

CITY OF CHARLOTTESVILLE
DEPARTMENT OF NEIGHBORHOOD DEVELOPMENT SERVICES
STAFF REPORT



**Entrance Corridor Review Board review of
proposed Comprehensive Signage Plan for 920 E. High Street**

PLANNING COMMISSION REGULAR MEETING
DATE OF PLANNING COMMISSION MEETING: July 12, 2022

Project Planner: Matt Alfele
Zoning: Downtown North Corridor
Entrance Corridor Overlay District: Section 34-307(a)(10) East High Street/9th Street from Long Street to East Market Street, Sub-area C
Tax Parcels: 530273000. Site Acreage: 1.228 acres
Current Usage: Multi--story, medical office building (under construction).
Staff report prepared by: Jeff Werner, AICP, Preservation & Design Planner, and Read Brodhead, Zoning Administrator

Relevant Code Section

Section 34-309(a)(3). Planning Commission serves as the entrance corridor review board (ERB) responsible for administering the design review process in entrance corridor overlay districts (EC).

Section 34-1045. Applicants for a development that is subject to Site Plan review and design review may request approval of a Comprehensive Signage Plan (CSP). The ERB reviews such requests and makes a recommendation to City Council to either approve, approve with conditions, or deny the CSP. Council may approve a comprehensive signage plan, upon a determination there is good cause for deviating from the sign ordinance and the CSP will serve the public purposes and objectives at least as well, or better, than signage allowed by-right.

Background

On June 12, 2018, the Entrance Corridor Review Board (ERB) approved a Certificate of Appropriateness for a three-story medical office building and a two-story rear parking deck.

Application

Request for approval of a Comprehensive Signage Plan for the medical office facility at 920 E. High Street. The requested CSP is necessary to permit the installation of three monument signs (N01, N05, and N06):

- Three monument signs exceed the maximum one allowed.

- The area of each monument sign exceeds the maximum 24 square feet allowed per sign:
 - N01 will be 70.07 square feet.
 - N05 and N06 will each be 28 square feet.
- The aggregate signage area [of the monument signs] of 126.07 square feet exceeds the maximum 75 square feet allowed.
- Two of the monument signs (N05 and N06) will be 7'-0" in height, exceeding the maximum 6'-0" allowed.

Note: The area of a monument sign is measured on one side only, regardless if there is signage on both sides.

This medical office facility is located at a corner lot with access from both East High Street and 10th Street NE. The primary and largest monument sign (N01) is located at this corner and prominently identifies the facility. The two, smaller monument signs (N05 and N06)—one on East High and one on 10th Street—each provide direction at the two entrances to the facility's parking structure.

Information submitted (attached): Comprehensive Signage Plan for [Sentara] 920 E. High Street:

- Sign Application and Permit forms for signs N01, N05, and N06 (3 sheets, signed by applicant only)
- City GIS zoning map of parcel and immediate area (1 sheet), dated 11/21/2020
- Narrative (3 pages), dated June 17, 2022
- AGI drawings and renderings, dated 5/27/2020 revised 2/16/2022:
 - Cover sheet
 - Page 2: Rendering of locations for signs N01, N02, N03, N04, N05, and N06.
 - Page 3: Rendering for sign N01. (large monument)
 - Page 4: Details for sign N01. (large monument)
 - Page 5: Location for sign N01. (large monument)
 - Page 6: Location and details for signs N02. (building address*)
 - Page 7: Location and details for sign N03. (building address*)
 - Page 8: Location and details for sign N04. (building address*)
 - Page 9: Rendering and details for signs N05 and N06. (small monuments)
 - Page 10: Location for signs N05 and N06. (small monuments)
 - Page 11: Lighting cut sheet
- Collins Engineering 10th & High Street Final Site Plan Amendment #3
 - Sheet 3 – Site Plan, Revised April 19, 2022
 - Sheet 4 - Grading and Utility Plan, Revised April 19, 2022
 - Sheet 7 – Landscaping Plan, Revised April 19, 2022
 - Sheet 17 – Sign Details, revised April 19, 2022

