1.2	0.2	52.9	2	0.1	0.4	0.2	2.7	0.2	41.6	1.2	0.6	43.5	0.7	0	0.1	0.2	0.9

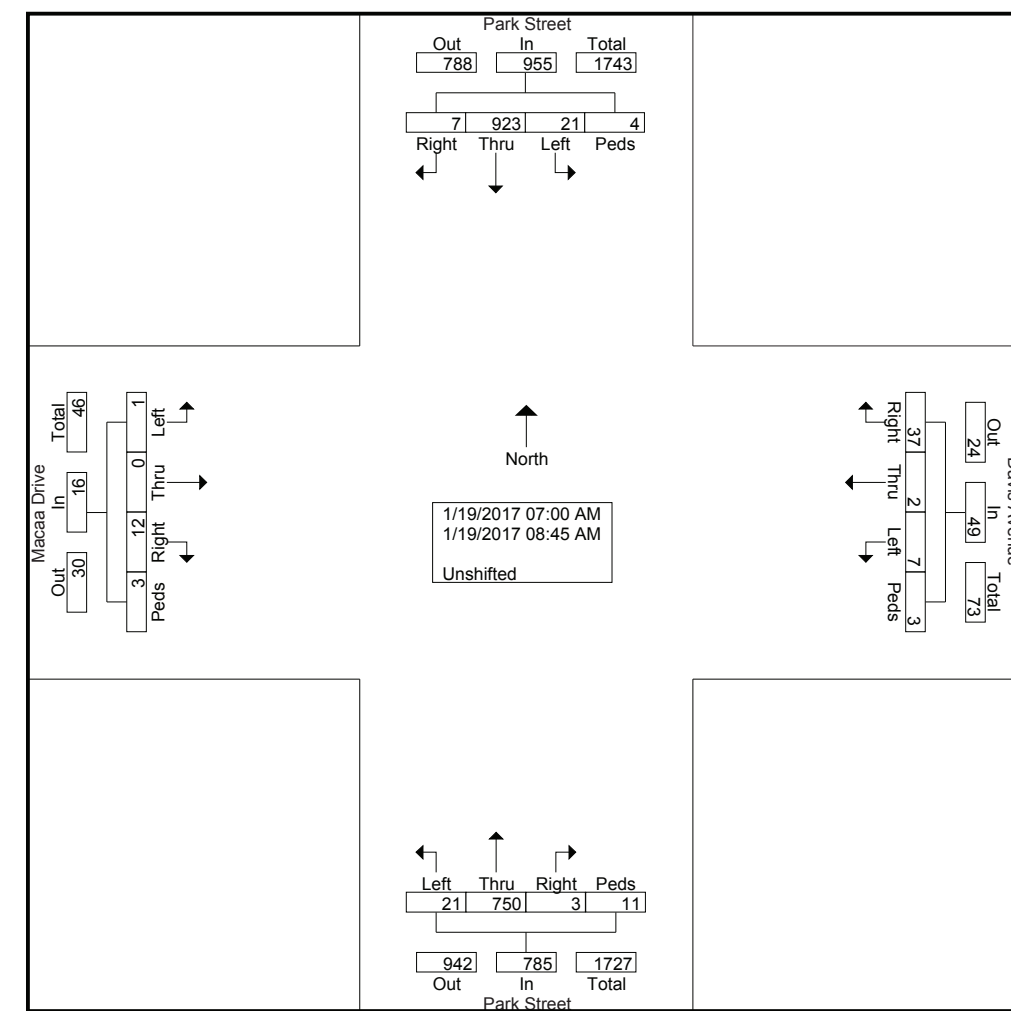
Start Time	Park Street Southbound				Davis Avenue Westbound				Park Street Northbound				Macaa Drive Eastbound				Int. Total				
	Right	Thru	Left	Peds	Right	Thru	Left	Peds	Right	Thru	Left	Peds	Right	Thru	Left	Peds					
02:00 PM	0	71	1	0	72	3	0	1	0	4	1	84	0	0	85	3	0	0	3	164	
02:15 PM	1	73	1	0	75	3	0	1	0	4	0	72	4	0	76	2	0	0	0	157	
02:30 PM	3	73	2	0	78	1	0	0	0	1	0	106	1	1	108	2	0	1	0	190	
02:45 PM	1	97	1	0	99	2	0	1	0	3	0	138	3	0	141	5	0	0	0	248	
Total	5	314	5	0	324	9	0	3	0	12	1	400	8	1	410	12	0	1	0	759	
03:00 PM	0	94	2	0	96	6	0	0	0	6	0	96	3	0	99	5	0	0	0	206	
03:15 PM	0	139	6	1	146	3	0	1	0	4	3	125	1	1	130	5	0	0	0	285	
03:30 PM	0	93	2	0	95	1	0	1	0	2	1	100	0	0	101	1	0	0	1	200	
03:45 PM	0	105	3	0	108	3	0	1	0	4	0	109	1	0	110	3	0	0	1	226	
Total	0	431	13	1	445	13	0	3	0	16	4	430	5	1	440	14	0	0	2	917	
04:00 PM	0	84	1	1	86	2	0	0	0	2	0	116	0	0	116	0	0	0	1	205	
04:15 PM	1	89	1	1	92	2	0	1	1	4	1	131	0	1	133	1	0	1	1	232	
04:30 PM	0	91	2	0	93	5	0	0	1	6	1	150	0	1	152	5	0	0	0	256	
04:45 PM	0	111	7	0	118	1	0	2	0	3	1	133	0	0	134	1	0	0	0	256	
Total	1	375	11	2	389	10	0	3	2	15	3	530	0	2	535	7	0	1	2	949	
05:00 PM	0	117	1	0	118	7	0	1	0	8	1	167	1	2	171	2	0	1	0	300	
05:15 PM	0	105	5	0	110	5	0	1	0	6	0	183	0	0	183	1	0	0	0	300	
05:30 PM	0	88	0	1	89	9	0	0	1	10	4	170	0	0	174	1	0	0	0	274	
05:45 PM	0	94	2	1	97	6	0	1	0	7	1	122	1	0	124	0	0	0	0	228	
Total	0	404	8	2	414	27	0	3	1	31	6	642	2	2	652	4	0	1	0	5	1102
Grand Total	6	1524	37	5	1572	59	0	12	3	74	14	2002	15	6	2037	37	0	3	4	44	3727
Approach %	0.4	96.9	2.4	0.3	79.7	0	16.2	4.1	0	0.7	96.3	0.7	0.3	84.1	0	6.8	9.1	0	0	1.2	
Total %	0.2	40.9	1	0.1	42.2	1.6	0	0.3	0.1	2	0.4	53.7	0.4	0.2	54.7	1	0	0.1	0.1	1.2	



Exhibit 1 - Looking to the north on Park Street at MACAA Drive



Exhibit 2 - Looking to the south on Park Street at MACAA Drive



Park Street at MACAA Drive / Davis Drive  
Northbound Left-Turn Lane Warrant  
Existing (2017) Volumes

F-78

Park Street at MACAA Drive / Davis Drive  
Southbound Right-Turn Lane Warrant  
Build (2019) Volumes

F-96

WARRANT FOR LEFT-TURN STORAGE LANES ON TWO-LANE HIGHWAY

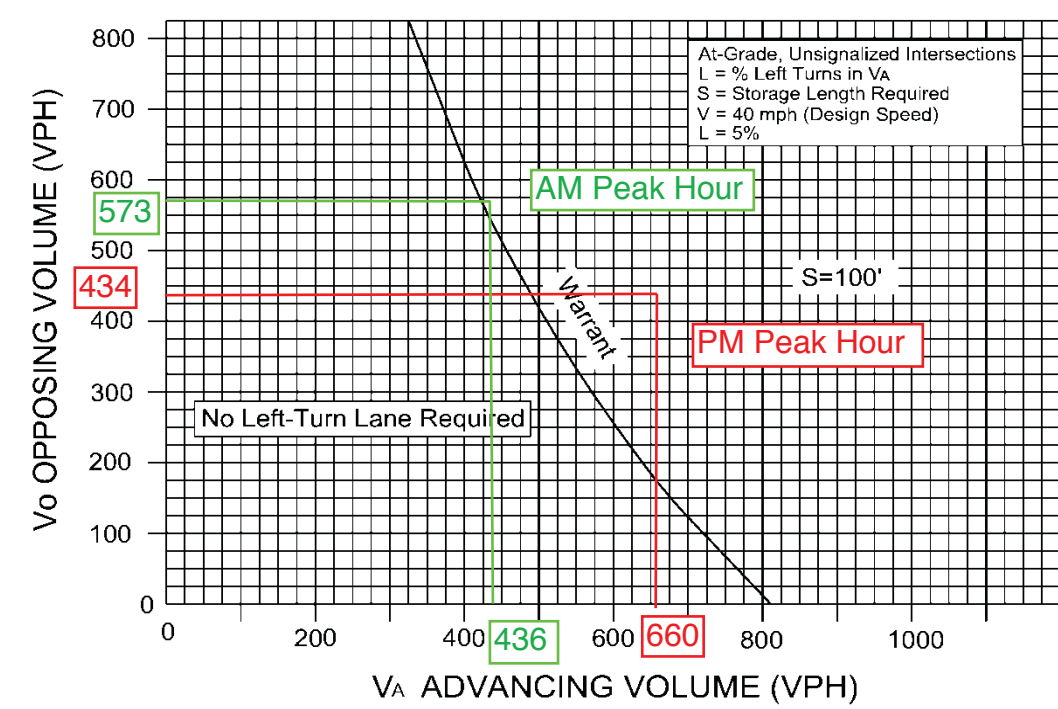


FIGURE 3-5

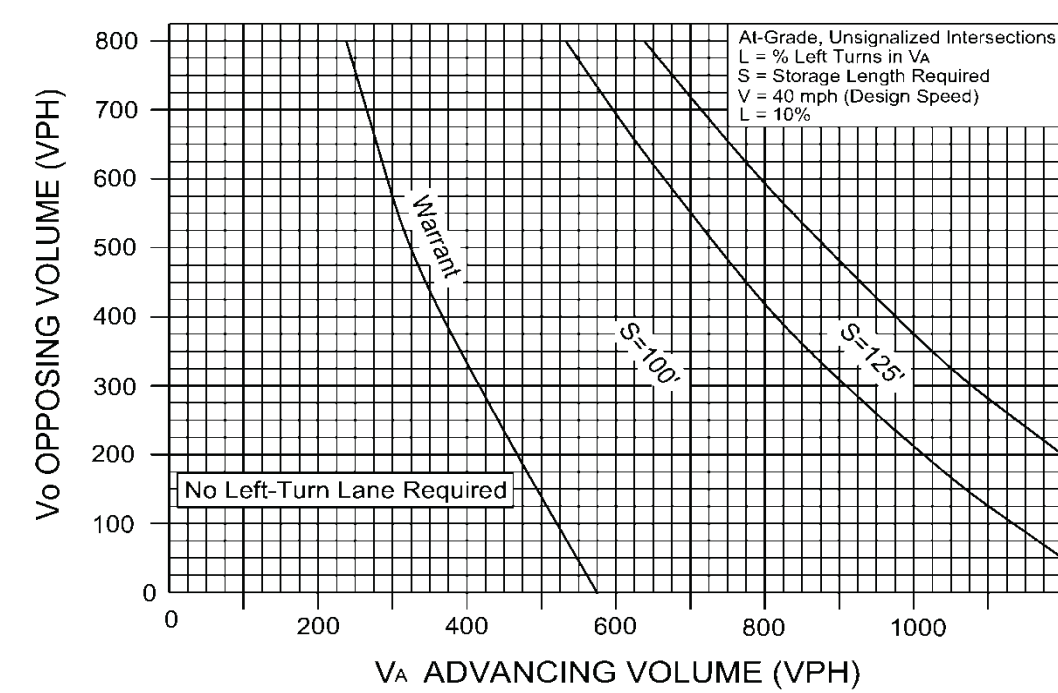
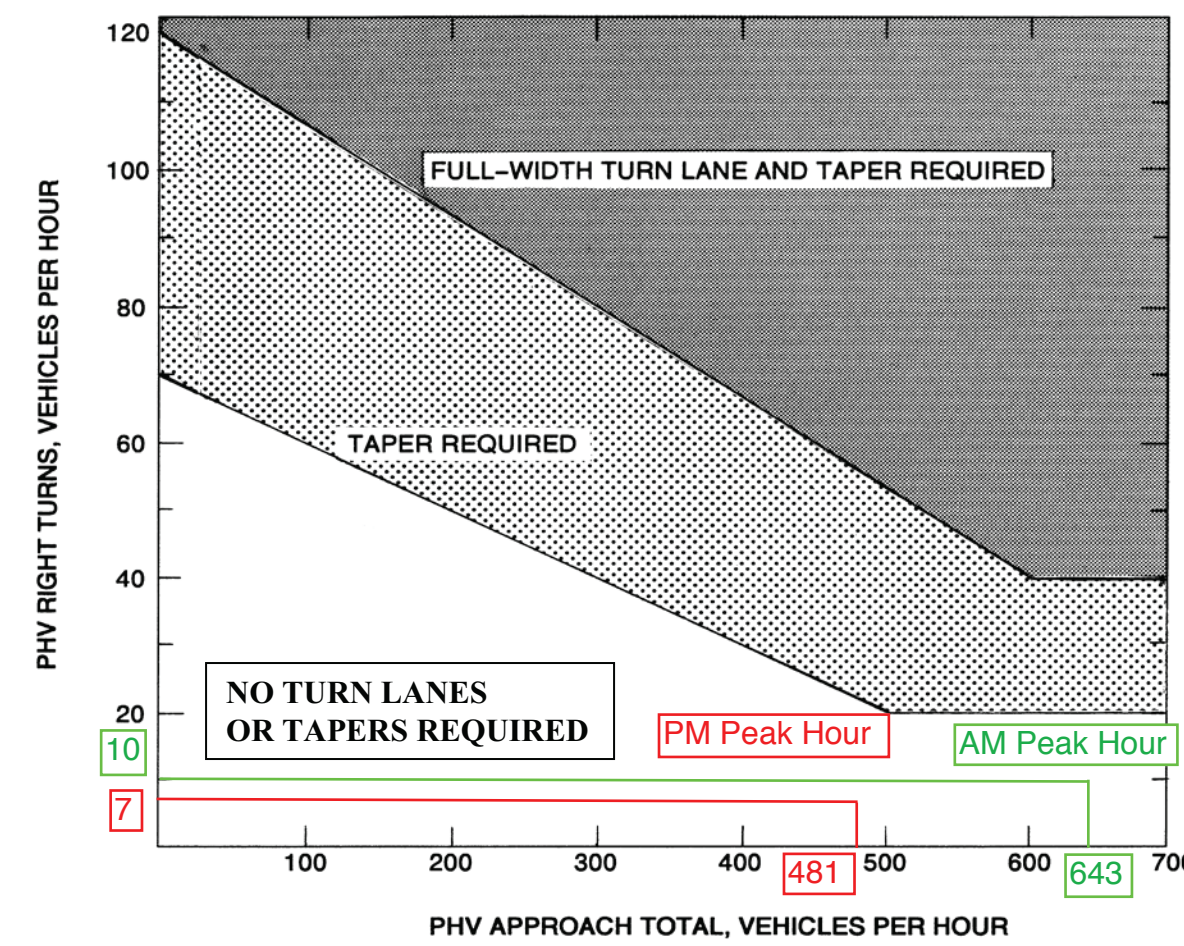


FIGURE 3-6



Appropriate Radius required at all Intersections and Entrances (Commercial or Private).

**LEGEND**  
PHV - Peak Hour Volume (also Design Hourly Volume equivalent)

**Adjustment for Right Turns**

For posted speeds at or under 45 mph, PHV right turns > 40, and PHV total < 300.  
Adjusted right turns = PHV Right Turns - 20  
If PHV is not known use formula: PHV = ADT x K x D  
K = the percent of AADT occurring in the peak hour  
D = the percent of traffic in the peak direction of flow  
Note: An average of 11% for K x D will suffice.

When right turn facilities are warranted, see Figure 3-1 for design criteria.  
**FIGURE 3-26 WARRANTS FOR RIGHT TURN TREATMENT (2-LANE HIGHWAY)**

MACAA - Charlottesville, VA  
1: Park Street & MACAA Drive/Davis Avenue

Existing (2017) Conditions  
Timing Plan: AM Peak Hour

Intersection		Existing (2017) Conditions											
Int Delay, s/veh		Timing Plan: AM Peak Hour											
0.7													
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR	
Lane Configurations	T	T	T	T	T	T	T	T	T	T	T	T	
Traffic Vol, veh/h	0	1	7	2	1	21	13	421	2	16	552	5	
Future Vol, veh/h	0	1	7	2	1	21	13	421	2	16	552	5	
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0	
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free	
RT Channelized	-	-	-	-	-	-	-	-	-	-	-	-	
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-	
Veh in Median Storage, #	-	-	-	-	-	-	-	-	-	-	-	-	
Grade, %	-	-	-	-	-	-	-	-	-	-	-	-	
Peak Hour Factor	79	79	79	79	79	79	79	79	79	79	79	79	
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2	
Mvmt Flow	0	1	9	3	1	27	16	533	3	20	699	6	
Major/Minor	Minor2			Minor1			Major1			Major2			
Conflicting Flow All	-	1310	702	-	1314	1313	534	-	705	0	0	535	0
Stage 1	-	742	-	-	567	567	-	-	-	-	-	-	-
Stage 2	-	568	-	-	747	746	-	-	-	-	-	-	-
Critical Hdwy Stg 1	-	6.52	6.22	-	7.12	6.52	6.22	-	4.12	-	-	4.12	-
Critical Hdwy Stg 2	-	5.52	-	-	6.12	5.52	-	-	-	-	-	-	-
Follow-up Hdwy	-	4.018	3.318	-	3.518	4.018	3.318	-	2.218	-	-	2.218	-
Pot Cap-1 Maneuver	0	159	438	-	135	158	546	-	893	-	-	1033	-
Stage 1	0	422	-	-	508	507	-	-	-	-	-	-	-
Stage 2	0	506	-	-	405	421	-	-	-	-	-	-	-
Platoon blocked, %	-	150	438	-	126	149	546	-	893	-	-	1033	-
Mov Cap-1 Maneuver	-	150	-	-	126	149	-	-	-	-	-	-	-
Mov Cap-2 Maneuver	-	408	-	-	495	494	-	-	-	-	-	-	-
Stage 1	-	493	-	-	383	408	-	-	-	-	-	-	-
Stage 2	-	493	-	-	383	408	-	-	-	-	-	-	-
Approach	EB			WB			NB			SB			
HCM Control Delay, s	15.5			14.9			0.3			0.2			
HCM LOS	C			B									
Minor Lane/Major Mvmt	NBL	NBT	NBR	EBL	EBT	EBR	SBL	SBT	SBR				
Capacity (veh/h)	893	-	-	353	393	1033	-	-	-				
HCM Lane V/C Ratio	0.018	-	-	0.029	0.077	0.02	-	-	-				
HCM Control Delay (s)	9.1	0	-	15.5	14.9	8.6	0	-	-				
HCM Lane LOS	A	A	-	C	B	A	A	-	-				
HCM 95th %ile Q(veh)	0.1	-	-	0.1	0.2	0.1	-						



Intersection												
Int Delay, s/veh 0.6												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	↔			↔			↔			↔		
Traffic Vol, veh/h	0	1	5	4	1	22	1	653	6	13	421	1
Future Vol, veh/h	0	1	5	4	1	22	1	653	6	13	421	1
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	93	93	93	93	93	93	93	93	93	93	93	93
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	0	1	5	4	1	24	1	702	6	14	453	1

Major/Minor	Minor2	Minor1	Major1	Major2
Conflicting Flow All	- 1192 453	1192 1190 705	454 0 0	709 0 0
Stage 1	- 481 -	708 708 -	- - -	- - -
Stage 2	- 711 -	484 482 -	- - -	- - -
Critical Hdwy	- 6.52 6.22	7.12 6.52 6.22	4.12 - -	4.12 - -
Critical Hdwy Stg 1	- 5.52 -	6.12 5.52 -	- - -	- - -
Critical Hdwy Stg 2	- 5.52 -	6.12 5.52 -	- - -	- - -
Follow-up Hdwy	- 4.018 3.318	3.518 4.018 3.318	2.218 - -	2.218 - -
Pot Cap-1 Maneuver	0 187 607	164 188 436	1107 - -	890 - -
Stage 1	0 554 -	426 438 -	- - -	- - -
Stage 2	0 436 -	564 553 -	- - -	- - -
Platoon blocked, %	-	-	-	-
Mov Cap-1 Maneuver	- 183 607	159 184 436	1107 - -	890 - -
Mov Cap-2 Maneuver	- 183 -	159 184 -	- - -	- - -
Stage 1	- 542 -	426 438 -	- - -	- - -
Stage 2	- 436 -	546 541 -	- - -	- - -

Approach	EB	WB	NB	SB
HCM Control Delay, s	13.3	16.8	0	0.3
HCM LOS	B	C		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR
Capacity (veh/h)	1107	-	-	438	333	890	-	-
HCM Lane V/C Ratio	0.001	-	-	0.015	0.087	0.016	-	-
HCM Control Delay (s)	8.3	0	-	13.3	16.8	9.1	0	-
HCM Lane LOS	A	A	-	B	C	A	A	-
HCM 95th %tile Q(veh)	0	-	-	0	0.3	0	-	-

Intersection												
Int Delay, s/veh 1.1												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	↔			↔			↔			↔		
Traffic Vol, veh/h	5	1	15	2	1	21	21	445	2	16	617	10
Future Vol, veh/h	5	1	15	2	1	21	21	445	2	16	617	10
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	79	79	79	79	79	79	79	79	79	79	79	79
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	6	1	19	3	1	27	27	563	3	20	781	13

Major/Minor	Minor2	Minor1	Major1	Major2
Conflicting Flow All	1460 1447 787	1456 1452 565	794 0 0	566 0 0
Stage 1	826 826 -	618 618 -	- - -	- - -
Stage 2	632 619 -	638 634 -	- - -	- - -
Critical Hdwy	7.12 6.52 6.22	7.12 6.52 6.22	4.12 - -	4.12 - -
Critical Hdwy Stg 1	6.12 5.52 -	6.12 5.52 -	- - -	- - -
Critical Hdwy Stg 2	6.12 5.52 -	6.12 5.52 -	- - -	- - -
Follow-up Hdwy	3.518 4.018 3.318	3.518 4.018 3.318	2.218 - -	2.218 - -
Pot Cap-1 Maneuver	107 131 392	108 130 524	827 - -	1006 - -
Stage 1	365 386 -	477 481 -	- - -	- - -
Stage 2	468 480 -	361 383 -	- - -	- - -
Platoon blocked, %	-	-	-	-
Mov Cap-1 Maneuver	94 120 392	96 119 524	827 - -	1006 - -
Mov Cap-2 Maneuver	94 120 -	96 119 -	- - -	- - -
Stage 1	347 372 -	454 458 -	- - -	- - -
Stage 2	422 457 -	330 369 -	- - -	- - -

Approach	EB	WB	NB	SB
HCM Control Delay, s	24.6	16.4	0.4	0.2
HCM LOS	C	C		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR
Capacity (veh/h)	827	-	-	210	346	1006	-	-
HCM Lane V/C Ratio	0.032	-	-	0.127	0.088	0.02	-	-
HCM Control Delay (s)	9.5	0	-	24.6	16.4	8.7	0	-
HCM Lane LOS	A	A	-	C	C	A	A	-
HCM 95th %tile Q(veh)	0.1	-	-	0.4	0.3	0.1	-	-

Intersection												
Int Delay, s/veh 0.7												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	↔			↔			↔			↔		
Traffic Vol, veh/h	0	1	7	2	1	21	13	445	2	16	617	5
Future Vol, veh/h	0	1	7	2	1	21	13	445	2	16	617	5
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	79	79	79	79	79	79	79	79	79	79	79	79
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	0	1	9	3	1	27	16	563	3	20	781	6

Major/Minor	Minor2	Minor1	Major1	Major2
Conflicting Flow All	- 1424 784	1427 1425 565	787 0 0	566 0 0
Stage 1	- 825 -	597 597 -	- - -	- - -
Stage 2	- 599 -	830 828 -	- - -	- - -
Critical Hdwy	- 6.52 6.22	7.12 6.52 6.22	4.12 - -	4.12 - -
Critical Hdwy Stg 1	- 5.52 -	6.12 5.52 -	- - -	- - -
Critical Hdwy Stg 2	- 5.52 -	6.12 5.52 -	- - -	- - -
Follow-up Hdwy	- 4.018 3.318	3.518 4.018 3.318	2.218 - -	2.218 - -
Pot Cap-1 Maneuver	0 136 393	113 136 524	832 - -	1006 - -
Stage 1	0 387 -	490 491 -	- - -	- - -
Stage 2	0 490 -	364 386 -	- - -	- - -
Platoon blocked, %	-	-	-	-
Mov Cap-1 Maneuver	- 128 393	104 128 524	832 - -	1006 - -
Mov Cap-2 Maneuver	- 128 -	104 128 -	- - -	- - -
Stage 1	- 373 -	476 477 -	- - -	- - -
Stage 2	- 476 -	342 372 -	- - -	- - -

Approach	EB	WB	NB	SB
HCM Control Delay, s	16.9	16	0.3	0.2
HCM LOS	C	C		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR
Capacity (veh/h)	832	-	-	312	358	1006	-	-
HCM Lane V/C Ratio	0.02	-	-	0.032	0.085	0.02	-	-
HCM Control Delay (s)	9.4	0	-	16.9	16	8.7	0	-
HCM Lane LOS	A	A	-	C	C	A	A	-
HCM 95th %tile Q(veh)	0.1	-	-	0.1	0.3	0.1	-	-

Intersection												
Int Delay, s/veh 1												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	↔			↔			↔			↔		
Traffic Vol, veh/h	8	1	17	4	1	22	12	724	6	13	461	7
Future Vol, veh/h	8	1	17	4	1	22	12	724	6	13	461	7
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	93	93	93	93	93	93	93	93	93	93	93	93
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	9	1	18	4	1	24	13	778	6	14	496	8

Major/Minor	Minor2	Minor1	Major1	Major2
Conflicting Flow All	1347 1338 499	1345 1339 782	503 0 0	785 0 0
Stage 1	527 527 -	808 808 -	- - -	- - -
Stage 2	820 811 -	537 531 -	- - -	- - -
Critical Hdwy	7.12 6.52 6.22	7.12 6.52 6.22	4.12 - -	4.12 - -
Critical Hdwy Stg 1	6.12 5.52 -	6.12 5.52 -	- - -	- - -
Critical Hdwy Stg 2	6.12 5.52 -	6.12 5.52 -	- - -	- - -
Follow-up Hdwy	3.518 4.018 3.318	3.518 4.018 3.318	2.218 - -	2.218 - -
Pot Cap-1 Maneuver	128 153 572	129 153 394	1061 - -	834 - -
Stage 1	535 528 -	375 394 -	- - -	- - -
Stage 2	369 393 -	528 526 -	- - -	- - -
Platoon blocked, %	-	-	-	-
Mov Cap-1 Maneuver	116 146 572	120 146 394	1061 - -	834 - -
Mov Cap-2 Maneuver				

# MAACA REZONING- PRELIMINARY STORMWATER MANAGEMENT CALCULATIONS PACKET

Date of Calculations  
**MARCH 28, 2017**

PREPARED BY:



200 GARRETT STREET, SUITE K  
 CHARLOTTEVILLE, VA 22902

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 434.293.2813 FX  
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Soils Mapping (Source: NRCS Web Soil Survey Online Database)



Soils Table (Source: NRCS Web Soil Survey Online Database)

Map Unit Legend		
Charlottesville City, Virginia (VA540)		
Map Unit Symbol	Map Unit Name	Percent of AOI
16	Chewacla silt loam	5.2%
48E	Louisburg very stony sandy loam, 25 to 45 percent slopes	13.6%
91	Urban land	0.8%
121B	Culpeper - Urban land complex, 2 to 7 percent slopes	23.8%
121C	Culpeper - Urban land complex, 7 to 15 percent slopes	56.5%
<b>Totals for Area of Interest</b>		<b>100.0%</b>

Note: Soils' properties are predominantly composed of hydrologic type C soils.

## Stormwater Management Narrative/Summary:

The proposed development will improve the runoff rates, volumes and velocities resulting from this development prior to being released offsite. A treatment train consisting of 5 different practices will treat pollutants at their source with small integrated subareas, in keeping with low impact development practices. Level I permeable pavers, curb cuts and a dry swale will be utilized within the development and will blend harmoniously with their surroundings. A level I downstream extended detention basin will also be utilized, providing both stormwater quality and quantity treatment downstream from these practices. The best management practice of preserved forest and open spaces will also be used, along with the best management practice of purchasing nutrient credits. Through the use of these (5) five different measures stormwater compliance will be met. Please see the following preliminary stormwater management calculations for additional information.

### Overview:

The proposed development will comply with part IIB requirements. Both storm water quality and quantity requirements will be met and runoff rates, volumes and velocities resulting from this development will be improved prior to being released. Please see the attached preliminary stormwater management calculations for evidence of this.

### Stormwater Quantity:

A downstream, strategically located proposed level I extended detention basin will treat the runoff for this development. It is anticipated that the SCS 24-hr. Peak 1-yr. design outflow will be 20% less than ( $Q_{pre-dev.} \times RV_{pre-dev.} / RV_{dev.}$ ). In all circumstances, stormwater quantity compliance will adhere to the requirements set forth in section 9 VAC 25-870-66. Please see the following preliminary stormwater management calculations for additional information.

### Stormwater Quality:

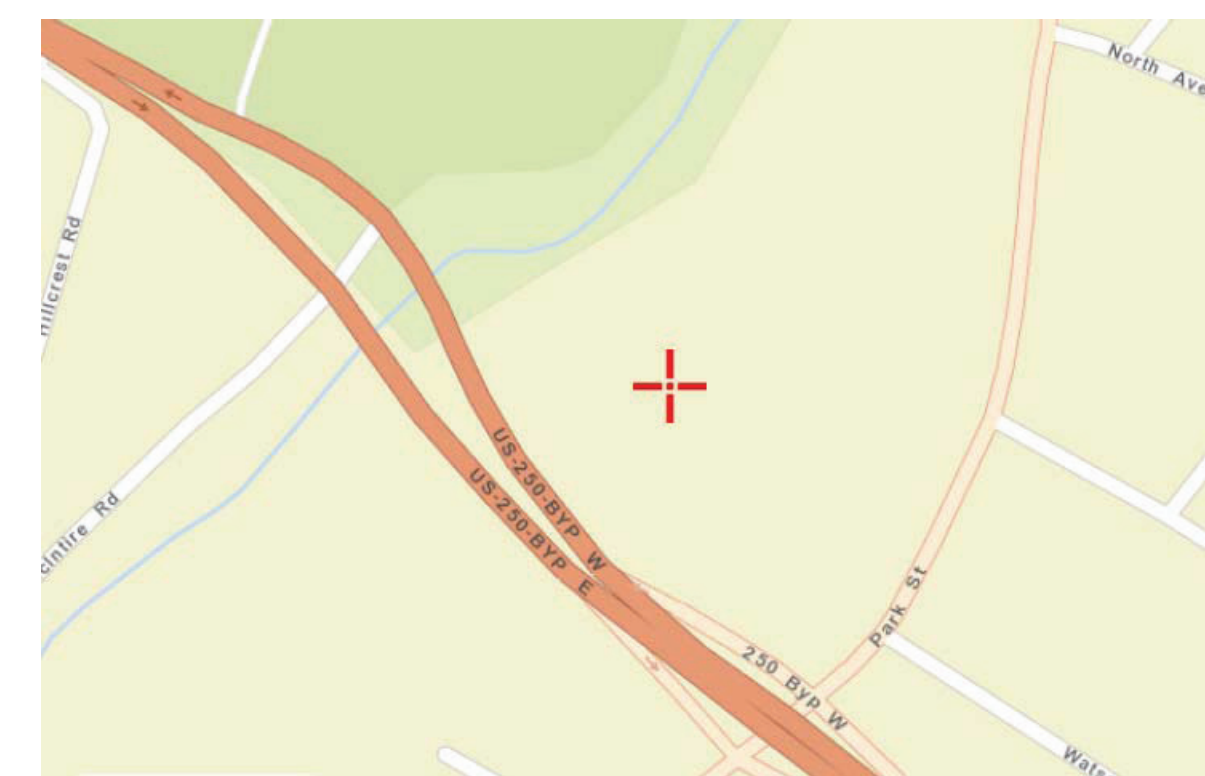
Stormwater quality for this development is achieved through the implementation of (5) Best Management Practices. A level I proposed permeable paver parking lot is proposed providing immediate upland treatment, consistent with LID practices which treat runoff at the source. A secondary dry swale facility in this treatment train is downstream from the permeable pavers and provides additional treatment. A proposed level I extended detention basin is below these two initial facilities and will provide supplemental phosphorous removal. The installation of this facility will require minimal disturbances by its use of a constructed embankment along an oversized swale. This limited construction technique is also in keeping with LID practices and conforms to the existing terrain. This design approach also capitalizes and preserves existing vegetation along the route 250 bypass, in keeping with Environmental Site Design Techniques listed in the current Virginia Stormwater Management Handbook. Downstream from these three stormwater management facilities is a fourth best management practice. The best management practice of preserved forest and open spaces will be used adjacent to the Scheniks Branch. This too is in line with the current VSMH Environmental Site Design Techniques. A proposed preservation easement will be recorded with this development and its language will prohibit future development and land disturbances within the easement. After the use of these four BMPs a fifth and final BMP will be implemented. The developer will purchase any remaining nutrient credits required to meet the minimum required phosphorous removal loading. Currently the plan proposes to purchase a mere 1.47 lbs/yr.

## SCS Stormwater Quantity Calculations

(Compliance will be met through attenuation in an extended detention basin.  
 Routing calculations will be provided with the final plans.)

## POINT PRECIPITATION FREQUENCY (PF) ESTIMATES

WITH 90% CONFIDENCE INTERVALS AND SUPPLEMENTARY INFORMATION  
 NOAA Atlas 14, Volume 2, Version 3



Duration	Average recurrence interval (years)										
	1	2	5	10	20	50	100	200	500	1000	
24hr	3.03 (2.75-3.41)	3.67 (3.30-4.12)	4.69 (4.25-5.20)	5.55 (4.95-6.20)	6.82 (6.05-7.60)	7.91 (6.96-8.79)	9.11 (7.95-10.1)	10.4 (9.02-11.6)	12.4 (10.6-13.8)	14.1 (11.8-15.8)	

### Pre-Development Impervious Area Summary

(Areas within Limits of Disturbance for Water Quality)

Paved Parking Lot and Drives	49,000 sf
Concrete Walkways	8,400 sf
Buildings	16,150 sf
Misc. Stone Walls, Steps, Grill, etc.	4,900 sf
<b>Total</b>	<b>78,450 sf</b>

### Pre-Development Impervious Area Summary

(Areas within DA A for Water Quantity)

Paved Parking Lot and Drives	49,000 sf
Concrete Walkways	8,400 sf
Buildings	16,150 sf
Misc. Stone Walls, Steps, Grill, etc.	3,600 sf
<b>Total</b>	<b>77,150 sf</b>

### Post-Development Impervious Area Summary

(Areas within Limits of Disturbance for Water Quality)

Paved Parking Lot and Drives	69,975 sf
Pervious Pavers	9,725 sf
Concrete Walkways & Patios	16,675 sf
Buildings	54,560 sf
New Retaining Walls	1,200 sf
<b>Total</b>	<b>152,135 sf</b>

### Post-Development Impervious Area Summary

(Areas within DA A for Water Quantity)

Paved Parking Lot and Drives	69,800 sf
Pervious Pavers	9,725 sf
Concrete Walkways & Patios	16,675 sf
Buildings	54,560 sf
New Retaining Walls	1,200 sf
<b>Total</b>	<b>151,960 sf</b>



MACAA Intergenerational  
 Education Campus  
 Charlottesville, VA



P.U.D. Development Plan

Stormwater Management  
 Narrative and Calculations

Drainage Area Description	Soil name and hydrologic group (Appendix A)	Cover description (Cover type, treatment, and hydrologic condition; percent impervious, unconnected/ connected impervious area ratio)	CN	Area (Acres)	Product of CN x Area	CN (weighted) = total product / total area	Calculated "C" Value
DA A (Present)	C	Impervious Areas Woods in Good Condition (75%+ Groundcover)	98	1.77	173.6	78.9	2.51
DA A (Developed)	C	Impervious Areas Woods in Good Condition (75%+ Groundcover)	98	0.98	72.5	78.9	1.17
			74	2.64	184.7		
			74	3.49	254.9		
			74	0.00	0.0		
			74	1.90	140.7		

Frequency years	1-Year Storm	2-Year Storm	10-Year Storm	Drainage Area Description
Runoff, P (24 hour)-inches	3.03	3.67	5.55	n/a
Runoff, Q-inches	1.27	1.77	3.37	DA A (Present)
Runoff, Q-inches	1.37	2.56	4.36	DA A (Developed)
Runoff, Q-inches				

Check One: Present  Developed   
Check One: T<sub>c</sub>  T<sub>t</sub>

Through subarea n/a

Segment ID:	DA A (Present)	DA A (Developed)		

Sheet Flow: (Applicable to T<sub>c</sub> only)

- Surface description (Table 3-1)
- Manning's roughness coeff., n (Table 3-1)
- Flow length, L (total L ≤ 100) (ft)
- Two-year 24-hour rainfall, P<sub>2</sub> (in.)
- Land slope, s (ft/ft)
- Compute T<sub>c</sub> = [0.007(nL)<sup>0.55</sup>] / P<sub>2</sub><sup>0.5</sup> s<sup>0.4</sup>

Woods- Light Underbrush	Dense Grass
0.4	0.24
100	100
3.7	3.7
0.12	0.07
0.16	0.13

Shallow Concentrated Flow:

- Surface description (paved or unpaved)
- Flow Length, L (ft)
- Watercourse slope, s (ft/ft)
- Average velocity, V (Figure 3-1) (ft/s)
- T<sub>c</sub> = L / 3600\*V

Unpaved	Unpaved
150	95
0.153	0.032
6.3	3.8
0.01	0.01

Channel Flow:

- Cross sectional flow area, a (ft<sup>2</sup>)
- Wetted perimeter, P<sub>w</sub> (ft)
- Hydraulic radius, r = a/P<sub>w</sub> (ft)
- Channel Slope, s (ft/ft)
- Manning's Roughness Coeff, n
- V = [1.49r<sup>2/3</sup>s<sup>0.5</sup>] / n
- Flow length, L (ft)
- T<sub>c</sub> = L / 3600\*V
- Watershed or subarea T<sub>c</sub> or T<sub>t</sub> (Add T<sub>c</sub> in steps 6, 11 and 19)

230' of Channel Flow in through asphalt & a swale at 5 ft / s	1,000' of Channel Flow in Stream at 10 ft / s
0.01	0.03
0.18	0.17

Check One: Present  Developed

Drainage Area Description	Drainage Area Description	Drainage Area Description
DA A (Present)	DA A (Developed)	

- Data
- Drainage Area (Am) in miles<sup>2</sup> = 0.0084
- Runoff curve number CN = 79.9
- Time of concentration (T<sub>c</sub>) = 0.18
- Rainfall distribution type = II
- Pond and swamp area spread throughout the watershed = 0
- Frequency-years: 1 2 10
- Rainfall, P (24 hour)-inches: 3.03 3.67 5.55
- Initial Abstraction, I<sub>a</sub>-inches: 0.50 0.50 0.50
- Compute I<sub>a</sub>/P: 0.17 0.14 0.09
- Unit peak discharge, Q<sub>u</sub>-csm/in: 800 825 850
- Runoff, Q from Worksheet 2-inches: 1.27 1.77 3.37
- Pond and Swamp adjustment factor, F<sub>p</sub>: 1 1 1
- Peak Discharge, Q<sub>p</sub>-cfs: 8.54 12.28 24.13

where Q<sub>p</sub>=Q<sub>u</sub>Am Q<sub>p</sub>F<sub>p</sub>

To be Routed Thru SWM Facility

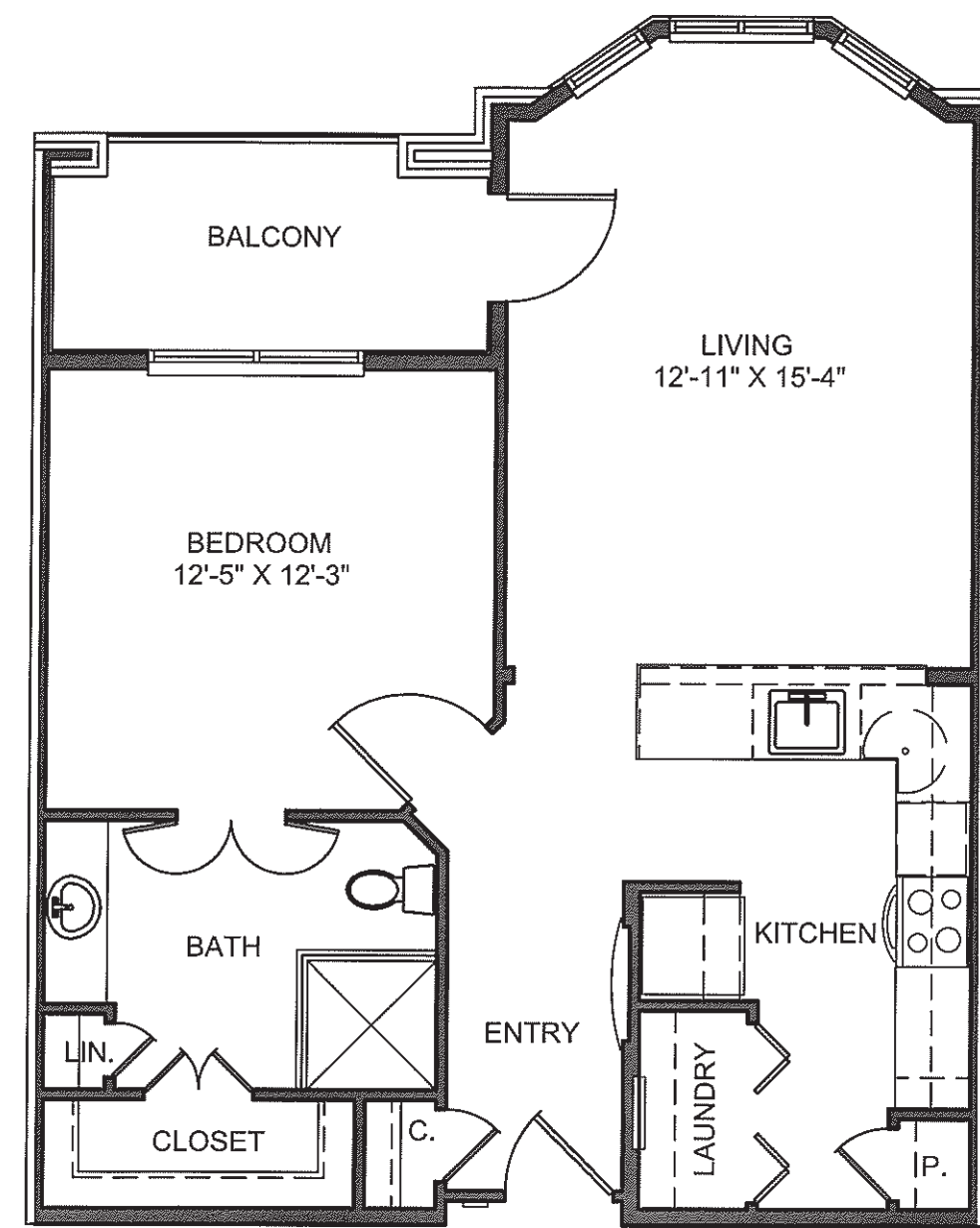
ANTICIPATED LEVEL I EXTENDED DETENTION BASIN 'A' DESIGN REQUIREMENTS

Treatment Volume (Per VRRM Calculations)	12,785 cf
Minimum Design Treatment Volume Required for Level I	12,785 cf
Minimum Treatment Volume Required in Permanent Pool (15% of T <sub>v</sub> )	1,918 cf
Approximate Design Footprint Recommended (1%-3% of CDA)	2,348 sf - 7,044 sf

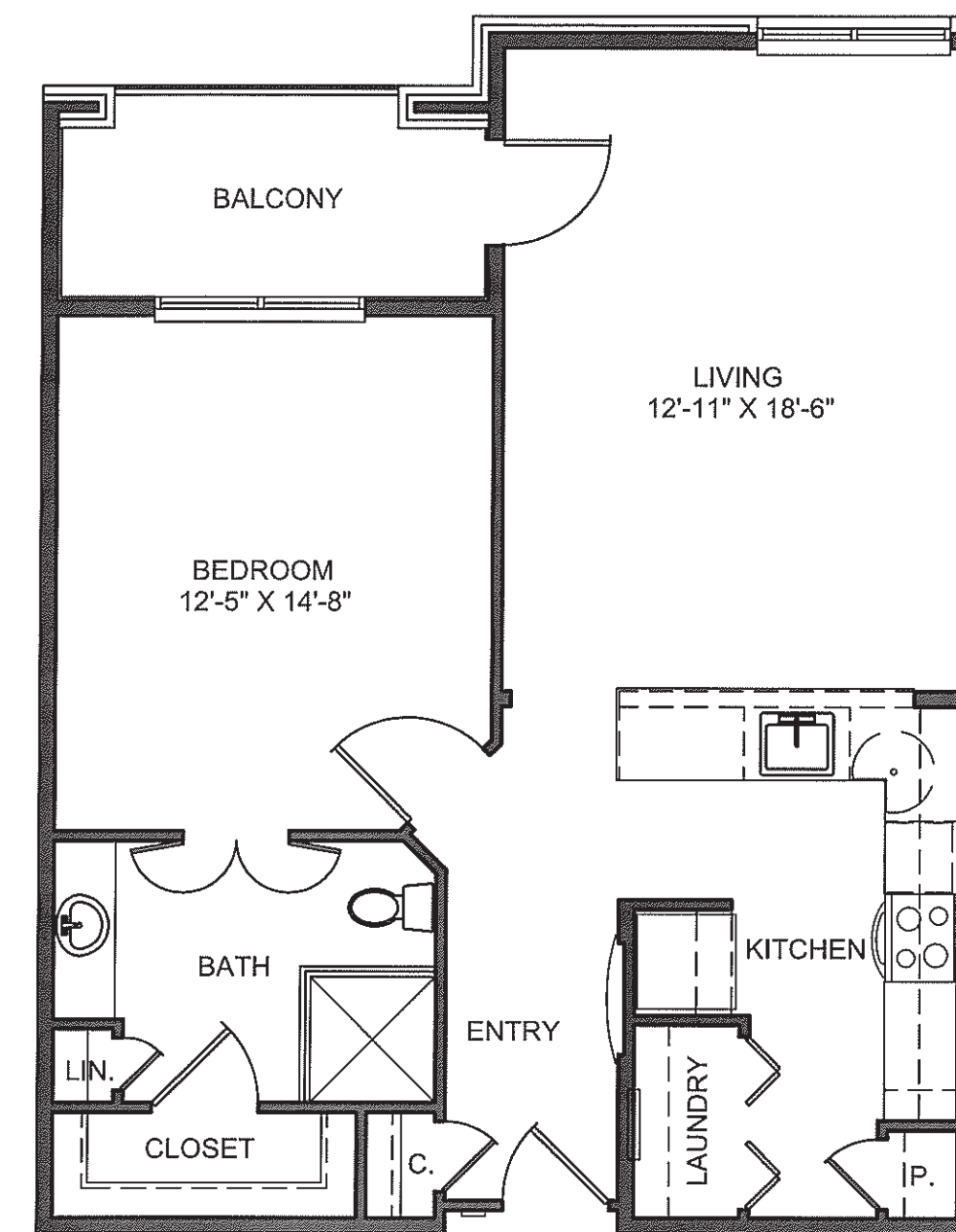
### DEQ Virginia Runoff Reduction Method Water Quality Calculations

(Best Management Practices include permeable pavers, an extended detention basin, preservation easements and a dry swale.)