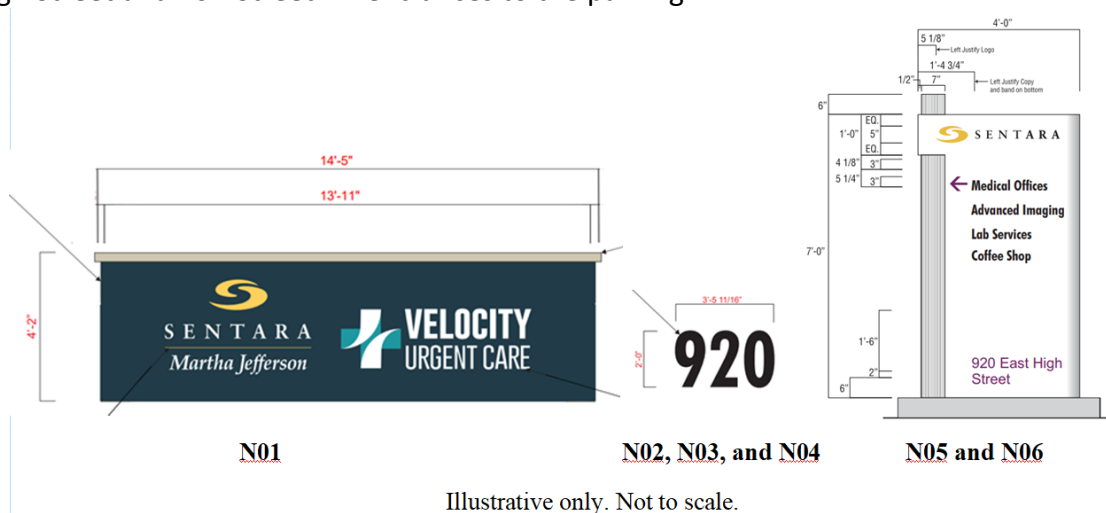
Note: Location of signs N01, N05 and N06 will be located as shown on the numbered, referenced, and dated sheets of the Collins Engineering Final Site Plan noted above. These four site plan sheets are referenced/attached to this CSP only to memorialize the locations of signs N01, N05 and N06 and the landscaping proximate to those signs and to provide construction details for sign N01 (Sheet 17). Any later amendments or changes to these

sheets are irrelevant to this CSP, unless the changes alter the referenced sign locations and landscaping, in which case amendment of the CSP may be required.

* Re: N02, N03, and N04. Address numbers are not regulated by ordinance; however, because they are components of a building subject to design review, inclusion in the CSP will serve as design review approval.

Proposed Signage

- N01: Monument sign, externally illuminated (from ground level). Located at corner of East High Street and 10th Street NE.
- N02, N03, and N04: Wall signs, non-illuminated channel letters (building address).
- N05 and N06: Monument signs, externally illuminated (from ground level). Located at the East High Street and 10th Street NE entrances to the parking.



Review of the signage types proposed by the CSP

Note: Except for what is permitted under Section 34-1027, the following will apply to this CSP. Signage types as currently defined by City Code Division 4, Section 34-1038 (a) through (i).

(a) Awning or canopy.

Not included in proposed CSP; therefore, not permitted.

(b) Freestanding signs.

Not included in proposed CSP; therefore, not permitted.

(c) Marquee signs.

Not included in proposed CSP; therefore, not permitted.

(d) Monument signs.

Three (3) monument signs in proposed CSP: N01, N05, and N06

N01:

- Monument sign, black letters on white, non-illuminated
- 4'-2" h x 14'-5" w
- Height to top of sign: 4'-2" above grade.
- Area: 70.07 square feet
- *Comparison to by-right signage:*
 - Height is within the maximum 6'-0" allowed.
 - Individual sign area exceeds the 24 square foot maximum.

N05 and N06:

- Monument sign, black letters on white, non-illuminated
- 7'-0" h x 4'-0" w
- Height to top of sign: 7'-0" above grade, excluding the 6" concrete base and 6" extension of the decorative post. (Top of monument structure will be 8'-0" above including the base and post extension.)
- Area per sign: 28 square feet
- *Comparison to by-right signage:*
 - Height exceeds maximum 6'-0" allowed.
 - Individual sign area exceeds the 24 square foot maximum.

(g) Sandwich board signs.*

- Not included in CSP, therefore not permitted.
(* Defined in the EC Design Guidelines as *Temporary Signs*, which differs from the Code definition; however, neither are permitted by the CSP.)

(h) Temporary signs.

- Not included in proposed CSP; however, they may be permitted by reference as currently defined in Section 34-1038(h) of the City Code.

(i) Wall signs.

- Not included in CSP, therefore not permitted.

Review of the aggregate signage area proposed by the CSP

Per Section 34-1032 - *Maximum sign area* and Section 34-1044 - *Entrance corridor districts—Special regulations.*

N01, N05 and N06:

- Aggregate area: 126.07 square feet
- *Comparison to by-right signage:*
 - Aggregate area exceeds the maximum 75 square feet allowed. (Within an Entrance Corridor, the aggregate area of all signs allowed on a parcel shall not exceed 75 square feet, unless as otherwise approved within a CSP.)

Note: N02, N03, and N04 are not included in the aggregate signage area.

Review of the EC Design Guidelines for Signs (from Chapter III. *Guidelines for Sites*)

http://weblink.charlottesville.org/public/0/edoc/793361/3_Chapter%20III%20Site_ERB.pdf

1. Place signs so that they do not obstruct architectural elements and details that define the design of the building.

Staff Comment: CSP complies.

2. Respect the design and visibility of signs for adjacent businesses.

Staff Comment: CSP complies. (See photos of nearby signage.)

3. Use colors and appropriate materials that complement the materials and color scheme of the building, including accent and trim colors.

Staff Comment: CSP complies.

4. Use a minimal number of colors per sign where possible.

Staff Comment: CSP complies.

5. Exterior illumination of signs shall comply with the City's outdoor lighting requirements. Exterior neon is discouraged.

Staff Comment: CSP complies.

6. Illumination of any sign shall not be directed toward any residential area or adjacent street.

Staff Comment: CSP complies.

7. Consider using a comprehensive signage plan for larger developments.

Staff Comment: Applicant has proposed a CSP.

8. Encourage the use of monument signs (rather than freestanding signs) with accent landscaping at the base along corridors.

Staff Comment: CSP complies.

9. Internally lit signs should use an opaque background so only letters are lit.

Staff Comment: CSP complies. Signs are not internally lit.

10. Flashing lights are prohibited.

Staff Comment: CSP complies.

Review of the requirements for a comprehensive signage plan

Per City Code Section 34-1045(e)

- (1) A written narrative description of the overall plan, including, without limitation: a tally of the total number of signs included within the coverage of the plan, and a summary of how the applicant believes the comprehensive signage plan will serve the objectives set forth within Section 34-1021;

Staff Comment: Information submitted.

From applicant's narrative:

- Adequate signs promote the general health, safety and welfare and help to create an attractive and harmonious environment. The property has two street frontages with a partially elevated parking lot and a below ground parking lot. Signs are necessary to identify the citizens searching for parking and entrances. Signs are necessary for this medical facility to be identifiable on both street frontages.
 - Patients and citizens traveling here need to be able to identify their destination and adequate signs help to protect the public investment in the creation, maintenance, safety and appearance of its streets, highways and other public areas by eliminating motorist confusion. The signs provided are the minimum necessary for this location to be visible from all lanes of travel under existing treescapes etc.
 - The signs proposed will help to improve pedestrian and vehicular safety by avoiding saturation and confusion in the field of vision that could otherwise result if signs were not regulated as provided herein. There are three wall mounted signs that are appropriately sized for the façade and visible to motorists and pedestrians from their patterns of approach. The signs will not produce clutter and are aesthetically appealing.
 - There are two street frontages and three parking lot entries that need to be identified. It's important to protect and enhance the city's attractiveness to residents, tourists and other visitors as sources of economic development. The signs here will provide for adequate notice of this destination to prevent stacking of cars on the street while informing motorists when approaching of their destination.
 - This is the minimum necessary to accomplish the above objectives.
- (2) A color illustration or photograph of each sign included within the plan. For signs with multiple faces, an illustration or photograph shall be provided for each face. For monument and pole signs, an illustration or photograph of proposed landscaping shall be provided;

Staff Comment: Color illustrations provided. Installation of the monument signs will conform to the landscape plan.

- (3) A written description of the type, size (dimensions), materials, and proposed location of each sign;

Staff Comment: Information submitted.

- (4) A map or other written identification and description of all existing signs on the property comprising the proposed development;

Staff Comment: New project. No existing signs.

- (5) Color illustrations or photographs of signage existing on adjacent properties;

Staff Comment: Staff reviewed adjacent signage.

- (6) A written description (and illustration or photograph) of proposed lighting (for illuminated signs).

Staff Comment: The three (3) monument signs will be externally lit. Applicant provided fixture and lamping spec.

Staff Recommendation

Relative to the installation height and area of the three wall signs monument signs (N01, N05 and N06) staff finds the proposed CSP to be consistent with the EC Design Guidelines and the vision for the East High Street Entrance Corridor. Staff recommends the ERB find this CSP appropriate and recommend that Council approve the request.

Should the ERB consider a recommendation for approval, staff suggests the following conditions:

- Signs N01, N05, and N06. (Monuments) Externally lit. Lamping will be dimmable, have a Color Temperature (CT) not exceeding 3,000K, and have a Color Rendering Index (CRI) not less than 80, preferably not less than 90.
- Signs N02, N03 and N04. (Building address numbers) Not illuminated. Holes for anchors will be within the mortar joints. No holes will be made into the brick and/or stone.

Public Comments Received

No public comments have been received relative to the design.