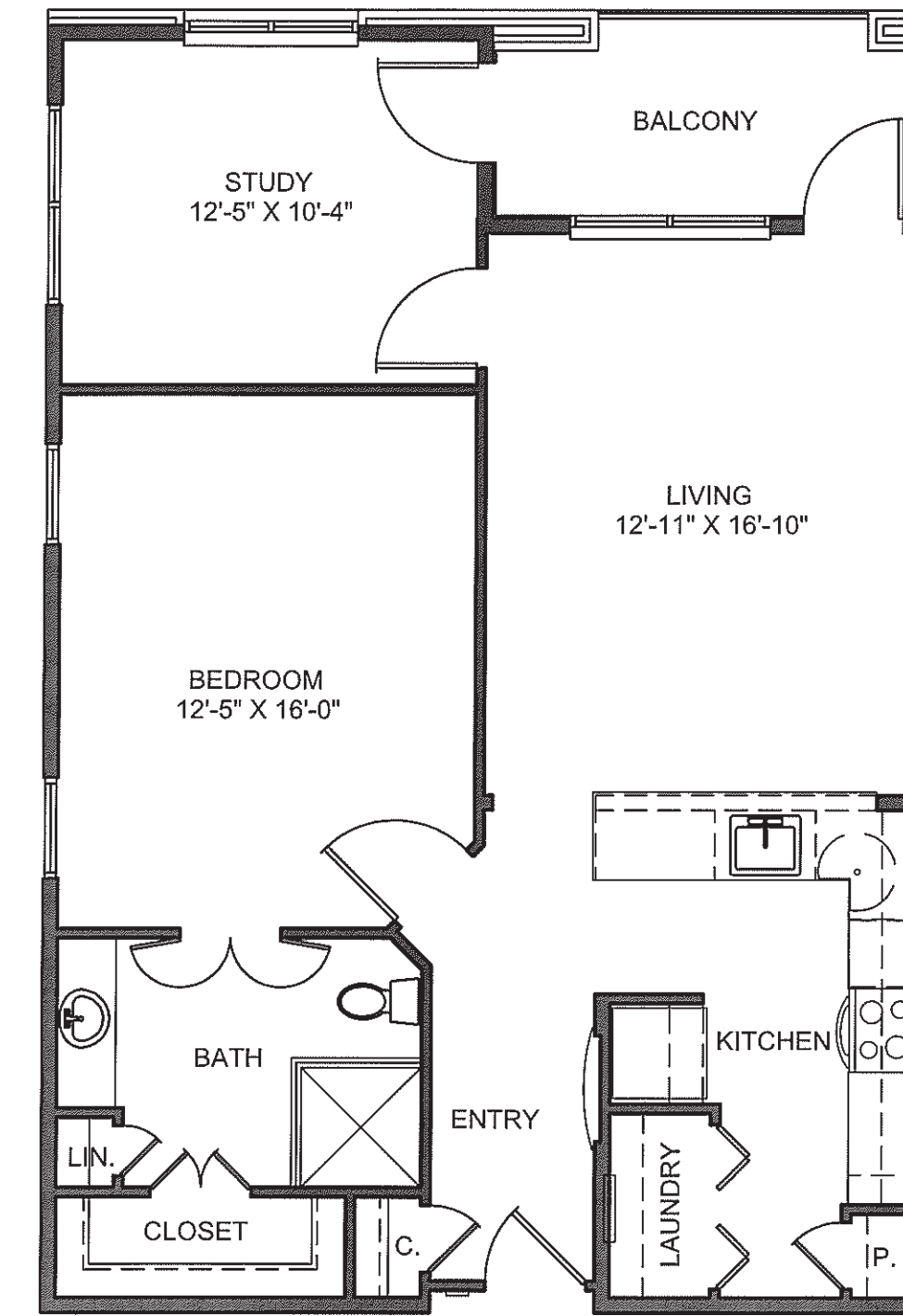
DEQ Virginia Runoff Reduction Method at Development Compliance Spreadsheet - Version 1.0	
<b>2011 BMP Standards and Specifications</b>	
<b>2011 BMP Standards and Specifications</b>	
Project Name: MAACA Redevelopment	
Linear Development Project? <input type="checkbox"/>	
Site Information	
Post-Development Project (Treatment Volume and Loads)	
Enter Total Disturbed Area (Acres) = 0.15	
Minimum reduction required: 20%	
Total Disturbed Area (Acres) = 0.15	
Pre-Development Land Cover (Acres)	
Post-Development Land Cover (Acres)	
Land Cover Summary - PRE DEVELOPMENT	
Land Cover Summary - POST DEVELOPMENT	
Treatment Volume and Nutrient Load	
Post-Development Treatment Volume (Acres)	
Post-Development Treatment Volume (Acres)	
Post-Development TP Load (lb/yr)	
Post-Development TN Load (lb/yr)	
Post-Development TSS Load (lb/yr)	
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Post	



IL ONE BEDROOM - UNIT IL-A  
744 SF



IL ONE BEDROOM - UNIT IL-A2  
798 SF



IL ONE BEDROOM - UNIT IL-A3  
930 SF

**GHILA**

WESTWORTH VILLAGE IL/AL  
WESTWORTH VILLAGE, TEXAS

13 NOVEMBER 2012  
SCALE 3/16 = 1'-0"



THE COVENANT GROUP  
Senior Living Specialists  
CGI CONSTRUCTION, INC.

**GHILA**

WESTWORTH VILLAGE IL/AL  
WESTWORTH VILLAGE, TEXAS

13 NOVEMBER 2012  
SCALE 3/16 = 1'-0"



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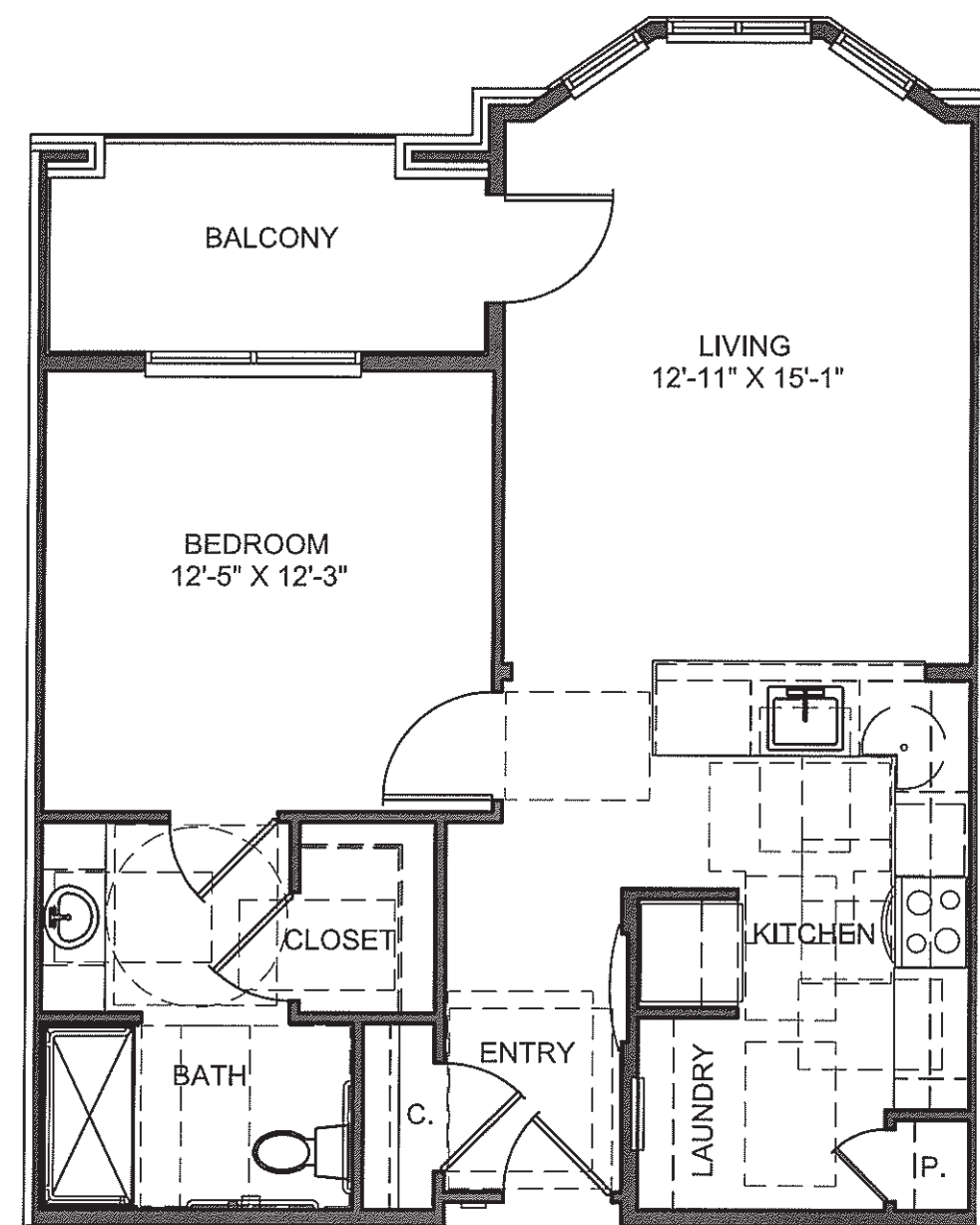
**GHILA**

WESTWORTH VILLAGE IL/AL  
WESTWORTH VILLAGE, TEXAS

13 NOVEMBER 2012  
SCALE 3/16 = 1'-0"



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IL ONE BEDROOM - UNIT IL-A HC  
744 SF

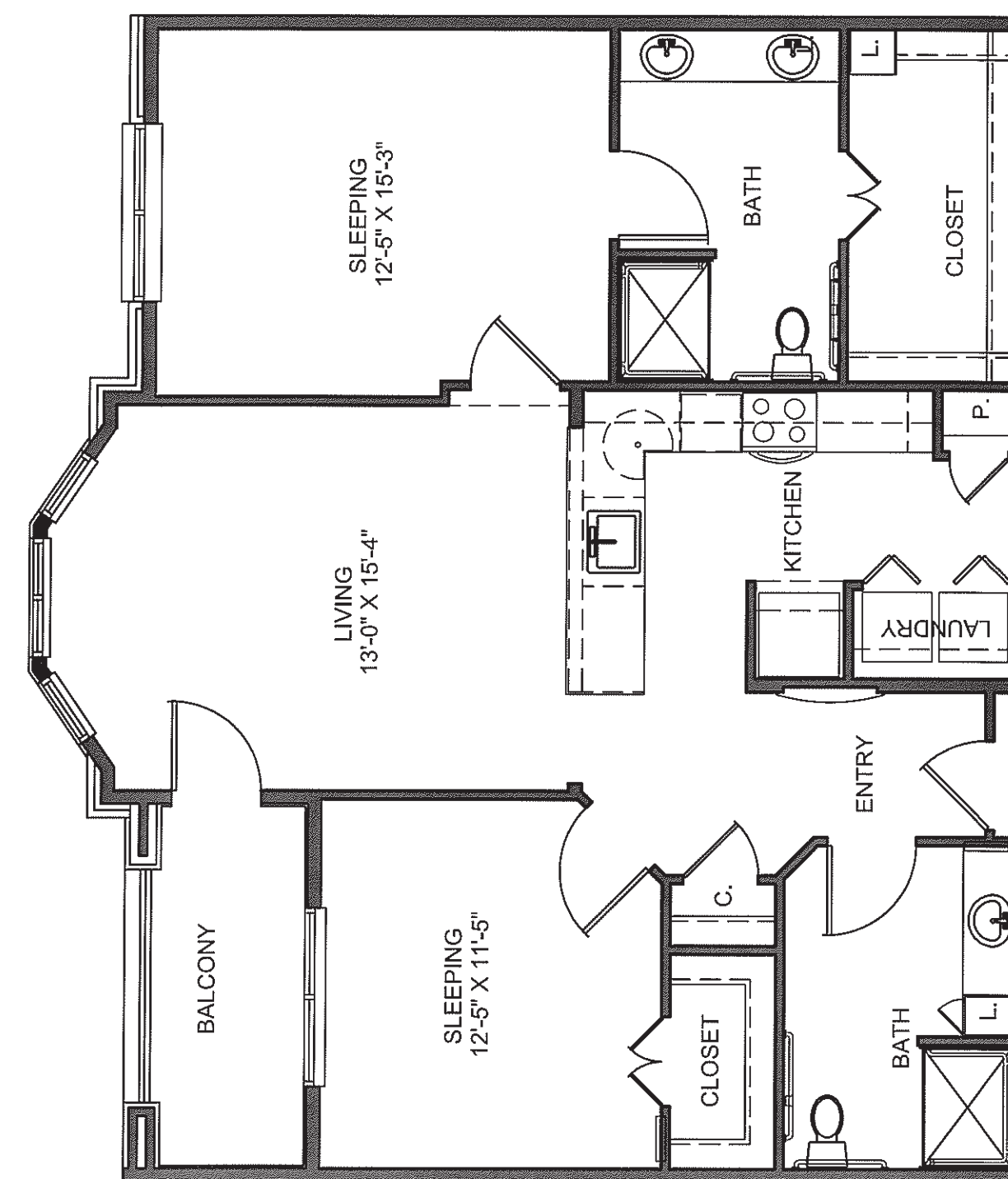
**GHILA**

WESTWORTH VILLAGE IL/AL  
WESTWORTH VILLAGE, TEXAS

13 NOVEMBER 2012  
SCALE 3/16 = 1'-0"



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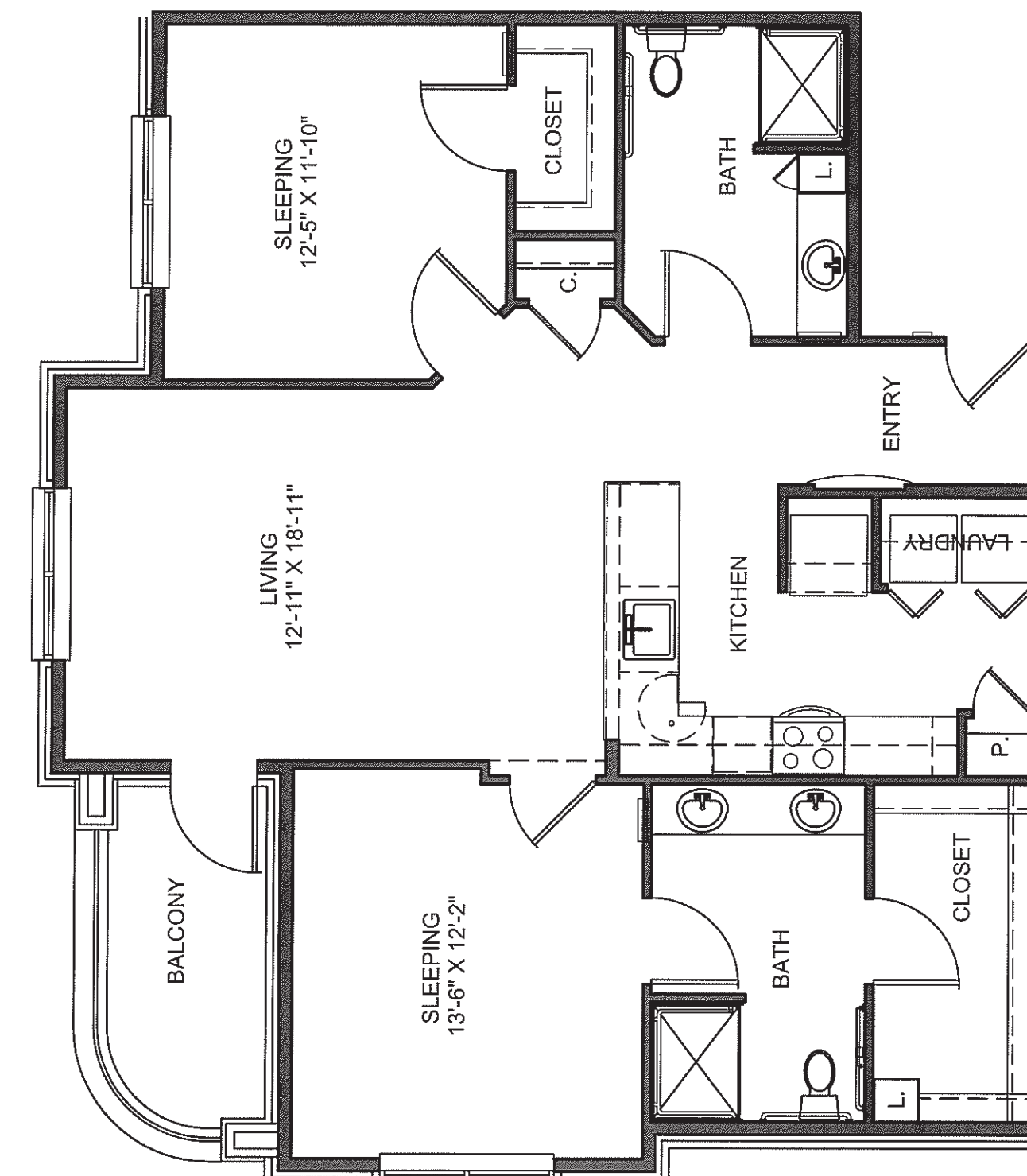
**GHILA**

WESTWORTH VILLAGE IL/AL  
WESTWORTH VILLAGE, TEXAS

13 NOVEMBER 2012  
SCALE 3/16 = 1'-0"



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**GHILA**

WESTWORTH VILLAGE IL/AL  
WESTWORTH VILLAGE, TEXAS

13 NOVEMBER 2012  
SCALE 3/16 = 1'-0"



THE COVENANT GROUP  
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**nm**  
NEW MILLENNIUM  
SENIOR LIVING COMMUNITIES

**LPDA**  
LAND PLANNING & DESIGN  
ASSOCIATES  
Landscape Architecture • Land Planning  
1006 E. Jefferson Street, Suite B  
Charlottesville, Virginia www.lpda.net  
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**GHILA** Architecture  
Planning  
Interior Design

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**WASSENAR**  
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ARCHITECTS | PLANNERS

MACAA Intergenerational  
Education Campus  
Charlottesville, VA

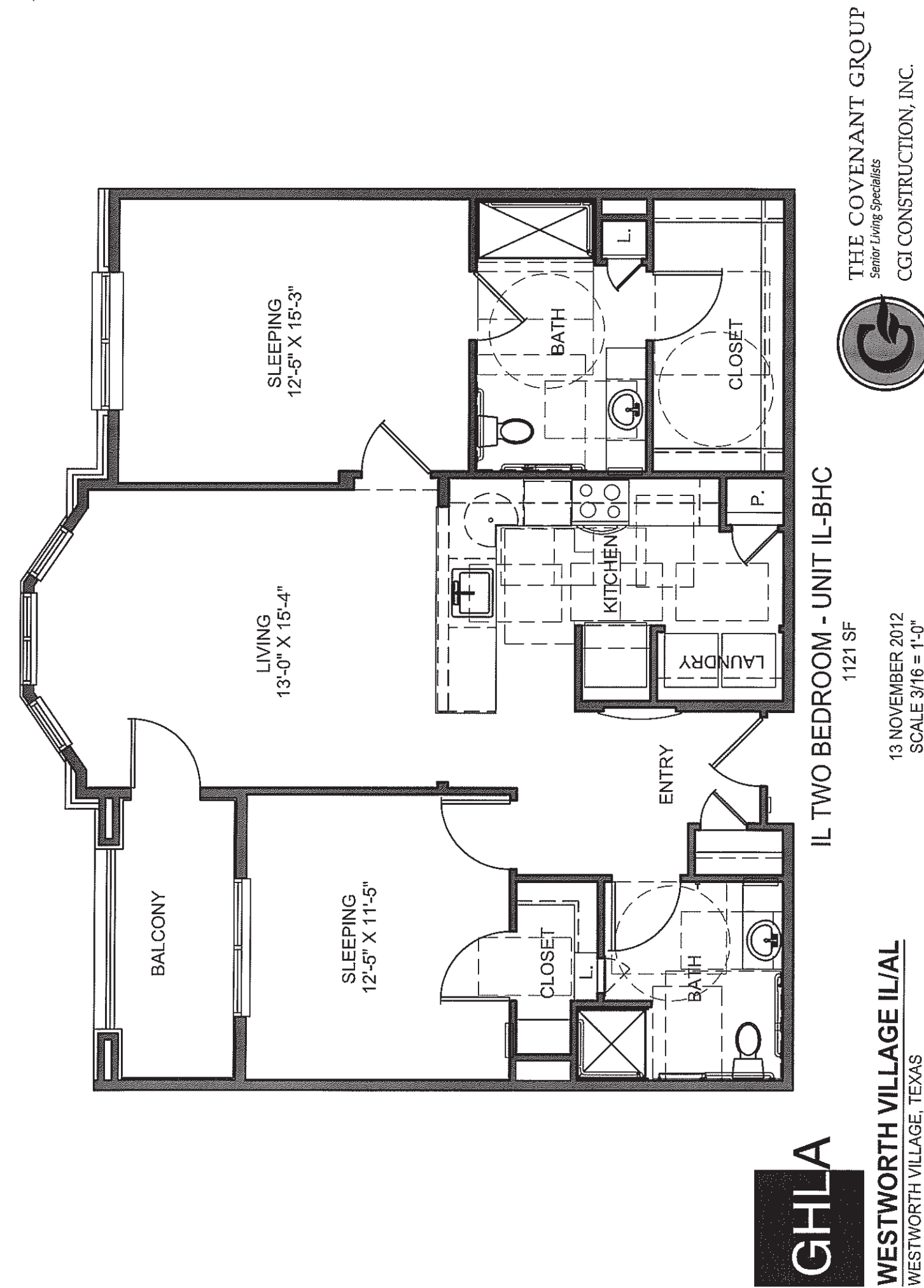


P.U.D. Development Plan

Typical Senior Housing  
Unit Exhibits

A1

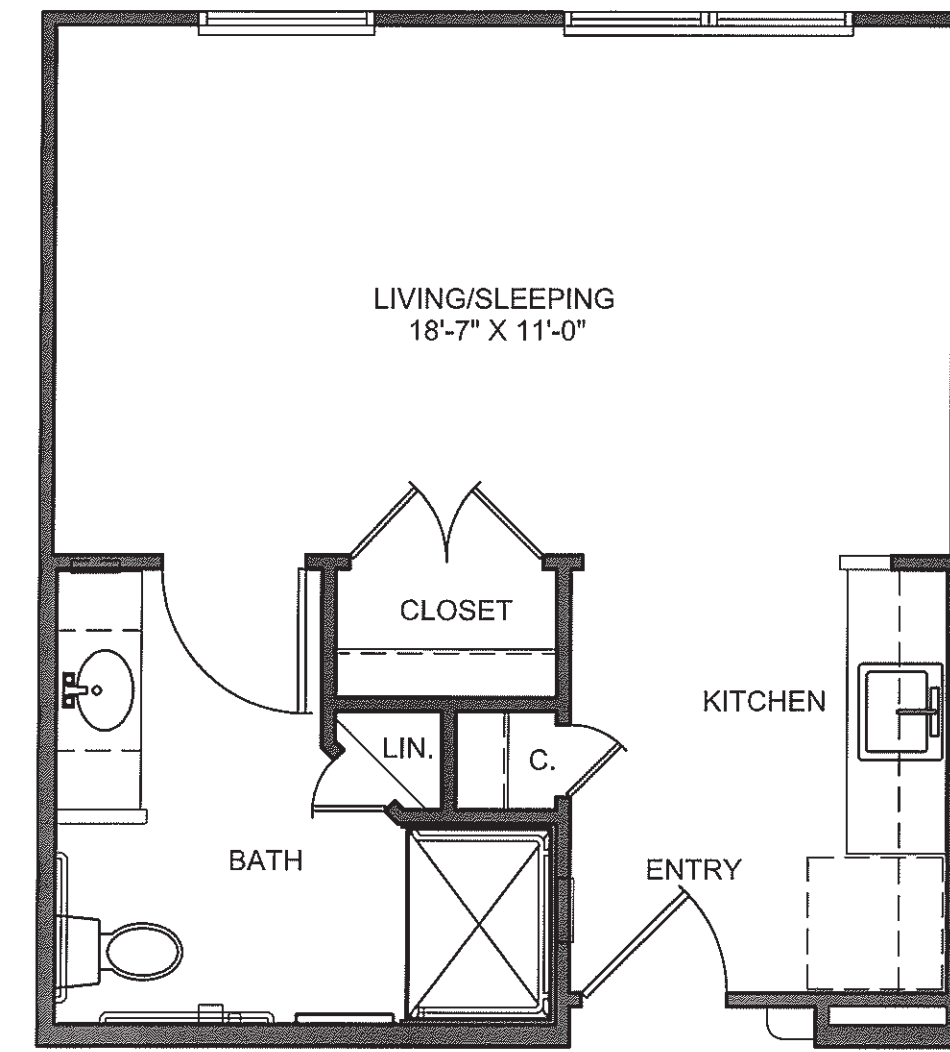
August 28, 2017



**GHILA**  
WESTWORTH VILLAGE IL/AL  
WESTWORTH VILLAGE, TEXAS

THE COVENANT GROUP  
Senior Living Specialists  
CGI CONSTRUCTION, INC.

13 NOVEMBER 2012  
SCALE 3/16" = 1'-0"

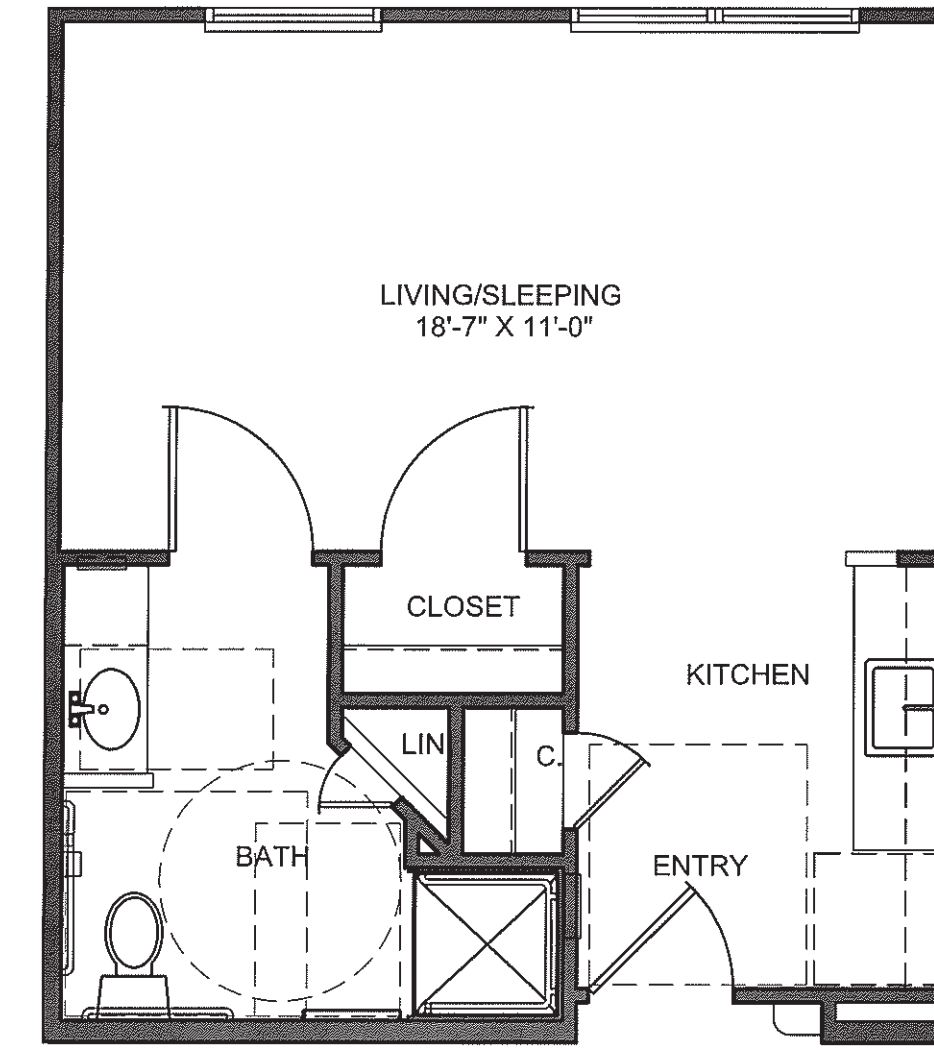


AL EFFICIENCY - UNIT AL-A  
401 SF

**GHILA**  
WESTWORTH VILLAGE IL/AL  
WESTWORTH VILLAGE, TEXAS

13 NOVEMBER 2012  
SCALE 1/4" = 1'-0"

THE COVENANT GROUP  
Senior Living Specialists  
CGI CONSTRUCTION, INC.

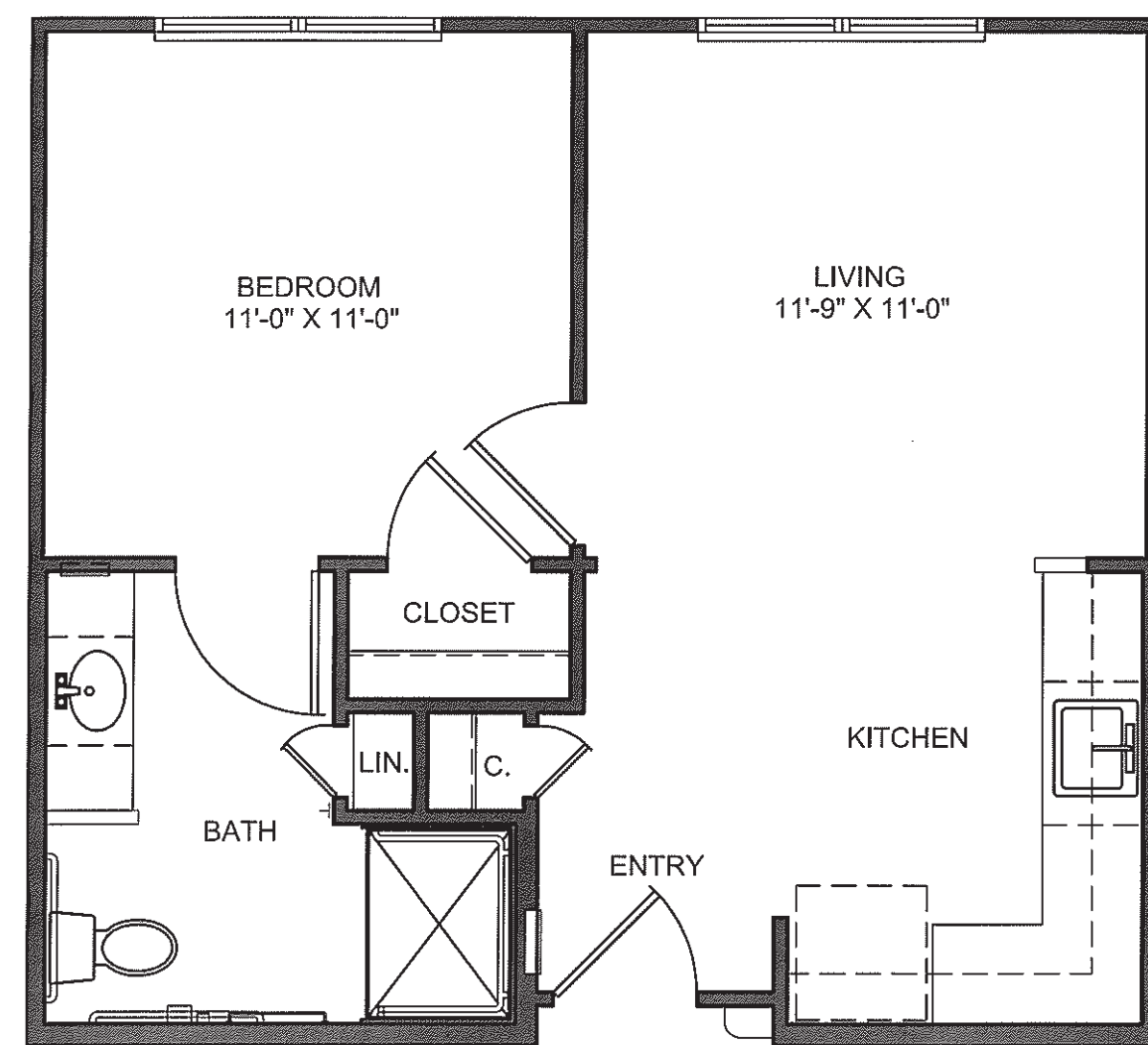


AL EFFICIENCY - UNIT AL-AHC  
401 SF

**GHILA**  
WESTWORTH VILLAGE IL/AL  
WESTWORTH VILLAGE, TEXAS

13 NOVEMBER 2012  
SCALE 1/4" = 1'-0"

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Senior Living Specialists  
CGI CONSTRUCTION, INC.

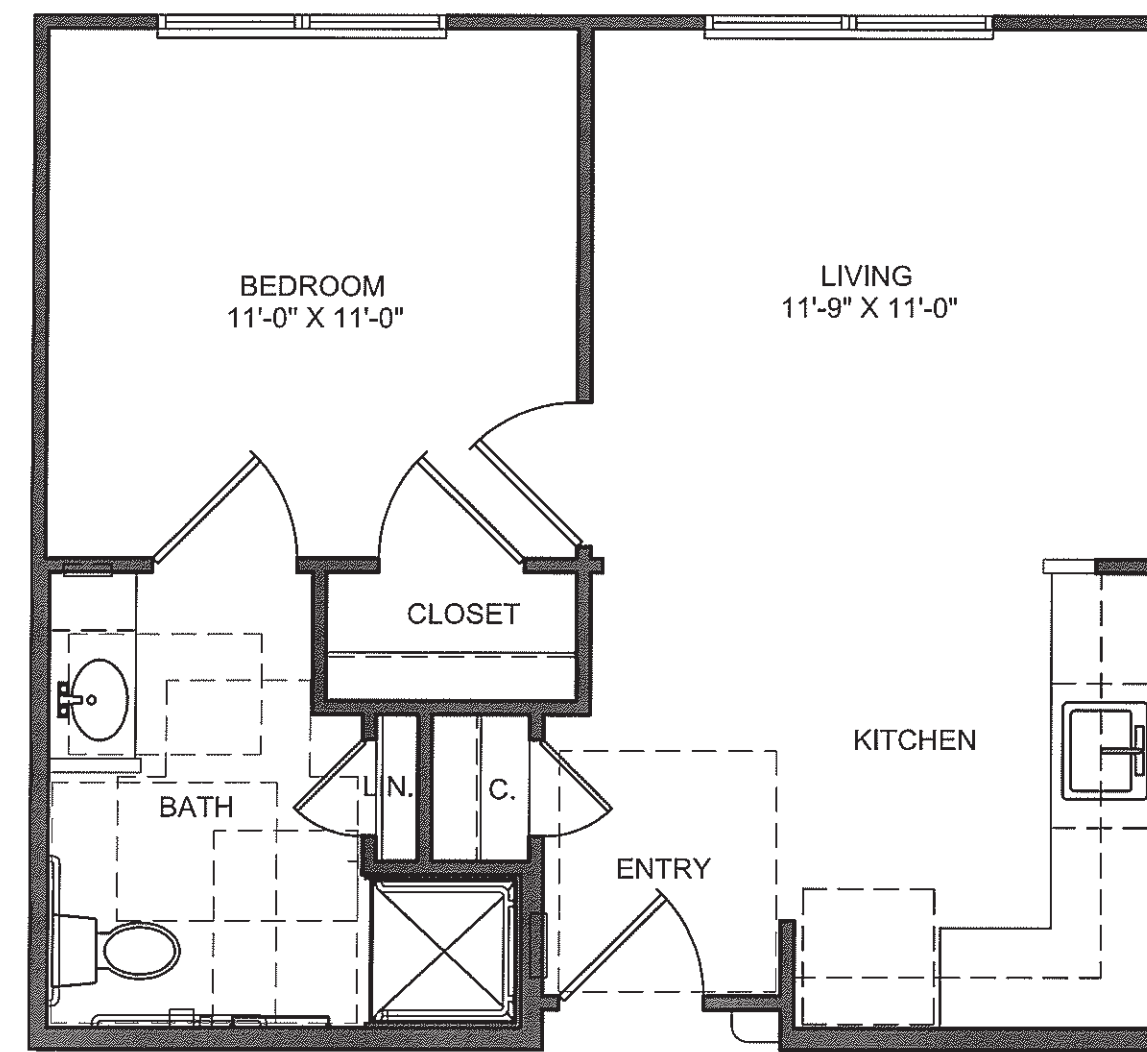


AL ONE BEDROOM - UNIT AL-B  
498 SF

**GHILA**  
WESTWORTH VILLAGE IL/AL  
WESTWORTH VILLAGE, TEXAS

13 NOVEMBER 2012  
SCALE 1/4" = 1'-0"

THE COVENANT GROUP  
Senior Living Specialists  
CGI CONSTRUCTION, INC.