Suggested Motion

Approval: Having considered the standards set forth within the City Code, including City's Entrance Corridor Design Guidelines, I move to find that the Comprehensive Signage Plan for 920 East High Street, satisfies the ERB's criteria and is compatible with this Entrance Corridor and that the ERB recommends City Council approve this Comprehensive Signage Plan as submitted.

... *as submitted* and with the following modification/conditions:

Alternate Motion

Denial: Having considered the standards set forth within the City Code, including City's Entrance Corridor Design Guidelines, I move to find that the Comprehensive Signage Plan for 920 East High Street, does not satisfy the ERB's criteria and is not compatible with this Entrance Corridor, and that for the following reasons the ERB recommends City Council deny this Comprehensive Signage Plan.

Attachments:

- Attachment 1: Proposed Comprehensive Signage Plan for 920 East High Street
 - Summarized in *Information submitted* on page 2, above
- Attachment 2: East High Street Entrance Corridor (from EC Design Guidelines)
- Attachment 3: Nearby signage in the East High EC



Sign Application and Permit

Please return to: City of Charlottesville
 Department of Neighborhood Development Services
 P.O. Box 911, City Hall
 Charlottesville, VA 22902
 Telephone (434) 970-3182 Fax (434) 970-3359

For directional signs on the Downtown Mall, please include \$125 permit fee per sign. For all other signs, please include \$75 permit fee per sign. For an Optional Comprehensive Sign Package, please include a single fee of \$250.

Project Name/Description SENTARA Parcel Number 530273000
 Address/Location 916 EAST HIGH STREET
 Owner Name MARTHA JEFFERSON HOSPITAL Applicant Name TRACEY DIEHL

A. Property Owner Information

Address 6015 POPLAR HILL DRIVE SUITE 214
NORFOLK, VA 23502
 Phone Number 434-654-7038

B. Property Owner Permission

I, the undersigned, owner of the property on which this sign is to be erected, have read this application and hereby give my consent for this sign to be erected on my property/building.

Signed Michael Spatz

C. Applicant's Information

I, the undersigned, agree to abide by all conditions of the City Sign Ordinance and Building Code in the erection of this sign, and understand that my permit can be revoked at any time for just cause.

Signed Tracey Diehl
 Print Name TRACEY DIEHL
 Company Name EXPEDITE THE DIEHL
 Address 6487 HILLIARD DR., CANAL WINCHES TEROH 43110
 Phone Number 614-828-8215

D. Sign Description

Type: *Freestanding Projecting from wall
 Flat against wall *Monument Other
 Size: Width 14'5" Height 4'2" * Number of Faces 1 = 70.07 Total Sq. Ft.

Max height: 4'2" Min clearance: monument style
 Lighted? N (Y/N) Internal N External Y

Make a sketch of your sign on the back of this form, showing what the sign will look like. Include colors, wording, materials, dimensions, and clearances.

E. Sign Location Information

Street Address 916 EAST HIGH STREET

Is this sign replacing a previous sign, either for your business or a previous business? N (Y/N)
 If yes, list on the back of this form the signs being replaced and the size of each.

Where on the property is the sign to be located? N01 NORTH CORNER ELEVATION

Are there other signs on the property? N (Y/N)
 If yes, list these other signs and their sizes on the back of this form, even if they are not for your business.

*New signs with concrete footings/foundations are required to get a building permit before any concrete

For Office Use Only	Sign Permit No. _____	Approvals:
Tax Map _____ Parcel _____ Zoning _____		Zoning Administrator _____
BZA Case No _____ Date _____		Preservation & Design Planner (EC or ADC districts only) _____
BAR No _____ Date _____		Date: _____
Conditions of Approval: _____		
Amt Paid: _____ Cash/Check # _____ Date paid: _____		Received by: _____



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D. Sign Description

Type: *Freestanding Projecting from wall _____
 Flat against wall _____ *Monument Other _____
 Size: Width 4' * Height 7' * Number of
 Faces 2 = 56 Total Sq. Ft.

Max height: 7' Min clearance: 0
 Lighted? N (Y/N) Internal _____ External Y

Make a sketch of your sign on the back of this form, showing what the sign will look like. Include colors, wording, materials, dimensions, and clearances.

E. Sign Location Information

Street Address 916 EAST HIGH STREET

Is this sign replacing a previous sign, either for your business or a previous business? N (Y/N)
 If yes, list on the back of this form the signs being replaced and the size of each.

Where on the property is the sign to be located? N05 WEST ENTRANCE DIRECTIONAL MONUMENT

Are there other signs on the property? N (Y/N)
 If yes, list these other signs and their sizes on the back of this form, even if they are not for your business.

**New signs with concrete footings/foundations are required to get a building permit before any concrete*

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D. Sign Description

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Size: Width 4' * Height 7' * Number of
 Faces 2 = 56 Total Sq. Ft.

Max height: 7' Min clearance: 0
 Lighted? N (Y/N) Internal External

Make a sketch of your sign on the back of this form, showing what the sign will look like. Include colors, wording, materials, dimensions, and clearances.

E. Sign Location Information

Street Address 916 EAST HIGH STREET

Is this sign replacing a previous sign, either for your business or a previous business? N (Y/N)
 If yes, list on the back of this form the signs being replaced and the size of each.

Where on the property is the sign to be located? N06
EAST ENTRANCE DIRECTIONAL MONUMENT

Are there other signs on the property? N (Y/N)
 If yes, list these other signs and their sizes on the back of this form, even if they are not for your business.

*New signs with concrete footings/foundations are required to get a building permit before any concrete

For Office Use Only	Sign Permit No. _____	Approvals:
Tax Map _____ Parcel _____ Zoning _____		Zoning Administrator _____
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BAR No _____ Date _____		Date: _____
Conditions of Approval: _____		
Amt Paid: _____ Cash/Check # _____ Date paid: _____		Received by: _____

COMPREHENSIVE SIGN PLAN

920 E HIGH STREET



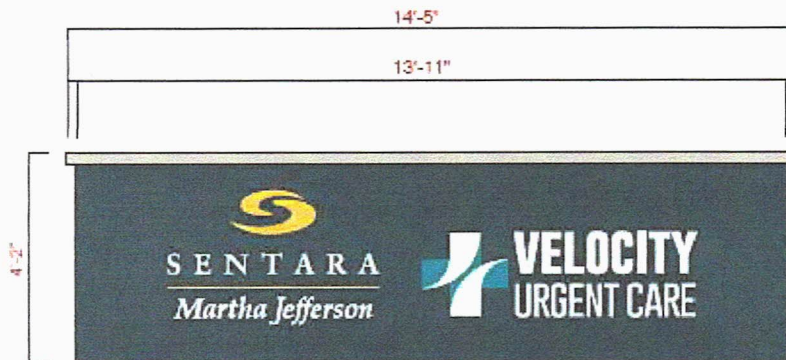
Project Description

The property located at 920 E High Street Parcel ID 530273000 proposes a Comprehensive Sign Plan in accordance with the objectives set forth in Section 34-1021 of the Zoning Ordinance. The property is zoned DN and the surrounding properties are zoned as follows; to the North DNC, to the East HS, to the Southeast B1, to the south DN and to the West DN. This is a medical office facility located along the High Street Entrance Corridor.

An arborist will be hired to participate in this project to ensure the preservation of all existing and remaining mature trees. A civil engineer will be hired to confirm that lighting and wiring will not conflict with underground utilities and interfere with line of sight requirements.

Signs Proposed

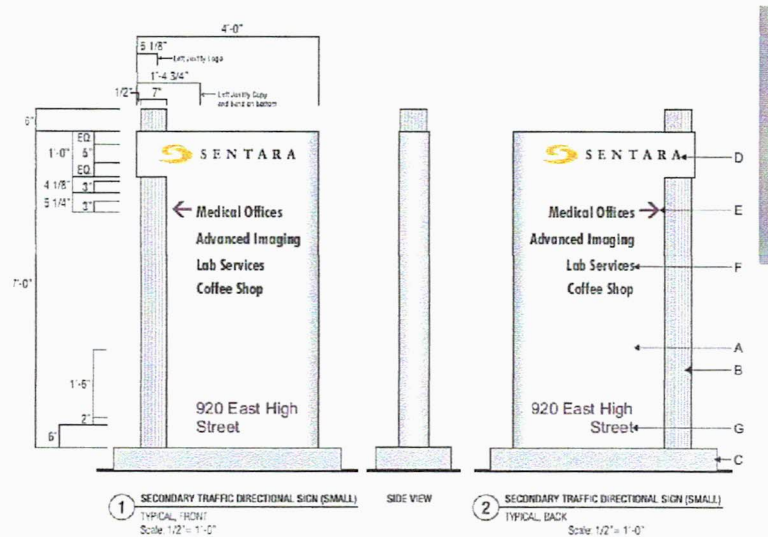
N01 proposed for the corner is a monument sign that measures 4'2" x 14' 5" this sign face is 70.07 sq. ft. and identifies Sentara Martha Jefferson Velocity Urgent Care. The custom monument will be single faced externally illuminated using architectural LED lights. The monument will be positioned outside of the 10' property setback and will not obstruct the vision triangle or existing mature trees.