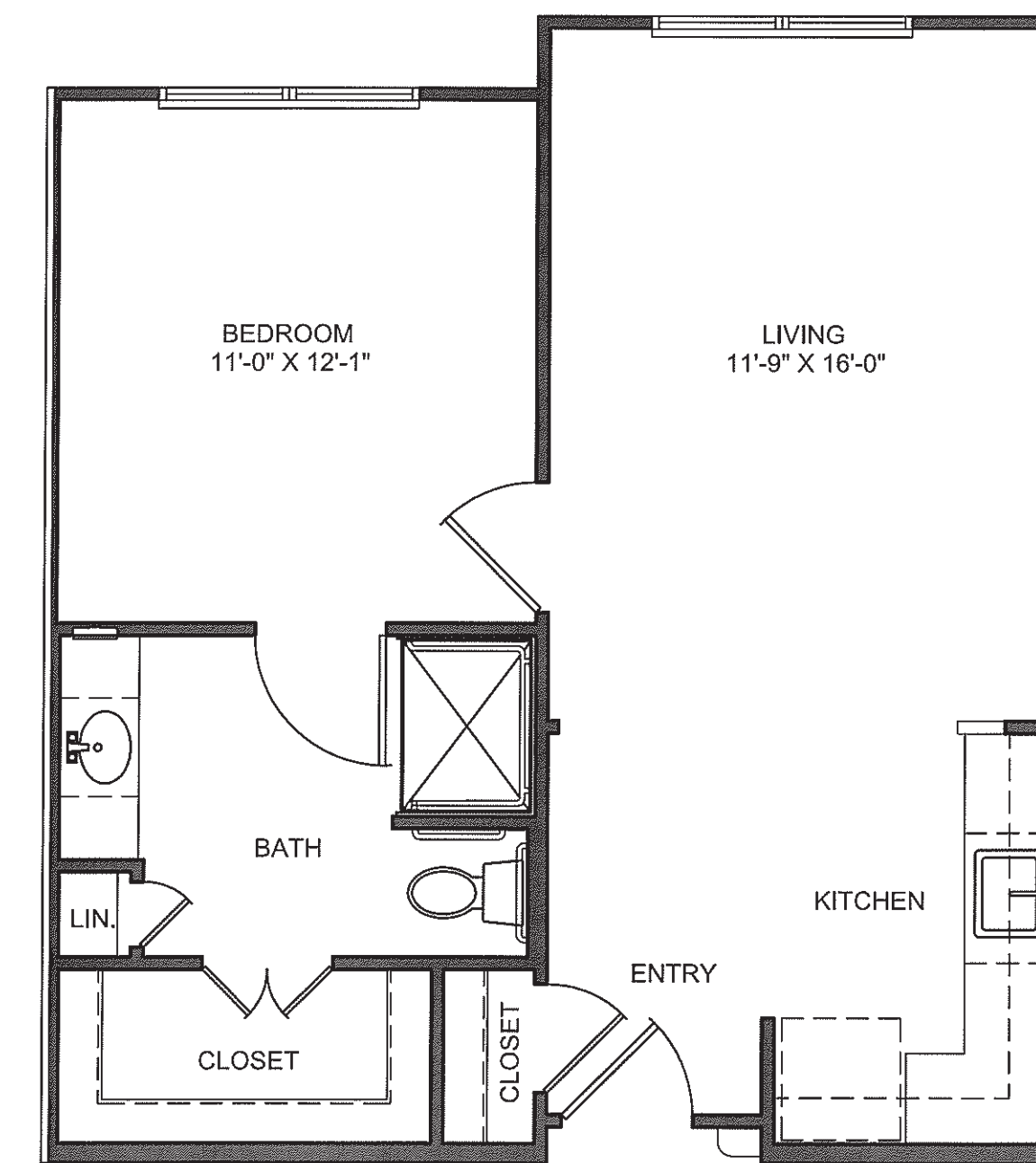


AL ONE BEDROOM - UNIT AL-BHC  
498 SF

**GHILA**  
WESTWORTH VILLAGE IL/AL  
WESTWORTH VILLAGE, TEXAS

13 NOVEMBER 2012  
SCALE 1/4" = 1'-0"

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AL ONE BEDROOM GRANDE - UNIT AL-C  
595 SF

**GHILA**  
WESTWORTH VILLAGE IL/AL  
WESTWORTH VILLAGE, TEXAS

13 NOVEMBER 2012  
SCALE 1/4" = 1'-0"

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Planning  
Interior Design

**CE** COLLINS ENGINEERING

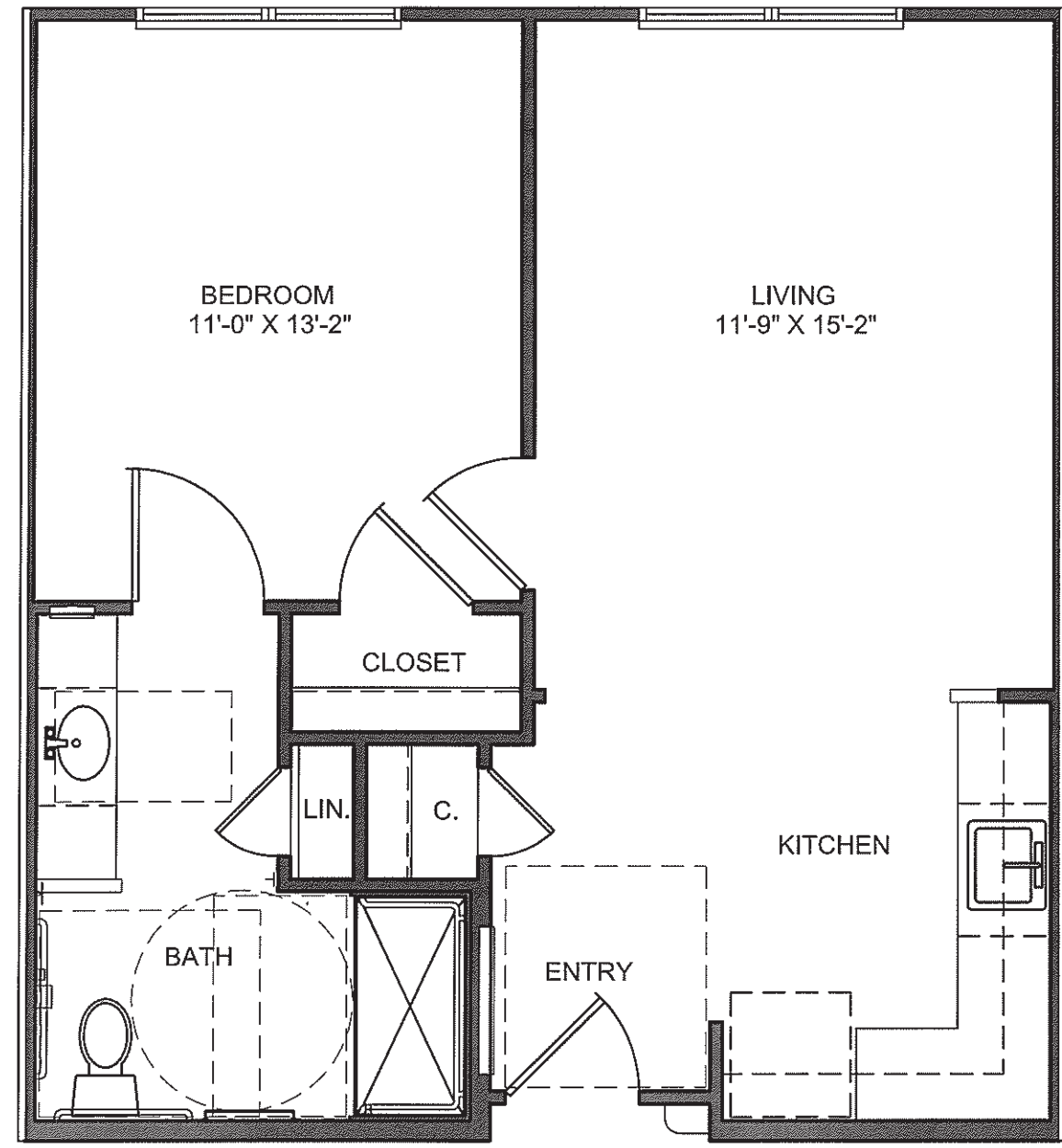
**WASSENAR**  
**WINKLER**  
ARCHITECTS | PLANNERS

MACAA Intergenerational  
Education Campus  
Charlottesville, VA

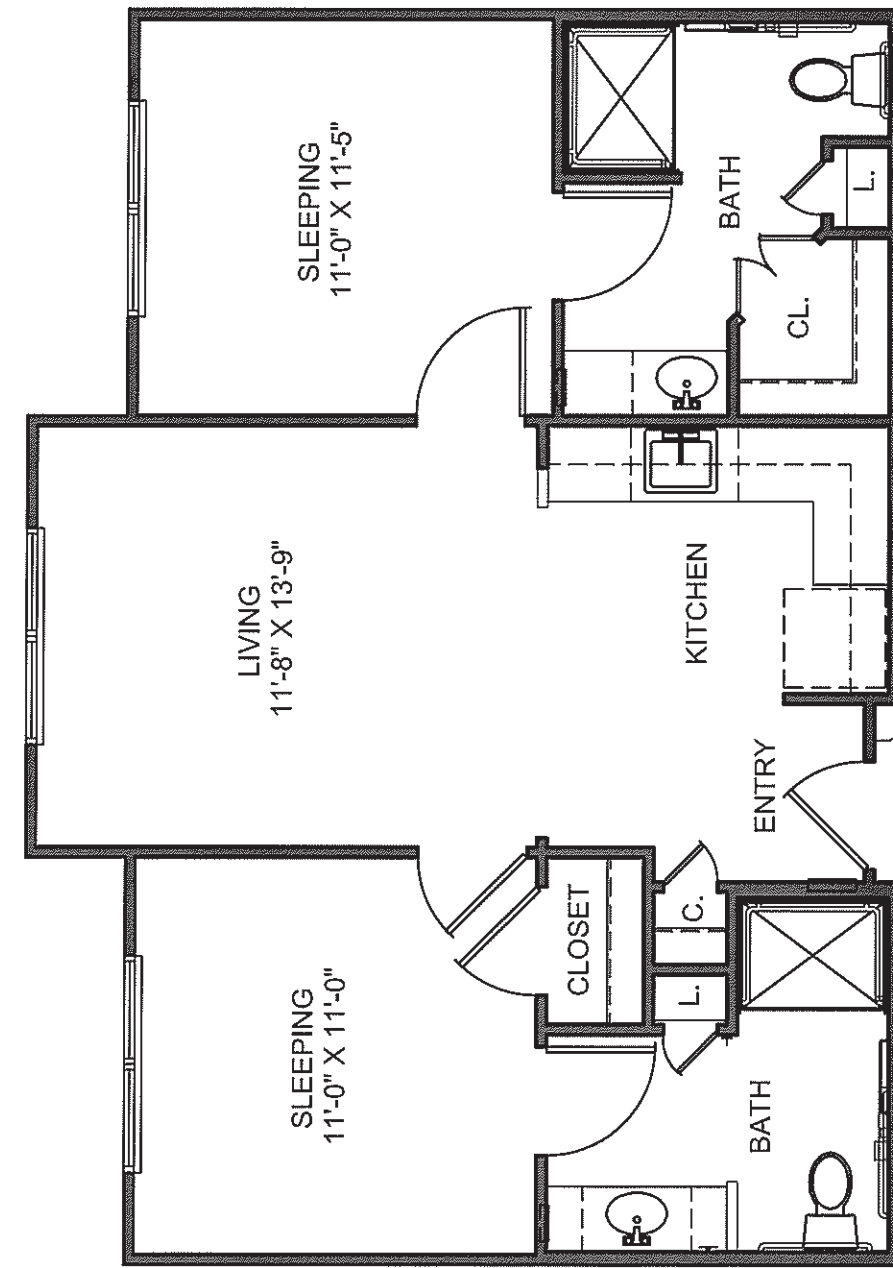


P.U.D. Development Plan

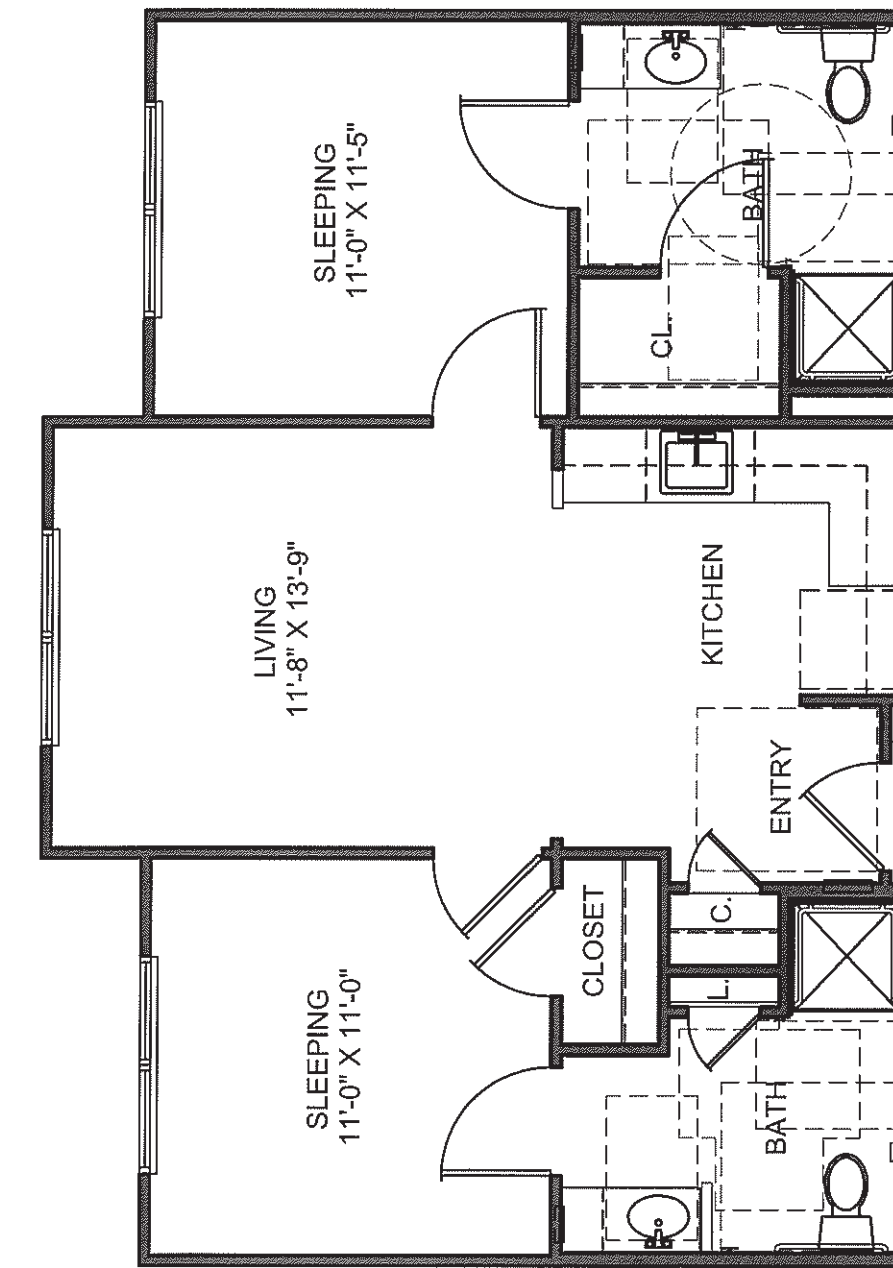
Typical Senior Housing  
Unit Exhibits



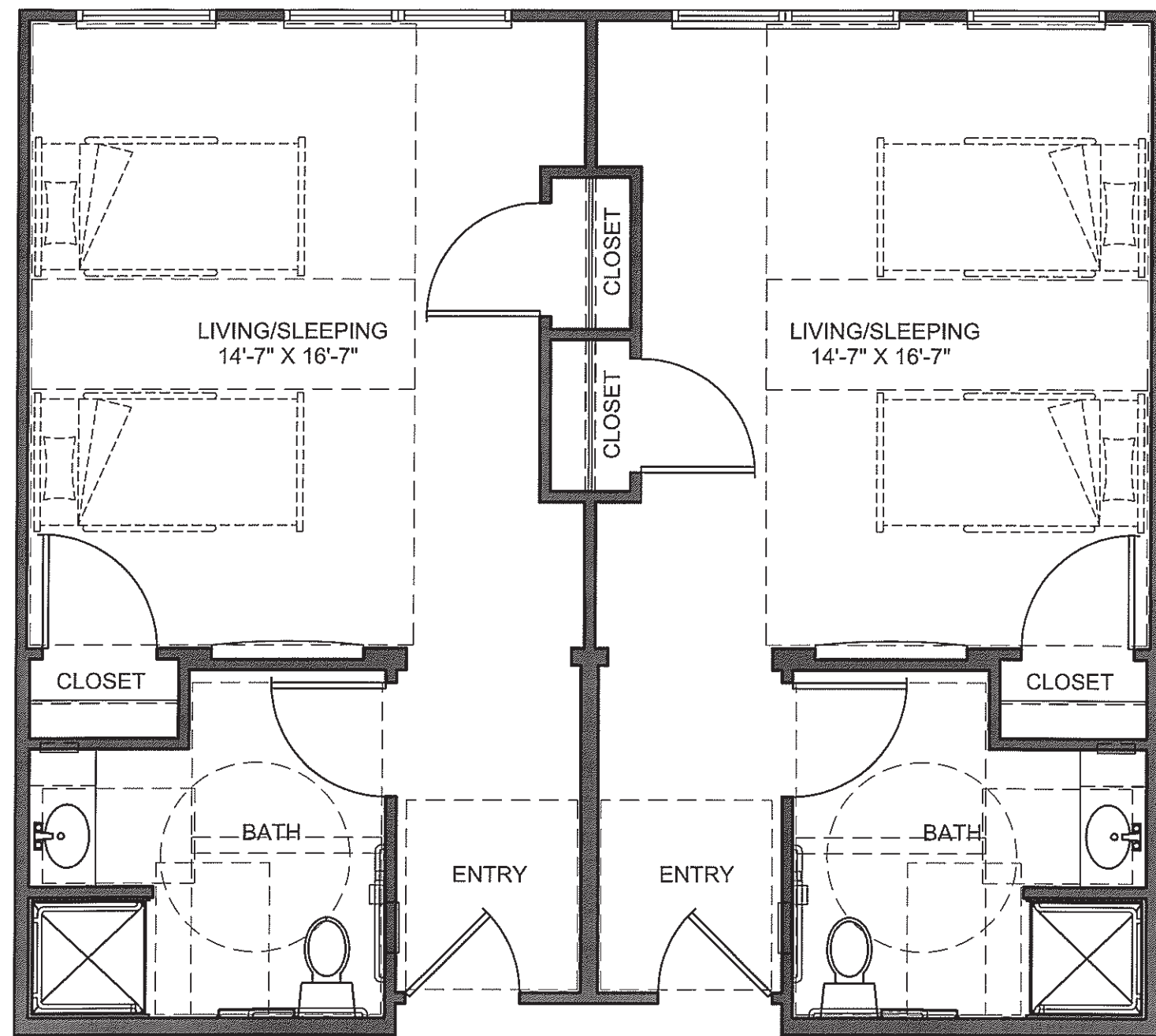
AL ONE BEDROOM GRANDE - UNIT AL-CHC  
595 SF



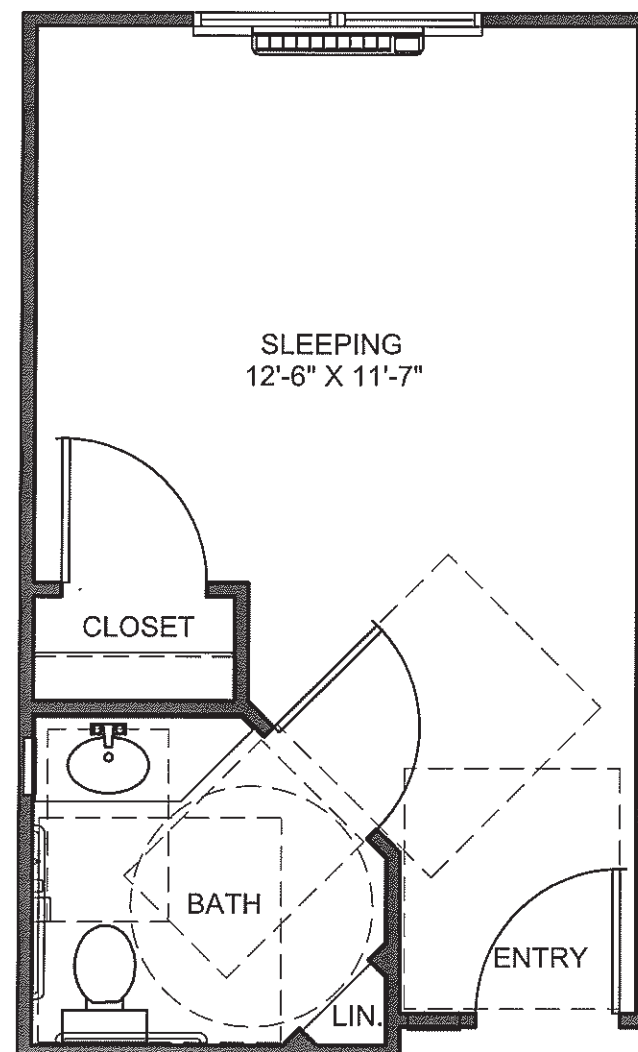
AL TWO BEDROOM - UNIT AL-D  
773 SF



AL TWO BEDROOM - UNIT AL-DHC  
773 SF



CARE COMPLETE SEMI-PRIVATE - UNIT E  
401 SF EACH



MEMORY CARE PRIVATE - UNIT MC-1  
275 SF

**GHILA**

WESTWORTH VILLAGE IL/AL  
WESTWORTH VILLAGE, TEXAS

13 NOVEMBER 2012  
SCALE 1/4" = 1'-0"



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CGI CONSTRUCTION, INC.

**GHILA**

WESTWORTH VILLAGE IL/AL  
WESTWORTH VILLAGE, TEXAS

13 NOVEMBER 2012  
SCALE 1/4" = 1'-0"



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WESTWORTH VILLAGE, TEXAS

13 NOVEMBER 2012  
SCALE 3/16" = 1'-0"



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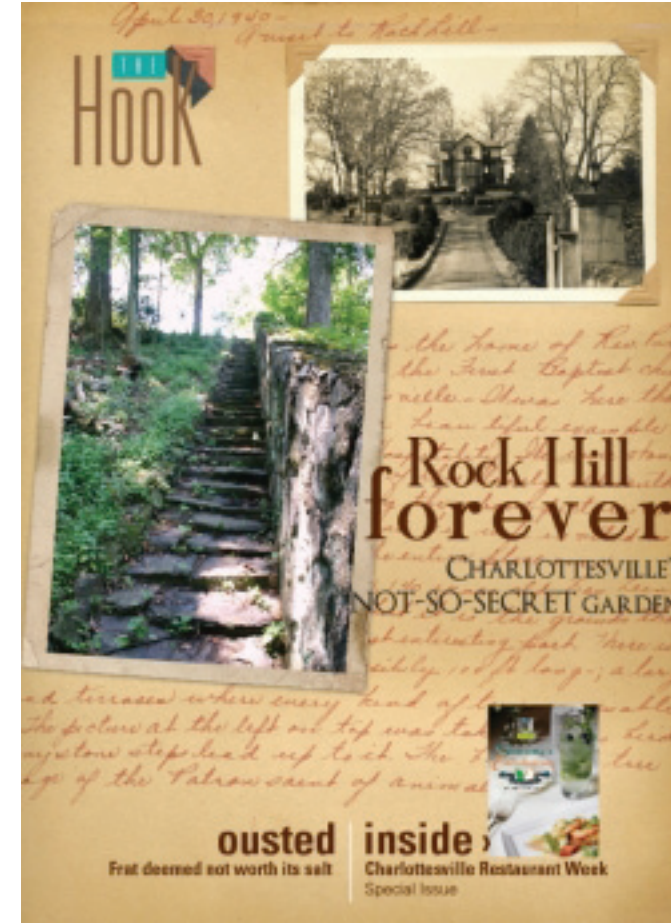
P.U.D. Development Plan

Typical Senior Housing  
Unit Exhibits

A3

August 28, 2017

Rock Hill Forever: Charlottesville's Not-So-Secret Gardens  
By David McNair | [dave@readthehook.com](mailto:dave@readthehook.com)  
Thursday Jul 7th, 2011



#### Lush land

**Size:** 8 acres

**Water feature:** Schenk's Branch

**House:** burned down 1963

**Today's buildings:** 22,000 square feet

**Previous uses:** private estate, school, YMCA

**Owner:** MACAA

**Purchased:** \$700,000 in 1993

**Assessed today:** \$2.2 million

Forget about the impending [Meadowcreek Parkway and the 250 Interchange project](#) for a minute, as well as the fabulous history of the nearby eight-acre **Rock Hill** estate, once the site of a circa-1820 two-story Federal style house (which, thanks to a mischievous youngster, **burned down in 1963**). Forget that famed architect Eugene Bradbury once called it home, and that the Rev. Henry Alford Porter, minister of Charlottesville's First Baptist Church (Park Street), who bought the place in the 1930s, created the extensive rock gardens that one UVA architectural historian has called the "most complex residential garden landscapes in all of Charlottesville."

**More history:** The original house, two stories in the Federal style, is built in the 1820s. It soon becomes home to the violin-playing brother to James Dinsmore, Thomas Jefferson's master builder. In 1839, the Reverend James Fife, an ordained a Baptist minister and ancestor to eventual Charlottesville mayor Francis Fife, purchases the property. It later serves as home to architect [Eugene Bradbury](#), who sells it to garden creator Reverend Henry Alford Porter in the 1920s. Capt. John W. Gibbs buys it in 1947 and lives there with his family, but the U.S. 250 Bypass construction begun in the late 1950s dramatically changes the site and **Gibbs sells property in 1959 to the group that opens Rock Hill Academy during the state's "massive resistance" to racial integration.** From 1980 to 1987 the site serves as the home of the Heritage Christian School. Ironically, the YMCA, which plans to build a [controversial new facility](#) in nearby McIntire Park, once called the Rock Hill property home. However, financial troubles force the YMCA to sell the property. In July 2010, former (now current) City Council candidate Bob Fenwick begins organizing an effort to restore the gardens, hoping the City and the Federal Highway Administration won't forget a [promise to preserve them](#) as part of the bypass interchange project. Since then, over 200 volunteers have logged about 2,000 hours of work on the gardens.

**Slideshow feature:** [Click here](#) to see additional photos of the gardens set to music!

Forget its history as a controversial segregation-era school in the 1960s. **Forget that it's now the overgrown back yard of the Monticello Area Community Action Agency (MACAA), which has expressed interest in selling the property to the City.**

Forget the City's and the Federal Highway Administration's promise (broken?) to restore the garden and add it to the park system as part of the new interchange project. Forget the limbo the property finds itself in while an army of volunteers has been busy unearthing its treasures and trying to restore the gardens to their former glory.

Forget about all the politics and the history, which you can read about in two *Hook* stories, [Burned and bypassed: Rock Hill has a ghost of a garden](#), and [Unhidden treasure: Rock Hill estate gardens revealed](#).

Just go take a look at it. (Or enjoy a musical on-line slideshow tour)

You've driven by it hundreds of times. Go take a walk through the gardens. That's what we did with volunteer Rock Hill gardens restorer Carol Garges on Wednesday, June 29. Garges and over 200 other volunteers have put in about 2,000 hours of work since they began clearing away brush, repairing walls, and adding plantings and features to the gardens last year.

"It's an incredibly unique place," says Garges, "and we just hope it can be preserved."

The front of the gardens has been revealed to passing traffic on 250, showing the elaborate stonework found on site (a result, as UVA architectural historian Daniel Bluestone put it, of

the Rev. Porter's "private public works project" that provided work for the unemployed during the 1930s). Invisible from the road, however, the back half of the gardens may be even more impressive, weaving along the babbling Schenk's Branch creek bed and featuring stretches of the rock wall that rise 10 to 15 feet high. Gloriously high tulip poplars abound, and stone steps ascend into the treetops.

**Ideally, Garges says, she hopes the City purchases the property from MACAA, restores the gardens, and builds a new facility for the Parks & Rec department, which then can showcase one of the City's architectural jewels.**

But is that likely to happen?

"I'm aware of some exploratory conversations that have occurred along those lines," says Charlottesville Mayor Dave Norris, "and all I can say right now is that I'm intrigued by the possibilities."

Indeed, with \$27 million in Federal funds earmarked for the U.S. 250 interchange project, which could get under way by the end of the year (depending on the outcome of a lawsuit filed by those opposed to it), you'd think the City could set aside something for the preservation of the gardens.

What's more, that May 2010 memorandum of agreement between the City and the Federal Highway Administration calls for a rehabilitation plan for the gardens, reconstruction of the front wall that will need to be removed for the interchange, and for the City to pursue ownership of the property and open it to the public. Of course, these days that's more easily said than done.

"Obviously it's largely dependent on funding being available to purchase the Rock Hill property," says Norris. "Right now, there are no funds allocated in our budget for it."

  
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P.U.D. Development Plan

Rock Hill Property History

H1

August 28, 2017



Old House at The Farm

*Owned by Mr. George R. B. Michie, a charter member of the 1914 Albemarle Golf Club located on the Marchant tract and president of the People's National Bank at Third and Main. Miller School's annual George R. B. Michie Award is presented to a senior who most exhibits signs of being a life-long lover of the written word.*

**The Farm (1781, 1825)** (12th Street and Jefferson) Two buildings comprise the core of "The Farm," an eighteenth century farm that lay east of early Charlottesville. **Nicholas Lewis House (1735-1770)**: All that remains of the 18th-century era of The Farm is what was originally an outbuilding, likely the kitchen or cook's house. Now in the middle of a residential subdivision, it is surrounded by mature hardwood trees and retains its 18th-century view of Monticello. An example of pre-Revolutionary vernacular architecture for either the **Nicholas Meriwether (1735)** or the **Nicholas Lewis (1770)** plantation, it was a two-room, one-story, hall and parlor type house with two outside chimneys. In the 19th century, it was enlarged to create a second floor. In 1909, **George R. B. Michie** bought the property and used the structure as an outbuilding, and, after 1952, **Eugene Beagle** added a garage using brick walls from an earlier outbuilding. The house deteriorated until 2000, when it was acquired by architect **Michael Bednar** and restored. The property is on the National Register of Historic Places.



**Locust Grove (1840)** (810 Locust Avenue at the corner of Locust Avenue and Hazel). This Greek-Revival plantation house was built for **George Sinclair** (this fact needs more research) around 1840 on what became Locust Avenue—its namesake. At the time, however, this structure was actually a subdivision of "The Farm," which dated from 1825. Locust Grove was eventually subdivided itself, as part of a suburban residential development begun in the 1890s. The property still maintains a dominating, if subtly observed, presence in the area as its largest lot. Its smokehouse and unattached kitchen are the only outbuildings of their type in the Locust Avenue neighborhood. A two-story brick barn

once associated with the property now serves as a single-family residence (818 Locust Avenue) to the west.

**Nicholas Lewis (1734-1808)** - Born at "Belvoir", the Lewis family home, the son of Robert Lewis (1704-1765) and Jane Meriwether (1705-1757). Nicholas married **Mary Walker (1742-1824)** in 1760 at Castle Hill, her home. He was a surveyor and planter who fathered twelve children at "The Farm" where he died. He and his wife were buried in the Lewis graveyard now part of Riverside cemetery.

walking trail through the neighborhood along the Rivanna River and Meadow Creek. Northeast Park is a neighborhood meeting place in the center of the community. The pedestrian bridge connecting Northeast Park with the neighborhood is also a valued resource.

#### Washington Post September 1995 History of The Farm

University of Virginia architect Michael J. Bednar was looking for a fixer-upper a couple of years ago. What he and his wife found down an unassuming dirt road not far from Court Square was a near-forgotten piece of Charlottesville history.

A moldering two-story brick house with Tuscan columns lay barely visible behind overgrown brush. Covered inside and out with poison ivy vines, it had been condemned and its owner was using it for storage.

Little could passersby know that the decrepit 1820s house on Farm Lane once was inhabited by a University of Virginia professor who later was murdered outside his home and, for a few days, by Civil War Brig. Gen. George Armstrong Custer. Or that its builders were probably the same ones who Thomas Jefferson employed to construct the University of Virginia's buildings.

Now Bednar and his wife, Elizabeth Lawson, an architect and building planner for the university, have nearly restored the home known as "The Farm."

"It's wonderful to be in a historical place like this that has so many associations with the past," Bednar, 53, said while sitting in his living room, which has 12-foot ceilings, triple-hung windows and foot-thick walls that make whispers echo and gives visitors the feeling of being at Jefferson's own home, Monticello.

The house was built about 1826 for John A.G. Davis, a Middlesex County-born lawyer who had moved to Charlottesville two years before to practice law. Davis later joined the university's law faculty and became chairman of the faculty. He moved into one of the Pavilions on the Lawn but held onto his large property as a farm and weekend retreat.

On the night of Nov. 12, 1840, Davis heard gunshots on the Lawn and, when he went outside to see what was amiss, found a masked student lurking about. Davis tried to remove the mask and the student shot and mortally wounded him. Davis's death led to the creation of University of Virginia's Honor Code, which still requires students 150 years later to sign an oath against lying, cheating or stealing at the university.

Davis's widow sold the house in 1848 to Charlottesville resident William Farish, who transferred the deed to his son, Thomas Farish.

In the waning weeks of the Civil War in March 1865, Union troops commanded by Gen. Philip Sheridan raided central Virginia. Commanding Sheridan's third division was the brash Custer.

"At Charlottesville, Custer was met by a delegation of citizens headed by the mayor, who handed him the keys of the city and of Thomas Jefferson's own University of Virginia, in token of surrender," according to "The Custer Story," edited by Marguerite Merington.

Custer set up a temporary headquarters at Thomas Farish's house. Meanwhile Farish, a Confederate officer apparently unaware of his houseguest, tried to return home in civilian clothing to check on his family. He was captured and brought before Custer as a spy. Sheridan ordered Farish executed and a gallows and scaffolding were built in short order on his front lawn.

But Custer intervened on Farish's behalf and Sheridan pardoned the home's owner. The house sits on a part of a much larger property originally owned by Nicholas Lewis, uncle of explorer Meriwether Lewis. It was somewhere on the property that British Col. Banastre Tarleton in June 1781 camped on his way to capture Thomas Jefferson at Monticello during the Revolutionary War.

In a story familiar to many in central Virginia, Louisa County native Jack Jouett, hell-bent on horseback, beat the British to Charlottesville and warned Jefferson to flee.

**Nicholas Meriwether II (1665-1744)** Nicholas was born in Surry County and died in Albemarle County. He was the son of Nicholas Meriwether, the first to emigrate from England to Virginia, and his wife, Elizabeth Woodhouse. Nicholas, II, married Elizabeth Crawford (died 1762), daughter of David Crawford, a large land owner in New Kent County. Along with his son-in-law, Robert Lewis, Nicholas "pushed out to hitherto unoccupied lands in Piedmont, Virginia." Both took out grants for themselves of thousands of acres, being good judges of fertile, well watered selections." Nicholas acquired large land grants in Hanover County (later Albemarle and Louisa Counties) from the Royal Governor and the King's Council of Virginia totaling 17,952 acres. This grant included the "Clover Fields," "Castle Hill" and "Belvoir" tracts. Another grant of **1,020 acres** included his home "**The Farm**".

Nicholas and Elizabeth had nine children, four sons and five daughters and most of these offspring received large gifts of land during their father's lifetime. Nicholas III (1699-1739) married Mildred Thornton (1721-1778). After her husband's death, she married Dr. Thomas Walker (1715-1794) in 1741. Through her late husband's estate, Dr. Walker gained access to the land and house, "Castle Hill", an estate of 1,650 acres that Walker later expanded the property to 4,300 acres. Their daughter, **Mary Walker** (1742-1824) married **Nicholas Lewis** (1734-1808) in 1760, uncle of Meriwether Lewis the Secretary to Thomas Jefferson and together with George Rogers Clark led the Discovery Corp to the Pacific Ocean.

**Albemarle County**, formed out of the western section of Goochland County in 1744- was named for William Anne Keppel, second Earl of Albemarle and Governor of the Virginia Colony from 1737 to 1754. It was formally organized in 1745 with the placement of the county courthouse at Scott's Landing (present day Scottsville) on the James River. The county underwent boundary reductions in 1761 and 1777 from which five counties and parts of two other counties were formed.

As a result of the first land reduction, the county seat was moved to a more central location, and 1,000 acres of land were purchased from Colonel Richard Randolph in 1761. The site chosen was situated just west of the Rivanna River water gap through the Southwest Mountains and was on the Three Notch'd Road, the main route leading west to the BlueRidge. This land was conveyed in trust to Dr. Thomas Walker of Castle Hill, who drew up the earliest deeds and offered prizes to encourage settlement. On December 23, 1762, the General Assembly decreed,

*...that fifty acres of land, contiguous to the courthouse of Albemarle County, have been lately laid off into lots and streets for a town, which would be of great advantage to the inhabitants of that county, if established a town for the reception of traders... That from and after the passing of this act the said fifty acres of land, so laid*

In an age when water transport was crucial, Charlottesville, located on a small creek running into the Rivanna River, had no direct connection to the outside world. As are result, in the heyday of the canals and turnpikes, commercial and transportation activity passed to Scottsville to the south. However, due to its position as county seat and as the site of the University of Virginia, the town did not totally stagnate. In 1836 it could boast four churches, three large and commodious hotels, one tavern, two bookstores, two drugstores, twenty general mercantile stores, one girls' school, one boys' school, one preparatory school, a circulating library, a weekly printing office, numerous professions, a volunteer fire department, and "about 200 large and handsome houses, generally of brick construction." The population stood at approximately 957.

The coming of the first railroad insured the continuation of Charlottesville's growth and brought the beginnings of industrial development. The first rail line of the Louisa Railroad Company, better known as the Virginia Central (now the Chesapeake and Ohio), entered Albemarle County in 1848, reached Charlottesville in 1850, and provided Piedmont to Valley service by 1852. After 1852 Charlottesville was also served by the Orange and Alexandria line, which used Virginia Central tracks as far as Gordonsville. By 1860 this line extended to Lynchburg. These railroads provided are liable, constant, all-weather means of communication and transportation. One result, partially due to the influx of Irish railroad workers, was to increase the population from 1,890 in 1850 to 2,600 in 1853. The Statistical Gazetteer of 1855 describes Charlottesville as "a flourishing town" having four churches, two banks (Farmers Bank of Virginia and Monticello Bank) 16 and four newspapers. A

Popular history has it that Tarleton camped under a giant oak tree located at what is now High and Ninth streets, though some believe one of the massive ancient oaks that sit in Bednar's front yard is the real "Tarleton Oak."

"It's rather extraordinary," K. Edward Lay, a University of Virginia architectural historian, said of the house's history.

Lay said the Farm's similarity to the house Jefferson built at Edgehill in Albemarle County, along with its many features in common with Monticello and buildings on the Lawn, mean "it's almost certain" it was built by Jefferson's master builders, William B. Phillips and Malcolm Crawford. Lay, who has researched about 2,200 historic buildings in Charlottesville and Albemarle County for an architectural history he plans to publish, may be as responsible as anyone for rescuing the house from ruin.

After he and some students completed a study of the Farm in 1992, Lay convinced Bednar and Lawson, who were searching for an old house to renovate, to look at it.

"I mentioned it to them that they ought to look at this house because it was run-down," Lay said. In 1909, the house was bought by George R.B. Michie, who in 1896 had founded the Michie Company, a law publishing house. The Michie family sold the property in 1948 and the house was turned into the Hillcrest Nursing Home and, later, apartments.

By December 1993, though the house was on the National Historic Register, it had been left vacant for about a decade. Its owner at the time, former Charlottesville postmaster Eugene Beagle, used it for storage after city fire officials condemned the structure.

Aside from the poison ivy growing rampant, the house's original majestic rooms had been subdivided for apartments and pipes from a sprinkler system snaked along the ceilings.

Bednar and Lawson began the expensive renovations and moved in seven months later while still completing them. The work is now 95 percent finished, Bednar said.

Lawson believes it was fate that brought two architects to the home, which might have been lost to history had it not been rescued. Bednar seems humbled by his role.

"Both of us really see this as a house that really doesn't belong to us," he said. "We're just the tenants and owners during this time. "It really belongs to Charlottesville -- it belongs to the community," he said.

#### Unhidden Treasure: Rock Hill Estate Gardens Revealed.

by David McNair of The Hook October 2016

The gardens of Rock Hill, a historic Park Street estate that's now the overgrown back yard of MACAA, the Monticello Area Community Action Agency, are getting a makeover thanks to some community activists.

Event host Sabrina Youry convened teams of volunteers on Sunday, October 10 to remove deadfall and debris to from what she calls a "magnificent, but neglected" eight-acre space. "What better way to bring appreciation/awareness/reverence for the environment than to offer the community a beautiful, accessible green sanctuary," Youry said in an email before the event. Afterward, Youry described the turnout as "great," with over 20 people showing up to lend a hand.

Greek Revival town hall was erected by a joint stock company in 1852 and provided room for lectures, concerts, and thespian productions (Levy Opera House, 350 Park Street). Gas became available for homes and offices in a restricted area in 1857,and the telegraph reached Charlottesville in 1860.

As with other Virginia cities, Charlottesville's growth was halted by the Civil War. During this period Charlottesville served as a Confederate hospital center. The town's wartime medical contributions are reflected in a letter appearing in the Richmond Examiner in August of 1861,

Charlottesville is now a vast hospital for the sick and wounded of our army. A more salubrious location for such a purpose could not well have been chosen, to say nothing of the warm-hearted and noble-minded people, whose highest pleasure and chief delight consists of ministering to the comforts and wants of our disabled soldiers.

The agricultural character of Charlottesville during the post-war years was recalled by W. W. Waddell in an account delivered to the Albemarle Historical Society in 1940:

"The town was surrounded by about half a dozen large farms. **On the northeast the Sinclair Estate (Rock Hill) ran up to High Street and down to the river, the section now known as Locust Grove.** On the southeast and south the Brennan Estate and Mr. Slaughter Ficklin's farm ran to the C & O Depot. On the southwest was the Fife Estate which is now covered by Fifeville and ran up to the Southern Railroad. The Colonel T. L. Preston and Andrew J. Craven farms were on the northwest and north and extended to the old line of the Southern Railroad. This section is now Preston Heights and Rose Hill.

You were on country roads when you left East High Street, crossed the C & o Railroad, or left the foot of Beck's Hill, which after all were not much worse than the town streets.

Much of the town's extant architecture dates from the period of Victorian prosperity. Residential and commercial structures reflect a local tradition of Victorian eclecticism and vernacular adaptation. Notable are the residential structures found along Park Street. Writing as early as 1874, James Alexander commented on this area's architectural character:

The residences on this street are built in good taste and their situations are lovely and picturesque, and are well calculated for persons of means and leisure. Doubtless, in time to come, the lands attached to these dwellings will be divided and subdivided to make room for other households."

Despite Alexander's concern for the future of Park Street, the area has retained its architectural integrity over the years.

#### Locust Grove Neighborhood

The majority of housing in the neighborhood are single-family. Although the older houses in the neighborhood were built as a part of the Locust Grove subdivision in the 1890's, the majority of the neighborhood development was constructed between 1940 and 1970. St. Charles Place, which completed construction in 2008, is the newest residential section of the neighborhood.

As late as the 1950's, a rural flavor was seen in the remaining dirt roads, barns and open space in the neighborhood. In the 1960's the Rt. 250 Bypass was constructed, which changed the identity of the neighborhood. Prior to the construction of the Bypass, Watson Avenue was once a main thoroughfare for travelers heading east from Charlottesville across the Free Bridge towards Richmond. **Historic Enderly, on Watson Avenue**, was once used as a "tourist home" and provided lodging for travelers. (Enderly built ca. 1859 in the greek Revival style, was the home of William F. Gordon, Jr. during the 1860's. Gordon served as clerk of the Virginia House of Delegates from 1859-1865. He was temporary secretary of the convention that met in Richmond in 1861 to debate Virginia's Secession to Confederate President Jefferson Davis in Montgomery, Alabama. From 1861 to 1862, Gordon was a private in the 19th Virginia Infantry. He represented Louisa county in the House of Delegates (1875-1877).

**River Road is a commercial and industrial area on the eastern edge of the neighborhood, with Long Street providing other commercial services. Locust Grove's natural and recreational resources include McIntire and Pen Parks, an extensive**



The once grand Rock Hill estate. PHOTO FROM BOB FENWICK WEBSITE

However, restoring the Rock Hill gardens has been on the radar of local preservationists for some time, especially after it was discovered in 2008 that the historic landscape would be affected by the interchange for the Route 250 Bypass and the future Meadow Creek Parkway (part of which opened Tuesday, October 12 as a temporary Rio Road construction detour).

Pedestrian and bicycle access into McIntire Park has been designed to pass through the intersection, but preservation activists argued that the Rock Hill gardens should have been studied as a place that would provide such access to McIntire Park.

In the 1960s, the property's cluster of nondescript buildings fronting Park Street served as a segregation-era school called Rock Hill Academy. Before that, Rock Hill was a private estate whose main house has been demolished but whose extensive gardens comprise vast stone terraces recently gaining visibility from the U.S. 250 Bypass as the result of the clean-up.

The garden was designed and built in the 1930s under the auspices of Reverend Henry Alford Porter, the minister of the Charlottesville's First Baptist Church (Park Street) before retiring in 1945, and his wife Elizabeth B. Porter,who purchased the mansion from architect Eugene Bradbury in the 1920s. (owned the property from January 1930 until December 1947) Bradbury, who did not design the mansion, purchased it in 1909. It burned down in the 1960s while Rock Hill Academy was using it for classrooms.

Porter's garden included a series of boxwood arrangements, a monumental series of stone garden terraces with stone stairs and walks, a stream section along Schenck's Branch, a small lake on the southern boundary, and a woodlands section with stone switchback trails.

"The Rock Hill garden is among the most complex residential garden landscapes in all of Charlottesville," says Daniel Bluestone, associate professor of architecture at the University of Virginia.

"I believe that this was Reverend Porter's private "public works" project that aimed to provide work for the unemployed during the 1930s," adds Bluestone. "The rock for the walls and the paths and the terraces was all quarried on the site."

For years, though, the gardens have been hidden by neglect and the resulting overgrowth, a site perhaps scorned since the creation of the whites-only Rock Hill Academy which opened as part of massive resistance to court ordered desegregation. From 1980 to 1987 the site was also the home of the Heritage Christian School.

"The irony is that Reverend Porter was a progressive on issues of race," says Bluestone, "preaching tolerance, inclusion, and integration between the races."