N02, N03, N04 - three identical non illuminated wall signs that are 6.94 sq. ft each and identify "920" as the building number measure 2' x 3' 5 11/16". One sign will face East High Street, one sign will face 10th Street NE and one will be over the building entrance at the parking lot elevation.

920

N05, N06 - two directional proposed one for each parking lot entrance designed to function as informational and wayfinding. These signs are non-illuminated and measure 7' overall height above grade. These monument style signs have a white background, black letters, with marigold emblem and a gray metal colored embellishment and foundation. The directionals measure 7' x 4', double faced each sign measures 28 sq. ft. The directional signs are externally illuminated using the architectural LED lights.



Total sign area proposed shall not exceed 139.95 sq. ft. for a total of 3 building numbers, 2 directional signs, 1 monument sign.

Compliance with Section 34-1021:

(1) Adequate signs promote the general health, safety and welfare and help to create an attractive and harmonious environment. The property has two street frontages with a partially elevated parking lot and a below ground parking lot. Signs are necessary to identify the citizens searching for parking and entrances. Signs are necessary for this medical facility to be identifiable on both street frontages.

(2) Patients and citizens traveling here need to be able to identify their destination and adequate signs help to protect the public investment in the creation, maintenance, safety and appearance of its streets, highways and other public areas by eliminating motorist confusion. The signs provided are the minimum necessary for this location to be visible from all lanes of travel under existing trees/canopies etc.

(3) The signs proposed will help to improve pedestrian and vehicular safety by avoiding saturation and confusion in the field of vision that could otherwise result if signs were not

regulated as provided herein. There are three wall mounted signs that are appropriately sized for the façade and visible to motorists and pedestrians from their patterns of approach. The signs will not produce clutter and are aesthetically appealing.

(4) There are two street frontages and three parking lot entries that need to be identified. It's important to protect and enhance the city's attractiveness to residents, tourists and other visitors as sources of economic development. The signs here will provide for adequate notice of this destination to prevent stacking of cars on the street while informing motorists when approaching of their destination.

(5) This is the minimum necessary to accomplish the above objectives.

Future Modification to Signage:

The Sentara Comprehensive Sign Plan is designed to allow for adequate minimal signage that is appropriate for this location. In the future the following conditions would apply to this property:

One Monument Sign:

- Area for lettering/logos: 14' x 3', centered on the monument sign area. No lettering/logos within 3" of top or bottom of sign area.
- Lettering: Maximum height 12".
- Logo: Maximum area 24" x 24" each
- Lettering/logos to be painted or decals flat on the surface; or raised, not more than 1" from sign surface.
- No internally lit signage (lettering/logos).

Two Monument Directory Signs:

- Monument sign design will conform, generally, to schematic in the CSP design. Monument sign *body* (as noted) will not exceed a height of 7', including the 6" base, a width of 4', and a depth of 8". Base dimensions per the CSP. Dimensions of the decorative extension will not exceed those in the CSP.
- Area for lettering/logos:
 - Top: 3'-6" x 8". No lettering/logos within 2" of top, bottom or sides, as illustrated.
 - Bottom: Top: 3' x 5'-8". No lettering/logos within 2" of bottom or sides, as illustrated.
- Lettering: Maximum height 6".
- Logo: Maximum area 12" x 12" each.
- Lettering/logos to be painted or decals flat on the surface; or raised, not more than 1" from sign surface.
- No internally lit signage (lettering/logos).



SENTARA

10th & High Street | Charlottesville, VA
February 16, 2022



2655 International Parkway
Virginia Beach, VA 23452



Note: Locations are approximate. Specific locations per pages 5 and 10.

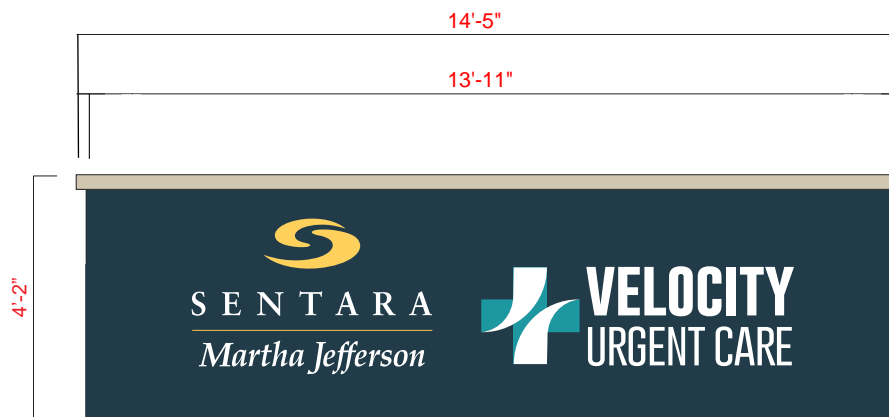
No signs will be added to the building canopies.