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#### MACAA Intergenerational Education Campus

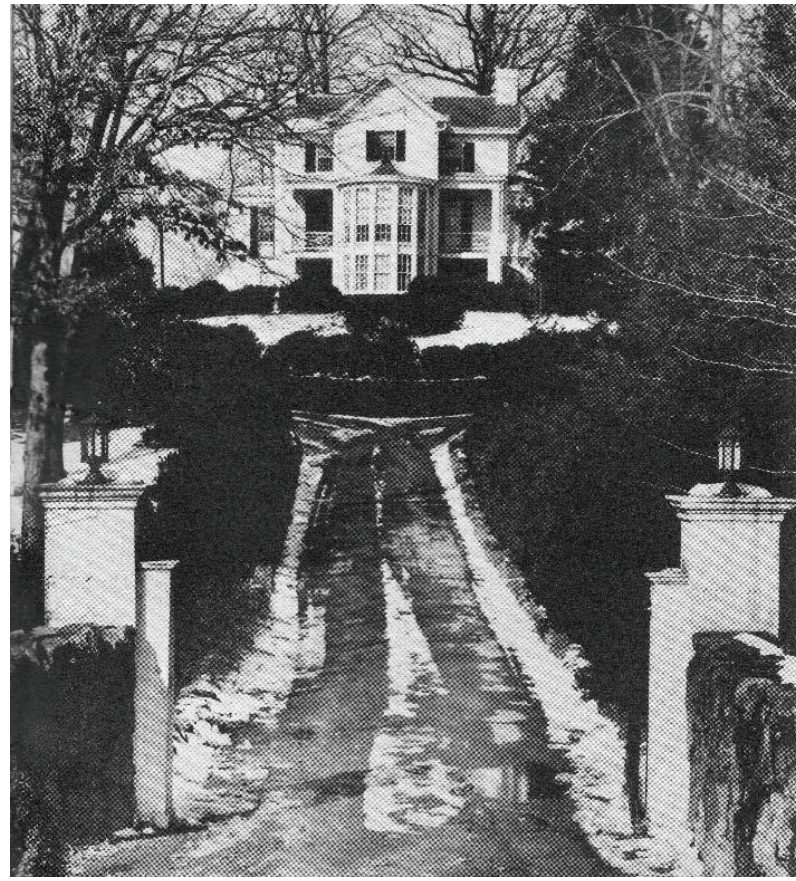
Charlottesville, VA



#### P.U.D. Development Plan

#### Locust Grove Neighborhood History





In fact, Bluestone says that in his will Porter left his estate to Virginia Union University to establish an endowment for the training of African-American Baptist ministers.

However, had Bob Fenwick and the volunteers not provided a clearer view of the gardens to drivers on 250, much of this history, along with the garden itself, might have remained hidden.

"They are showing the extraordinary spaces and the fine bones of the garden," says Bluestone. Worried that the City and the Federal Highway Administration, might not follow through on an agreement, according to a May 2010 memorandum, to restore the garden and add it to the park system, Bluestone says the current effort to restore the gardens is, in part, a "provocation to make sure the city and the FHWA deliver on the

commitment." "The gardens are really impressive," says Bluestone, "now that you can see them."



**Origins of a Name**  
The name "Rock Hill" was first used in the 1820s to describe a 66-acre farm carved from the holdings of Thomas Walker Lewis, cousin of American explorer Meriwether Lewis.



A view of the 250 By-pass.  
PHOTO BY DANIEL BLUESTONE

Gibbs describes a 10 feet deep lake fed by Schenk's Branch, which at first fed into a small goldfish pond Porter had created on the upper portion of the property. On the far side of the lake, a natural waterfall flowed over a Japanese rock garden in the front corner of the property closest to McIntire Park.

Before the construction of the 250 By-pass, Gibbs described it as a "truly spectacular county property" that actually had a Rugby Avenue address. She says the by-pass construction in the late 1950s-1960s dramatically changed the site, as it cut off the Japanese garden and the front wall. Up until that time, Gibbs says her father was a "devoted steward" of Rev. Porter's creation who would hand-prune the English boxwoods, hand-spray the apple orchard, and regularly aerate the grounds with a heavy push roller with spikes. "Dad was a retired military officer who had a passion for nature, and hard work," says Gibbs. "Believe it or not, Dad groomed and maintained the entire property by himself without a crew or yard service." Gibbs also recalls that they kept a single cow on the property.

In recent weeks, former City Council candidate Fenwick has gotten assistance from a cadre of volunteers trying to bring back the skeletal remains of the parterres.

As for the missing house, Gibbs describes it as a two-story Federal built of stone and then stuccoed and painted a wheat color with dark brown trim, and later painted white with dark black-green trim. The house had 10-foot ceilings, four-hand-carved Italian marble fireplaces, and two hand-carved and curving walnut banisters. Eventually, she says, the property

When the estate was offered for sale in 1860, the posted advertisement noted several key features, including rock fencing along the perimeter, possibly constructed using stone quarried on-site. By 1909, the property had been reduced to 7.7 acres containing a circa-1820s residence and a distinctive stone wall enclosure.

Sections of that rock wall on the southwest side of the property were realigned in the 1950s during construction of the Route 250 Bypass. In 1963, during the site's tenure as the Rock Hill Academy private school (1959-1979), the historic house was destroyed by fire. Today, the Rock Hill Landscape remains as evidence of the property's storied past.

#### An Eclectic and Picturesque Landscape

Early photographs of the property indicate that the Porters incorporated pre-existing features such as the rock-lined driveway, orchards, and two stuccoed brick gateposts at the main entry. Based on construction methods and size of some vegetation, Dr. Porter is believed to have added 58 early 20th-century Picturesque elements to the landscape's design, such as rough-cut stone features, an artificial pond, and hardy evergreen plantings, to balance the man-made and natural environment of the site. Dr. Porter used architectural features like rock walls and stone steps to manage the rugged terrain, particularly in the formal garden along the southwest side of the lot where terraces and a number of stairways set the space apart from the wooded, natural area in the northwest corner. In direct contrast to the rigidity of the formal garden, the woodland area is marked by stone-lined switch-back trails, an outdoor fireplace, and carefully crafted "natural" scenic vistas into McIntire Park and along Schenk's Branch. The Porters planted boxwoods, hollies, and rhododendrons, as well as beech, pine, and hemlock trees throughout the landscape.

Photos courtesy of the Albemarle Charlottesville Historical Society.

Schenk's Branch fed into a gold fish pond on the Rock Hill property before the 250 By-Pass cut through.

Photo courtesy Daniel Bluestone



plants" and many different gardens. In addition, those stone parterres once surrounded the entire property, outlined the driveway and the terraced gardens which held a spring-fed lake and an island at its center.

"I remember there was a huge carved eagle with its wings spread wide on the face of the house," says Gibbs, who lived there with her father, mother, her two brothers during the 1950s. "I believe an article at the time mentioned the enormous expense and effort that Dr. Porter went to to create his amazing landscape. It was definitely not low maintenance." Lay says the original house at Rock Hill was built in the 1820s for the Scotch-Irish Leitch family. In 1839, the Reverend James Fife, a Scotsman who became city engineer for Richmond, and was ordained a Baptist minister, purchased Rock Hill. "Former Charlottesville mayor Francis Fife descends from this Fife," says Lay. In the 1930s, Reverend Henry Alford Porter, the minister of the Charlottesville's First Baptist Church (Park Street), purchased the property from famed local architect Eugene Bradbury and began to create the extensive gardens.

#### Burned and Bypassed: Rock Hill Has A Ghost Of A Garden

by David McNair, November, 2010 the Hook

"It's important as the home of the violin playing brother of Jefferson's master builder, James Dinsmore's, and as the home of the very capable architect Eugene Bradbury," says famed UVA architecture prof. Ed Lay. "And of course the stone-walled parterres are perhaps the only ones remaining in the city, which were used for crops and flower gardens facing the southern sun."

UVA architecture prof. Daniel Bluestone, who has been leading tours of the property, calls it among the "most complex residential garden landscapes in all of Charlottesville."

Indeed, Mary Gibbs Lane, whose father, the late Capt. John W. Gibbs bought the 8-acre property with the two-story house at auction in 1947, says there were "hundreds of amazing

became too much for her father to maintain, and they ended up selling it in 1959 to a group called the Charlottesville Education Foundation.

In September 1958, after Lane High and Venable Elementary Schools were closed as part of the state's "massive resistance" movement to defy a federal order to integrate the schools, the Foundation, headed by long-time former UVA Dean Ivey F. Lewis, sought to allow people to "exercise their freedom of choice in attending sound, segregated schools" by creating a private school named **Rock Hill Academy. Such schools became known as "segregation academies."**

**"My mother worked at the Rock Hill Academy school for over 20 years, including the transition to Heritage Christian a few decades later,"** says Charlottesville resident JoAnne Behrendt Kice, who points out that the school's hard line on segregation softened over the years. "My mother remembers several children of color attending the school during this period," she says.

After the sale, the main house was used as the school's administration building and contained a library in what had been the Gibbs' dining room. The house came to an inglorious end in 1963.

"Some youngster broke into it and started a fire, by accident we think," says Gibbs. "The fire did much damage to the interior of the house but left it intact enough for us to enter it and survey it— even the second floor."

The Foundation, however, decided that restoring the house was not cost-effective. "So the house was dismantled," says Gibbs. "We're not aware that any of it was salvaged, even the marble fire places. It was a sad day."

Compiled by Dian McNaught  
November 30, 2016

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MACAA Intergenerational  
Education Campus  
Charlottesville, VA



P.U.D. Development Plan

Locust Grove  
Neighborhood History

H3

August 28, 2017

**Meeting Date October 10, 2017 Minutes Excerpt: MACAA Public Hearing Comments:**

John Hossack, 617 Davis Avenue: said MACAA has been a good neighbor to the community for years and he supports their mission and purpose. However, he said, he still has concerns that Park Street cannot handle the additional traffic that will be generated. It is really beyond argument that Park Street for many hours of the day is gridlocked. He also said older drivers seeking to exit the site may not be able to navigate the conditions. This is fundamentally a transfer from residential use to commercial use, and that should have a very high bar to clear.

Harriet Kaplan: After spending over 2 years trying to figure out how to save MACAA and to help it flourish, we are now extremely excited about all of the synergies inherent in the project that was just described to you. Think of it! A new, modern child-development center for our area's most vulnerable preschoolers; A much-needed senior living community that will preserve most of the site's natural beauty; An opportunity for seniors and children to enrich each other's lives; and 85 permanent jobs that could represent a new beginning for some of MACAA's constituents, many of whom are unemployed or under-employed. This scenario is a far cry from what we have now:

A building that has outlived its useful life and that is both too expensive to rehab and too costly to run. The bottom line is that the status quo is not an option for MACAA. Please, I urge you to grant the PUD tonight so that MACAA can go boldly into the future, continuing all of the important work that we have done in the past. And to make possible all of the important work that we plan to do in the future.

Dawn Kidd: former board member and came to support this project. We did and have put a lot of thought to this project a process we have gone over the last couple of years. She said this will work for the community and for MACAA. Her child attended the head start program and she participated as a parent and it has helped her to grow as a parent and as a professional. This community needs the jobs which will be a positive and the intergenerational aspect will be a positive for the kids that attend the head-start program.

Barbara Smith: MACAA's plan to bring an intergenerational campus to Charlottesville will provide increase cooperation, interaction, and exchange between people of different generations; and enable various age groups to share their talents and resources, and support each other in relationships that benefit both individuals and their community. The intergenerational community is not just one where multiple generations reside. It will bridge the generational gap by building on the positive resources that each generation has to offer each other and those around them. The elderly possess a wealth of knowledge that can be passed on to the younger generation. Many of us have said, I don't know what happened to this younger generation – cause when I was young, my neighbor would correct, redirect, and guide me and set me back on the right path. Well, neighbor, it's our responsibility to address the extraordinary needs of low-income children and families. We are to set a path for their success. To ensure those less fortunate than us to have an opportunity to better their lives. This is what MACAA has been doing for over 50 years. Providing services to help those most in need in our community to become self-sufficient. In 1964 an unconditional War on Poverty was waged. On August 12, 2017 a

different kind of war was waged in our community. And, it was out of our hands – out of our control. Well, there's still a war to defeat. And that is to ensure the disadvantaged children, families and seniors are well cared for and mentally stimulated by interactions with other people which will help to sustain their lives. MACAA's longevity is a testament to our overall effectiveness. MACAA has and continues to serve as a beacon of hope for many and an inspiration to the entire community. Our current facility is falling down around us. We need not look poor to help the poor. This new campus is critical to MACAA's financial vitality and existence. And, that neighbor is in our hands and in or control. Help us in this important work of building a solid foundation for generations to come. The solidary plays in building a stronger and supportive community where all lives do matter.

Elise Cruz: I am the Senior Program Director at MACAA. I am a trained urban planner but took this position to see my city from a different perspective-from the eyes of the area's poorest, most disadvantaged, most overlooked and forgotten people. I know that many of you have expressed your support for MACAA and the programs we offer to the community and we are grateful for your partnership and trust. Tonight, I'd like to go back to my academic roots and explore this decision using a term I have a love-hate relationship with: "Highest and Best Use." This particular site is a bit of a weird one. It's bordered by

a highway and a major bypass, neighbors a large city park and an

older neighborhoods, has a complex cultural and natural history, is one of the largest privately-owned and mostly-undeveloped parcels of land in the City, and has this unsightly, crumbling office building sitting right in the middle. From my perspective, there are few possibilities for the future of this site: MACAA continues to occupy the property for several more years. We continue to sacrifice the strength of our programs while we struggle to keep the building in working order. The structure continues to deteriorate and be an eye-sore. Some millionaire offers to buy the property, knock down the building, and build one giant mansion on the hill. Another developer approaches MACAA to build something by-right, such as squeezing 25 single family homes onto the site. This place an additional burden on the city's schools and emergency services while allowing no affordable housing and creating a large amount of traffic during rush hour times. The City decides to take advantage of this opportunity to address needs of the City's children, elderly, and low-income residents in one project. This campus will not only help MACAA better address the causes and conditions of poverty in the region, but it will actually provide on-site affordable housing, something no other developer has offered in recent years. Its scale and design are thoughtfully integrated into the neighborhood and geography of the site. Its promise of steady, good-paying jobs and opportunity to build a program connecting low-income adults to careers is hard to overlook. And its ability to keep aging resident's part of the community they love is incredibly important. When determining the "highest and best use" of a property and evaluating any proposal, we as professionals are asked to consider 4 things:

1. Is it physically possible
2. Is it legally permissible?

3. Is it financially feasible?
4. Is it maximally productive?

I would also add to this list:

“Does it make our community more wonderful?” In this case, I believe that - with the necessary approvals from the City-we will be able to answer “Yes!” to all of these questions for the MACAA Intergenerational Campus project.

Nancy Kidd: I have been director of the MACAA Hope House Family Stabilization program since 2012 and worked for another program serving underprivileged families prior to that.

Over the years I have worked with people who find it difficult to financially survive in the City of Charlottesville. It is typical for them to share three major challenges: employment, transportation, and daycare. The MACAA Intergenerational Campus would provide opportunities for not only MACAA/Hope House families but others in the community. The project would create 85 permanent jobs that may be accessed through job training presently being offered to Hope House families.

The jobs would be easily accessible on the CAT bus line. The added benefit of having Head Start on site would resolve daycare challenges for many. I am requesting that you approve the MACAA Intergenerational Campus application.

John Fink: he is the executive treasurer of MACAA and a former planning commissioner chairman. These proffers are well in excess of a million dollars. This is an extremely robust set of proffers and fully underscores the commitment by the developer to affordable housing in our city. Hand in hand with these proffers is the opportunity for the constituents of MACAA with training to get good jobs, Our mission statement is this From Poverty To Self-Reliance Through Education, we are making a difference, so please help us to continue to make that difference. He said our organization has severe financial challenges, their demands for services has increase and the future of our operation is in serious doubt. MACAA has proudly served this community for over a half of a century. He gave his opinions of the duties of a planning commissioner and the guidelines to consider. The city is in dire need of clear and abiding leadership. Please demonstrate your collective vision in leadership and your unwavering support of MACAA with your unanimous approval to this application.

Donna Bonsignore, 604 Davis Avenue: she continues to oppose this project and object to the permanent loss of the two R1 zoned properties on either side that is known as MACAA Drive. In the current iteration of a PUD a double set of duplexes would occupy the south corner lot. With these duplexes all previous pretense preserving the visible of our R1 low density neighborhood has disappeared. These duplexes were only included in an anemic response to neighbors like me and others in this room tonight who objected to the unaffordability of the senior living facility as proposed, But four units for seniors at 80% AMI plus 75,000 dollars to the city for affordable housing falls far short to what she would expect from a deal brokered by an anti-poverty organization such as MACAA. The senior living project on the table with all of the bells and whistles is readily available at the same rates in our

region. To better justify this re-zoning a facility offering subsidized senior housing featuring intergenerational opportunities would be more in keeping with MACAA's mission and it would show real progress for affordable senior housing in Charlottesville.

Constance Johnson 631 Davis Avenue, no one is against MACAA, we love MACAA it has been a business in our neighborhood and a great neighbor. What bothers her is these people are putting a business in their neighbor. We are R1 and single family homes there are no other businesses in our neighborhood. The current MACAA educational facilities are set back and are out of sight from our neighborhood. What they are proposing to do is tear down a single family home at the corner of MACAA Drive and Park Avenue and replace with the two duplexes, the bone they have thrown out for affordable housing. They propose to move the business office up to that beautiful stone house other corner which would basically be a business office. Of course that eliminates the single family housing also. If this is approved a precedent will be set in our neighborhood and we will start to see other proposals for getting zoning changes and changing the character of our neighborhood. She is concerned with the numbers they are showing you for jobs and taxes; she doesn't understand how they are getting those numbers and she hopes you will look at those carefully. She wonders about the people on the lower end of the job scale; what kind of pay they are getting or good benefits. There are no low income people who will be living in that senior housing facility and she thinks that is a shame.

Nancy Carpenter: nobody is disputed the bridge building that Mr. Drewary Brown over 50 years ago is not a benefit and not something that is brilliant here in this community. What we have to look at as a Planning Commission is what's being dimensioned and what is being advanced. A couple of the others have mentioned about affordable housing looking at those slides and you are talking about revenue and income that are coming to the city and what kind of jobs and revenue that's coming to the city and you want to offer \$75,000; that is an insult to the affordable housing fund. The City Council has already appropriated \$900,000 for a voucher program for a number of families here in the city. She said this RUI company could probably do a lot better than \$75,000 as a proffer to get something in this community that some community members are concerned about. She said affordable housing for senior, 80% AMI. She said she works every day with people who get \$735 a month SSI/SSDI. She said in her generation a lot of people didn't work outside of the home, a very small public benefit that comes to them every month. You should be looking at 50% AMI or less because the other problem is there is the business model for this assistance living home doesn't accept Medicaid bids, which means the poorest of the poor, the sickest of the elderly won't have the benefit of being able to utilize this facility. What will the people who will work here do for transportation because most do not own cars. What kind of proffer will they offer to bring in CAT to actually come into the facility because where the current route is now how you have to walk up the sidewalk and across the street is not the most-safest way to get over to the existing property.

Bill Gray: is an 81 years old man who reads to kids in the public school 17 years. He said the experience and the interaction between seniors and the young is wonderful. Seniors and youth on one campus is nothing short of a miracle. He loves it when he walks upon a student he once read to and they

remember his name Mr. Gray or they say, I remember the book you read me in 4th grade. These kids are respectful and they appreciate the senior because they have two working parents at home.

Cecelia Mills: said we are relying on the commission and the City Council to take steps to help our community stay a community and said the proposal did not provide enough affordable housing and would not pay high-enough wages.

Paula Kettlewell: Wilder Drive, 83 years old. She can age in place because it is a neighborhood. My neighbors look after me, they know where I am supposed to be at a certain time. It ranges from three in their eighties and people with pre-school kids. It is truly a neighborhood. She 100% support the kinds of things that MACAA is trying to do. She is not sure this is the place to do it. So many of the jobs in this establishment, the people who work there can't afford to live in this Charlottesville. The traffic which has been building up since she move there. To get from Park Street to the 250 bypass going west require nerves of steel and rapid reflexes which very few people over sixty tend to have so she is very concerned about increasing the number of us who make that split 70 second decision to cross into 250 when people are trying to get out onto the John Warner Parkway. Every time she does it she's holding her breath. Because of the traffic people will continue to drive through neighborhoods to avoid the hold ups that are increasing on Park Avenue. When she read about bringing 700 construction jobs, she said what kind of traffic is that going to bring. Thank you for considering it and she believes you will make a wise decision.

Isaac Edwards: he is speaking on behalf of MACAA, born and raised here in Charlottesville and MACAA has truly turned out to be a great asset. He is a led teacher there 3-5 years old to prepare them for kindergarten. The best thing he has experienced is how MACAA involves the family so much, the community is made up of thousands of family. It takes a village to raise these kids and to set an example. This will be a great asset because the building we are currently in is not in the best shape, and is going down-hill, so this building is beneficial to the community and children so he hopes you find it in your heart to go ahead and approve this project.

Virginia Amos: 628 Watson Ave, 92 year old who is a lifetime resident of Charlottesville who lives on Jefferson Street, walking to McGuffey and Lane High School. Jefferson Street was her family residence during her years of nursing school. This period of time dates back into the 1920's. In 1958 we build our home on Watson Avenue which was an R-1 neighborhood. She asked you to imagine Ridge Street with stately residence, bankers, lawyers and merchants. Imagine Market Street with lovely homes among them a home of a judge. Imagine High Street all the way from Becks Hill to the Rivanna Bridge with lovely residences. She remembers High Street the residence of at least 5 physicians Some of these homes have been demolished and replaced with office buildings. All of that area was designated as R-1 in her childhood. Zoning changes have been allowed on these streets and are no longer desirable places to build a home. Currently the Locust Avenue and Park Street are zoned R1 and meant for family residences. Gradually exceptions have been allowed to those in offices and other changes. This is the last remaining lovely area for residences. To allow two duplexes across the street from one who built their home is an affront to the homeowner who built in R1. To allow these changes in A1 designation and allow the exception of a senior living in a community with a 4 story building and all of the added

traffic is an affront to those who built their homes with confident that this was a designation R1. Currently, it is difficult to turn from Watson Avenue in heavy traffic on Park Street. We have to depend on courtesy of drivers to motion to wait and allow us to turn to have access to Park Street. An increase would be disastrous. Traffic on Park Street will increase until it will be a congested and bumper to bumper as it is currently from Evergreen Avenue to the Bridge on the bypass. I employ you to deny the change of designation from R1 to any other and protect the current residents.

Kathleen Fee : it is very confusing for her to tie the project of the intergenerational millennium together with her support for head start. It makes her feel guilty if she has one thought about this behemoth building going up in her backyard. It is 75 feet from her backyard. She has strong feeling about the directions that this village is taking. In 1965 her first job was working for head start and the federal programs to establish voting rights for African Americans; both of these organizations was in Mississippi She gets a clear sense that we are going backwards and we are putting much more into money. There is nothing lively or innovative about this project. She asked how big is each unit and how many people will fit in them. She sent a letter to Heather Newmyer. She can't believe that this is the only way to save head start in a town like this.

Jody London: She is a recipient to what Head Start offers. She is a single mother of a 4 and 2 year old. Her 4 year old is in a classroom that is somewhat dilapidated It is hard for her to sit and listen to residents say they want to support MACAA but they are not in favor of their community being distorted by a multi-story building. To her that is hypocrisy, To not approve this program is to keep women as herself, single mother, women of color and women trying to better themselves in the situation that we are currently in. Had it not been for MACAA during her time of unemployment she doesn't know what she would have done with her daughter and where she would have been going to school. She has excelled extraordinarily, she is a social butterfly, diverse in her letters, inquisitive, thrives and made lasting friendships not only with the children in her class but with the teachers and the staff of head start so she employ you to please consider this project and give it your approval.

Martha Smith, Marshall Street: She thinks this project is the right thing for Charlottesville at this time. She seconds every complaint everybody has issued about traffic. It is ridiculous and very difficult to deal with. It is already a business, an educational business resides in the property so to say oh suddenly it's a business is casting a little bit of a shadow on what's already there. Running a residential facility is a business, but its purpose is residential. She has been involved in Habitat, and seen a number of duplexes that don't look like duplexes They are very attractively styled; simple but nicely detailed and one of the entrances is on the side. She was looking at this affordable housing contribution and was a gasped - 500 per residential unit that is proposed, that is miserly. That amount should be more in the range of 3,000 a unit. Somebody is going to be making money off of these units and it would seem like a fairer contribution to the affordable housing fund would be a heftier number. 500,000 would only get us a tad over \$7,000 and these funds are a way to help the affordable housing issues at least in part to get us moving forward and hope we are able to find a solution to that.

Bonner, Real Estate: There are 10 houses that surround the MACAA property, one house is Dr. Free house and the other house is the big beautiful historic house, and the other houses are all rental houses,

maybe one owner occupied. This block is a rental residential neighborhood, It's R1 but a bunch of duplexes in a way.

Rory Stolzenberg: He spoke on the renters of Charlottesville, every time you disapprove a project like this where it doesn't sound like the alternative is a bunch of affordable housing being built or 140 units of cheap housing or rather no housing being built. There is a consequent in the rest of the town and that's a 140 young couples moving into the units being vacated by these elderly people moving into this new complex which means less people moving out of the rental houses to buy their first house which means rent is going to go up. Homeowner usually gain when something like this happens especially the ones nearby and he doesn't mean to suggest that anyone here is nothing but well-intentioned but there is a transfer of wealth in place and that money comes from mostly the renters of Charlottesville, and in part a complete financial loss. He lives two doors down from the Clock Shop but he doesn't have any invested interest in any of these projects today and he never heard of MACAA until a couple of months ago. The only way to create affordable housing in this town for everyone is to build more units.

Valerie Long: In favor with this project tonight, and it strikes a nice balance between all of the issues that have been raised by the commission and staff over the last few months. As a working mother with two children, she can attest to the significant incredible challenges to finding affordable child care in our community. It is incredibly challenging and incredibly expensive. There are so many studies out there that document and demonstrate the significant financial benefits when a community receives when they invest in high quality child care. MACAA is already there but this will enable them to among other things to continue to buy that high level of care but in new facility that are designed to modern standards and needs that meet our current quality standards and she thinks that has not been discussed enough. All would agree that there is an increasing demand for quality senior living facilities in our community particularly those that are well located closely to other facilities. She has worked on several assistance living facilities in her practice, ( she is not in any way involved in this one) she has learned a lot about how challenging it is for families with elderly family members to find quality care, and much like the other speaker mentioned the best way to provide more affordable housing is to build more units similarly the best way to provide for competition and quality care and affordable care insure is to insure we have sufficient supply or at least more supply so that we are not creating a situation where prices are driven up due to lack of supply. She said this location near a neighborhood is actually a benefit, it allows the elderly or families who have elderly family members to live near their family members who might want to live in this building. They can be in the senior apartment buildings when that is the level of care they need and when they get to the point when they need to transition to the assistance level facility they can transition essentially in place which makes it a lot easier on everyone. To have their family member nearby would be a great benefit.



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September 18, 2017

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P. O. Box 911  
Charlottesville, VA 22902

Input on MACAA Development

This letter is to let you know I DO NOT support the rezoning of 1021 – 0123- and 1025 Park Street.

I live at 1012 Park Street, on the corner of Davis Avenue and Park Street. I have lived here going on 52 years. I moved here July 13, 1966.

My first concern is how can a two-lane street be turned into a street with turn lanes and a landscaped island in front of 1100 Park Street ?

I have a picket fence around my property. The grass area on the street side of the fence is my property. The City required me to install the fence where it is. In front of my house from my curb and gutter, across two lanes in front of 1021 sidewalk and rock wall, where is space for a turning lane?

There was a bus stop on the north corner of my property for years and the City was going to put a bus stop bench on my property. I told them I didn't want it there. They had poured the cement for the block, the property was surveyed, it is my property, so the block was removed. No bus stop bench. The bus stop was later moved over to corner at 1100 Park Street. It is now moved – no bus stop.

A year or so later, one day I discovered a concrete block bolted to my sidewalk. I checked to see what that was for. It was to install a flashing light crossing. I immediately checked on that before it went any further and said it could not be on my property. I know how the traffic is on this section of Park Street and I was not going to be part of setting a death trap in front of my home. So the block was removed.

I have a highway guard rail at the north corner of my property at Davis and Park because a van hit the front porch steps of my home around 2 a.m. one morning. Had he missed the steps a couple of inches, he would have parked the van in my living room.

One thing you haven't heard discussed is the health danger for all residents of the area from all the pollution. I wonder why anyone would want to put a Senior Retirement facility where this one is planned? They will not only be exposed to Park Street and the 250 By-Pass, but also the John Warner Parkway pollution. Since traffic signals have been installed at North Avenue and at the bridge/250 ramp, lots of times during the day vehicles are backed up north and south. Think of all the pollution we are exposed to. I read an article once concerning cancer and it stated the distance you could live from a highway and be affected by the pollution from traffic. At that time I figured I live close enough to the 250 By-Pass to be exposed to pollution from that traffic.

Information on project states that MACCA Drive has 86 vehicles using it per day. This figure will increase to 486 with project proposed. I don't care how the drive is realigned – they have to enter and leave. You hear the squealing of tires with 86 vehicles. What will it be like with 486? Park Street can't take it.

Davis Avenue does get cut thru traffic. When traffic is backed up heading south, vehicles take a left down Davis Avenue – right on Marshall – left on Watson up ramp to Locust – across the bridge then left to 250 By-Pass.

It's easy to understand MACCA's reason for their partnering with the developer of the housing complex for seniors to help them survive since Federal, State and Local governments have reduced their funding. According to the property transfer in 2/26/17 Daily Progress, they purchased the Rock House property 12/2/16 – consideration \$882,500. When you see that you think they must be doing pretty good. The project hadn't even been approved.

I question also how can the housing project for Seniors say that rent would be between \$3,500 and \$4,200 a month and low income people likely could not afford to live there? I thought that any housing project had to have a certain number of affordable units. A member of my family was thinking about making some changes with their property and add some additional housing and was told they had to have a certain number of affordable units. And as I hear all the talk about the need for affordable housing in Charlottesville, why would the City approve a project that feels like low income couldn't afford it. And there are probably many Seniors that are in the low income bracket.

Speed Limit on this section of Park Street is 25 mph. Many, many are going much faster heading north and south. Talk of not many accidents – quite a number of times, I look out and people have pulled around the corner where someone has been rear ended. Also I will notice a police car or motorcycle with someone caught for speeding sitting on Davis Avenue. This area still needs help with traffic and we sure do not need anything to make it worse by adding more.

People ask me where I live and I say I live on the Charlottesville Freeway, formally known as Park Street.

I don't think you could find a more dangerous place to put the entrance and exit for a Senior Retirement Home than MACCA Drive. I don't care how it will be realigned. And also if they realign it, Davis Avenue will be closer to the crest of the hill.

I hope my letter will let everyone know why I am not supporting any change across the street from of my house and changes to the intersection. My thoughts about realigning MACCA Drive with Davis Avenue will probably make it worse for Davis Avenue. If the street is still marked "Do Not Block Intersection" and cars going north and south are backed up, those exiting MACCA Drive will take a straight shot across Park and down Davis to leave.

As I close, I wish all of my neighbors the best and for their sake and mine, the rezoning will not be approved.

Thank you.

**From:** Judy Harmon  
**To:** [Newmyer, Heather](#)  
**Subject:** Development at 1025 Park Street  
**Date:** Friday, September 29, 2017 3:21:16 PM

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Dear Ms. Neumeyer,

I am a resident of the North Downtown neighborhood of Charlottesville. In my neighborhood and adjacent ones there is near constant construction and redevelopment of private single family homes, multi-unit residential buildings (630 Park St, West 2nd St, 550 E. Water St.), supportive housing (proposed at 517 Park St), and the proposed large scale project at 1025 Park St where MACAA is currently located.

Most of these projects that I mention are about improving properties, increasing the capacity of a building, or demolishing and building new, upscale housing; few take into consideration serving the current population of Charlottesville and its needs for affordable housing.

I am afraid the MACAA project falls into this category as well. How does it serve a need that is unmet in Charlottesville? A quick internet search shows at least 44 different housing communities (that's multi-unit buildings multiplied by 44) for seniors in Charlottesville and Albemarle. Is this really insufficient? How does the New Millennium-proposed building improve Charlottesville or meet a need?

Beyond just making good use of our land, there are also logistical factors to consider such as how much traffic a single lane street like Park Street can handle. What have the traffic engineers said about adding 150+ residents, as well as visitors and staff to the property daily?

I live immediately off of Park Street. Since the renovation of the Bypass and JW Parkway was completed, traffic has significantly increased. Congestion and limited visibility make it difficult and dangerous to turn left on Park Street during busy times of day. I think the neighborhoods immediately around 1025 Park Street will experience similar difficulties getting to and from their homes if the proposed project is approved. Park Street was just not designed to handle as much traffic as it currently has, and certainly isn't prepared for such a potentially large increase if the current plans go forward.

Before the Planning Commission approves NMSLC's plan, please carefully consider what Charlottesville needs and how we as a community can meet that need. Let's not just sell out our neighborhoods and our neighbors to a profit making institution with no ties to our community.

Thank you for your consideration,  
Judy and William Harmon  
609 Lyons Avenue

**From:** Donna Bonsignore  
**To:** [Newmyer, Heather](#)  
**Subject:** MACAA PUD  
**Date:** Wednesday, September 27, 2017 12:47:37 PM

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I'd like to go on record with my objection to the proposed permanent loss of two R-1 zoned properties fronting Park St. on either side of what is known as MACAA Drive. In the current iteration of the PUD proposal, with the planned double set of duplexes on the south corner, all pretense of respecting the current zoning and character of the street is lost. It strikes me as unnecessary collateral damage since the remaining property in the PUD could be well utilized and perhaps rezoned in ways other than as currently proposed.

Donna Bonsignore  
604 Davis Ave.

Input on MACAA development  
John Hossack, 617 Davis Ave  
9/29/17

MACAA have been good neighbors. Our neighborhood values their contribution and in particular their mission and passionate leadership. I sincerely hope MACAA can thrive and stay on this site in our neighborhood.

I appreciate and value the time staff from MACAA, New Millenium and City Staff took to attend meeting(s) explaining the plan.

In principle, the intergenerational development has merit. There are some significant questions about scale and detail.

Concerns:

The traffic engineering analysis appear to have used the 11,000 cars per day. The City did a traffic and speed count on Park St in July – i.e. during the quietest part of the year. I understand a new count is planned. It would be useful to have a valid count for Park St.

Park St is an overused and abused residential street. In all likelihood, it is little more than a widened and paved over early 19<sup>th</sup>C country track. The alignment north of US250 is consistent with this observation (steep, narrow, windy, blind summits). However, today it is the de facto arterial linking County growth areas north and east of town. It carries more traffic than the Warner Parkway. The City has had good opportunities to address this problem – e.g. by prioritizing a grade separated intersection (GSI) at Hydraulic over one at Rio. A GSI at Hydraulic would encourage through traffic to avoid our neighborhood. A Rio GSI encourages use of our neighborhood for through traffic. Why is this relevant? Some of the Park St's prpbblems are attributable to unwise City decision making in the past. Now, we are supposed to support a project that potentially worsens the situation? Are we to believe the optimistic assessments of future traffic, speed and safety or should we follow our intuition based on decades of local experience? Unfortunately, Park St is a mess that risks destabilizing a neighborhood. I would be so much more enthusiastic about this project if I really felt the problems of Park St gained the attention they ought to attract.

I previously expressed concerns about the underestimate in traffic growth (i.e. near static – it isn't). That concern remains.

I previously expressed concerns about sight line deficiencies exiting MACAA. These are only partially solved. Local residents know that a 20 mph advisory isn't likely to work on this road. It is predictable that older drivers will have exceptional difficulties exiting MACAA given these problems – especially at times of low light. While there have been few accidents at this junction, near accidents occur daily.

Our neighborhood is deeply concerned that the parking allowance is inadequate and that our street (Davis) will be development / school overflow parking. We will not tolerate this.

I appreciate some adjustments made to the plan with respect to keeping the pedestrian crosswalk on the south side of the junction and taking measures to avoid inappropriate exiting from MACAA on to Davis or Park St north.

The scope of the development was reduced from about 150 units to about 140 units. This still seems way too many given the deficiencies with the site and its access.

Summary: Based on the above, I consider the plan to be too large scale and that traffic and road access questions remain. I cannot support the project as planned.

Kathleen Free, Ph.D.  
1007 Park Street  
Charlottesville, Virginia 22901

434-295-5758

September 27, 2017

Heather Newmyer, AICP  
City Planner  
Neighborhood Development Services  
City Hall  
P.O. Box 911  
610 East Market Street  
Charlottesville, Virginia 22902

ZM17-00001  
1021, 1023, 1025 Park Street Planned Unit Development Rezoning Request

Dear Ms. Newmyer,

Thank you for your invitation to write to you of my concerns regarding the proposed Nursing Home to be built on 1021-1025 Park Street, which adjoins my property next door and rear yard at 1007 Park Street.

I want to preface my concerns with a strong declaration of support for MACCA, Headstart, and the Charlottesville Community as a whole. This support is crucial to the viability of the citizen based decisions which reflect our values as a community. These values are at odds with the current proposal.

The current proposal for building a nursing home will overload and overwhelm the site and the neighborhood as a whole in the following ways:

- 1) Dangerous increase in area traffic, and an intersection on a blind curve/hill which is already hazardous; I would like to suggest a 2-month traffic study of speeds and volume at the location of the future intersection;
- 2) The increase in affordable housing on this particular site (4 units) for Charlottesville is negligible;
- 3) The size, height, density, and massing of the proposed buildings is out of character with the surrounding, existing one-story and historic properties;
- 4) Potential numbers of nursing home units density exceed recommendations of the City of Charlottesville comprehensive plan;
- 5) Loss of green space as residential backyards and gardens are replaced with large parking lots;
- 6) Displacement of wildlife (deer, foxes, song birds, pheasants);
- 7) No proposal of sustainable building principles applied to the proposed structures;

8) Transforming a residential area to a business area without proper procedure of approving a commercial zone with the associated requirements of evaluation of this property as a business; these are essential evaluation requirements, which differ from the PUD.

Rather than this commercially developed, mixed-use development, a neighborhood scaled development by an affordable housing non-profit developer, such as the redevelopment of the Sunrise Trailer Park by Habitat for Humanity, with a mixture of single family, town homes and smaller scale multi-family buildings, and small-scale commercial spaces like a cafe or community gathering place, seems much more appropriate for this site and the neighborhood.

Sincerely Yours

*Dr. Kathleen Free*

Kathleen Free, PhD

CC:

City Council:

Mike Signer, Mayor

Kathy Galvin

Kristin Szakos

Wes Bellamy

Bob Fenwick



**Central and  
Western Virginia  
Chapter**

**(800) 272-3900**  
**alz.org**

**Charlottesville**  
1160 Pepsi Place, Suite 306  
Charlottesville, VA 22901

**Danville**  
308 Craghead Street, Suite 104  
Danville, VA 24541

**Lynchburg**  
1022 Commerce Street, Suite 3C  
Lynchburg, VA 24504

**Roanoke**  
3959 Electric Road Suite 357  
Roanoke, VA 24018

September 11, 2017

City of Charlottesville City Council  
City of Charlottesville Planning Commission  
City Hall | P.O. Box 911  
610 East Market Street  
Charlottesville, VA 22902

Re: Projected MACAA Intergenerational Campus, 1025 Park Street Charlottesville

The Alzheimer's Association of Central and Western Virginia is well aware of the growing prevalence of Alzheimer's and dementia in our community and through the Commonwealth, as well as the increasing age of 65 and older population. With these two facts, we have seen the increase in demand for affordable assisted living and memory care services in the communities we serve, including the City of Charlottesville.

We routinely hear from our health care community partners that they have waiting lists or are at capacity. Often, we hear from citizens who are struggling with the challenge of locating an appropriate, affordable location for their loved ones, as the demands of caregiving outstrip the families' capacity.

The concept of an intergenerational campus fosters opportunities for education and creates benefits for both the children and the seniors. Additional memory care beds, such as those proposed by the MACAA project, will be an asset to our community and our citizens, as the challenges of Alzheimer's and dementia are thrust upon more and more of our family, friends and neighbors.

Sincerely,



Sue Friedman  
President/CEO

**From:** Donna Bonsignore  
**To:** [Newmyer, Heather](#)  
**Subject:** MAACA  
**Date:** Thursday, July 06, 2017 4:57:41 PM

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Dear Ms. Newmyer,

Thank you for meeting with me last week (6/27/17). You suggested that I write down some of my concerns with the MAAC zoning application.

I want to say, first, that I respect and support the programs that MAAC has provided to the community over the years. I also recognize the need for senior/disabled care and appreciate the inter-generational nature of the proposal. My concerns focus primarily upon the impact of a greatly increased level of activity in an area that is currently zoned R1, a level of increased activity that I believe exceeds the spirit of the variances allowed in an R1 neighborhood.

Right now MAACA has a very limited standard schedule that runs roughly 8-6, Monday -Friday. It provides parking for all its usual needs, spilling onto the neighboring streets only occasionally. The traffic impact is further limited because the exit onto Park St. (offset from Davis Ave.) is marked "Right Turn Only". In the 24 years we have resided at 604 Davis Ave., we have only had one problem with getting hit by another car exiting MAACA, and it was someone illegally turning left! I am glad that the proposed site plans include an attempt to better align the intersection, but it still looks a little off kilter as planned. A four way intersection with very limited line of sight to the north on Park will be very different with an increase in traffic.

Over the past 10 years, I used facilities in Albemarle County that remarkably cover the same needs as the 151 unit independent living, assisted living and memory care proposed for the current MAACA site. I first moved an elderly relative into Branchlands where they offered independent living, and then moved her across the road to Rosewood Village for assisted living and ultimately memory care, with two stays nearby at the Laurels for nursing care. That said, I have been observing the needs of such businesses for a while. I know that staffing has to be maintained 24/7 with hopefully high ratios to residents. I know that 151 units translates to 151+ residents since many units are doubles. I know that while the majority of residents may not maintain vehicles, some will, and everyone else will need to be transported to and from the facility somehow, sometimes. Doctor's appointments, social outings, and shopping trips all keep happening for the residents at these facilities. Family, friend, and volunteer visits will impact traffic as well. I know that the one dumpster that MAACA currently maintains, and that I can hear from my home when it gets emptied, will need to be increased in size/number and emptied much more regularly. Let's not forget noisy, beeping, diesel powered food delivery trucks too. Ambulances will be dispatched to such a facility night and day, seven days a week as well.

I got the impression from our quick chat that you have been given to believe that some of the needs they are suggesting must be met are medical in nature. I would be very surprised to find much in house medical activity associated with the level of care they are proposing. In my experience, these facilities offer little more medical services than nurse administered/distributed drugs, physical therapy, and CNA administered care. If they are actually playing up that angle it just isn't likely to be much of an issue. Generally, services like imaging and hospice care are brought into the facility from outside and occur in the resident's personal space, and medical appointments continue in the greater community--even at the Laurels where they offer skilled nursing care.

I am anxious to have some of these concerns addressed at the community meeting on July 17. In the meantime, I am sharing them with you formally.

Sincerely,  
Donna Bonsignore  
604 Davis Ave.  
434-977-5401

**From:** Lane Bonner  
**To:** [Council](#); [Planning Commission](#); [Newmyer, Heather](#)  
**Subject:** FW: Letter of Support for MACAA  
**Date:** Monday, July 31, 2017 9:12:22 AM

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Dear Heather,

I am a real estate broker/developer/consultant. I have helped MACAA through this process without collecting any fees. ( If I had charge, my fees would have been over \$100,000 – I am a believer in MACAA) For 18 years, I have watched many real estate experts try to figure out the MACAA property. Jim McVay, Chris Kabbash, Coran Capshaw, Rip Cathcart, Developers from Richmond are just a few that have tried. I have seen office plans, by right luxury homes, by right mix of middle class and affordable homes, and townhouses plans. All of these plans did not work because they caused too much traffic. All of these plans did not work because the plans left no room for MACAA and no synergy with MACAA.

There is no good place that MACAA can move and still own real estate. They have to be in the City on a bus line to serve their constituents. Real estate is either too expensive, neighbors do not work, wrong location, etc. Owning real estate is a part of their culture and also insures that MACAA can be around for a long time. The Senior Living facility actually wants MACAA to stay because there is synergy between the groups. The City has no services or places to stay to help this particular demographic of the aging. Right now, If you want to age in an assisted living facility in Charlottesville, it's difficult as there are almost no choices.

Finally, and most importantly for the neighborhood, as far as I can tell, is that the project does not have significant impact on traffic. Furthermore, the timing is good since the John Warner Parkway is now stabilized and has taken traffic off of Rio Rd.

Charlottesville is landlocked . Well planned density is good for the health of Charlottesville and it is good to lessen urban sprawl. I think the democratic council that appointed you would agree. Best of all, this type of density only adds to the tax income and does not add burden to the City - i.e. school systems, traffic, etc.

I believe the Senior Living Facility for the MACAA property is the culmination of 18 years of planning. Senior Living and MACAA headquarters are truly the best and highest use of this property and the City if Charlottesville . If this does not work, nothing will.

Unfortunately, if this does not work, MACAA will not be around to serve its constituents. These are the forgotten people that no one wants to talk about.

Lane Bonner  
434-989-2779  
[Lanelbonner@gmail.com](mailto:Lanelbonner@gmail.com)  
Hasbrouck Real Estate  
PO Box 5384  
Charlottesville, Va 22905

**From:** Jackie Erskine  
**To:** [Newmyer, Heather](#)  
**Cc:** [Cecilia Mills](#)  
**Subject:** MACCA plan  
**Date:** Friday, September 29, 2017 12:50:07 PM

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I am just getting informed, with everything else going on in the city! I live within 4blocks of MACCA property, and have extensive personal experience with aging in place, home health care, assisted living for my husband, and how incredibly expensive Cville is, especially on fixed retirement incomes.

PLEASE CONSIDER THIS... This town and immediate surroundings have MANY housing opportunities for high income seniors, whether in independent living or when more care needed. It is hard to make a case that we need more. What is needed is building more affordable housing for seniors, which would contribute to a more diverse and enriched living situation for all. It would be so disheartening to put up more housing for rich people.

Jackie Erskine  
434-296-3143

**From:** Monica Davis  
**To:** [Newmyer, Heather](#)  
**Subject:** MACCA Proposal  
**Date:** Friday, September 29, 2017 10:43:57 AM

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Dear Heather,

I live in the neighborhood--604 Watson Ave. I'm writing in support of the MACCA-senior living project. My family feel this is a clever, well-thought out solution to a deteriorating situation. I attended the information session in July and have read the changes that are proposed. We believe the project will be an asset to the neighborhood--providing jobs and housing. We are also grateful that the issues of Park Street are being addressed.

Thank you for your hard work!

Sincerely,

Monica and Joe Davis

ps I think that our neighbors on Park Street would be interested in a sidewalk (spoke with several in the past month)

Constance Johnson  
631 Davis Ave  
Charlottesville, VA 22901

September 22, 2017

Ms. Heather Newmyer AICP  
City Planner  
City of Charlottesville Virginia  
[newmyerh@charlottesville.org](mailto:newmyerh@charlottesville.org)

Project Name: Monticello Area community Agency (MACAA) Intergenerational Campus –  
Planned Unit Development (PUD) Rezoning

Dear Ms. Newmyer,

This is a follow-up letter to the proposed changes and revised application for the PUD rezoning application to the MACAA property. I still cannot support the project even with the requested changes.

1. The properties in the two blocks adjoining the MACAA site are all zoned R1 or R1H
2. There are no businesses in our neighborhood. A nursing home is business.
3. There are no duplexes or town homes, only single family homes.

The revised application proposes a four story nursing home on the site which is still 20 feet taller than any other property in the neighborhood and will be seen from every vantage point with lighting.

The revised application proposes two duplexes facing Park Street and a \$75,000 contribution to the CAHF as the affordable housing element. There are no town homes in this section of our neighborhood and the CAHF contribution is pitiful. The nursing home proper I guess will still not accept Medicare patients.

The traffic issues on Park Street and adjacent streets need to be addressed regardless of proposed changes to the MACCA site. In light of any increased access this becomes even more important. Minimally, a new traffic study needs to be done to give accurate traffic count, evaluate congestion issues at the stop lights and speed on Park St. and adjacent/cut through streets. The safety of the residents, bicyclists, walkers/hikers and children attending schools in this area should be a priority.

I hope that the planning commission and city council **will not approve the PUD**. There must be other options.

I personally would like the city to buy at least all of the original MACCA property.

- Put it into the city park system, thus replacing the erosion of McIntyre Park over the years or
- Put some back into the park system and divide the rest into smaller lots for R1 zoned housing to include affordable housing.

Thank you for your continued work on this project and for including in your report.



**From:** Philip Schrodt  
**To:** [Newmyer, Heather](#)  
**Subject:** REVISED Comment on MACAA Planned Unit Development (PUD) Rezoning Request  
**Date:** Thursday, September 28, 2017 9:58:17 AM

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[My earlier letter incorrectly attributed the mocking of "aging in place" to the representative of New Millennium; in fact it was -- ever so helpfully -- someone associated with MACAA. Please replace the earlier letter with the one below: thanks.]

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As a homeowner living about 600 yards from the proposed development, as well as commuting on foot or motor-scooter on Park St. past the property a daily basis, I am writing in opposition to the proposed PUD on the grounds that it is incompatible with the residential character of the neighborhood, likely to decrease the property values of those who have chosen to "age in place", and will likely result in a permanent very large commercial enterprise in the area.

The neighborhood surrounding the proposed PUD is stable, mature, multi-ethnic and multi-generational, and contains some of the most varied housing stock, in size and price, within easy pedestrian access to the downtown (During the colder months, I walk every business day to my office near High and Park, and I'm on Medicare: downtown is pedestrian accessible from this neighborhood). The PUD proposes to drop into this area a massive 4-story structure with 141 units housing some 200 ever-changing temporary residents and some unknown number of support staff, surrounding this with outdoor parking brightly illuminated around the clock, and with a constant flow of resident, visitor, staff, commercial, and emergency vehicles. The construction process alone has been projected to last for two years, and as numerous people have pointed out, the analysis of the effects of this development on the already problematic traffic patterns on Park St. used flawed data which have never been adequately explained.

The proposal emphasizes the importance of encouraging an "inter-generational" environment but this neighborhood is \*already\* strongly inter-generational, but has done this through individual investments and initiatives. It is an excellent example of the "aging in place" which is actively promoted by both the city and the Commonwealth: Three of my nearest neighbors are in their 80s, "aging in place", and haven't the slightest interest in moving into the type of facility proposed in the PUD.

Not, of course, that they could afford it: New Millennium is proposing a high-end facility totally out of the financial reach of almost everyone currently living in the area, and New Millennium wishes to do this by diminishing the property values and quality-of-life of the existing real estate, making it even less likely anyone local could afford to reside in the facility. People in the neighborhood have invested in their homes on the assumption that it would remain residential and attractive, not suddenly hosting a massive commercial development completely out of character with the existing area.

This Saturday (September 30), Charlottesville is hosting an all-day event on the future of driverless vehicles in our city. Charlottesville has made it clear that it plans to be on the leading edge of these developments (and one of the major technological innovators is now located in Crozet), and it has been estimated that automated vehicles for personal transportation and deliveries are likely to double the amount of time people who are aging can remain in their homes, and possibly reduce the demand for 1970's-style residential retirement developments such as that proposed in the PUD by as much as two-thirds. The New Millennium project may be viable in the short term, but with these predictable changes in technology I very much doubt it will be so for very long.

And then? Abandon the building to become a second Landmark Hotel? Unlikely. Instead, sooner rather than later -- in fact based on recent experiences with changing plans in other PUDs in Charlottesville, maybe before the ink is even dry on the approval of the rezoning -- the facility will be closed and reopened as either a hotel or office building. All of the promises of an "inter-generational campus" will be out the window in the name of New Millennium's fiduciary duty to its out-of-town owners, traffic issues on Park Street will further deteriorate due to the constant movement of vehicles at the opening and close of business hours, but yes, we'll still have those 24/7 garishly lit parking areas blighting our nighttime skies.

The alternative is simply to allow development under the existing R1 zoning, which will maintain the residential character of the neighborhood. MACAA has every right under that zoning to sell the property, and my understanding is that there are numerous local developers who have been dissuaded by the political power of New Millennium's owners from making proposals, but will happily do so once this PUD issue has been resolved. MACAA still gets a very large sum of money and the city gets increased tax revenues but the residential character, and the property values, of the neighborhood remain intact, and the area is occupied by families with a long-term interest in the community. Zoning is meant to protect the existing investments of homeowners, not to provide windfall profits to powerful corporations: for a change, let's have the city authorities do something that will protect the ordinary citizens, not just benefit the wealthy and well-connected at the expense

of those citizens.

=====  
Philip A. Schrodt  
Parus Analytics LLC  
Charlottesville, VA 22901  
Phone: +1-785-550-3553

Home page: [philipschrodt.org](http://philipschrodt.org)  
Parus Analytics: [parusanalytics.com](http://parusanalytics.com)  
Event Data Project: [eventdata.parusanalytics.com](http://eventdata.parusanalytics.com)  
Blog: [asecondmouse.org](http://asecondmouse.org)

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**From:** Cecilia Mills  
**To:** [Newmyer, Heather](#)  
**Subject:** PUD for MACAA property  
**Date:** Thursday, September 28, 2017 10:33:17 AM

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## Planning Commission MACAA PUD request

The proposed planned unit development by New Millennium Senior Living is a request for a custom rezoning to eliminate the potential of single family homes and replace it with what is essentially a zoning for business.

Cities can grow organically and this development is not an organic addition to the inner core of Charlottesville. Zoning is used to protect the beauty and quality of a neighborhood. I appreciate the needs of MACAA, but must separate them from this project.

The developer has listened to input from the neighbors, and they have offered to reduce the size of the development by 6.66% to 141 units and remove one story from the building that will still top the height of the tallest tree. The computer generated projected view minimizes the impact, but the reality of plopping down a 4-story retirement village into a residential neighborhood will begin the demise of this neighborhood. The Locust Grove Neighborhood may not officially be a gateway entrance to downtown, but in reality it IS!

Smaller developments, like Martha Jefferson House blend into a neighborhood, while providing access to services, like a public library next door! If this building were two or three stories, it would be less intrusive. This plan is too generic (pages 27-29 shows units that are from a development in Texas called Westworth Village by Covenant Group).

NMSLC did add in 4 units as "affordable housing", to be used as the Sales Office. With so many units to fill, what guarantee do we have that sales office won't be perpetually in existence?

We need housing that is a truly innovative with a mix of types and prices, not one building with different types of units inside.

This is a project that is designed to accommodate those who can afford to pay \$3,000, \$5000 and \$15,000/month, while paying employees \$13, \$20 and \$25/hour. This equation will lead to more income inequality for the workers.

It seems ironic that a project that will generate so much property tax for the city, would create these wages. If they want this proposal to pass, they could make a proffer of higher paying jobs.

I fully understand the reality of the aging population and the cost of "healthcare" for the aging and dying. I volunteer with hospice and work with elders on a regular basis. Residents are spending money on construction projects to adapt their own houses for aging in place. I have asked my neighborhood and friends in the North Downtown Neighborhood what they think of this development and many are unaware that it is under consideration. When told the cost of these facilities, they are unilaterally aghast at the prices and at the lack of availability for Medicaid exceptions.

This facility will rely on bringing in an additional 200 people, which will increase the traffic by approximately 400 trips per day--TOO many for this small neighborhood. No thought has been given to bicyclists that use Park St. to commute, to ride to and from downtown or to and from the McIntire Plaza area.

Traffic patterns are unpredictable, but school schedules are not. The increase in traffic and the "law of unintended consequence" will have drivers cutting over on North or Watson to access Locust Avenue for quicker access in and out of the area. The traffic is already increasing and the housing developments that are just north of the county line are causing rapid growth without the infrastructure.

The Traffic Impact Analysis supplied has inaccuracies and was not modified to compare the correct "by right" number of houses to the proposed development. Many people do not work 9-5 anymore and adding traffic throughout the day will make congestion unavoidable.

I understand that change is inevitable, but the Planning Commission and the City Council are in the role to decide what that change LOOKS like, and I ask that you deny the developer the permission to change the Locust Grove neighborhood in this way. This is not the right solution for Charlottesville. Roanoke rejected a very similar project for 180 units.

Cecilia Mills  
703 Wilder Dr.  
Charlottesville, VA

**CITY OF CHARLOTTESVILLE, VIRGINIA  
CITY COUNCIL AGENDA**



Agenda Date:	November 6, 2017
Action Required:	Consideration of a Special Use Permit
Presenter:	Heather Newmyer, City Planner, Neighborhood Development Services
Staff Contacts:	Heather Newmyer, City Planner, Neighborhood Development Services
Title:	<b><u>SP17-00002 – 901 River Road SUP Request</u></b>

**Background:**

**Applicant Request**

Robert High Development, LLC, contract purchaser, and landowner River Road Plaza, LLC, has submitted an application seeking approval of a Special Use Permit (SUP) request for the property located at 901 River Road with road frontage on River Road and Belleview Avenue. The application seeks approval to establish a self-storage company, pursuant to City Code Section 34-480 which allows that use by SUP within the IC zoning district. The property is further identified on City Real Property Tax Map 49 Parcel 98 (“Subject Property”). The Subject Property is zoned IC (Industrial Corridor District). The site is approximately 2.203 acres or 95,963 square feet.

The proposed preliminary site plan (Attachment 3) indicates that the existing 1-story building will be demolished, and then a 3-story (building footprint: 34,450 square feet (SF)) self-storage building would be constructed on the site. The Land Use Plan generally calls for Business and Technology uses along this Corridor.

Setback Request: As part of this special use permit request, the applicant is seeking to modify the primary street setback from 20’ maximum to 67.1’ maximum in an effort to preserve the existing 27’ White Oak that fronts on River Road.

*For more detailed information on this application, please see Attachment 3.*

## Standard of Review

City Council may grant an applicant a special permit or special use permit, giving consideration to a number of factors set forth within Zoning Ordinance Sec. 34-157 (Attachment 2). If Council finds that a proposed use or development will have potentially adverse impacts, and if Council identifies development conditions that could satisfactorily mitigate such impacts, then Council may set forth reasonable conditions within its SUP approval. Relevant code sections are listed below to assist in Council's determination.

### Relevant Code Sections

- Zoning Ordinance

#### **Section 34-440(f) – Industrial Corridor**

The intent of the Industrial Corridor district is to provide areas for light industrial activity that is directed to assembly and technological businesses rather than heavy manufacturing. This district provides opportunities for large scale commercial uses and manufacturing or industrial type uses that are more compatible with the neighborhoods that surround the manufacturing properties. Regulations provide for buffering from incompatible uses, but encourage these important employment centers to locate within the district.

- 2013 Comprehensive Plan

The 2013 Comprehensive Plan's General Land Use Plan specifies the Subject Property and its surrounding properties as Business and Technology. Business and Technology areas, according to the Comprehensive Plan, "permit small scale offices that cater to start-up businesses and technological development, as well as commercial activity that does not generate the amount of traffic that can be found in more consumer oriented commercial areas."

- Streets That Work

The Subject Property fronts on River Road which falls into the *Industrial* street typology and Belleview Avenue which is considered a non-framework, *Local* street. Chapter 3: Street Network and Typologies of the Streets That Work Plan include *Industrial* streets and the remaining street typologies with their associated design parameters. *Local streets* have no specific associated typology due to the variation of context, right-of-way width, as well as the community's expressed desire to replicate as nearly as possible the feel of older local streets. The Streets That Work Plan notes design elements on Local Streets should not exceed the dimensions specified for *Neighborhood B* streets. To access the full Streets That Work Plan, follow this link: <http://www.charlottesville.org/departments-and-services/departments-h-z/neighborhood-development-services/streets-that-work/streets-that-work-plan>

## **Discussion:**

### **Overview of Staff Analysis**

Staff reviewed the special use permit request in light of the factors listed in Sec. 34-157 of the City's Zoning Ordinance (Attachment 2), the Subject Property's current zoning (Industrial Corridor), the Comprehensive Plan and the Streets That Work Plan.

Overall, staff believes the proposed use is appropriate given the proposed use does not generate the amount of traffic that can be found in consumer oriented commercial areas, it conforms to the surrounding uses, the current zoning, the proposed right-of-way improvements conform to the Streets That Work Guidelines, and, finally, the applicant is proposing to provide stormwater treatment on-site in light of the Subject Property's proximity to the Rivanna River.

Staff recommended that the application be approved with the following conditions:

- The newly constructed sidewalk along River Road will provide for preferred ADA access 4 feet in width around existing utility poles. The design and construction plan for the sidewalk, providing the required ADA access widths will be approved by the Bicycle and Pedestrian Coordinator and ADA Coordinator and the final site plan shall incorporate the approved ADA access widths and construction details in accordance with the Streets That Work Plan.
- The sidewalk improvements along Belleview Avenue will be designed to allow on-street parking to be maintained on one side of Belleview Avenue. The design and construction plan for the sidewalk improvements will be approved by the City Engineer, and the final site plan shall incorporate the approved design and construction plan in accordance to the Streets That Work Plan.
- The building will be no less than 40.5' away from the existing 27" White Oak tree in order to protect the critical root zone and preserve the 27" White Oak tree on the Subject Property. Final site plan shall incorporate a tree preservation plan approved by the City Arborist.
- The proposed infiltration system shall not be used or installed, unless and until the City Engineer verifies that an acceptable soil infiltration test and other site conditions (e.g. depth to mean water table) are appropriate for use of such system. If the infiltration system is not verified by the City Engineer as appropriate for this site, then an alternative LID measure shall be provided. The final site plan shall incorporate either the City-Engineer-verified infiltration system, or an alternate LID measure.

*For more detailed discussion on staff's overall analysis on this application, please see Attachment 3.*

## **Planning Commission**

The Planning Commission discussed the special use permit request at their October 24, 2017 special meeting. The topics of discussion that the Commission focused on were:

- The use of a self-storage company did not create enough activity as some of the neighborhood residents have expressed they would want; whereas another use could generate more jobs, activity and serve the neighborhood better
- The use of a self-storage company does not meet the Comprehensive Plan Land Use Goal of mixed use

## **Alignment with City Council’s Vision Areas and Strategic Plan:**

The proposed pedestrian improvements align with the City Council Vision of **A Connected Community** and **Strategic Plan, Goal 3.3**, “*provide a variety of transportation and mobility options.*”

The inclusion of an on-site stormwater treatment BMP in light of the Subject Property’s close proximity to the Rivanna River contributes to the City Council Vision **A Green City** and **Strategic Plan, Goal 3.5**, “*be responsible stewards of natural resources.*”

## **Community Engagement:**

Per Sec. 34-41(c)(2), the applicant held a community meeting on July 26, 2017 (a City Planner attended as a NDS representative). Neighborhood concerns gathered from the community meeting are provided for in a list below. If the applicant addressed the neighborhood concern in any way in the application submission dated August 28, 2017, staff has noted how beside the neighborhood concern in **bold**.

- Right-turn only exiting onto Belleview desired. **The applicant originally proposed an entrance/exit off of Belleview Avenue, but has now removed this entrance/exit on Belleview Avenue as shown in the preliminary site plan associated with this request (Attachment 3).**
- Preserve Oak Tree fronting River Road and alter setback as part of SUP if necessary **The applicant has proposed the self-storage building with a modified front setback as part of the SUP request (from 20’ to 67.1’ maximum) in order to preserve the 27” Oak Tree.**
- Include water quality treatment on-site in light of proximity to Rivanna River **The applicant has proposed an infiltration system on-site.**
- Belleview – neighborhood residents prefer a vegetative strip (desire for visual amenities); a curbside buffer if there is room **The applicant has increased its landscaping plan to include a curbside buffer along River Road and additional trees adjacent to the proposed building along Belleview Avenue.**



- Neighborhood concern the company would auction on-site. **Applicant has confirmed this company does not do on-site auctioning.**
- Parking screening required per code/neighborhood residents would like a mix of evergreens
- Plant trees in back instead of fescue **The applicant has added trees at the rear of the property which also complies with S-3 screen requirement.**
- Push building towards Belleview and relegate parking to back **The applicant has moved the building to front on Belleview Avenue, pushing parking to the back of building.**
- Front of River Road provide spaces for leasing opportunities

At the October 10, 2017 Public Hearing, as well as written correspondence from neighborhood residents, the public voiced the following general concerns:

- Desire for a light industrial use that provides more tax revenue and more job creation than the proposed use
- Desire for this property to redevelop as a more neighborhood oriented use (mixed use, commercial and more attention to the Subject Properties' close proximity to the Rivanna River)

Please see Attachment 4 for an excerpt of the October 10, 2017 meeting minutes for a detailed list of individual public comments made during the rezoning's Public Hearing. In addition, Attachment 4 includes written correspondence from neighborhood residents.

**Budgetary Impact:**

**A Self-storage Facility Project at 901 River Road**, based on 100,000 square feet is expected to generate - \$89,500 in annual city revenue. This includes applicable real property taxes, personal property taxes, sales taxes, meals taxes, BPOL and utility taxes. In addition, there would be an estimated one time increase of \$12,000 in BPOL and permitting fees. A limited number of construction related jobs would be created during the construction period which is expected to last 9-12 months. The number of permanent jobs created by this project is unknown at this point and will depend on the specific business model of the operator. The undeveloped parcel involved in this project currently generates approximately \$20,000 in city revenue annually.

**Recommendation:**

The Commission took the following action:

Ms. Keller moved to recommend denial of this application for a Special Use Permit to authorize a self-storage company at TM 49 P 98.

Ms. Dowell seconded the motion. The Commission voted 5-1 (Santoski) to recommend denial of the Special Use Permit.

**Alternatives:**

City Council has several alternatives:

- (1) by motion, take action to approve the attached resolution (granting an SUP as recommended by the Planning Commission);
- (2) by motion, request changes to the attached Resolution, and then approve an SUP in accordance with the amended Resolution;
- (3) by motion, defer action on the SUP, or
- (4) by motion, deny the requested SUP.

**Attachment:**

- (1) Proposed Resolution Approving a Special Use Permit
- (2) Sec. 34-157 – General standards for issuance
- (3) Staff Report with Application Materials Attached, October 10, 2017
- (4) Public Comments: (i) Meeting Date October 10, 2017 Minutes Excerpt: 901 River Road Public Hearing Comments and (ii) Public Written Correspondence received

**RESOLUTION  
APPROVING A SPECIAL USE PERMIT  
TO AUTHORIZE A SELF-STORAGE COMPANY  
AT 901 RIVER ROAD**

**WHEREAS**, the owner of certain land (“Landowner”) located at 901 River Road, identified on City Tax Map 49 as Parcel 98 and containing approximately 2.203 acres or 95,963 square feet (“Subject Property”) has requested a special use permit, in order to establish a use referred to within the City’s Zoning Ordinance as a “self-storage company” on the Subject Property (the proposed “Special Use”). The Subject Property is within the City’s Industrial Corridor Mixed Use Zoning District (“IC”); and

**WHEREAS**, the requested Special Use is described within the application materials submitted in connection with application number SP17-00002 (“Application Materials”) and the Special Use is allowed within the IC zoning district pursuant to City Code §34-480; and

**WHEREAS**, the Planning Commission has reviewed the Application Materials, the City’s Staff Report dated October 10, 2017, and following a joint public hearing, duly advertised and conducted by the Planning Commission and City Council on October 10, 2017, the Commission voted to recommend that City Council should deny the requested Special Use; and

**WHEREAS**, upon consideration of the comments received during the joint public hearing, and of the Planning Commission’s recommendation, as well as the factors set forth within Sec. 34-157 of the City’s Zoning Ordinance, this Council finds and determines that granting the requested Special Use subject to suitable conditions would serve the public necessity, convenience, general welfare or good zoning practice; now, therefore,

**BE IT RESOLVED** by the Council of the City of Charlottesville, Virginia that, pursuant to City Code § 34-41, § 34-158 and § 34-480, a special use permit is hereby approved and granted to authorize a self-storage company to be established on the Subject Property, subject to the following conditions:

1. The Landowner shall construct a new sidewalk along River Road. The newly constructed sidewalk will provide clearance for ADA accessibility, four (4) feet in width, around existing utility poles. The design and construction plan for the sidewalk, providing the required ADA accessibility clearance, will be approved by the City’s Bicycle and Pedestrian Coordinator and ADA Coordinator. The final site plan shall incorporate the approved ADA accessibility clearance and construction details in accordance with the City’s Streets That Work Plan.
2. The Landowner shall construct sidewalk improvements along Belleview Avenue. These sidewalk improvements will be designed and constructed to allow on-street parking to be maintained on one side of Belleview Avenue. The design and construction plan for the sidewalk improvements will be approved by the City Engineer, and the final site plan shall incorporate the approved design and construction plan in accordance with the Streets That Work Plan.

3. Any building constructed on the Subject Property shall be at least 40.5 feet away from the existing 27-inch White Oak tree (the "Tree"), and construction shall be conducted in a manner that will protect the critical root zone and preserve the Tree. The final site plan shall incorporate a tree preservation plan approved by the City Arborist for the Tree.
  
4. As part of the preliminary site plan submitted with the Application Materials, the Landowner has proposed a specific on-site stormwater infiltration system ("Infiltration System"). The Infiltration System shall not be installed or used, unless and until the City Engineer verifies that an acceptable soil infiltration test and other site conditions (e.g. depth to mean water table) are appropriate for proper use of such system. If the Infiltration System is not verified by the City Engineer as appropriate for this site, then an alternative low impact development (LID) measure shall be provided by the Landowner. The final site plan shall incorporate either the City-Engineer-verified Infiltration System, or an alternate LID measure.

Sec. 34-157. - General standards for issuance.

- (a) In considering an application for a special use permit, the city council shall consider the following factors:
- (1) Whether the proposed use or development will be harmonious with existing patterns of use and development within the neighborhood;
  - (2) Whether the proposed use or development and associated public facilities will substantially conform to the city's comprehensive plan;
  - (3) Whether proposed use or development of any buildings or structures will comply with all applicable building code regulations;
  - (4) Whether the proposed use or development will have any potentially adverse impacts on the surrounding neighborhood, or the community in general; and if so, whether there are any reasonable conditions of approval that would satisfactorily mitigate such impacts. Potential adverse impacts to be considered include, but are not necessarily limited to, the following:
    - a. Traffic or parking congestion;
    - b. Noise, lights, dust, odor, fumes, vibration, and other factors which adversely affect the natural environment;
    - c. Displacement of existing residents or businesses;
    - d. Discouragement of economic development activities that may provide desirable employment or enlarge the tax base;
    - e. Undue density of population or intensity of use in relation to the community facilities existing or available;
    - f. Reduction in the availability of affordable housing in the neighborhood;
    - g. Impact on school population and facilities;
    - h. Destruction of or encroachment upon conservation or historic districts;
    - i. Conformity with federal, state and local laws, as demonstrated and certified by the applicant; and,
    - j. Massing and scale of project.
  - (5) Whether the proposed use or development will be in harmony with the purposes of the specific zoning district in which it will be placed;
  - (6) Whether the proposed use or development will meet applicable general and specific standards set forth within the zoning ordinance, subdivision regulations, or other city ordinances or regulations; and
  - (7) When the property that is the subject of the application for a special use permit is within a design control district, city council shall refer the application to the BAR or ERB, as may be applicable, for recommendations as to whether the proposed use will have an adverse impact on the district, and for recommendations as to reasonable conditions which, if imposed, that would mitigate any such impacts. The BAR or ERB, as applicable, shall return a written report of its recommendations to the city council.
- (b) Any resolution adopted by city council to grant a special use permit shall set forth any reasonable conditions which apply to the approval.

(9-15-03(3); 11-21-05; 2-21-06)

**CITY OF CHARLOTTESVILLE**  
**DEPARTMENT OF NEIGHBORHOOD DEVELOPMENT SERVICES**  
**STAFF REPORT**



**APPLICATION FOR A SPECIAL USE PERMIT**

**JOINT CITY COUNCIL AND PLANNING COMMISSION PUBLIC  
HEARING**

**DATE OF HEARING: October 10, 2017**

**APPLICATION NUMBER: SP-1700002**

**Project Planner:** Heather Newmyer, AICP

**Date of Staff Report:** September 27, 2017

**Applicant:** Robert High Development, LLC

**Applicants Representative:** Justin Shimp, P.E. of Shimp Engineering

**Current Property Owner:** River Road Plaza, LLC

**Application Information**

**Property Street Address:** 901 River Road ("Subject Property")

**Tax Map/Parcel #:** Tax Map 49, Parcel 98

**Total Square Footage/ Acreage Site:** approximately 2.203 acres or 95,963 square feet

**Comprehensive Plan (Land Use Plan):** Business and Technology

**Current Zoning Classification:** Industrial Corridor District (IC)

**Tax Status:** Parcel is up to date on taxes **paid**.

**Completeness:** The application contains all of the information required by Zoning Ordinance Secs. 34-41(d), and 34-158(a) and (b). There are no existing dwelling units on the site, and there are no dwelling units proposed by this development. Graphic materials illustrating the context of the project are attached to this staff report (Attachment 4, 5).

The pre-application meeting required by Sec. 34-41(b)(1) was held on June 5, 2017. The community meeting required by Sec. 34-41(c)(2) was conducted on July 26, 2017, at the following location: Park Street Christian Church (1200 Park Street).

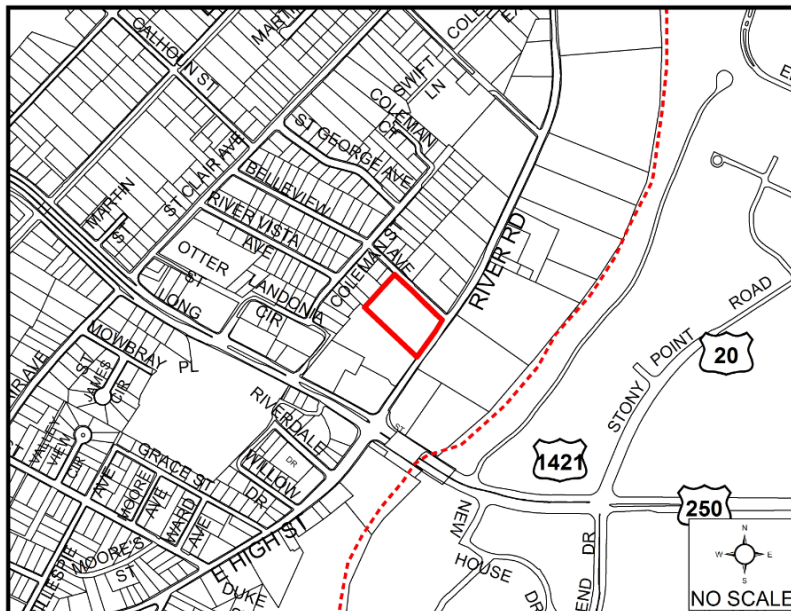
**Applicant’s Request**

Robert High Development, LLC, contract purchaser, and landowner River Road Plaza, LLC, has submitted an application seeking approval of a Special Use Permit (SUP) request for the property located at 901 River Road with road frontage on River Road and Bellevue Avenue. The application seeks approval to establish a *self-storage company*, pursuant to City Code Section 34-480 which allows that use by SUP within the IC zoning district. The property is further identified on City Real Property Tax Map 49 Parcel 98 (“Subject Property”). The Subject Property is zoned IC (Industrial Corridor District). The site is approximately 2.203 acres or 95,963 square feet.

The proposed preliminary site plan (Attachment 3) indicates that the existing 1-story building will be demolished, and then a 3-story (34,450 square feet (SF)) self-storage building would be constructed on the site. The Land Use Plan generally calls for Business and Technology uses along this Corridor.

**Setback Request:** As part of this special use permit request, the applicant is seeking to modify the primary street setback from 20’ maximum to 67.1’ maximum in an effort to preserve the existing 27’ White Oak that fronts on River Road.

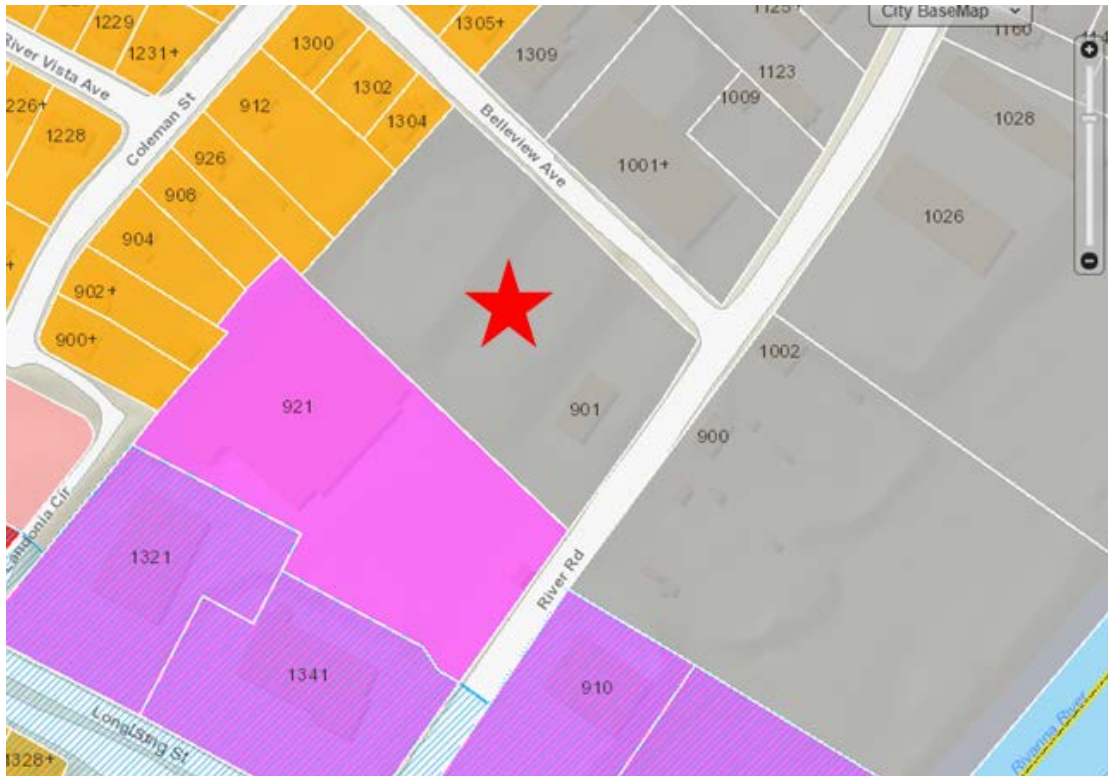
**Vicinity Map**



**Context Map 1**



**Context Map 2 – Zoning Classifications**





**KEY - Gray: Industrial Corridor (IC) District; Orange: R-2 – Tow-Family, Low-Density Residential; Magenta: Central City Corridor Mixed Use District (CC); Light Blue Hash Mark: Entrance Corridor Overlay**

**Context Map 3 - General Land Use Plan, 2013 Comprehensive Plan**



**KEY – Maroon: Business & Technology; Purple: Mixed Use; Yellow: Low Density Residential; Red: Neighborhood Commercial**

**Application Components:**

***Project proposal narrative (Sec. 34-41(d)(1)): Attachment 2***

***Building massing diagram and elevations (Sec. 34-157(a)(4)): Attachment 4***

***Project site plan (Sec. 34-157(a)(1)): Attachment 3***

***Applicant’s Comprehensive Plan Analysis: Attachment 2***

***Applicant’s public facilities impact statement: Attachment 2***

***Applicant’s LID Worksheet (Sec. 34-157(a)(3)): Attachment 1***

**Standard of Review**

City Council may grant an applicant a special permit or special use permit, giving consideration to a number of factors set forth within Zoning Ordinance Sec. 34-157. If Council finds that a proposed use or development will have potentially adverse impacts, and if Council identifies development conditions that could satisfactorily mitigate such impacts, then Council may set forth reasonable conditions within its SUP approval. The role of the Planning Commission is to make an advisory recommendation to the City Council, as to (i) whether or not Council should approve a proposed SUP and if so, (ii) whether there are any reasonable development conditions that could mitigate potentially adverse impacts of the propose use or development.

Section 34-157 of the City’s Zoning Ordinance lists a number of factors that Council will consider in making a decision on a proposed SUP. Following below is staff’s analysis of those factors, based on the information provided by the Applicant.

**Sec. 34-157(a)(1) Whether the proposed use or development will be harmonious with existing patterns of use and development within the neighborhood.**

The properties immediately surrounding the subject property are described as:

Direction	Use	Zoning
North	Auto Repair/Service Business	IC
South	Other Retail Stores	CC
East	Hardware Store	IC
West	Single-Family Dwellings	R-2

The pattern of development along River Road in closest proximity to the Subject Property is characterized by automobile uses (Larry’s Auto & Truck Repair, 1313 Belleview Avenue; Autozone, 910 River Road), hardware stores, a pharmacy (CVS, 1341 Long St), and agriculture supply store (Tractor Supply, 921 River Road). The properties along River Road that are surrounding the Subject Property are zoned Industrial Corridor District (IC) save the two properties that front onto Long St, which are zoned Central City Corridor (CC) Mixed Use District. Directly behind the Subject Property are properties zoned R-2 (Two-family, low-family residential).

**Staff Analysis:** The proposed use of the Subject Property is a 3-story *self-storage company* (building footprint: 34,450 SF) which is harmonious with existing patterns of use along River Road (commercial and automobile service uses); and, in addition, the use of a *self-storage company* has a relatively low impact in terms of building mass, noise and traffic. Because the Subject Property is adjacent to low-family residential to the rear of the property, the proposed development, should the SUP get approved, will have to comply with Sec. 34-457(b)(5)(c): “Along the frontage with any low density residential district, side and rear buffers shall be required, ten (10) feet, minimum, consisting of an S-3 type buffer (refer to section 34-871).”

**Sec. 34-157(a)(2) Whether the proposed use or development and associated public facilities will substantially conform to the city’s comprehensive plan.**

The applicant includes within the project proposal narrative (Attachment 2) a section regarding its consistency with the Comprehensive Plan.

**Staff Analysis:** The 2013 Comprehensive Plan’s General Land Use Plan specifies the Subject Property and its surrounding properties as Business and Technology. Business and Technology areas, according to the Comprehensive Plan, “permit small scale offices that cater to start-up businesses and technological development, as well as commercial activity that does not generate the amount of traffic that can be found in more consumer oriented commercial areas.”

Staff believes the proposed use conforms to the Comprehensive Plan’s intent for the Business and Technology area in that a self-storage company is a commercial activity that does not generate the amount of traffic that can be found in consumer oriented commercial areas (Total: 151 vehicle trips/day (AM Peak Hour: 28 trips; PM Peak Hour: 29 trips). This can be compared to a home improvement store (30,000 SF) which approximates 1,380 vehicle trips/day (AM Peak Hour: 37; PM Peak Hour: 70); this use similar to the Tractor Supply store that is adjacent to the Subject Property.

Below are specific areas of the Comprehensive Plan for which the development is in compliance:

**a. Land Use**

*Goal 2 – Mixed Use*

**2.3** Enhance pedestrian connections between residences, commercial centers, public facilities, amenities and green spaces.

**Staff Analysis:** There is currently no sidewalk on either of the roads (River Road and Belleview Avenue) the Subject Property fronts on. One of the Locust Grove Neighborhood’s long-standing interests is the need for a pedestrian connection from their neighborhood to the commercial activity along River Road, Long St and for those families traveling to one of the City’s public amenities: *the Rivanna Trail*.

In conjunction with a proposed development on the Subject Property comes the opportunity to provide the missing pedestrian connection to the existing sidewalks on adjacent properties and to provide a link to a greater connection to commercial amenities and the Rivanna Trail.

The proposed development includes sidewalks five (5) feet in width along Belleview and River Road. In addition, the following improvements are proposed:

- four (4) feet wide curbside buffer with street trees located between the sidewalk and River Road

- A bulb out to extend at the corner of the intersection of River Road and Belleview Avenue

It should be noted that regardless of if the proposed development required a special use permit (SUP) or not, any new development would be required to provide new sidewalk meeting current City standards (five (5) feet in width) via the City Zoning Ordinance (*Sec. 34-897 – Pedestrian walkways* and *Sec. 34-1124 – Vacant lot construction – Required sidewalks, curbs and gutters*).

However, the proposed development exceeds the current sidewalk requirements provided for in the City’s Zoning Ordinance in that it provides, in addition to the required sidewalk, the above mentioned improvements that comply with the City’s Streets That Work Guidelines. This is detailed below under Transportation.

**b. Transportation**

*Goal 1 – Complete Streets*

**Streets That Work Plan**

The applicant’s Streets That Work narrative is included in Attachment 2.

The Streets That Work Plan, adopted by City Council September 6, 2016, categorizes Charlottesville’s framework streets into six *street typologies*, which are based on Complete Street principles. Framework streets are the most direct routes through the city that connect places, neighborhoods, and districts and also serve as emergency vehicle routes. Non-framework streets are considered *local streets* and make up the majority of the street network. *Local streets* have no specific associated typology due to the variation of context, right-of-way width, as well as the community’s expressed desire to replicate as nearly as possible the feel of older local streets. The Streets That Work Plan notes design elements on Local Streets should not exceed the dimensions specified for *Neighborhood B* streets. Chapter 3: Street Network and Typologies of the Streets That Work Plan include design parameters for the street typologies. Chapter 3 is included as Attachment 6 of this staff report for reference. To access the full Streets That Work Plan, follow this link: <http://www.charlottesville.org/departments-and-services/departments-h-z/neighborhood-development-services/streets-that-work/streets-that-work-plan>.

**Staff Analysis:** The Subject Property fronts on River Road which falls into the *Industrial* street typology and Belleview Avenue which is considered a non-framework, *Local* street.

**River Road:** The highest priority elements included in the *Industrial* street typology are 11'-12' travel lanes, 5'-6' clear walk zone for sidewalks and 4'-6' curbside buffer zones. The proposed development has provided for the highest priority elements with appropriate dimensions: a new 5' sidewalk along River Road, a 4' curbside buffer with street trees while maintaining a 12' travel lane along River Road. However, it is unclear if the sidewalk proposed along River Road meets ADA standards around utility poles. Staff has included a condition as part of the recommendation for the applicant to work with the ADA Coordinator and provide adequate access (3' minimum required, 4' preferred) around utility poles, meeting ADA standards.

**Bellevue Avenue:** The Subject Property also fronts on Bellevue Avenue which is considered a non-framework, *Local* Street. The Streets that Work Plan notes design elements on Local Streets should not exceed the dimensions specified for *Neighborhood B* streets. A minimum of five (5) to six (6) feet of clear walk zone width for sidewalks is recommended for *Neighborhood B* streets. Sidewalks and on-street parking are noted as the highest priority street elements within the *Neighborhood B* typology. The proposed development has included a new 5' sidewalk along Bellevue Avenue.

The plan indicates there being 40' of right-of-way on Bellevue Avenue, where curb to curb width is shown on the plan as approximately 27'-28', which would allow for approximately 10'-10.5' travel lanes and 7' on-street parking on one side, both of these dimensions complying with the Streets That Work Guidelines. Under existing conditions, cars utilize on-street parking along Bellevue (many of the cars of which are a result of the auto repair business adjacent to the Subject Property). Because of the real need for on-street parking specific to this area, on-street parking being one of the highest priority elements according to Streets That Work and there being limited right-of-way along Bellevue, staff has recommended a condition that requires the applicant to ensure there is on-street parking maintained on one side of Bellevue Avenue. Please see the recommended conditions under the Staff Recommendation section of this report.