EXISTING



PROPOSED



There will be no signage on the canopy

N01: CUSTOM MONUMENT

The monument sign design will conform, generally, to the schematic shown below. Monument sign body will not exceed a height of 5', including the 6" base, a width of 16', and a depth of 24".

All lettering and logos applied to the sign body must be individually cut letters. Acrylic panels and aluminum overlays are not permitted. Internal illumination is not permitted. All lettering and logos must maintain a minimum 4" clear space around the edges of the sign body.

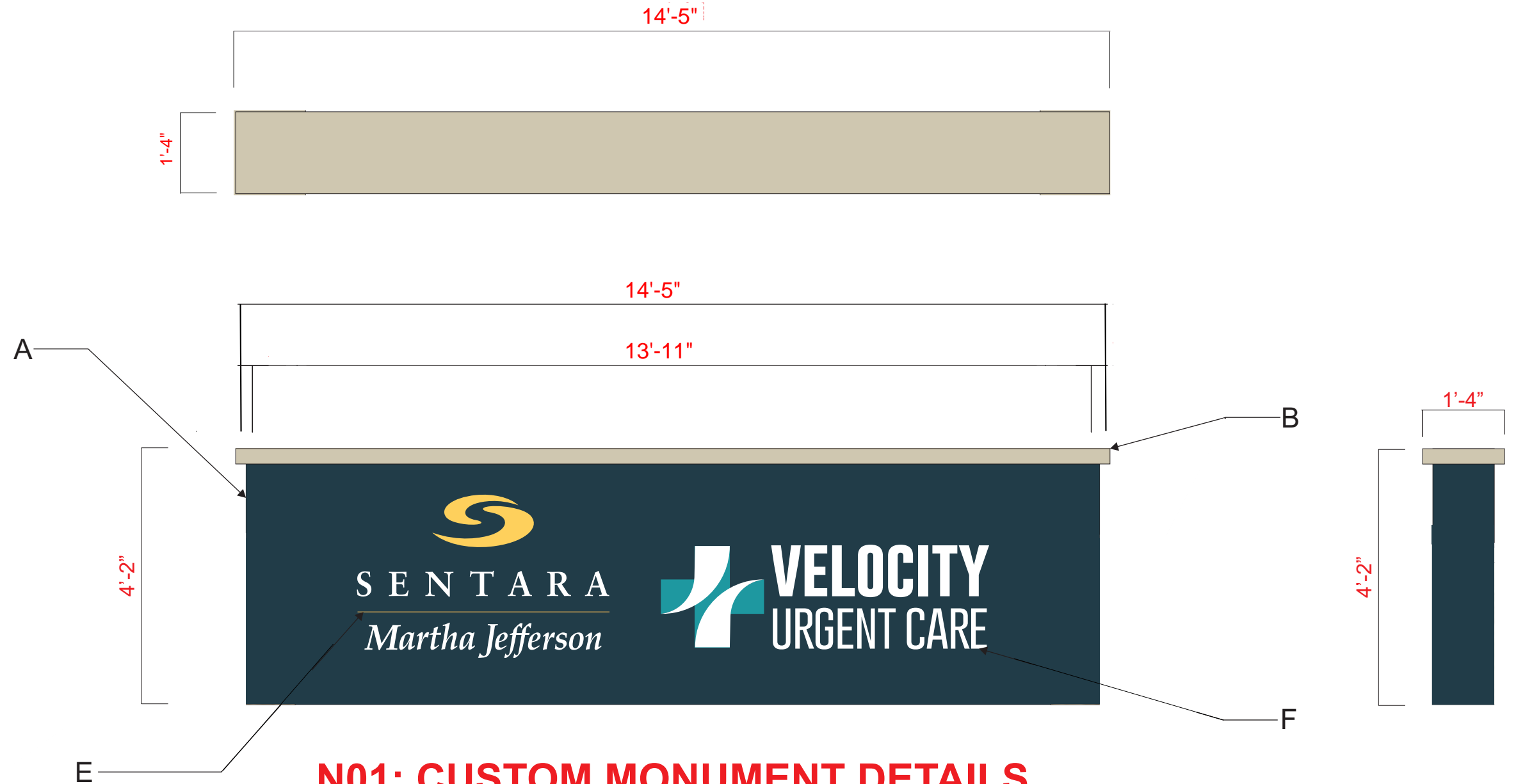
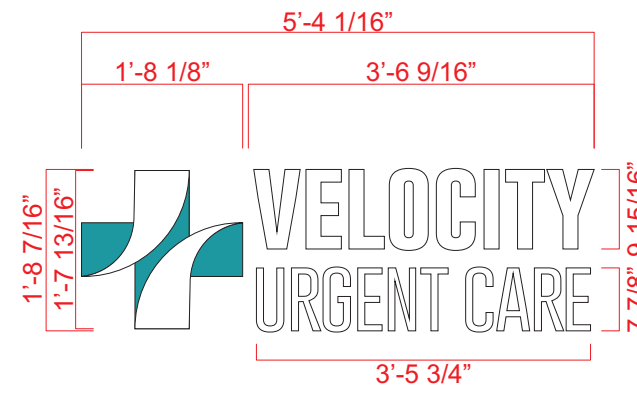
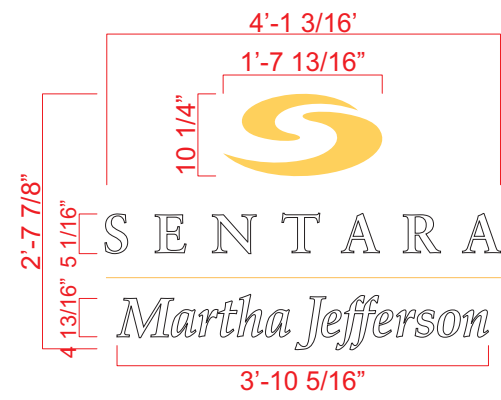
A - Painted aluminum sign cabinet; pre-finished color to match Alpolc BGY Grey Panels on building.