**c. Environment**

*Goal 1 – Urban Landscape & Habitat Enhancement, Value the Rivanna River as a major asset in the life of our city and region and restore it to a healthy condition*

*within our ecosystem in order to improve habitat, watershed health and water quality*

*Goal 4 – Water Resources Protection*

**4.5** Reduce and/or eliminate stormwater runoff impacts from sites that lack adequate stormwater treatment by incentivizing reductions in overall imperviousness and encouraging retrofits on developed properties to address stormwater management

**Staff Analysis:** Included in Attachment 1 is a completed Low Impact Development (LID) sheet where the applicant claims 8 points for proposed infiltration on-site. There was previous discussion with the neighborhood where the neighborhood urged the applicant to instead of purchasing credits, providing water quality treatment on-site in light of the Subject Property's proximity to the Rivanna River. The applicant has since then included treatment on-site which is commended by staff. However, Engineering staff has noted an infiltration practice is desirable as no formal stormwater management infrastructure currently exists on-site. Engineering staff has requested, this request included as part of staff's recommendation as a condition, that the approval is contingent on an acceptable soil infiltration test and other site conditions (e.g. depth to mean water table). If the infiltration practice is proven unacceptable at this given site, an alternative LID measure (e.g. green roof) be provided and worked through during site plan process with Engineering staff. This condition is intended to be in replace of the applicant buying off-site credits.

*Below are specific areas of the Comprehensive Plan for which the development may not be in compliance:*

**a. Land Use**

*Goal 2 – Mixed Use, “Establish a mix of uses within walking distance of residential neighborhoods that will enhance opportunities for small group interaction throughout Charlottesville”*

Although the proposed use is similar to those adjacent uses along River Road and it complies with the mentioned commercial activity that does not generate a significant amount of traffic found in the Business and Technology definition, staff believes providing for a small retail space separate from the self-storage company at the front of the building could improve the quality of the site as it would diversify the site, provide more jobs, and better activate the street with a more dynamic commercial use. Staff offered this as a suggestion to the applicant. The applicant has

not included a separate retail/commercial use as part of the application. Although staff believes including an additional commercial space would improve the project according to *Goal 2* of the Land Use Chapter, staff considers the proposal as is to still comply with the Business and Technology Land Use area.

**b. Transportation**

**1.5:** Continue to include bicycle and pedestrian accommodations in conjunction with the planning and design of all major road projects, all new development and road paving projects.

**Staff Analysis:** Bicycle accommodations were not included as part of the proposal; however, bicycle racks will be required per Sec. 34-811 during site plan review process.

**Sec. 34-157(a)(3)** Whether proposed use or development of any buildings or structures will comply with all applicable building code regulations.

**Staff Analysis:** The proposed development will conform to all applicable building code regulations. Building plans are not yet available for review, but demolition of the existing structure, and construction of the proposed new structure, cannot proceed without separate applications/ review conducted by the City's Building Code Official.

**Sec. 34-157(a)(4) Potential adverse impacts, including, but not necessarily limited to:**  
**a) Traffic or parking congestion**

*Parking:* The proposed number of parking spaces (21) meets City parking requirements (See Attachment 3, Preliminary Site Plan).

**Staff Analysis:** In addition to the proposed development meeting parking requirements on-site, the building and parking is regulated in such a way that it:

- preserves an existing 27" White Oak that is prominent and fronts on River Road
- Provides for a landscape plan that exceeds the 10% landscape coverage requirement (proposed 18% coverage), with the inclusion of the required landscape buffer between the rear of the Subject Property and adjacent low-density single family residences.

*Traffic:* The applicant includes a “potential adverse traffic impacts” section within their project proposal narrative (Attachment 2) and notes a self-storage company generates approximately 29 vehicle trips in the peak hour. The applicant compares this to other potential by-right uses where those uses are noted to have higher trips in the peak hour than a self-storage company.

**Staff Analysis:** Staff agrees the use of a self-storage company (total vehicle trips per day: 151 vehicle trips/day (AM Peak Hour: 28 trips; PM Peak Hour: 29 trips)) will create a minimal traffic impact given the use and earlier in the report compared the vehicle trip generation of this use to a home improvement store (30,000 SF) which approximates (total vehicle trips per day: 1,380 (AM Peak Hour: 37; PM Peak Hour: 70)); this use similar to the Tractor Supply store that is adjacent to the Subject Property.

In addition, staff notes the applicant removed an entrance onto Belleview Avenue from earlier preliminary sketches, where now only one entrance/exit remains onto River Road. The neighborhood had voiced concern of there being an entrance off of Belleview Avenue given it is a local, neighborhood street.

**b) Noise, lights, dust, odor, fumes, vibration, and other factors which adversely affect the natural environment**

**Staff Analysis:**

Staff does not anticipate there will be significant noise generated from a self-storage company as it is a low traffic use in respect to those in close proximity and operates on normal business hours.

*Other factors which adversely affect the natural environment:* The Subject Property backs up to a low-residential neighborhood and is required to provide per Sec. 34-457(b)(5)(c) and Sec. 34-872(a)(3) a S-3 type buffer between the use and low density residential district. The preliminary site plan (Attachment 3) accounts for this buffer on Sheet C6.

**c) Displacement of existing residents or businesses**

The project proposal narrative (Attachment B) states the existing use of the property is a vehicle storage lot.



**Staff Analysis:** The lot is an existing one-story brick building where no business is currently located as well as vehicles stored on-site. Staff assumes this is an overflow of the adjacent auto repair business and has not been informed by the applicant of a plan for where these cars should locate. This is important as there is already an issue with parking along Belleview Avenue even with the proposed plan to maintain on-street parking on one side of the street.

**d) Discouragement of economic development activities that may provide desirable employment or enlarge the tax base**

**Staff Analysis:** The development provides a new business to a lot that is currently underutilized.

**e) Undue density of population or intensity of use in relation to the community facilities existing or available**

**Staff Analysis:** The proposed development will have limited effect on community facilities (specifically public utilities) given that the use is low intensity.

**f) Reduction in the availability of affordable housing in the neighborhood**

**Staff Analysis:** The affordable housing ordinance does not apply to this proposed special use permit (SUP) given there are no residential units proposed.

**g) Impact on school population and facilities**

**Staff Analysis:** A self-storage company has no impact on school population or facilities.

**h) Destruction of or encroachment upon conservation or historic districts**

**Staff Analysis:** The Subject Property is not within any design control district.

**i) Conformity with federal, state and local laws, as demonstrated and certified by the applicant**

**Staff Analysis:** The proposed project will comply with federal, state and local laws. This is ensured through final site plan approval.

**j) Massing and scale of project**

The proposed building has three stories with a gross floor area (GFA) of approximately 100,000 SF and has an average height of 30.5' (36' height fronting River Road, 24' at rear of property closest to low-density residential).

**Staff Analysis:** Overall, a building of this height, mass and scale is appropriate in this location. Sec. 34-457 states a maximum of 4 stories (50') is allowed, where the proposed building is well within the maximum building height of this zoning district. Staff also notes the building has a lower height to the rear of the property in closest proximity to the neighborhood. Please see Attachment 4 for building elevations. In addition, the landscape plan displays required buffers at the rear of the property and the applicant has included additional trees along Belleview Avenue in response to a neighborhood request (See more detailed information regarding neighborhood concerns beneath Public Comment received).

**Sec. 34-157(a)(5)** Whether the proposed use or development will be in harmony with the purposes of the specific zoning district in which it will be placed;

**Zoning History**

In 1976 the property was zoned "M-I" Restricted Industrial

In 1991 the property was maintained as "M-I" Restricted Industrial

The property is currently zoned Industrial Corridor (IC) District. The intent of the Industrial Corridor district is to provide areas for light industrial activity that is directed to assembly and technological businesses rather than heavy manufacturing. This district provides opportunities for large scale commercial uses and manufacturing or industrial type uses that are more compatible with the neighborhoods that surround the manufacturing properties. Regulations provide for buffering from incompatible uses, but encourage these important employment centers to locate within the district.

**Staff Analysis:** Staff believes this use is appropriate within the zoning district as it is not a heavy manufacturing use and provides a low-impact in regards to traffic. The proposed use includes buffering that is compliant with the zoning district.

**Sec. 34-157(a)(6)** Whether the proposed use or development will meet applicable general and specific standards set forth within the zoning ordinance, subdivision regulations, or other city ordinances or regulations; and

**Staff Analysis:** The proposed project must comply with standards set forth within the zoning ordinance, subdivision regulations and other applicable city ordinances/regulations prior to final site plan and building permit approvals. The only modification staff proposes is in regards to the setback modification proposed by the applicant to ensure the 27" White Oak tree is preserved on-site. The applicant requests a modification from the 20' front setback to a 67.1' maximum setback. Per the City's Standards and Design Manual (Appendix H), the Best Management Practice for Tree Protection is to provide protection around the critical root zone of the tree, where the limits of the critical root zone are: 1" DBH = 1.5' radius of the critical root zone. This would mean for a 27" White Oak that protection would need to be applied 40.5' off the tree. The building proposed in the preliminary site plan (Attachment 3) sits 50' away from the property line at its farthest point off the property line along River Road and **approximately 28' away from the 27" White Oak which is within the critical root zone**. Staff recommends a condition that the building is adjusted to fall outside of the critical root zone in order the tree is adequately protected and preserved in the future.

**Sec. 34-157(a)(7)** When the property that is the subject of the application for a special use permit is within a design control district, city council shall refer the application to the BAR or ERB, as may be applicable, for recommendations as to whether the proposed use will have an adverse impact on the district, and for recommendations as to reasonable conditions which, if imposed, that would mitigate any such impacts. The BAR or ERB, as applicable, shall return a written report of its recommendations to the city council.

**Staff Analysis:** The Subject Property is not located in a design control district.

## **PUBLIC COMMENTS RECEIVED**

Per Sec. 34-41(c)(2), the applicant held a community meeting on July 26, 2017 (a City Planner attended as a NDS representative). Neighborhood concerns gathered from the community meeting are provided for in a list below. If the applicant addressed the neighborhood concern in any way in the application submission dated August 28, 2017, staff has noted how beside the neighborhood concern in **bold**.

- Right-turn only exiting onto Belleview desired. **The applicant originally proposed an entrance/exit off of Belleview Avenue, but has now removed this entrance/exit on Belleview Avenue as shown in the preliminary site plan associated with this request (Attachment 3).**

- Preserve Oak Tree fronting River Road and alter setback as part of SUP if necessary **The applicant has proposed the self-storage building with a modified front setback as part of the SUP request (from 20' to 67.1' maximum) in order to preserve the 27" Oak Tree.**
- Include water quality treatment on-site in light of proximity to Rivanna River **The applicant has proposed an infiltration system on-site.**
- Belleview – neighborhood residents prefer a vegetative strip (desire for visual amenities); a curbside buffer if there is room **The applicant has increased its landscaping plan to include a curbside buffer along River Road and additional trees adjacent to the proposed building along Belleview Avenue.**
- Applicant is to ask company if they do online auctioning? (neighborhood concern they would auction on-site)
- Parking screening required per code/neighborhood residents would like a mix of evergreens
- Plant trees in back instead of fescue **The applicant has added trees at the rear of the property which also complies with S-3 screen requirement.**
- Push building towards Belleview and relegate parking to back **The applicant has moved the building to front on Belleview Avenue, pushing parking to the back of building.**
- Front of River Road provide spaces for leasing opportunities

## **STAFF'S RECOMMENDATIONS**

Staff recommends that the application be approved with the following conditions:

1. The newly constructed sidewalk along River Road will provide for preferred ADA access 4 feet in width around existing utility poles The design and construction plan for the sidewalk, providing the required ADA access widths will be approved by the Bicycle and Pedestrian Coordinator and ADA Coordinator and the final site plan shall incorporate the approved ADA access widths and construction details in accordance with the Streets That Work Plan.
2. The sidewalk improvements along Belleview Avenue will be designed to allow on-street parking to be maintained on one side of Belleview Avenue. The design and construction plan for the sidewalk improvements will be approved by the City Engineer, and the final site plan shall incorporate the approved design and construction plan in accordance to the Streets That Work Plan.
3. The building will be no less than 40.5' away from the existing 27" White Oak tree in order to protect the critical root zone and preserve the 27" White Oak tree on the Subject Property. Final site plan shall incorporate a tree preservation plan approved by the City Arborist.

4. The proposed infiltration system shall not be used or installed, unless and until the City Engineer verifies that an acceptable soil infiltration test and other site conditions (e.g. depth to mean water table) are appropriate for use of such system. If the infiltration system is not verified by the City Engineer as appropriate for this site, then an alternative LID measure shall be provided. The final site plan shall incorporate either the City-Engineer-verified infiltration system, or an alternate LID measure.

### **POSSIBLE MOTION(S)**

1. I move to recommend approval of **SP-1700002** subject to:
  - The four (4) conditions presented in the staff report
  - *[alternative conditions, or additional condition(s)...list here]*

**OR,**

2. I move to recommend denial of **SP-1700002**.

### **ATTACHMENTS**

- 1) Special Use Permit Application received August 28, 2017
- 2) Special Use Permit Project Proposal Narrative received August 22, 2017
- 3) Preliminary Site Plan dated August 22, 2017
- 4) Building elevations
- 5) 901 River Road Sidewalk Exhibit
- 6) Streets That Work Plan Excerpt



# City of Charlottesville

## Application for Special Use Permit

Project Name: 901 River Road

Address of Property: 901 River Road

Tax Map and Parcel Number(s): 49-98

Current Zoning District Classification: IC

Comprehensive Plan Land Use Designation: Business and Technology

Is this an amendment to an existing SUP? NO

If "yes", provide the SUP #: \_\_\_\_\_

Applicant: Robert High Development LLC

Address: 223 Greenville Ave Wilmington, NC 28403

Phone: (910) 790-9490 Email: \_\_\_\_\_

Applicant's Role in the Development (check one):

Owner      Owner's Agent      Designer      Contract Purchaser

Owner of Record: River Road Plaza LLC

Address: PO Box 2378 Charlottesville, VA 22902

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

### Reason for Special Use Permit:

- Additional height: \_\_\_\_\_ feet
- Additional residential density: \_\_\_\_\_ units, or \_\_\_\_\_ units per acre
- Authorize specific land use (identify) self-storage company (allowed by SUP Sec 34-480)
- Other purpose(s) (specify City Code section): increase street setback from 20' to 107.1' SEC. 34-457.15b

### (1) Applicant's and (2) Owner's Signatures

(1) Signature [Signature] Print Robert High Date 7/19/17

Applicant's (Circle One): LLC Member LLC Manager Corporate Officer (specify) \_\_\_\_\_  
Other (specify): \_\_\_\_\_

(2) Signature [Signature] Print William Nicchiano Date 7/24/17

Owner's (Circle One): LLC Member LLC Manager Corporate Officer (specify) \_\_\_\_\_  
Other (specify): \_\_\_\_\_



# City of Charlottesville

## Pre-Application Meeting Verification

Project Name: 901 River Road

Pre-Application Meeting Date: June 5, 2017

Applicant's Representative: Justin Shimp

Planner: Heather Newmyer

Other City Officials in Attendance:

The following items will be required supplemental information for this application and must be submitted with the completed application package:

1. Traffic Impact Narrative  
(Sec. 34-41(d)(3))
2. Maps - existing conditions (pedestrian connections) vs. future connections  
(Sec. 34-41(d)(4))
3. Streets That Work narrative (Sec. 34-41(d)(9))

4.

5.

Planner Signature: \_\_\_\_\_

Other Notes:  
• consider mixed use space fronting  
River Road



# City of Charlottesville

## Application Checklist

Project Name: 901 River Road

I certify that the following documentation is ATTACHED to this application:

- 34-158(a)(1): a site plan (ref. City Code 34-802(generally); 34-1083(communications facilities)
- 34-158(a)(3): Low-impact development (LID) methods worksheet (required for developments that include non-residential uses, and developments proposing 3 or more SFDs or TFDs)
- 34-158(a)(4): a building massing diagram, and building elevations (required for applications proposing alteration of a building height or footprint, or construction of any new building(s))
- 34-158(a)(5) and 34-12: affordable housing data. (i) how many (if any) existing dwelling units on the property are an "affordable dwelling unit" by the city's definitions? (ii) Will existing affordable units, or equivalent affordable units, remain following the development? (iii) What is the GFA of the project? GFA of residential uses? GFA of non-residential uses?
- 34-157(a)(1) Graphic materials that illustrate the context of the project, and a narrative statement as to compatibility with existing patterns of use and development
- 34-157(a)(2) Narrative statement: applicant's analysis of conformity with the Comprehensive Plan
- 34-157(a)(3) Narrative statement: compliance with applicable USBC provisions
- 34-157(a)(4) Narrative statement identifying and discussing any potential adverse impacts, as well as any measures included within the development plan, to mitigate those impacts
- 34-158(a)(6): other pertinent information (narrative, illustrative, etc.)
- All items noted on the Pre-Application Meeting Verification.

**Applicant**

Signature [Signature] Print Robert M. [Signature] Date 8/27/12

By Its: \_\_\_\_\_

(For entities, specify: Officer, Member, Manager, Trustee, etc.)





# City of Charlottesville

## Community Meeting

Project Name: 901 River Road

Section 34-41(c)(2) of the Code of the City of Charlottesville (adopted October 19, 2015) requires applicants seeking rezonings and special use permits to hold a community meeting. The purpose of a community meeting is to provide citizens an opportunity to receive information about a proposed development, about applicable zoning procedures, about applicable provisions of the comprehensive plan, and to give citizens an opportunity to ask questions. **No application for a rezoning shall be placed on any agenda for a public hearing, until the required community meeting has been held and the director of neighborhood development services determines that the application is ready for final review through the formal public hearing process.**

By signing this document, the applicant acknowledges that it is responsible for the following, in connection to the community meeting required for this project:

1. Following consultation with the city, the applicant will establish a date, time and location for the community meeting. The applicant is responsible for reserving the location, and for all related costs.
2. The applicant will mail, by U.S. mail, first-class, postage pre-paid, a notice of the community meeting to a list of addresses provided by the City. The notice will be mailed at least 14 calendar days prior to the date of the community meeting. The applicant is responsible for the cost of the mailing. At least 7 calendar days prior to the meeting, the applicant will provide the city with an affidavit confirming that the mailing was timely completed.
3. The applicant will attend the community meeting and present the details of the proposed application. If the applicant is a business or other legal entity (as opposed to an individual) then the meeting shall be attended by a corporate officer, an LLC member or manager, or another individual who can speak for the entity that is the applicant. Additionally, the meeting shall be attended by any design professional or consultant who has prepared plans or drawings submitted with the application. The applicant shall be prepared to explain all of the details of the proposed development, and to answer questions from citizens.
4. Depending on the nature and complexity of the application, the City may designate a planner to attend the community meeting. Regardless of whether a planner attends, the City will provide the applicant with guidelines, procedures, materials and recommended topics for the applicant's use in conducting the community meeting.
5. On the date of the meeting, the applicant shall make records of attendance and shall also document that the meeting occurred through photographs, video, or other evidence satisfactory to the City. Records of attendance may include using the mailing list referred to in #1 as a sign-in sheet (requesting attendees to check off their name(s)) and may include a supplemental attendance sheet. The City will provide a format acceptable for use as the supplemental attendance sheet.

Applicant: Robert High Development, LLC

By:

Signature [Signature] Print Robert M High Date 7/19/17

Its: \_\_\_\_\_ (Officer, Member, Trustee, etc.)

# SHIMP ENGINEERING



PROJECT MANAGEMENT  
CIVIL ENGINEERING  
LAND PLANNING

TMP: 490098000  
901 River Road  
Zoning Amendment Request/Special Use Permit  
Neighborhood Meeting Letter  
July 14, 2017

Dear Ms. Heather Newmyer,

A notification letter to property owners concerning the 901 River Road Special Use Permit was mailed and postmarked on July 13. The meeting is set to be held on Wednesday, July 26 at 6 p.m. at Park Street Christian Church located at 1200 Park Street.

The meeting was organized in conjunction with members from the Locust Grove Neighborhood Association in order to determine a date, time, and location that would best work for community members. It was our intent to hold the meeting on July 27<sup>th</sup> but after receiving input from the neighborhood association it was determined the meeting should be held at 6 p.m.; a start time not feasible at a location within the neighborhood on July 27<sup>th</sup>. A 6 p.m. start time was noted as an ideal time for residents with children and so it was decided the 26<sup>th</sup> would work best because Park Street Christian Church was available to serve as the host location at 6 p.m.

Please do not hesitate to contact me with any further questions in regards to the neighborhood meeting. Please find the letter that was mailed to property owners attached.

Respectfully,

Kelsey Schlein

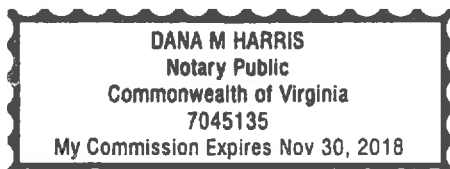
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Charlottesville, Virginia

The foregoing instrument was acknowledged, before me on this day 7/19/17, by

  
(signer)  
(notary public)

My commission expires: 11/30/2018





# City of Charlottesville

## Owner's Authorizations

(Not Required)

### Right of Entry- Property Owner Permission

I, the undersigned, hereby grant the City of Charlottesville, its employees and officials, the right to enter the property that is the subject of this application, for the purpose of gathering information for the review of this Special Use Permit application.

Owner: RIVER ROAD PLAZA Date: 7-24-17

By (sign name): [Signature] Print Name: WILLIAM NITCHMAN

Owner's: LLC Member  **LLC Manager**  Corporate Officer (specify): \_\_\_\_\_

Other (specific): \_\_\_\_\_

### Owner's Agent

I, the undersigned, hereby certify that I have authorized the following named individual or entity to serve as my lawful agent, for the purpose of making application for this special use permit, and for all related purposes, including, without limitation: to make decisions and representations that will be binding upon my property and upon me, my successors and assigns.

Name of Individual Agent: Robert High

Name of Corporate or other legal entity authorized to serve as agent: Robert High Development, LLC

Owner: RIVER ROAD PLAZA Date: 7-24-17

By (sign name): [Signature] Print Name: WILLIAM NITCHMAN

Circle one:

Owner's: LLC Member  **LLC Manager**  Corporate Officer (specify): \_\_\_\_\_

Other (specific): \_\_\_\_\_



# City of Charlottesville

## Disclosure of Equitable Ownership

Section 34-8 of the Code of the City of Charlottesville requires that an applicant for a special use permit make complete disclosure of the equitable ownership ("real parties in interest") of the real estate to be affected. Following below I have provided the names and addresses of each of the real parties in interest, including, without limitation: each stockholder or a corporation; each of the individual officers and directors of a corporation; each of the individual members of an LLC (limited liability companies, professional limited liability companies); the trustees and beneficiaries of a trust, etc. Where multiple corporations, companies or trusts are involved, identify real parties in interest for each entity listed.

Name Robert M High Address 223 Grizzwille Ave

Name \_\_\_\_\_ Address Wilmington NC 28403

Name \_\_\_\_\_ Address \_\_\_\_\_

Name \_\_\_\_\_ Address \_\_\_\_\_

Attach additional sheets as needed.

**Note:** The requirement of listing names of stockholders does not apply to a corporation whose stock is traded on a national or local stock exchange and which corporation has more than five hundred (500) shareholders.

**Applicant:** \_\_\_\_\_

**By:**

Signature [Signature] Print Robert M High Date 7/19/17

Its: \_\_\_\_\_ (Officer, Member, Trustee, etc.)



# City of Charlottesville

## Fee Schedule

Project Name: 901 River Road

Application Type	Quantity	Fee	Subtotal
Special Use Permit	1	\$1800	1800
Special Use Permit (Family Day Home for 6-12 Children)		\$500	
Mailing Costs per letter		\$1 per letter	
Newspaper Notice		Payment Due Upon Invoice	
<b>TOTAL</b>			<b>\$1800</b>

### Office Use Only

Amount Received: \_\_\_\_\_ Date Paid \_\_\_\_\_ Received By: \_\_\_\_\_  
Amount Received: \_\_\_\_\_ Date Paid \_\_\_\_\_ Received By: \_\_\_\_\_  
Amount Received: \_\_\_\_\_ Date Paid \_\_\_\_\_ Received By: \_\_\_\_\_  
Amount Received: \_\_\_\_\_ Date Paid \_\_\_\_\_ Received By: \_\_\_\_\_



# City of Charlottesville

## LID Checklist

Project Name: 901 River Road

LID Measure	LID Checklist Points	Points
Compensatory Plantings (see City buffer mitigation manual). 90% of restorable stream buffers restored.	5 points or 1 point for each 18% of the total acreage	
Pervious pavers for parking and driveways with stone reservoir for storage of 0.5 inches of rainfall per impervious drainage area. Surface area must be >1,000 ft. <sup>2</sup> or ≥ 50% of the total parking and driveway surface area.	7 points or 1 point for each 7% of parking and driveway surface area.	
Shared parking (must have legally binding agreement) that eliminates >30% of on-site parking required.	5 points or 1 point for each 6% of parking surface eliminated.	
Impervious Disconnection. Follow design manual specifications to ensure adequate capture of roof runoff (e.g. cisterns, dry wells, rain gardens)	8 points	
Bioretenation. Percent of site treated must exceed 80%. Biofilter surface area must be ≥ 5% of impervious drainage area.	8 points or 1 point for each 10% of site treated.	
Rain gardens. All lots, rain garden surface area for each lot ≥ 200 ft. <sup>2</sup> .	8 points or 1 point for each 10% of lots treated.	
Designed/constructed swales. Percent of site treated must exceed 80%, achieve non-erosive velocities, and able to convey peak discharge from 10 year storm.	8 points or 1 point for each 10% of site treated.	
Manufactured sand filters, filter vaults (must provide filtering rather than just hydrodynamic). Percent of site treated must exceed 80%. Sizing and volume for water quality treatment based on manufacturer's criteria.	8 points or 1 point for each 10% of site treated.	
Green rooftop to treat ≥ 50% of roof area	8 points	
Other LID practices as approved by NDS Engineer. <u>infiltration</u>	TBD, not to exceed 8 points	<u>8</u>
Off-site contribution to project in City's water quality management plan. This measure to be considered when on site constraints (space, environmentally sensitive areas, hazards) limit application of LID measures. Requires pre-approval by NDS Director.	5 points	
<b>Total Points</b>		<b>8</b>

### Applicant's Signature

Signature [Signature] Print Robert M High Date 8/27/17



**TMP: 490098000**  
**901 River Road**  
**Zoning Amendment Request/Special Use Permit**  
**Project Narrative**  
**August 22, 2017**

**Project Proposal:**

In accordance with Section 158 in Chapter 34 of Charlottesville City Code, River Road Plaza, LLC, requests a Special Use Permit to establish a self-storage company on a parcel currently zoned Industrial Corridor (IC). Referenced in Section 480 in Chapter 34, self-storage companies are allowed by Special Use Permit in areas regulated by Industrial Corridor regulations. The proposed development is a three story short-term self-storage facility. The property is used as a commercial vehicle storage lot. The development will have minimal impact on street traffic as business patrons are likely to only intermittently access their storage unit.

The proposed development includes the construction of a 5' sidewalk on the south side of Belleview Avenue and the northwest side of River Road, completing a pedestrian connection between the Locust Grove neighborhood and River Road, and extending along River Road to Long St. (250 Bypass) and a trailhead of the Rivanna Trail. This pedestrian connection ultimately creates a more cohesive connection between the Locust Grove residential neighborhood and the Rivanna River Greenway Trail.

**Special Use Permit**

**Requested:** Self Storage Company in Industrial Corridor

**Property Description/  
Existing Conditions:** Parcel ID 490098000  
2.203 acres  
Commercial Vehicle Parking

**Proposed Use:** 3 Story Self Storage Facility  
103,350 Square Feet

**Affordable Housing Data:**

There are no existing dwelling units on the property and there are no proposed dwelling units on the property.

**Consistency with Comprehensive Plan:**

The development is consistent with Goal 5.6 in the Land Use chapter of the Comprehensive Plan because there is an appropriate buffer between the self-storage structure and the adjacent Residential (R-1) properties and because a short-term self-storage facility is a use that is compatible with surrounding uses. River Road and Belleview Avenue feature a variety of commercial, business, and light industrial uses ranging from a pharmacy, to auto repair and body shops, to warehouse storage, and equipment rental companies.

Consistent with Goal 2 in the Land Use chapter of the Comprehensive Plan, a self-storage facility would diversify the business presence in the Locust Grove neighborhood, establishing a mix of uses within walking distance of a residential neighborhood. The 5' sidewalk included in the development increases connectivity by means of a more formal pedestrian pathway. This is a critical connection along Belleview Avenue and River Road, allowing Locust Grove residents to safely walk from their residences to the Rivanna River Trail. Goal 2.3 of the Land Use chapter in

the Comprehensive Plan aims to “enhance pedestrian connections between residences, commercial centers, public facilities, amenities and greenspaces.” A sidewalk adjacent to the property boundary aligns with this goal. A special use permit allowing this development will permit the completion of this pedestrian network in correlation with the completion of the self-storage company.

The future land use map identifies the parcel in a Business and Technology district. This development proposes a use for the property that fits within this district while maintaining respect for and the integrity of the nearby residential neighborhood. A self-storage company generates tax revenues for the city while having no measurable impact on public utilities, namely water and sewer.

**Compliance with USBC Provisions**

The proposed development is new construction and will comply with all USBC provisions.

**Potential Adverse Environmental Impacts**

The development of the parcel in accordance with current stormwater regulations will improve the condition of stormwater management on the site, because no formal stormwater management infrastructure currently exists on the site. Proper stormwater management infrastructure on the site will mitigate any adverse impacts of stormwater runoff from the site into the Rivanna River, ultimately reducing any negative impacts on the Chesapeake Bay from development of the site and protecting the Chesapeake Bay Watershed.

**Potential Adverse Traffic Impacts**

There are no adverse traffic impacts expected with the construction of this site. The self-storage building is, according to Online Traffic Impact Study Software (OTISS), expected to generate 29 trips in the peak hour. Considering the potential by-right uses allowed in the industrial corridor zoning district, this use creates minimal traffic. Examples of potential uses in this location and their associated traffic are listed in the table below. Note that a combination of the listed uses could be used on site.

Use Description	ITE	Qty	AM			PM		
			in	out	Total	in	out	Total
Mini-Warehouse	151	103,350 sf	13	15	28	15	14	29
Office Building	710	10,000 sf	26	4	30	15	75	90
Apartments	220	43 units	8	18	26	25	16	41
Convenience Store	852	3,000 sf	50	48	98	53	56	109

In general, there are fewer trips associated with this use as compared to other potential uses. Additionally, the trips to and from the site are more evenly distributed, creating less chance of congestion.

**Compliance with Charlottesville Streets that Work Plan**

In compliance with Charlottesville’s Streets that Work Plan, the development will adhere to the highest priorities outlined in the design elements of Industrial Streets. The development will complete pedestrian connections adjacent to the site along River Road and Belleview Avenue. The design will feature a 5’ sidewalk along River Road and a 4’ buffer. The 5’ sidewalk will provide sufficient space for comfortable use of the right of way by various users including strollers, children, and exercisers. The buffer will include medium size street trees; tree inclusion in industrial street design is of highest priority as it creates aesthetic, ecological, and psychological benefits. In addition to the aforementioned benefits, street trees will establish a buffer between pedestrians and street traffic, an additional safety feature. The addition of a 5’ sidewalk and 4’ buffer along River Road will still allow for a 12’ travel lane, this lane width abides by a high priority design element outlined in the Streets that Work plan. A bulb out will extend from the corner of the intersection of River Road and Belleview Avenue. This will slow traffic making a left turn from



Belleview Avenue onto River Road and will slow traffic making a left turn from River Road onto local road, Belleview Avenue. A 5' sidewalk will complete pedestrian connections along Belleview Avenue. This sidewalk width will accommodate the needs of neighborhood residents without compromising the quaint feel of the local road.

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# PRELIMINARY SITE DEVELOPMENT PLAN FOR 901 RIVER ROAD TAX MAP 49, PARCEL 98 CITY OF CHARLOTTESVILLE, VIRGINIA

VICINITY MAP SCALE: 1"=1000'

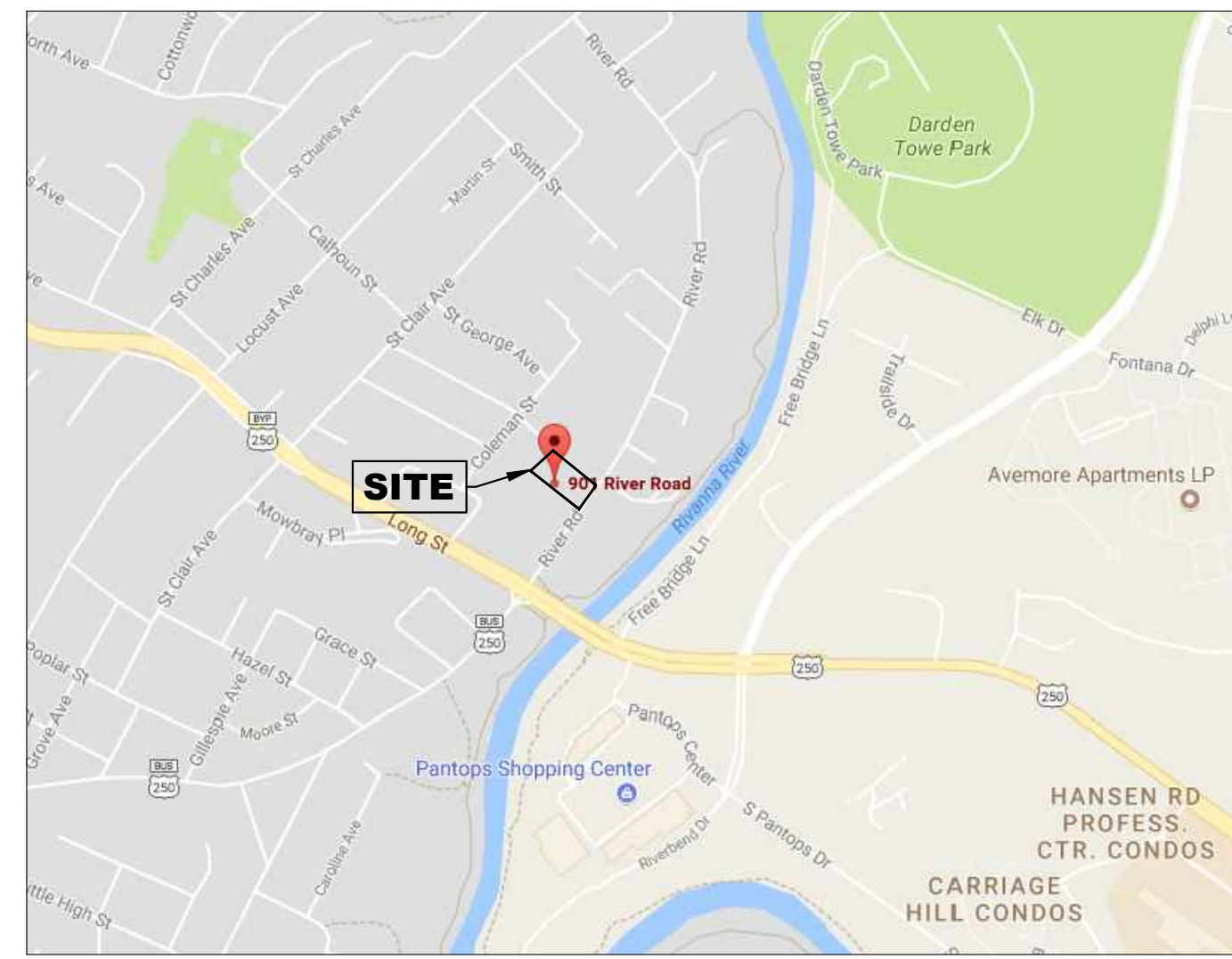


IMAGE PROVIDED BY GOOGLE MAPS

LEGEND		
EXIST	NEW	DESCRIPTION
16" TC	x 12" TC	TOP OF CURB ELEVATION
16"	x 12"	SPOT ELEVATION
16" TW	x 12" TW	TOP OF WALL ELEVATION
16" BW	x 12" BW	BOTTOM OF WALL ELEVATION
		BENCHMARK
		STORM SEWER
		ROOF DRAIN
		SEWER LINE
		WATER LINE
		GAS LINE
		OVERHEAD ELECTRIC WIRE
		UNDERGROUND ELECTRIC
		OVERHEAD TELEPHONE LINE
		UNDERGROUND TELEPHONE LINE
		DRAIN INLET (DI)
		STORM/SANITARY MANHOLE
		PLUG
		WATER VALVE & BOX
		FIRE HYDRANT
		WATER METER
		LIGHT POLE
		UTILITY POLE
		PROPERTY LINE
		ADJACENT PROPERTY LINE
		VACATED PROPERTY LINE
		BUILDING SETBACK
		PARKING SETBACK
		SANITARY EASEMENT
		GRADING EASEMENT
		DRAINAGE EASEMENT
		UTILITY EASEMENT
		WATER EASEMENT
		ACCESS EASEMENT
		STORM DRAINAGE EASEMENT
		TREE LINE
		FENCE
		STREAM
		INTERVAL CONTOUR
		INDEX CONTOUR
		STANDARD 6" CURB
		COMBINATION 6" CURB & GUTTER
		CONCRETE PAVEMENT / SIDEWALK
		RIPRAP
		ASPHALT
		GRASS
		EC-2 MATTING
		EC-3 MATTING
		WETLAND
		PARKING COUNT
		CROSSWALK
		HANDICAP ACCESSIBLE AISLE
		CG-12
		HANDICAP PARKING

NOTE:

1. THE SIZE OF THE SYMBOLS MAY VARY FROM WHAT IS SHOWN.

## SHEET INDEX

- SHEET C1 - COVER SHEET
- SHEET C2 - EXISTING CONDITIONS & DEMOLITION PLAN
- SHEET C3 - SITE PLAN
- SHEET C4 - GRADING PLAN
- SHEET C5 - UTILITY PLAN
- SHEET C6 - LANDSCAPE PLAN

## NOTES

- All excavation for underground pipe installation must comply with OSHA Standards for the Construction Industry (29 CFR Part 1926).
- The location of existing utilities across or along the line of the proposed work are not necessarily shown on the plans and where shown based on "MISS UTILITY" markings and are only approximately correct. The contractor shall locate all underground lines and structures as necessary.
- The contractor shall verify the locations of all boundaries, buildings, existing elevations, vegetation and other pertinent site elements. Contractor shall immediately report any discrepancies to the engineer of record.
- The contractor shall be responsible for notifying "MISS UTILITY" - 1-800-552-7001.
- Any damage to existing utilities caused by the contractor or its subcontractors shall be the contractor's sole responsibility to repair. This expense is the contractor's responsibility.
- All paving, drainage related materials and construction methods shall conform to current specifications and standards of the City of Charlottesville unless otherwise noted.
- An erosion and sediment control plan is required with this site plan.
- All slopes and disturbed areas are to be fertilized, seeded and mulched. The maximum allowable slope is 2:1. Where it is reasonably obtainable, lesser slopes of 3:1 or better are to be achieved.
- Paved, rip-rap or stabilization mat lined ditch may be required when in the opinion of the Engineer it is deemed necessary in order to stabilize a drainage channel.
- All traffic control signs shall conform to the 2011 Virginia Supplement to the 2009 Manual on Uniform Control Devices.
- Unless otherwise noted all concrete pipe shall be reinforced concrete pipe - Class III.
- All material inside concrete forms shall be clean and free of all rocks and other loose debris. Sub-base material shall be compacted by mechanical means. Remove all standing water from area inside forms.
- Concrete and asphalt shall not be placed unless the air temperature is at least 40 degrees in the shade and rising. Material shall not be placed on frozen subgrade.
- All existing curbs, curb and gutters and sidewalks to be removed shall be taken out to the nearest joint.
- Existing asphalt pavement shall be saw cut and removed as per VDOT Road and Bridge Specifications 2007. Removal shall be done in such a manner as to not tear, bulge or displace adjacent pavement. Edges shall be clean and vertical. All cuts shall be parallel or perpendicular to the direction of traffic.
- The contractor shall exercise care to provide positive drainage to the storm inlets or other acceptable drainage paths in all locations.
- Contact information for any necessary inspections with City: E&S inspector, NDS- 970-3182 (for the E&S inspections) Project Inspectors, NDS-970-3182 (for other construction items like sidewalk, pavement patches, road, storm sewer etc) Water and Sanitary Sewer-Public Works 970-3800 Street cut, Public Works 970-3800 Other public ROW issues-City Engineer 970-3182.
- Any sidewalk and/or curb damage identified in the site vicinity due to project construction activities as determined by City inspector shall be repaired at the contractor's expense.
- A temporary street closure permit is required for closure of sidewalks, parking spaces and roadways and is subject to approval by the City Traffic Engineer.

## OWNER/DEVELOPER

Owner:  
River Road Plaza, LLC  
PO Box 2378  
Charlottesville, VA 22902  
Developer:  
Robert High Development, LLC  
223 Greenville Avenue  
Wilmington, NC 28403

## ZONING

Zoned IC- Industrial Corridor  
Per Sec. 34-480, a Special Use Permit is Required for Proposed Use

## LEGAL REFERENCE

TM 49 Parcel 98  
D.B. 1170-161  
D.B. 417-291 Plot

## BENCHMARK

Mag Hub West of Property. Elevation 354.99'  
Datum: NAVD88

## SOURCE OF BOUNDARY & TOPO

Boundary & Topography information obtained from a field survey by Roger W. Roy & Associates, Inc.  
June 12, 2017

## BUILDING HEIGHT

Average Building Height = 30.5' (36' in front & 24' in back)  
Maximum Building Height = 50' or 4 Stories

## BUILDING SETBACKS

Front Primary Street: 20' Max.  
\*Note: Applicant Proposes Special Use Permit Modification to Setback Restriction to 67.1' Maximum.  
Front Linking Street: 10' Min. 20' Max.  
Side and Rear Adjacent to Low Density Residential: 20' Min.  
Side and Rear Adjacent to Other: None

## EXISTING USE

Single Story Office Building

## PROPOSED USE

103,350 SF Self Storage Building  
(3 Stories at 34,550 SF)

## LAND USE SCHEDULE

EXISTING	Area	%
Building	2,384 SF	5.2%
Pavement	42,653 SF	93.1%
Sidewalk	187 SF	1.7%
Impervious area	45,824 SF	47.9%
Open space	49,920 SF	52.1%
Total=	95,744 SF (2.20 ac.)	

PROPOSED	Area	%
Building	34,450 SF	57.4%
Parking lot area	7,560 SF	21.1%
Vehicle circulation	17,376 SF	29.0%
Sidewalk	588 SF	1.0%
Impervious area	59,974 SF	62.6%
Open space	35,770 SF	37.4%
Total=	95,744 SF (2.20 ac.)	

## LAND DISTURBANCE

2.016 acres of total land disturbance is proposed with this site plan.

## STORMWATER COMPLIANCE

Development will meet 9VAC25-870-96 by use of infiltration to exceed phosphorus reduction requirements by 0.78 lb/yr.  
Development will meet 9VAC25-870-66 Section B3 by use of an underground infiltration system. Section C3 is satisfied as the site lies in the floodplain.

## CITY PERMITS

- The contractor shall be responsible for obtaining a street cut permit from the City.
- A Temporary Street Closure Permit is required for closure of sidewalks, parking spaces and roadways and is subject to approval by the City Traffic Engineer. The contractor contact information will be provided with the final plans.

## SIGNS

All signs and pavement markings shall conform with the latest edition of the MUTCD Guidelines.

## FIRE MARSHAL'S NOTES

- SITE PLAN:
- VSFPC 505.1-The building street number to be plainly visible from the street for emergency responders.
  - VSFPC 506.1 - An approved key box shall be mounted to the side of the front or main entrance.
  - VSFPC 506.1.2 - An elevator key box will be required if the building has an elevator.
  - VSFPC 507.5.4 - Fire hydrants, fire pump test header, fire department connections or fire suppression system control valves shall remain clear and unobstructed by landscaping, parking or other objects.
  - VSFPC 503.2.1 - Overhead wiring or other obstructions shall be higher than 13 feet 6 inches.
  - VSFPC 3312.1 - An approved water supply for fire protection shall be made available as soon as combustible material arrives on the site. Fire hydrants shall be installed and useable prior to the start of any building construction.
  - All pavement shall be capable of supporting fire apparatus weighing 85,000 lbs.
  - Required vehicle access for fire fighting shall be provided to all construction or demolition sites. Vehicle access shall be provided to within 100 feet of temporary permanent fire department connections. Vehicle access shall be provided by either temporary or permanent roads, capable of supporting vehicle loading under all weather conditions. Vehicle access shall be maintained until permanent fire apparatus access roads are available.
  - Buildings four or more stories in height shall be provided with not less than one standpipe for use during construction. Such standpipes shall be installed when the progress of construction is not more than 40 feet in height above the lowest level of fire department access. Such standpipe shall be provided with fire department hose connections at accessible locations adjacent to useable stairs. Such standpipes shall be extended as construction progresses to within one floor of the highest point of construction having secured decking or flooring.

## CONSTRUCTION & DEMOLITION:

- VSFPC 310.3. 310.5 - Smoking to be allowed in only designated spaces with proper receptacles.
- VSFPC 3304.2 - Waste disposal of combustible debris shall be removed from the building at the end of each workday.
- IFC 1410.1-Access to the building during demolition and construction shall be maintained.
- VSFPC 3304.6 - Operations involving the use of cutting and welding shall be done in accordance with Chapter 35, of the Virginia Statewide Fire Prevention Code, addressing welding and hotwork operations.
- VSFPC 3315.1 - Fire extinguishers shall be provided with not less than one approved portable fire extinguisher at each stairway on all floor levels where combustible materials have accumulated.
- VSFPC 3310.1 - Required vehicle access for fire fighting shall be provided to all construction or demolition sites. Vehicle access shall be provided to within 100 feet of temporary permanent fire department connections, if any. Vehicle access shall be maintained until permanent fire apparatus access roads are available.

## CRITICAL SLOPES

There are no critical slopes within the project area.

## LIGHTING

Parking lot lighting will be provided with the final site plan.

## FLOOD ZONE

According to the FEMA Flood Insurance Rate Map, effective date February 4, 2005 (Community Panel 5100330287D), a portion of this property lies within the Zone X Floodplain.

## WATER & SANITARY SERVICES

All materials used for water and sanitary sewer service lines are to comply with requirements as outlined in both the BOCA Code and the regulations used by the Department of Public Works for the City of Charlottesville.

## ELECTRIC / TELEPHONE / CABLE TV

If feasible, all new service lines for electricity, telephone and cable TV are to be installed underground. Care is to be taken to assure their location does not conflict with any other aspects of the proposed site plan.

## PARKING SCHEDULE

Required Parking:  
1 space per 5,000 sq ft of area devoted to warehouse/storage. = 103,350/5,000 = 21 Spaces Required  
Handicap Parking: 1 Spaces Per 25 Total Req. = 21/25 = 1 Handicap Space

Provided Parking:  
21 Total Parking Spaces, Including 1 Van Accessible Handicap Space

## UTILITY MARKINGS

Markings shown per ticket numbers A522400432, A522400450, & A522400459 in August 2015.

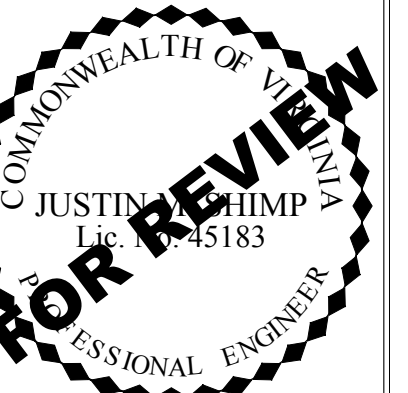
## ITE TRIP GENERATION

Use Description	ITE	Qty	AM		PM	
			in	out	in	out
Mini-Warehouse	151	103.4	13	15	28	15
Total			13	15	28	15

## APPROVALS:

DIRECTOR OF NEIGHBORHOOD DEVELOPMENT SERVICES DATE

SHIMP ENGINEERING, P.C.  
ENGINEERING - LAND PLANNING - PROJECT MANAGEMENT  
PHONE: (434) 227-5140  
201 E. MAIN ST., SUITE 100  
CHARLOTTESVILLE, VA 22902  
JUSTIN@SHIMP-ENGINEERING.COM



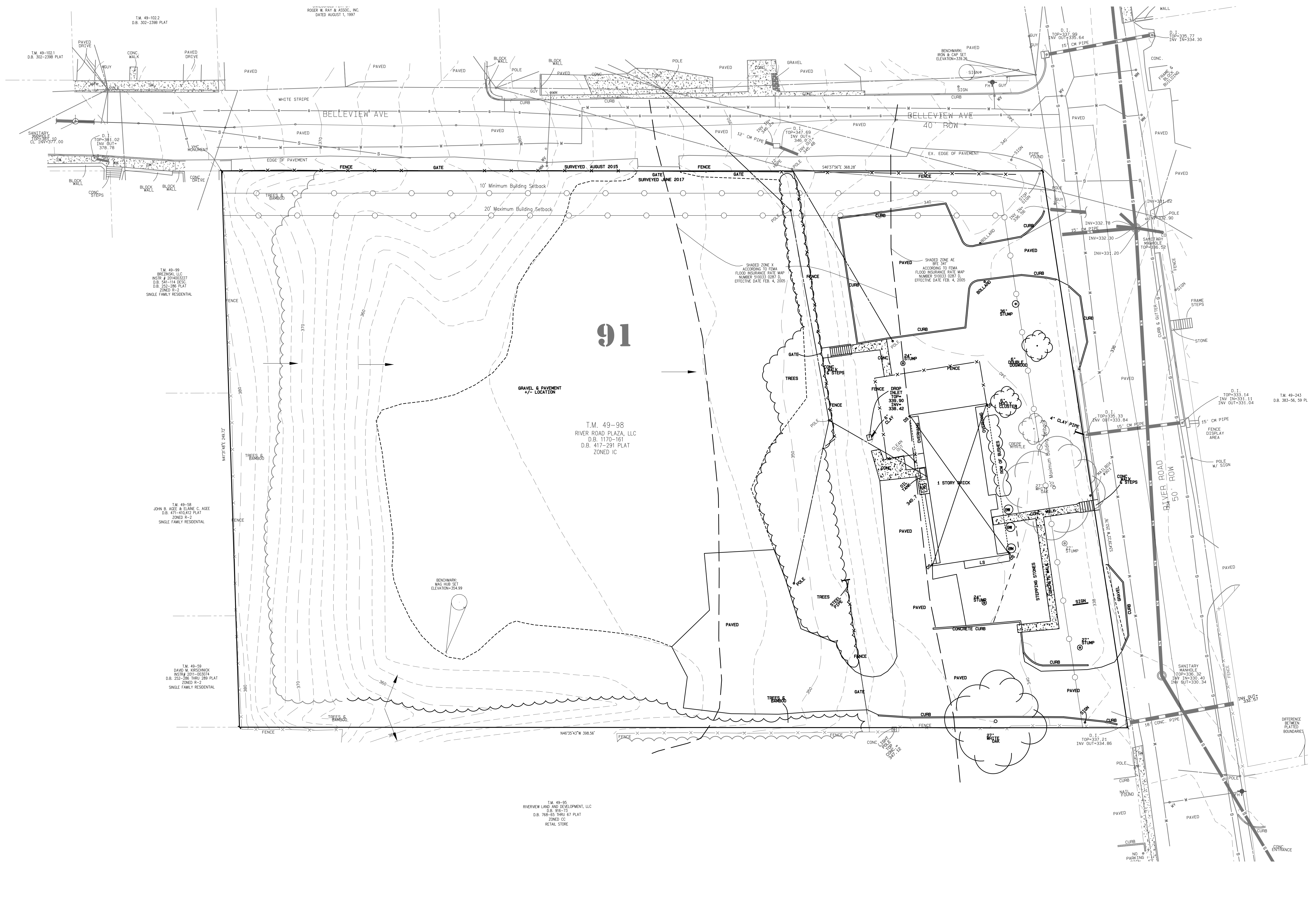
COVER SHEET

Rev. #	Date	Description
1	8/22/17	SUP Submittal

PRELIMINARY SITE DEVELOPMENT PLAN

901 River Road  
CITY OF CHARLOTTESVILLE, VIRGINIA

Date  
06/27/2017  
Scale  
N/A  
Sheet No.  
C1 OF 6  
File No.  
16.045



T.M. 49-102.2  
D.B. 302-2590 PLAT  
ROGER W. RAY & ASSOC., INC.  
DATED AUGUST 1, 1997

T.M. 49-99  
BRZINSKI, LLC  
INSTR. # 201403227  
D.B. 541-114 DESS  
D.B. 252-295 PLAT  
ZONED R-1  
SINGLE FAMILY RESIDENTIAL

T.M. 49-58  
JOHN B. AZE & ELAINE C. AZE  
D.B. 471-14012 PLAT  
ZONED R-2  
SINGLE FAMILY RESIDENTIAL

T.M. 49-59  
DAVID M. KRISCHNICK  
INSTR. # 2011-03074  
D.B. 252-256 TRSU 289 PLAT  
ZONED R-2  
SINGLE FAMILY RESIDENTIAL

91

T.M. 49-98  
RIVER ROAD PLAZA, LLC  
D.B. 1170-161  
D.B. 417-291 PLAT  
ZONED IC

T.M. 49-95  
RIVERVIEW LAND AND DEVELOPMENT, LLC  
D.B. 916-7  
D.B. TR-45 TRSU 67 PLAT  
ZONED CC  
RETAIL STORE

**SOILS LEGEND**

91 - Urban Land

→ Overland Flow Direction

SCALE: 1" = 20'

**SHIMP ENGINEERING, P.C.**  
ENGINEERING - LAND PLANNING - PROJECT MANAGEMENT  
PHONE: (434) 227-5140  
201 E. MAIN ST., SUITE M  
CHARLOTTEVILLE, VA 22902  
JUSTIN@SHIMP-ENGINEERING.COM



EXISTING CONDITIONS AND  
DEMOLITION

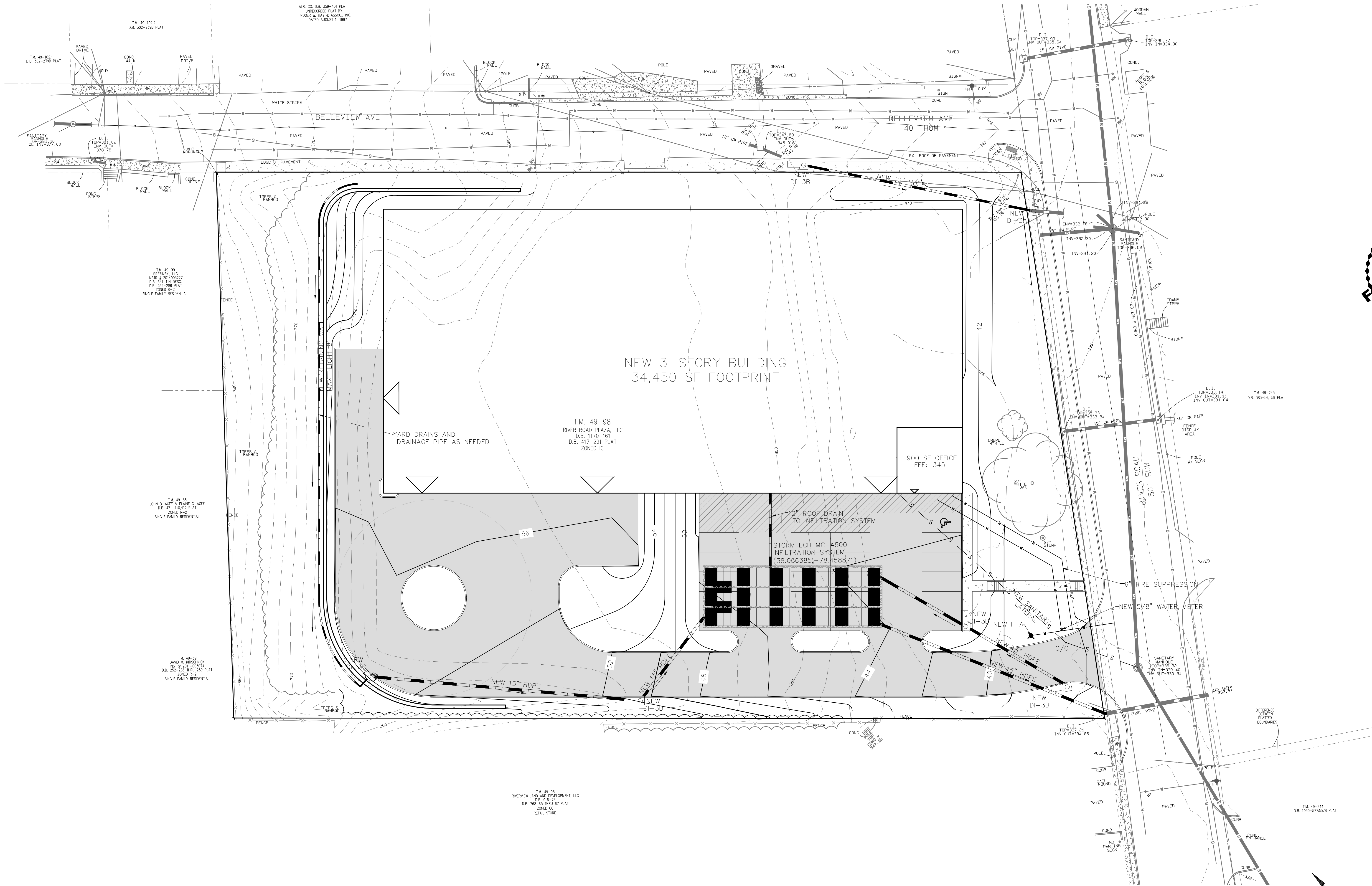
Rev. #	Date	Description
1	8/27/17	SUP. Submittal

PRELIMINARY SITE DEVELOPMENT PLAN  
**901 River Road**  
CITY OF CHARLOTTEVILLE, VIRGINIA

Date  
06/27/2017  
Scale  
1" = 20'  
Sheet No.  
C2 OF 6  
File No.  
16.045







**SHIMP ENGINEERING, P.C.**  
 ENGINEERING - LAND PLANNING - PROJECT MANAGEMENT  
 201 E. MAIN ST., SUITE 100  
 CHARLOTTEVILLE, VA 22902  
 PHONE: (434) 227-5140  
 JUSTIN@SHIMP-ENGINEERING.COM

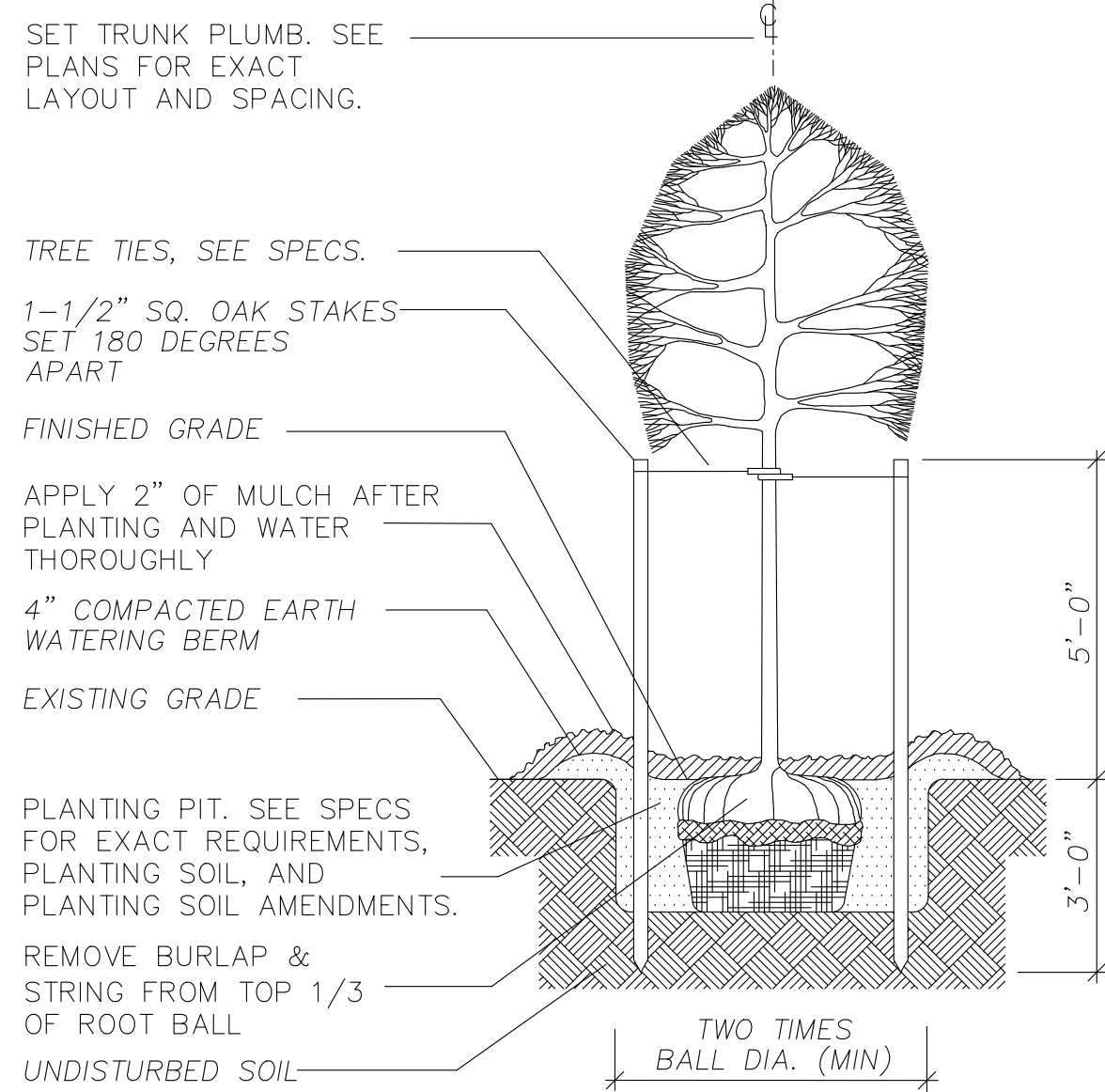


**UTILITY PLAN**

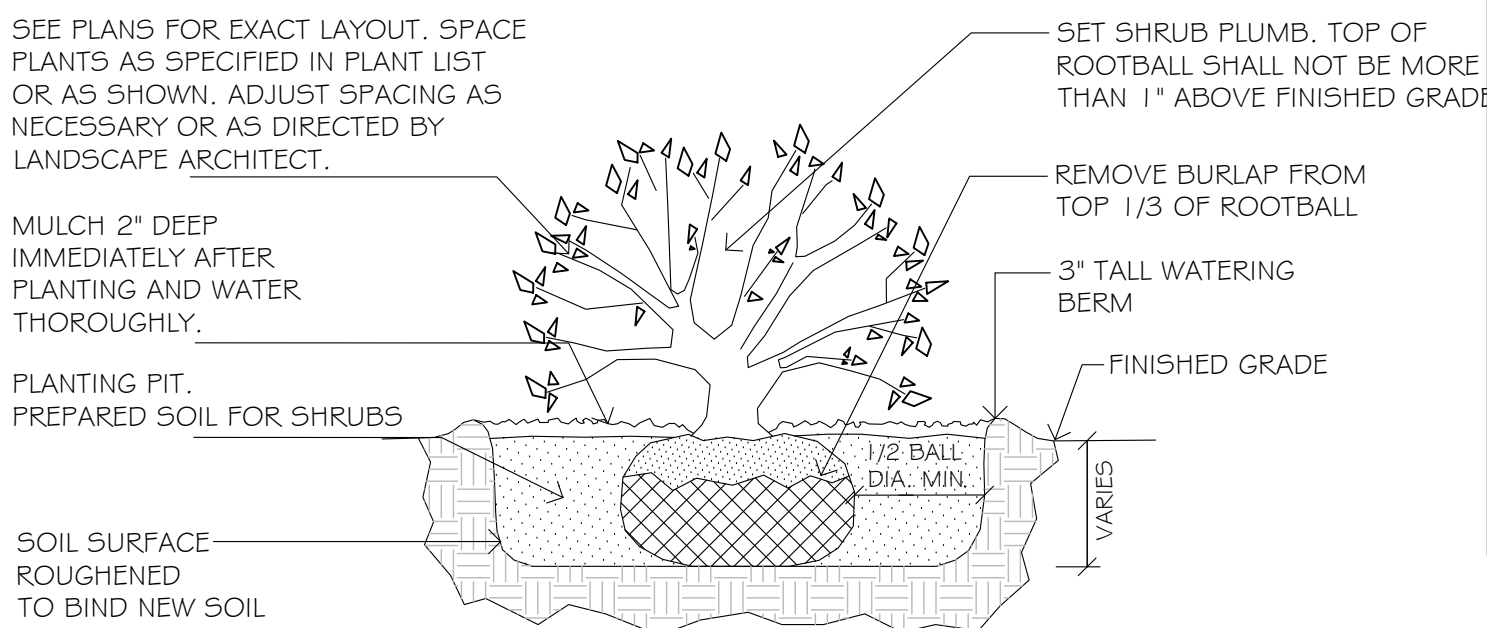
Rev #	Date	Description
1	8/27/17	SUP Submittal

PRELIMINARY SITE DEVELOPMENT PLAN  
**901 River Road**  
 CITY OF CHARLOTTEVILLE, VIRGINIA

Date	06/27/2017
Scale	1" = 20'
Sheet No.	C5 OF 6
File No.	16.045



1 TREE PLANTING DETAIL  
C6 Not To Scale

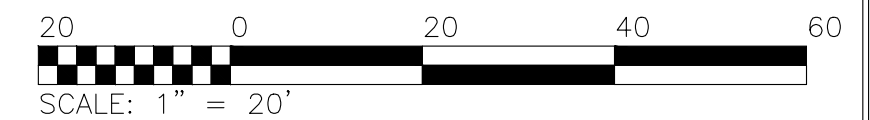
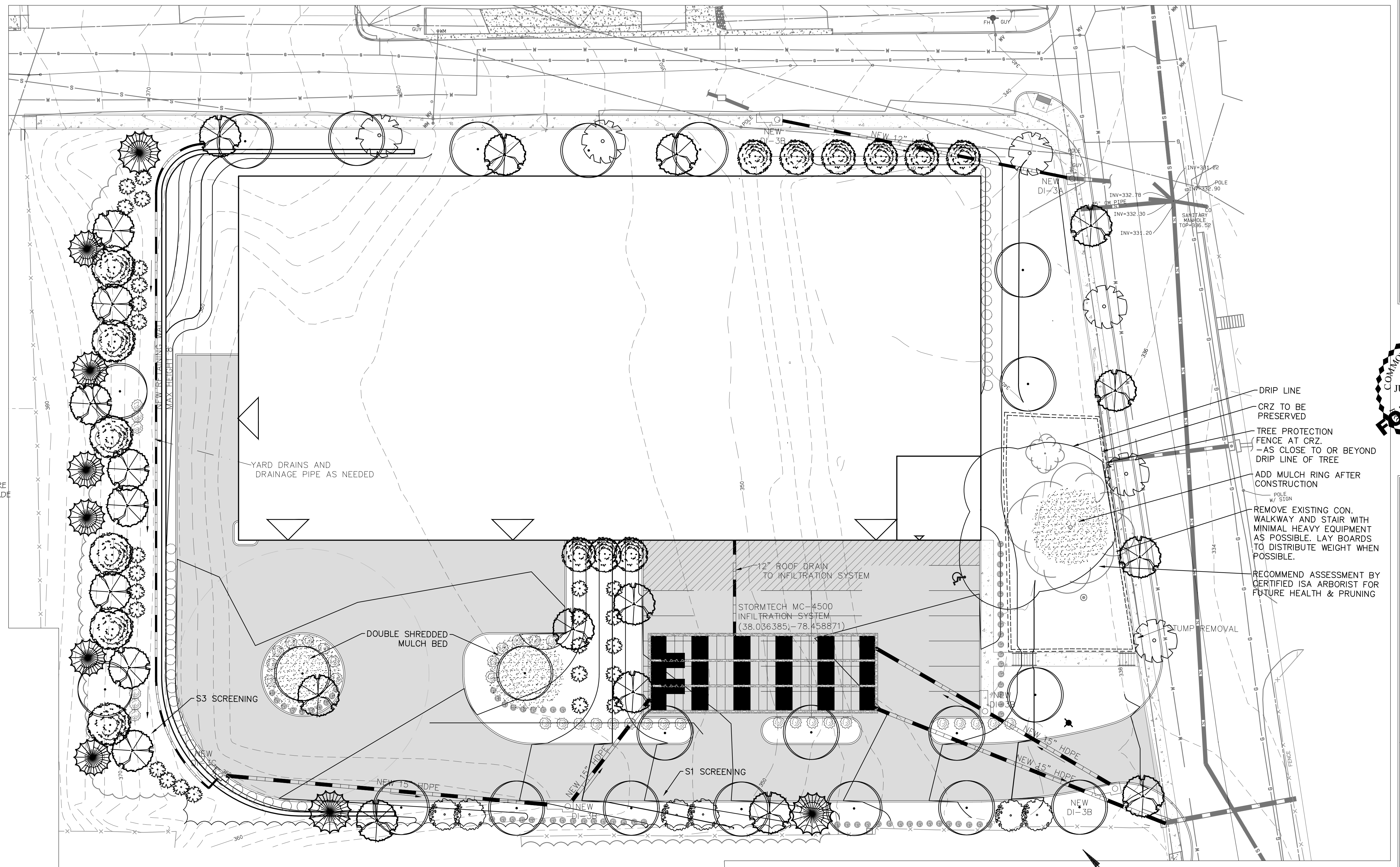


2 SHRUB PLANTING DETAIL  
C6 Not To Scale

**LANDSCAPING NOTES:**  
STREETSCAPE REQUIREMENT (SEC 34-870):  
NO STREET TREES REQUIRED IN AREAS SUBJECT TO A ZERO BUILDING SETBACK REQUIREMENT OR WHERE THE MAXIMUM BUILDING SETBACK REQUIREMENT IS LESS THAN 10'

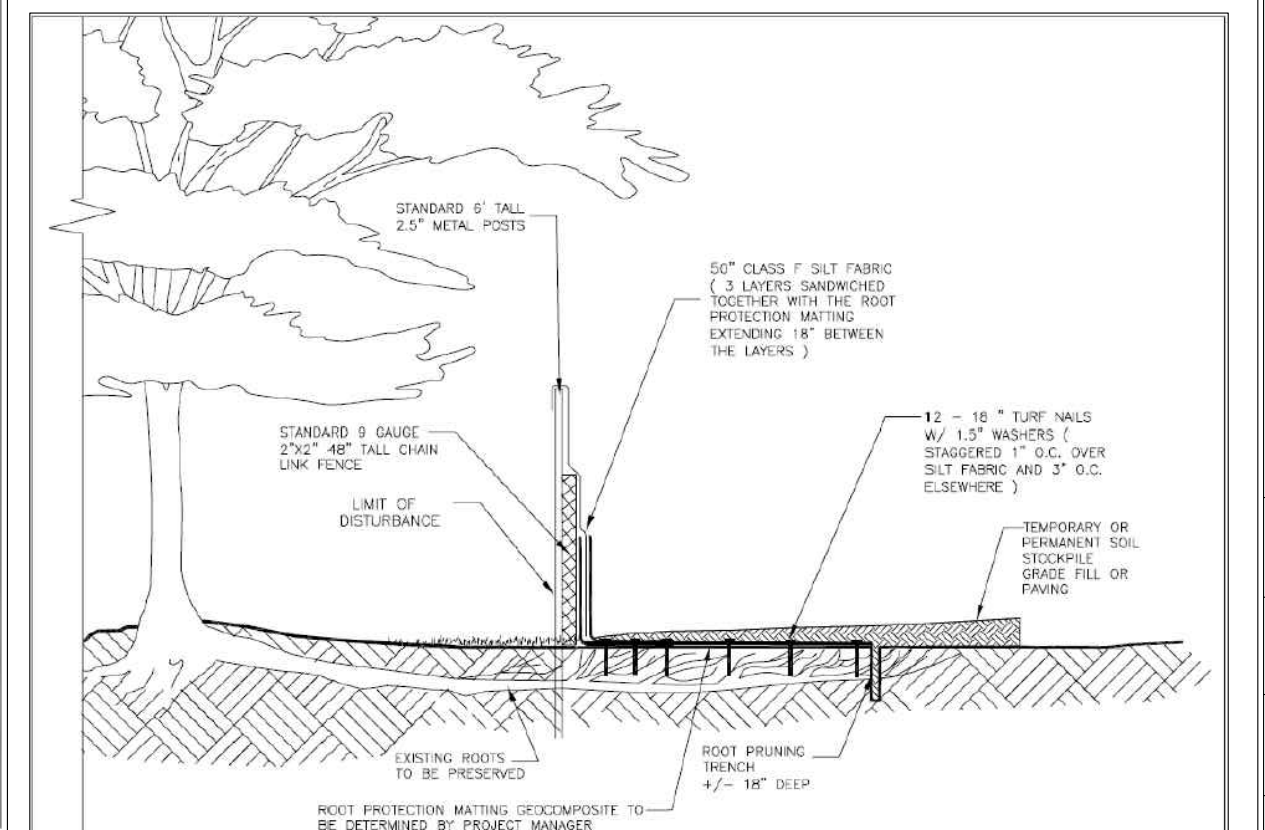
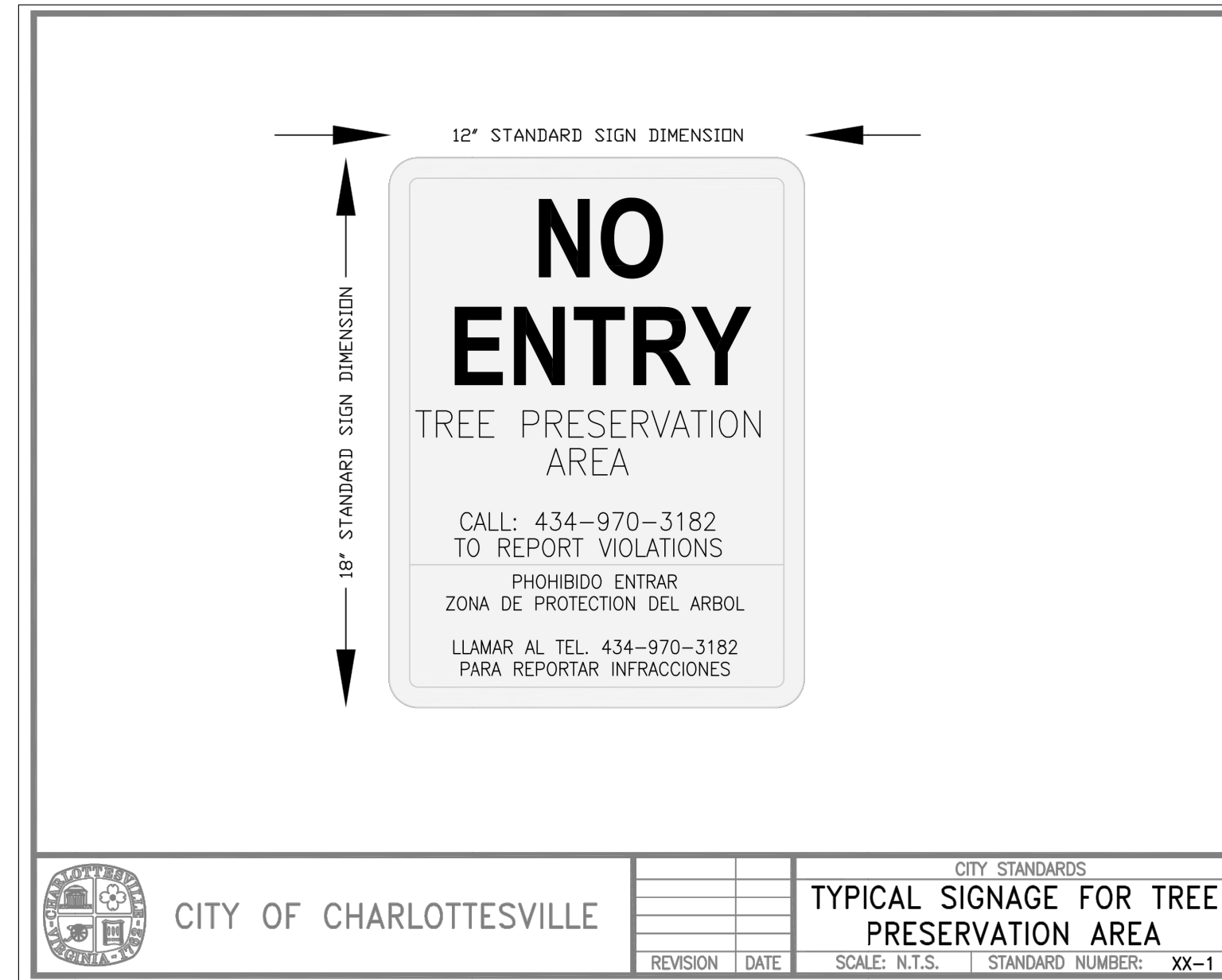
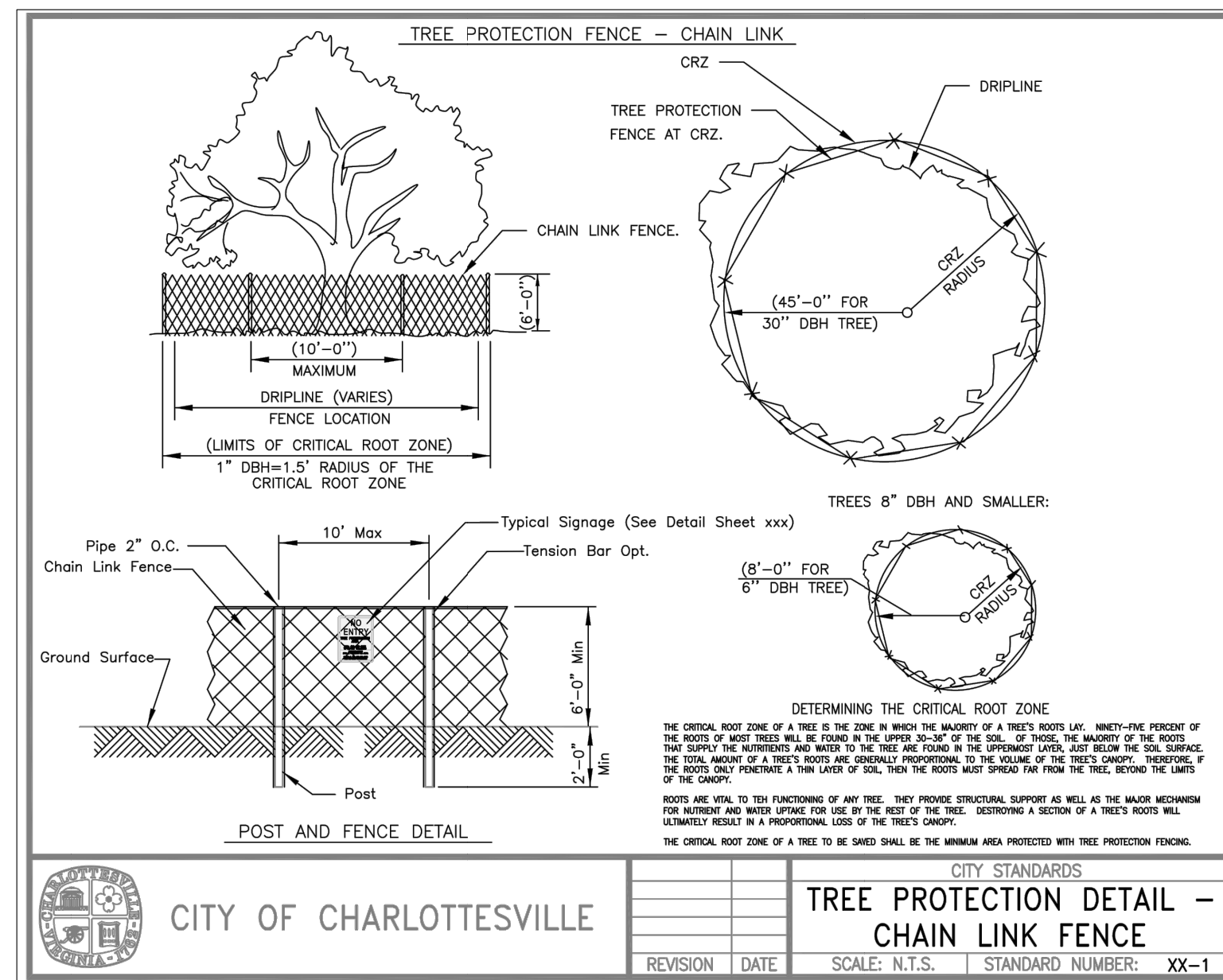
**CANOPY REQUIREMENT:**  
10% OF TOTAL SITE AREA  
0.10 \* (2.197 AC) = 9,574 SF REQUIRED  
18,728 SF CANOPY PROVIDED  
5,555 SF EXISTING TREES TO BE PRESERVED  
TOTAL CANOPY = 24,283 SF

**PRESERVED TREES:**  
EXISTING TREES ARE TO BE PRESERVED ON WESTERN END OF SITE. TREES THAT ARE REMOVED WILL BE REPLACED WITH TREES OF EQUAL OR GREATER VALUE AND SIMILAR ATTRIBUTES. THE WHITE OAK AT THE FRONT OF THE PROPERTY IS BEING PRESERVED.



PROPOSED LANDSCAPE SCHEDULE									
Plant Symbol	Planting Type	Botanical Name	Common Name	Min. Cal./Height	Quantity	Total Height (ft) in 10 Yrs	Canopy SF	Total Canopy SF	Plan Reference
○	Large Deciduous Tree	Quercus alba	White Oak	2.5"	22	22	243	5346	
○	Medium Deciduous Tree	Ginkgo Biloba	Ginkgo	2.5"	15	21	0	0	
○	Ornamental Conifer	Pinus Strobus	Eastern White Pine	2.5"	9	24	118	1062	
○	Ornamental Tree	Hamamelis virginiana	Common Witch Hazel	6"-7"	20	16	113	2260	
○	Broadleaf Evergreen	Crotaegue viridis 'Winter King'	Green Hawthorne	6"-7"	5	17	0	0	
○	Broadleaf Evergreen Shrub	Photinia x frazeri	Red Photinia	24" Ht.	38	10	20	760	
○	Ornamental Conifer	Pinus bungeana	Lacebark Pine	24" Ht.	6	12	53	318	
○	Deciduous Shrub	Rhus typhina	Staghorn Sumac	24" Ht.	27	15	254	6858	
○	Deciduous Screening Shrub	Forsythia x intermedia Spring Glory	Forsythia	12"-24"	40	3	16	640	
○	Broadleaved Evergreen Shrub	Leucothoe axillaris	Coast Leucothoe	12"-24"	53	4	28	1484	
○	Perennial	Pennisetum alopecuroides	Fountain Grass	3-gal	0				
○	Ground Cover	Premium Double Shredded Mulch			0				
								TOTAL SF:	18728

NOTE: CANOPY FROM 10 YR GROWTH



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PHONE: (434) 227-5140  
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CHARLOTTEVILLE, VA 22902



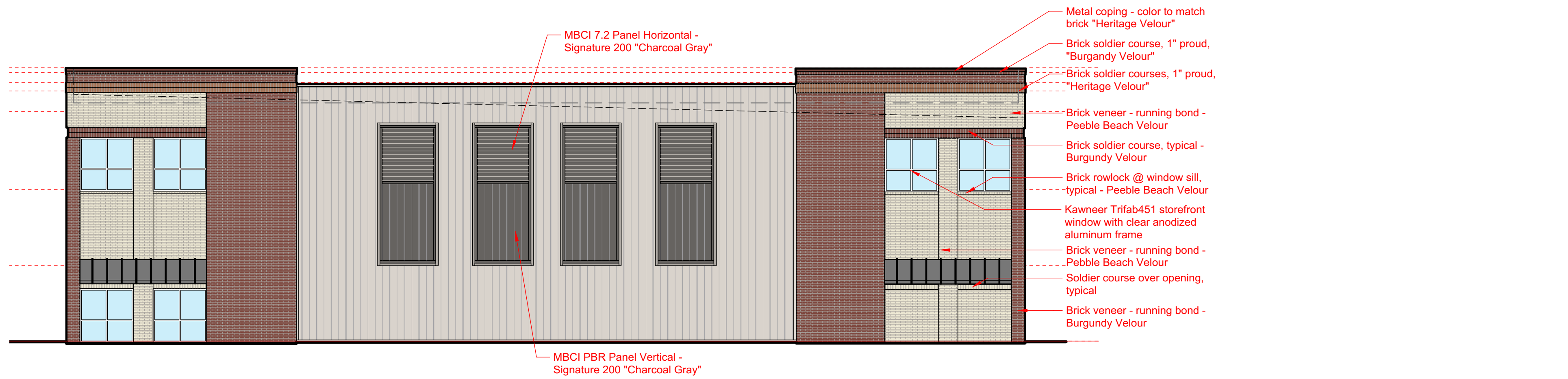
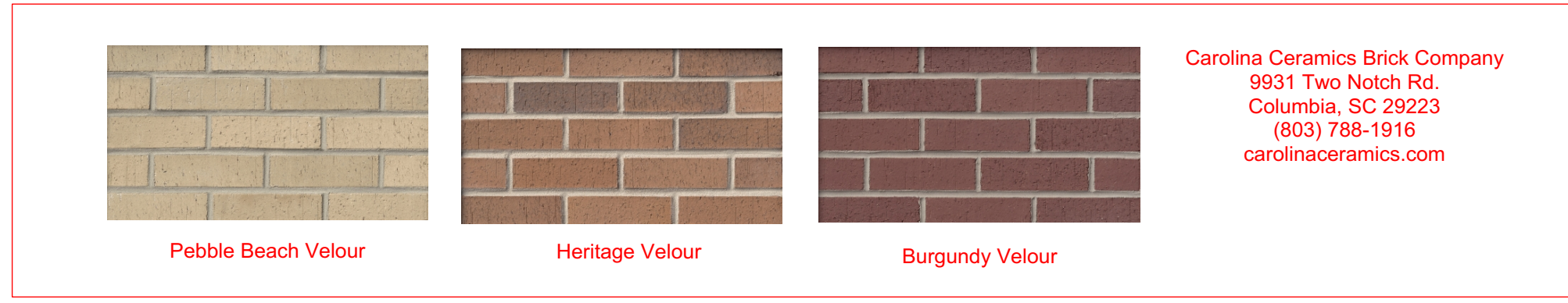
LANDSCAPE PLAN

Rev. #	Date	Description
1	8/22/17	SUP. Submittal

PRELIMINARY SITE DEVELOPMENT PLAN  
**901 River Road**  
CITY OF CHARLOTTEVILLE, VIRGINIA

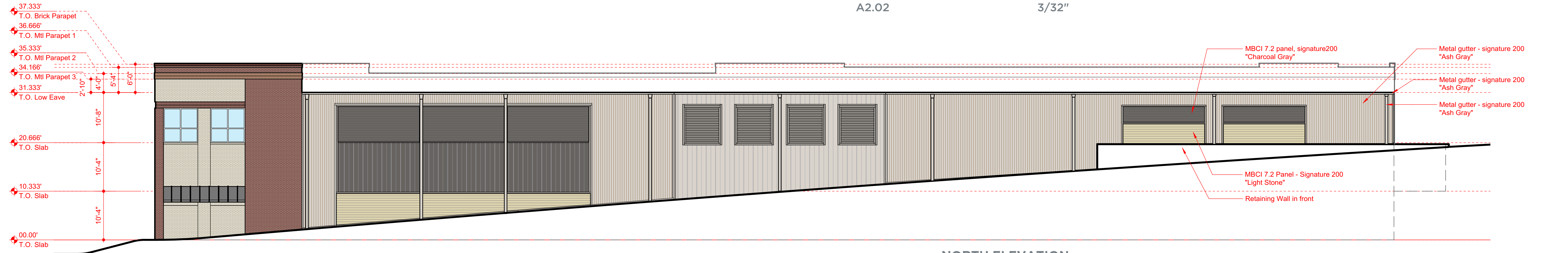
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Scale: 1" = 20'  
Sheet No. C6 OF 6  
File No. 16.045





**EAST ELEVATION**

A2.02 3/32"



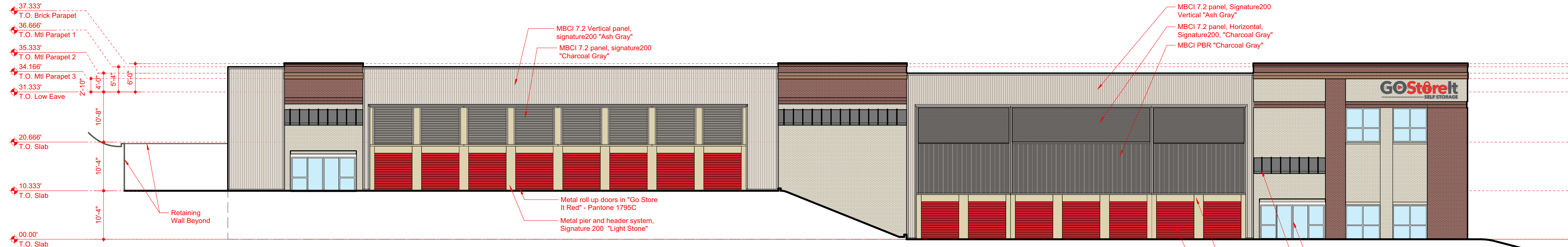
**NORTH ELEVATION**

A2.04 3/32"



**WEST ELEVATION**

A2.06 3/32"





**SOUTH ELEVATION**

A2.08 3/32"

- Double sliding glass doors, typical for 3
- Standing seam metal awning - Iron Ore, Typical
- Pier & header system by MBCI - Signature 200 Light Stone
- Metal roll up doors at exterior unconditioned units "Go Store It Red" - Pantone 1795C

# 901 RIVER ROAD SIDEWALK EXHIBIT



	<b>PROPOSED SIDEWALKS</b>
	<b>EXISTING SIDEWALKS</b>

Map

Google

**Meeting Date October 10, 2017 Minutes Excerpt: 901 River Road Public Hearing Comments:**

Amanda Burbage: 1203 Belleview Avenue,

1) Self-storage is not a neighborhood-oriented use. The IC zoning district is a permissive district that allows for a wide range of potential uses. Although self-storage is permitted within the IC district, it is not a neighborhood amenity that contributes to walkability or a sense of place, but instead primarily serves those living outside of the neighborhood. A majority of those using the facility will be driving moving trucks or vehicles towing trailers, generating additional vehicle trips and placing additional burden on neighborhood streets like Belleview that already experience a large volume of speeding cut through traffic. While a sidewalk along Belleview is proposed, an amenity any developer of this site would be required to provide, the use itself is not likely to generate any pedestrian trips. This site is a prime location for neighborhood oriented mixed-use development that provides opportunities for Locust Grove residents and Belleview and River Road employees to patronize businesses without needing to get in their cars. There are many by right uses within the IC district that would be more compatible with the surrounding neighborhood. 2) The use does not align with the City's vision for future land use in this location. The City's future land use map designates this area as a Business and Technology district intended to cater to start-up businesses and technological development. A self-storage facility with two employees is not a significant employment generator nor does it help to expand the City's tax base. At the community meeting held in our neighborhood over the summer, the applicant disclosed that the type of construction used for facilities of this sort does not allow for the building to be repurposed for another use. Therefore, if such a facility is constructed in this location, it is conceivable that it could remain there for the next 30-70 years and would not provide space for technology and innovation. 3) The use does not contribute to placemaking along the Rivanna River. While today River Road is predominately industrial in character, the prevailing development pattern turns its back on a significant natural and cultural amenity, the Rivanna River. The Rivanna is becoming increasingly valued for its environmental, aesthetic and recreational benefits as well as its potential to be a driver for economic development and placemaking in the City and in Albemarle County. As one of the few remaining vacant lots along River Road, the development of this lot will set the tone for future redevelopment along this corridor. It would be a shame to see an area with so much potential remain locked in a 20th century pattern of growth that does not recognize the value of this community asset.

David Hirschman: 1107 Calhoun Street: We had a very good neighborhood meeting, Ms. Newmyer and the developer and engineer came. We liked that as a constructive process. Ms. Newmyer did an exceptional job communicating with us. Regarding stormwater we thought that this project is right across the street from the Rivanna River that it would be important to do their water treatment on site. The applicant is correct, all across the Charlottesville most developers are purchasing off site credits so what that means is that they are spending money for water quality treatment that should be taking place for our city but is going to some type of nutrient or wetland bank in Goochland County or somewhere far away from here and that is standard practice across the state. It is something that the local jurisdiction have been wrestling with because , because when a development goes into a community ensuring the protection of our own water quality by shipping that money to other places. Since it is an SUP, we requested that they do take a stab at doing onsite stormwater treatment and they

did provide what they refer to as infiltration facility. He encourages to stick with the condition the staff put on to work with the engineering department the viability of a good practice that will work with this site. There is a variety of good practices that could be used. He would hate to see that condition go away.

Oct. 6, 2017

Heather Newmyer, AICP  
City of Charlottesville  
Neighborhood Development Services  
610 East Market Street  
Charlottesville, VA. 22902

Dear Heather -

I will be unable to attend the Public Hearing on Oct 10, 2017, so I am writing in support of SP17-0002, for construction of a general use storage facility, to be located at 901 River Rd.

I believe the design of the building, plan of traffic flow in and out of the facility, sidewalks, trees and other beautification around this area, will enhance greatly the look of an already business area near a residential neighborhood.

Overall, I believe this project will enhance our section of town in a positive, professional manner and at the same time provide useful storage capabilities.

Thank you.

Sincerely,  
Diane Blake

**From:** Jim Richardson  
**To:** [Newmyer, Heather](#)  
**Cc:** [Laura Dewald Richardson](#)  
**Subject:** Concern regarding Special Use Permit Application Number SP17-00002  
**Date:** Thursday, October 05, 2017 9:44:33 AM  
**Attachments:** [Request for Transportation Study - Belleview Ave 140219.pdf](#)

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Dear Ms. Newmyer,

Thank you for your letter notifying me of the application for a Special Use Permit SP17-00002.

I am a resident of Belleview Ave, just a few houses from the proposed development, and I do not support the application for Special Use Permit. The proposed self-storage company does not belong in or adjacent to our neighborhood. Unlike a self-storage building, developments such as a new restaurant or mixed-use housing development would offer amenities that help to build community. A storage building does not offer any useful amenities to the neighborhood residents, and instead only offers new construction that is not in scale with the neighborhood, offers only opaque and unfriendly exterior walls populated with garage doors, and vacuously anonymous parking lots adjacent to the street. In addition, my understanding is that such a storage facility could not be converted in the future to other, more appropriate uses, including multi-family housing. A new storage building does bring with it additional unwanted volume of traffic, the kind of trips made by big trucks, U-hauls, and vehicles towing trailers that are the most unsafe for neighborhood residents.

The Locust Grove Neighborhood, and Belleview Ave in particular, are plagued by a large volume of cut-through traffic that travels from Rio Rd to Pantops, and then back again. This traffic frequently drives too fast, making our streets unsafe. The proposed self-storage facility would make this worse. On Belleview Ave alone, there are many houses where families with small children live and play. Walks with baby strollers, or by pedestrians with leashed pets, are common. While parked street-side adjacent to my house, my car has been hit by such cut-through traffic no fewer than 4 times in the past few years, including 2 lost side-view mirrors and one side-swipe (all hit and runs), and most significantly one accident which caused substantial damage to my car's bumper and rear end, completely totaling the car of the driver who hit it. Thankfully none of these incidents resulted in physical harm. The addition of a self-storage facility would increase traffic volume and decrease the safety of our neighborhood streets for residents.

Belleview Ave is a neighborhood street, not designated as a collector road. A few years ago, in October 2013, the Locust Grove Neighborhood Association submitted a Request for Transportation Study to the city, signed by many local residents, to perform a traffic study. To my knowledge such a study was never performed, and residents' concerns about the volume and speed of traffic were not addressed. I've attached a copy of that petition for your reference.

Despite these serious concerns about the proposed development that demonstrate incompatibility with the neighborhood, if the Special Use Permit is granted, what could the developer do to assuage such negative impacts to the neighborhood? The developer should turn Belleview Ave into a cul-de-sac, dead-ending Belleview Ave southeast of Coleman St. All construction vehicles should use River Rd only. This

initiative would separate the neighborhood from the industrial uses along River Road, reinforce the city's zoning, and reduce the volume of traffic and with it the speed of traffic.

Sincerely,

Jim Richardson

1219 Belleview Ave

# CITY OF CHARLOTTESVILLE

## NEIGHBORHOOD DEVELOPMENT SERVICES

610 East Market Street, PO Box 911  
Charlottesville, VA 22902



### Request for Transportation Study

The following is a request for a traffic calming study. The request shall be processed according to procedures in the City of Charlottesville Traffic Calming Guidebook.

#### Street Information

Please provide the name(s) of the street(s) on which a study is requested as well as the boundaries of the street segment. (Note: Boundaries may change at NDS' discretion).

Street: Belleview Ave. Traffic Problem(s): speed and volume of traffic  
From: St. Clair Ave. cut-through traffic  
To: River Road street safety  
please see attached

#### Contact Information:

Each request must provide a contact person who lives on the requested street segment.

Name of Representative: Jim Richardson

Address: 1219 Belleview Ave, Charlottesville VA Zip Code: 22901

Phone Number: 804 363 4080 Email address: jimrichardson80@gmail.com

I agree to be the contact person for the above request.

Signature:  Date: 2.14.19

Evidence of Support Attached:  Yes  No

(Note: Must have 50% of residents sign the request in order for the City to perform a transportation study)



2013\_10.13  
Locust Grove Neighborhood Association

Jared Buchanan  
Assistant City Traffic Engineer  
City of Charlottesville  
Neighborhood Development Services  
610 East Market St, PO Box 911  
Charlottesville VA 22902  
434.970.3329

Dear Mr. Buchanan,

On behalf of the Locust Grove Neighborhood Association, I write to request a Transportation Study for Belleview Ave, between St. Clair Ave. and River Road. The principal issue to be addressed is SPEED along Belleview Ave and VOLUME of cut-through traffic in our neighborhood. Vehicles drive at a speed along Belleview Ave that is unsafe for residents. We believe that traffic calming measures are warranted along Belleview Ave in order to help address the following:

1. PEDESTRIAN SAFETY. The speeds of vehicular travel along Belleview Ave create a condition that is unsafe for children who play in the street and alongside the street. Likewise, discontinuous sidewalks on Belleview Ave require pedestrians, joggers, dog-walkers, and bicyclists to use the street alongside speeding cars and trucks.
2. VEHICULAR SAFETY. Vehicles speeding along Belleview Ave make it dangerous other cars, both parked cars and other cars in motion. Measures to slow cars down would reduce the risk of accidents to moving and parked cars.
3. ROADWAY DESIGN. The Belleview Ave roadway *design* (including width, slope, and road curvature) invites speeds higher than acceptable for this residential street. We invite traffic calming measures that would create a pleasant streetscape for residential traffic and pedestrians alike.

I would love to suggest neighborhood streetscape improvements for Belleview Ave to make the street more safe, pleasant, and useful. It would be my preference for traffic calming measures that benefit pedestrians AND slow cars, such as continuous sidewalks, street narrowing, and street planting. At the same time, I recognize that all traffic calming measures require careful and comprehensive study and engineering, and at best comply with Charlottesville's standards.

Please let and Garnet Mellen (LGNA President, copied on this message) and me know if you will be able to perform a traffic study on Belleview Ave. Feel free to contact us with questions and concerns.

Thank you,

Jim Richardson  
1219 Belleview Ave  
[jimrichardson80@gmail.com](mailto:jimrichardson80@gmail.com)  
804.363.4080

# CITY OF CHARLOTTEVILLE TRAFFIC CALMING PETITION



To the residents of Bellevue Ave in the City of Charlottesville.

[local street name]

This request was made by you or your neighbors and will be investigated by the Neighborhood Development Services Department. **Fifty (50) percent of affected households must be in favor of this review before any data collection begins. (A formal ballot will be required prior to any implementation.)**

On Bellevue Ave from St. Clair Ave. to River Road  
 [local street to be 'calmed'] [street name] [street name]

Street Address of Affected Household	Representative of Affected Household (please print name)	Signature
1218 Bellevue Ave. Charlottesville <sup>22901</sup> <del>CHARLOTTEVILLE</del>	KIMBERLEIGH WELLS	Kimberleigh Wells
1220 BELLEVUE AVE VA	DONNA M. MORRIS	Donna Morris
1301 Bellevue Ave	Mary T. Grayson	Mary T. Grayson
1736 Dorellwood Ave.	Robin Worley	Robin Worley
1230 BELLEVUE AVENUE	STEVE C. LAWSONE	Steve C. Lawsone
1226 -B River vista ave	Gaul Ira Varner	Gaul Ira
1209 Bellevue Ave	DENNIS RAY DOWDY	Dennis R. Dowdy
1517 Belleair Ave	Keray Lanless	Keray Lanless
1212 Bellevue Ave	Norman Shaw	Norman Shaw
1226 Bellevue ave	Daniel Topper	Daniel Topper
1675 Bellevue	Tina Stepe	Tina Stepe

Contact Name Jim Richardson

E-mail Address jimrichardson80@gmail.com

Phone 804 363 4080

# CITY OF CHARLOTTEVILLE TRAFFIC CALMING PETITION



To the residents of Belleview Ave in the City of Charlottesville.  
[local street name]

This request was made by you or your neighbors and will be investigated by the Neighborhood Development Services Department. **Fifty (50) percent of affected households must be in favor of this review before any data collection begins. (A formal ballot will be required prior to any implementation.)**

On Belleview Ave from St. Clair Ave. to River Road  
[local street to be 'calmed'] [street name] [street name]

Street Address of Affected Household	Representative of Affected Household (please print name)	Signature
1775 Belleview Ave.	Kobe Harkins	<i>Kobe Harkins</i>
1226 Belleview	Nancy Jorner	<i>Nancy Jorner</i>
1928 Belleview Ave.	Fran Cukela	<i>Fran Cukela</i>

Contact Name Jim Richardson E-mail Address jimrichardson80@gmail.com Phone 804 363 4080

# CITY OF CHARLOTTESVILLE TRAFFIC CALMING PETITION



To the residents of Belleview Ave in the City of Charlottesville.

[local street name]

This request was made by you or your neighbors and will be investigated by the Neighborhood Development Services Department. **Fifty (50) percent of affected households must be in favor of this review before any data collection begins.** (A formal ballot will be required prior to any implementation.)

On Belleview Ave from St. Clair Ave. to River Road  
 [local street to be 'calmed'] [street name] [street name]

Street Address of Affected Household	Representative of Affected Household (please print name)	Signature
1142 Locust Ave	Frances Mellen	<i>[Signature]</i>
1142 Locust Ave	Kenneth K. Scobie	<i>[Signature]</i>
617 DAVIS AVE	JOHN HOSSADA	<i>[Signature]</i>
1006 Ashby Pl	Laura Marshall	<i>[Signature]</i>
1133 St Clair Extended new to get on River Road	Paula DEANE	<i>[Signature]</i>
1134 St. Clair Extended	Patricia Bruffey	<i>[Signature]</i>
1207 Belleview Avenue	Deborah Caudle	<i>[Signature]</i>
1207 Belleview Avenue	Eric Gilchrist	<i>[Signature]</i>
1220 Belleview Ave.	LORI HANGER	<i>[Signature]</i>
1222 Belleview Ave	Eric Wampler	<i>[Signature]</i>
1228 Belleview Ave	FRANCES CREBS	<i>[Signature]</i>

Contact Name Jim Richardson E-mail Address jimrichardson80@gmail.com Phone 804 363 4080

# CITY OF CHARLOTTESVILLE TRAFFIC CALMING PETITION



To the residents of Bellevue Ave in the City of Charlottesville.

[local street name]

This request was made by you or your neighbors and will be investigated by the Neighborhood Development Services Department. Fifty (50) percent of affected households must be in favor of this review before any data collection begins. (A formal ballot will be required prior to any implementation.)

On Bellevue Ave from St. Clair Ave. to River Road  
 [local street to be 'calmed'] [street name] [street name]

Street Address of Affected Household	Representative of Affected Household (please print name)	Signature
1210 Bellevue Ave	Margaret C. Causey	<i>Margaret Causey</i>
1205 Bellevue Ave	LINDA SWINSON	<i>Linda Swinson</i>
1211 Bellevue Ave	NANCY METLICH	<i>Nancy Metlich</i>
1215 Bellevue Ave	Elizabeth Howe	<i>Elizabeth Howe</i>
1215 Bellevue Ave	Graham Howe	<i>Graham Howe</i>

Contact Name Jim Richardson E-mail Address jimrichardson80@gmail.com Phone 804 363 4080

# CITY OF CHARLOTTEVILLE TRAFFIC CALMING PETITION



To the residents of Belleview Ave [local street name] in the City of Charlottesville.

This request was made by you or your neighbors and will be investigated by the Neighborhood Development Services Department. Fifty (50) percent of affected households must be in favor of this review before any data collection begins. (A formal ballot will be required prior to any implementation.)

On Belleview Ave [local street to be 'calmed'] from St. Clair Ave. [street name] to River Road [street name]

Street Address of Affected Household	Representative of Affected Household (please print name)	Signature
1107 Calhoun St. Colle 22901	Edna M. Meller	<i>Edna Meller</i>
1203 Belleview Ave.	Virginia Amies	<i>Virginia Amies</i>
612 Beechwood Dr.	Arlene Duncan-Burber	<i>Arlene Duncan-Burber</i>
1107 Calhoun St.	Jim Richardson	<i>Jim Richardson</i>
1219 BELLEVIEW AVE	JIM RICHARDSON	<i>Jim Richardson</i>
945 Locust Ln.	Gynthia Fisher	<i>Gynthia Fisher</i>
1213 Belleview Ave	Arlene Duncanson-Taylor	<i>Arlene Duncanson-Taylor</i>
1214 Belleview Ave	Frederica Bacher	<i>Frederica Bacher</i>
1004 Coleman St.	Shirley M. Roberts	<i>Shirley M. Roberts</i>
1006 Coleman St	Myra Kidd	<i>Myra Kidd</i>

Contact Name Jim Richardson E-mail Address jimrichardson80@gmail.com Phone 804 363 4080







**From:** Jennifer Sturek  
**To:** [Newmyer, Heather](#)  
**Subject:** 901 River Road Development Concerns  
**Date:** Tuesday, July 18, 2017 11:40:27 AM

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Heather,

Thank you for your time yesterday afternoon.

As I said on the phone, I am concerned about the plan for the self-storage unit at 901 River Road. I live on River Vista Avenue and frequently take Bellvue down to River Road to take my children to school (at Burnley-Moran) or go to work (at Pantops).

I am concerned because this stretch of road is already *highly* traveled and seems to exceed the limits of what the road can handle. I am also following up with Mr. Duncan regarding questions about onstreet parking by businesses on that stretch of road. Additionally, there is not a continuous sidewalk and this also makes a trip on foot down Bellvue to River Road especially unwise.

I would like to see a sidewalk on Bellvue and River Road and I am not in favor of any development that would increase traffic on this route. In particular, a self-storage facility, which does not add goods or services to the neighbors already in place in this part of Charlottesville, feels out-of-place. It seems a self-storage facility will be pulling traffic in from the city at large and cause more congestion in an already busy area.

Thank you,

Jennifer Sturek

1221 River Vista Avenue

Charlottesville, VA 22901

(434) 284-1775 (Jen)

[jcsturek@gmail.com](mailto:jcsturek@gmail.com)

**From:** Shirley  
**To:** [Newmyer, Heather](mailto:Newmyer, Heather)  
**Subject:** Fwd: 2 Emails About Development Projects: MACAA & River Road Self Storage  
**Date:** Sunday, September 03, 2017 10:05:44 AM

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FYI, thanks.

Shirley Roberts

-----Original Message-----

From: LGNA Secretary <[lgna.secretary@gmail.com](mailto:lgna.secretary@gmail.com)>  
To: Shirley <[smr1004@aol.com](mailto:smr1004@aol.com)>  
Sent: Sat, Sep 2, 2017 11:47 am  
Subject: Re: 2 Emails About Development Projects: MACAA & River Road Self Storage

Thank you Shirley. I think many in that area agree with you. I would recommend sharing your comments with Heather so that they can be recorded: [newmyerh@charlottesville.org](mailto:newmyerh@charlottesville.org)

On Sat, Sep 2, 2017 at 11:25 AM, Shirley <[smr1004@aol.com](mailto:smr1004@aol.com)> wrote:

Thank you for this information. I have not attended meetings but do keep up with the e-mails, for which I thank you.

Regarding the River Road Storage issue, my thoughts on this is that traffic is already very heavy on River Road as well as Belleview Avenue and I don't feel we need any more traffic. It is already difficult to get in and out of this area from Coleman Street. The car repair shop keeps the street blocked continuously with their business, and traffic that cuts through Belleview from Locust and/or St. Clair as a short cut makes it even more difficult for the immediate residents. In addition, CrossFit takes up a lot of parking along Belleview and Coleman. They claim they don't have enough parking for their patrons so they park on Belleview and Coleman, limiting resident parking. One other thing about CrossFit is that the patrons run up and down those streets as part of their exercising and it is only a matter of time before one of them gets hit by traffic.

I just wanted to express my own personal thoughts on this matter. Thank you again for the e-mail.

Shirley Roberts  
1004 Coleman Street

-----Original Message-----

From: LGNA Secretary <[lgna.secretary@gmail.com](mailto:lgna.secretary@gmail.com)>  
To: Ashley Cooper <[ashleycooper78@gmail.com](mailto:ashleycooper78@gmail.com)>; David Hirschman <[dhirschman07@gmail.com](mailto:dhirschman07@gmail.com)>  
Sent: Sat, Sep 2, 2017 10:40 am  
Subject: 2 Emails About Development Projects: MACAA & River Road Self Storage

Neighbors, I am sending you 2 separate emails about these projects -- both come from our neighborhood planner, Heather Newmyer, and I am forwarding the information to the list. This first email is about MACAA. The 2nd one will be about River Road.

From Heather:

Good morning,

You are receiving this e-mail because you either attended the MACAA Community meeting held on July 17, 2017, have sent public comments to me directly, attended the August 8, 2017 Planning Commission meeting to provide comment on the MACAA application, or all of these things combined.

I am reaching out to notify you that the applicant has submitted a **revised MACAA's PUD Development Plan** on August 28, 2017 in efforts to respond to some of the concerns posed by the neighborhood, Planning Commission and staff. These materials, submitted August 28<sup>th</sup>, are now available on the NDS webpage underneath the table "What's Hot!": <http://www.charlottesville.org/departments-and-services/departments-h-z/neighborhood-development-services>

The applicant provided a cover letter (available online as the 1<sup>st</sup> link under What's Hot table) that lists the major changes to the plan and following the cover letter is a 2<sup>nd</sup> link provided that directs you to the updated PUD Development Plan with any changes with revision clouds.

This application will be moving forward to the Planning Commission on **October 10, 2017** and will be addressed as a formal Public Hearing. The Ad and mailing will go out in a couple weeks, but I wanted to make you aware early on as you have been invested in this process and might be interested in reviewing the materials in advance. The staff report with staff's analysis on the revised materials will be available and posted online the week before (1<sup>st</sup> week of October) the Public Hearing and will be located on the Planning Commission Agenda webpage: <http://www.charlottesville.org/departments-and-services/departments-h-z/neighborhood-development-services/development-ordinances/city-planning-commission/agendas/2017-agenda>

**To the Neighborhood Leaders copied to this chain, please free to forward this along to any other interested party.**

As always, I am available for questions and concerns. If any of you would like to meet, I am happy to meet and discuss the plan with you between now and the Public Hearing. I have encouraged the applicant to reach out to the neighborhood as well. If you would like to send me public comments to be included in the updated staff report, I would need them by no later than **September 29<sup>th</sup>**.

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The Locust Grove Neighborhood Association is a rather informal community group. Our hope is to foster friendship and good living. To unsubscribe reply "off the list please".

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The Locust Grove Neighborhood Association is a rather informal community group. Our hope is to foster friendship and good living. To unsubscribe reply "off the list please".

**From:** Amanda Burbage  
**To:** [kkeesecker@brw-architects.com](mailto:kkeesecker@brw-architects.com); [Green, Lisa](#); [Clayborne, Corey](#); [Dowell, Taneaia](#); [Keller, Genevieve](#); [Lahendro, Jody](#); [Santoski, John](#); [beh9ef@virginia.edu](mailto:beh9ef@virginia.edu)  
**Cc:** [Newmyer, Heather](#); [Creasy, Missy](#)  
**Subject:** Proposed Self Storage Facility at 901 River Road  
**Date:** Tuesday, October 10, 2017 11:53:34 AM

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Dear Charlottesville Planning Commissioners,

I am writing concerning a public hearing item on your agenda today, the special use permit request to locate a self storage facility at 901 River Road. As a resident of Locust Grove, I have several concerns about permitting this use in this location that I urge you to consider when evaluating its potential impact on our neighborhood:

**1) Self-storage is not a neighborhood-oriented use.**

The IC zoning district is a permissive district that allows for a wide range of potential uses. Although self storage is permitted within the IC district, it is not a neighborhood amenity that contributes to walkability or a sense of place, but instead primarily serves those living outside of the neighborhood. A majority of those using the facility will be driving moving trucks or vehicles towing trailers, generating additional vehicle trips and placing additional burden on neighborhood streets like Belleview that already experience a large volume of speeding cut through traffic. While a sidewalk along Belleview is proposed, an amenity any developer of this site would be required to provide, the use itself is not likely to generate any pedestrian trips.

This site is a prime location for neighborhood oriented mixed-use development that provides opportunities for Locust Grove residents and Belleview and River Road employees to patronize businesses without needing to get in their cars. There are many by right uses within the IC district that would be more compatible with the surrounding neighborhood.

**2) The use does not align with the City's vision for future land use in this location.**

The City's future land use map designates this area as a Business and Technology district intended to cater to start up businesses and technological development. A self storage facility with two employees is not a significant employment generator nor does it help to expand the City's tax base. At the community meeting held in our neighborhood over the summer, the applicant disclosed that the type of construction used for facilities of this sort does not allow for the building to be repurposed for another use. Therefore, if such a facility is constructed in this location, it is conceivable that it could remain there for the next 30-70 years and would not provide space for technology and innovation.

**3) The use does not contribute to placemaking along the Rivanna River.**

While today River Road is predominately industrial in character, the prevailing development pattern turns its back on a significant natural and cultural amenity, the Rivanna River. The Rivanna is becoming increasingly valued for its environmental, aesthetic and recreational benefits as well as its potential to be a driver for economic development and placemaking in the City and in Albemarle County. As one of the few remaining vacant lots along River Road, the development of this lot will set the tone for future redevelopment along this corridor. It would be a shame to see an area with so much potential remain locked in a 20th century pattern of growth that does not recognize the value of this community asset.

Thank you for your time and consideration.

Sincerely,

Mandy Burbage  
1203 Belleview Avenue

**From:** Ben Henderson  
**To:** [Newmyer, Heather](#)  
**Subject:** SP17-00002 - 901 River Road SUP Request  
**Date:** Tuesday, October 17, 2017 3:44:41 PM

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Good Afternoon Heather-

I am a resident of the Locust Grove Neighborhood and live on Saint Clair Avenue up the hill from the proposed development. I do not support the use of the property as a self-storage facility.

If the property is zoned Industrial Corridor, then I would like to see the property used as such-light industrial activity that produces jobs and increased tax revenue. I do not believe that a self storage use provides enough economic activity to justify its placement in this area.

Secondly, if the property is not to be used for Light Industrial purposes, I would prefer a re-zoning and re-planning of the entire River Road corridor to provide for locally-relevant commercial and recreational activity that makes full use of the natural capital and community connections already present in the area. Locust Grove is a wonderful neighborhood and would be greatly enhanced with walkable, neighborhood-scale businesses and parks. Development of additional green infrastructure to complement the Rivanna Trail and views of the river would continue to improve the community and the city as a whole.

In closing, locking up land in a self storage use denies economic benefit to the city and jobs to residents at best, and perpetuates the failure to capitalize on the natural amenities available. Industrial development with jobs is ok; neighborhood mixed use, commercial, and parks would be a much better.

Thank you,

Ben Henderson  
(address available upon request)

**CITY OF CHARLOTTESVILLE, VIRGINIA  
CITY COUNCIL AGENDA**



<b>Agenda Date:</b>	November 6, 2017
<b>Action Required:</b>	Acceptance of Revised Scope of Work
<b>Staff Contacts:</b>	Maurice Jones, City Manager Brian Daly
<b>Presenter:</b>	Kathy Galvin, City Councilor
<b>Title:</b>	<b>Downtown Parks Master Plan Review of Scope</b>

**Background:**

In May of 2016, the Charlottesville City Council made a clear commitment to reveal and tell the full story of race in Charlottesville through the City's public spaces by establishing a Blue Ribbon Commission on Race, Memorials and Public Spaces (BRC). The BRC's Final Report acknowledged that far too often Charlottesville's public spaces and histories have ignored, silenced or suppressed African American history, as well as the legacy of white supremacy and the unimaginable harms done under that cause. The public spaces of Charlottesville's Historic North Downtown and Court Square Districts contain the Robert E. Lee statue in Emancipation Park, the Stonewall Jackson statue in Justice Park, the slave auction block and the Reconstruction era's Freedman's Bureau.

The BRC also imagined that a new public history, revealed in our parks and on our streets, may be accomplished by new public art, new interpretive narratives, creative place-making initiatives, and wayfinding signs. The City Council resolved at its meeting of February 6, 2017 to transform the City of Charlottesville's public spaces in keeping with the recommendations of the BRC.

As directed by the Council, staff worked with representatives of the PLACE Design Task Force, Jefferson School Heritage Center, the Human Rights Commission and the Historic Resources Committee to develop the RFP for design services which was posted in July of 2017. The City received six proposals, five days after the tragic events of August 12<sup>th</sup>.

**Discussion:**

As a result of the horrific incidents of violence in Charlottesville and at the urging of a number of residents, the City thought it was best to re-evaluate our approach to the redesign of the downtown parks. The previous RFP was cancelled and work began on a new approach. City Councilor Kathy Galvin and City staff met with PLACE Design Task Force member Rachel Lloyd, Jefferson School Executive Director Andrea Douglas and UVA Architecture Professor Beth Meyer to develop a phased approach to the redesign that would take into consideration the traumatic shock to our residents and allow for the community to heal and reflect before major

renovations would take place. This approach was especially important because the timing of the possible removal of the Lee and Jackson statues is unknown at this time due to litigation.

Phase I of the new process, which would be considered an interim master plan and is outlined in the attached resolution, would call for the redesign of Emancipation (formerly Lee) and Justice (formerly Jackson) parks and the Jefferson Madison Regional library front and side yards in accordance with the following goals by phase;

- Engage the community at large in a comprehensive discussion about the purpose, meaning and character of Charlottesville's downtown public spaces.
- Engage the community in a manner that ensures the City's underrepresented populations are fulsomely included in the process, as well as the Board of Architectural Review (BAR) the Historic Resources Commission, the Human Rights Commission, the University of Virginia, the PLACE Design Task Force, Planning Commission and City Council.
- Ensure that a facilitator (s) with demonstrated expertise in the history of the American South and African Americans, social equity, urban design and urban redevelopment issues is an integral part of the consultant team, and that said facilitator(s) leads a community engagement process in a manner that elicits authentic feedback from the entire community such that it genuinely informs the work of the design and technical professionals on the consultant team.
- Provide a well-designed and coherent interpretation of the Lee and Jackson statues that will promote an honest and complete narrative of Charlottesville's past and aspirational future in the near-term, knowing that Emancipation and Justice Parks will eventually be more fully redesigned subsequent to the removal of both the Lee and Jackson statues.
- Replace the current plaque at the slave auction block with one that is more prominent and legible;
- Investigate the relevance of the Court Square area to the Reconstruction era and if affirmed, recommend a method of acknowledgment.
- Work with the Equal Justice Initiative (EJI) to appropriately place and install the EJI lynching marker to commemorate the July 12, 1898 lynching of John Henry James, an African American from Charlottesville.
- Create plans for the rehabilitation of the most severely deteriorated landscapes within Emancipation and Justice Parks and the grounds surrounding the Jefferson Madison Regional Library, knowing that Emancipation and Justice Parks will eventually be more fully redesigned subsequent to the removal of both the Lee and Jackson statues.



Phase II of the Master Plan, which would begin subsequent to the removal of the Lee and Jackson statues, would involve the following:

- Build on the shared understandings developed through Phase I's extensive community engagement process to create new comprehensive designs for Emancipation and Justice parks without the Lee and Jackson statues in place that would include but not be limited to;

A new memorial to Charlottesville's enslaved population within Justice Park in keeping with the recommendations of the BRC while retaining its ability to function as a community gathering space, and

Exploring opportunities within Emancipation Park to interpret history through artwork such as murals or other public art forms, in keeping with the recommendations of the BRC while retaining its ability to function as a community gathering space as well as exploring opportunities for a new memorial within Emancipation Park should such a public aspiration arise in the course of Phase I's community engagement process.

- Fully interpret Charlottesville's downtown public parks in keeping with the BRC's recommendations such that a more complete and coherent history of race is told and the City's commitment to truth, freedom and equity is affirmed.

Several additional issues are addressed in the resolution including the creation of two interim master plans to explore a future with and without the statues, plus the initiation of a fundraising effort to supplement the previously agreed to \$1,000,000 budget for the project.. The staff would also be directed to post the RFP no more than 60 days after the passage of the resolution and after consulting with representatives from several institutions in the community.

#### **Alignment with City Council's Vision and Priority Areas:**

##### **Community of Mutual Respect**

*In all endeavors, the City of Charlottesville is committed to racial and cultural diversity, inclusion, racial reconciliation, economic justice, and equity. As a result, every citizen is respected. Interactions among city leaders, city employees and the public are respectful, unbiased, and without prejudice.*

##### **C'ville Arts and Culture**

*Our community has world-class performing, visual, and literary arts reflective of the unique character, culture, and diversity of Charlottesville. Charlottesville cherishes and builds programming around the evolving research and interpretation of our historic heritage and resources. Through City partnerships and promotion of festivals, venues, and events, all have an opportunity to be a part of this thriving arts, cultural, and entertainment scene.*

**Strategic Plan Areas:**

Goal 3: A beautiful and sustainable natural and built environment

**Citizen Engagement:**

Several meetings have been held in the last six months to address this issue. In addition, there will be a significant community engagement effort associated with the redesign of the parks.

**Budgetary Impact:**

The City Council has agreed to fund upward of \$1,000,000 for the redesign effort. It is anticipated that Phase II of the project could exceed that number. City staff will be directed to seek private fundraising dollars for any expense above \$1,000,000.

**Recommendation:**

Staff recommends approval of the new resolution.

**Alternatives:**

City Council could decide not to approve the resolution.

**Attachment:**

Downtown Parks Master Plan Draft Resolution

**RESOLUTION:** To fully interpret key downtown public spaces within the City of Charlottesville, north of the historic Downtown Pedestrian Mall and east of the historic McGuffey School, in keeping with the recommendations of the Blue Ribbon Commission on Race, Memorials and Public Spaces (BRC) such that a more complete history of race relations is told and the City's commitment to truth, freedom and equity is affirmed.

**WHEREAS** the Charlottesville City Council made a clear commitment to reveal and tell the full story of Charlottesville with regards to race through its public spaces when it established the BRC in August 2016; and

**WHEREAS** the BRC's Final Report acknowledged that far too often our public spaces and histories have ignored, silenced or suppressed African American history, as well as the legacy of white supremacy and the unimaginable harms done under that cause; and

**WHEREAS** the Ku Klux Klan rally at Justice Park (formerly Jackson) on July 8, 2017 and the Unite the Right rally at Emancipation Park (formerly Lee) on August 12, 2017 and the ensuing violence perpetrated by white supremacist and neo-Nazi groups, served to amplify the original purpose of the Robert E. Lee and "Stonewall" Jackson statues as symbols of racial oppression, overwhelmingly directed towards African Americans, but now also immigrants, refugees, Hispanics, the LGBTQ community, and religious minorities like Jews and Muslims;

**WHEREAS** the City's key downtown public parks within the area north of the historic Downtown Pedestrian Mall and east of the historic McGuffey School, currently contain the Robert E. Lee statue in Emancipation Park, the Stonewall Jackson statue in Justice Park, the slave auction block in the area known as Court Square (an area that may have also played a role during the Reconstruction era);

**WHEREAS** it is the will of the Charlottesville City Council that the Robert E. Lee statue be relocated (as per a 3:2 majority vote by City Council on February 6, 2017) and the "Stonewall" Jackson statue be relocated (as per the 5:0 unanimous vote by City Council on August 21, 2017,) to either a battlefield or a museum outside of the City limits pending Virginia Court decisions and/or changes in the Virginia Code; and

**WHEREAS** the exact date of the removal of the Robert E. Lee and "Stonewall" Jackson statues is as yet unknown and may take considerable time to be resolved by the Courts and General Assembly of the Commonwealth of Virginia, but the need to change the narrative surrounding these statues and tell the full story of race through our City's public spaces is immediate.

**BE IT RESOLVED** that the City Council of Charlottesville directs staff to:

Develop a two-phased Master Plan [herein referred to as the Interim and Final Master Plan] for the redesign of the Emancipation (formerly Lee) and Justice (formerly Jackson) parks and the Jefferson Madison Regional library front and side yards in accordance with the following goals by phase;

- PHASE I-Interim Master Plan (to begin immediately prior to the removal of the Lee and Jackson statues):
  - Engage the community at large in a comprehensive discussion about the purpose, meaning and character of Charlottesville's downtown public spaces, including but not limited to addressing issues such as:
    - What are the community's values and how should they be reflected in our public parks and civic institutional spaces like libraries and court houses?
    - What is the purpose of Emancipation and Justice Parks?
    - Are they memorial spaces (who or what to memorialize?)
    - Are they outdoor museums (what stories should they tell?)

- What is the appropriate character and scale of community gathering and event spaces in the City's downtown parks and can Emancipation and Justice Parks be made to accommodate those parameters in light of our community's values?
  - Engage the community in a manner that ensures the City's underrepresented populations are fully included in the process, as well as the Board of Architectural Review (BAR) the Historic Resources Commission, the Human Rights Commission, the University of Virginia, the PLACE Design Task Force, Planning Commission and City Council.
  - Ensure that a facilitator (s) with demonstrated expertise in the history of the American South and African Americans, social equity, urban design and urban redevelopment issues is an integral part of the consultant team, and that said facilitator(s) leads a community engagement process in a manner that elicits authentic feedback from the entire community such that it genuinely informs the work of the design and technical professionals on the consultant team.
  - Provide a well-designed and coherent interpretation of the Lee and Jackson statues that will promote an honest and complete narrative of Charlottesville's past and aspirational future in the near-term, knowing that Emancipation and Justice Parks will eventually be more fully redesigned subsequent to the removal of both the Lee and Jackson statues.
  - Replace the current plaque at the slave auction block with one that is more prominent and legible;
  - Investigate the relevance of the Court Square area to the Reconstruction era and if affirmed, recommend a method of acknowledgment.
  - Work with the Equal Justice Initiative (EJI) to appropriately place and install the EJI lynching marker to commemorate the July 12, 1898 lynching of John Henry James, an African American from Charlottesville.
  - Create plans for the rehabilitation of the most severely deteriorated landscapes within Emancipation and Justice Parks and the grounds surrounding the Jefferson Madison Regional Library, knowing that Emancipation and Justice Parks will eventually be more fully redesigned subsequent to the removal of both the Lee and Jackson statues.
- PHASE II-Final Master Plan (to begin, subsequent to the removal of the Lee and Jackson statues):
  - Build on the shared understandings developed through Phase I's extensive community engagement process to create new comprehensive designs for Emancipation and Justice parks without the Lee and Jackson statues in place that would include but not be limited to;
    - A new memorial to Charlottesville's enslaved population within Justice Park in keeping with the recommendations of the BRC while retaining its ability to function as a community gathering space, and
    - Exploring opportunities within Emancipation Park to interpret history through artwork such as murals or other public art forms, in keeping with the recommendations of the BRC while retaining its ability to function as a community gathering space as well as exploring opportunities for a new memorial within Emancipation Park should such a public aspiration arise in the course of Phase I's community engagement process.
  - Fully interpret Charlottesville's downtown public parks in keeping with the BRC's recommendations such that a more complete and coherent history of race is told and the City's commitment to truth, freedom and equity is affirmed.

**BE IT FURTHER RESOLVED** that a Request for Proposal (RFP) for PHASE I-Interim Master Plan for professional services in the areas of community process facilitation, landscape architecture, urban design, art and history shall be developed within 60 days of the adoption of this Resolution, in consultation with community and stakeholder groups chosen by the City Manager as directed by the City Council (including but not limited to the Jefferson School

African American Heritage Center, the University of Virginia, the PLACE Design Task Force, the Human Rights Commission and the Historic Resources Commission).

**BE IT FURTHER RESOLVED** that the scope of the RFP for PHASE I-Interim Master Plan shall:

- Provide at least two interim Master Plan options with both statues in place, for each park within the downtown public parks precinct, inclusive of new site plans, elevations and sections, 3D visualizations, and specifications for signage, screening, commemorative plaques, lighting and landscape elements as appropriate throughout Emancipation and Justice Parks so as to create a more honest, complete and coherent narrative of Charlottesville's past and aspirational future without running afoul of present Virginia laws prohibiting the movement or tampering of statuary and monuments that could be construed to be war memorials in a Virginia Court of Law.
- Lead to concrete deliverables that will have immediate visual impact including but not limited to;
  - short-term projects that are art-based,
  - new and changing interpretive panels in keeping with the Court's injunctions,
  - the rehabilitation of the most severely deteriorated landscapes in both parks and the library grounds, and
  - the removal and replacement of the black plastic shrouds with a more meaningful and artful treatment that would reveal the complete meaning of the statues while safeguarding them from vandalism.
- Establish a timeline to be completed within 12 months of contract signing.
- Not preclude the future development, design and implementation of the PHASE II- Final Master Plan as adopted by a future City Council.
- Be given three months to prepare responses from the date of issuance of the RFP.
- Be funded up to \$1,000,000.00 for the completion, fabrication and installation of the PHASE I-interim Master Plan inclusive of community engagement, developing and completing schematic design options and design development drawings, construction documents, the new interpretive installations in both the Emancipation and Justice Parks and rehabilitating the most severely deteriorated landscapes in both parks and the library grounds, knowing that Emancipation and Justice Parks will eventually be more fully redesigned subsequent to the removal of both the Lee and Jackson statues.

**BE IT FURTHER RESOLVED** that during PHASE I, fundraising efforts for the PHASE II- Final Master Plan shall begin under the direction of the City Manager or the City Manager's designee as approved by the City Council, such that a comprehensive redesign and reconstruction of the downtown public parks without the Lee and Jackson statues, inclusive of construction documents, fabrication and installation of all new permanent plaques and memorials\* or monuments is fully funded and realized.

**BE IT FURTHER RESOLVED** that the scope of a separate RFP for the PHASE II-Final Master Plan shall be developed in consultation with the aforementioned community and stakeholder groups, and issued immediately after a date certain for the removal of the Lee and Jackson statues has been secured either through the Courts or the Virginia General Assembly.

**BE IT FURTHER RESOLVED** that sometime prior to PHASE II, the Board of Architectural Review (BAR) shall meet to vote on the removal of both statues as required by Charlottesville City ordinances, so that there is no procedural delay in removing the statues, pending Virginia Court decisions and/or changes in the Virginia Code.

\*The actual design of a new memorial to Charlottesville's enslaved population (and an as yet to be determined additional memorial in Emancipation Park) in keeping with the recommendations of the BRC, shall be determined by an independent process (including but not limited to a design competition) in PHASE II. (*Resolution offered by Councilor Galvin, November 6, 2017*)

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