B - Precast concrete caps, smooth finish, no color added

E - Logo is 1/4" laser cut aluminum plate letters, stud-mounted to sign cabinet, painted to match PMS142C and White. Font is Palatino.

F - Logo is 1/4" laser cut aluminum plate letters, stud-mounted to sign cabinet, painted to match PMS321C and White. Font is Gobold.

Monument will be externally illuminated using Delta 9060 Architectural Directional LED Up Lights (see specification sheet at the end of this document).



N01: CUSTOM MONUMENT DETAILS

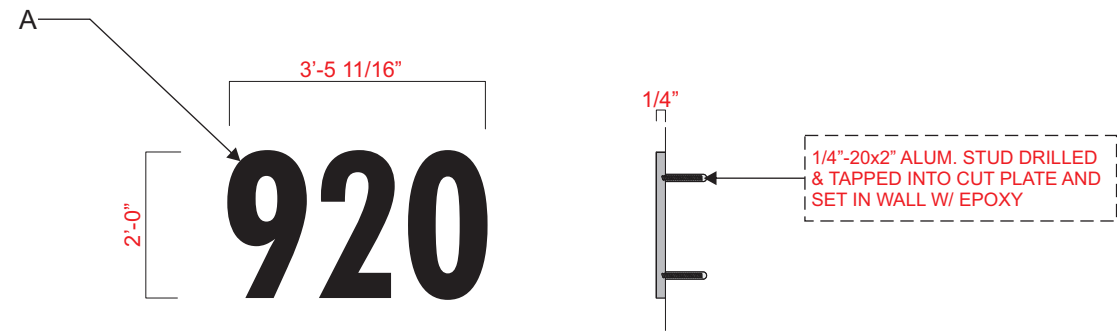


EXISTING



PROPOSED

A - 1/4" aluminum digits painted black, stud mounted to facade, font is Futura Bold Condensed.



N02: Address

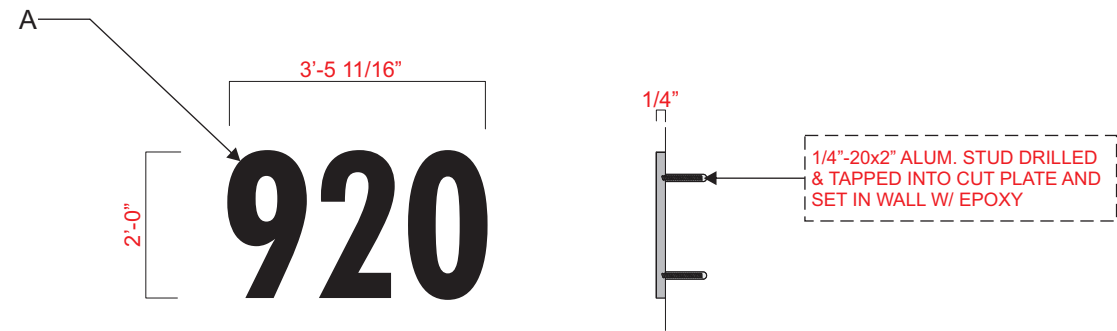


EXISTING



PROPOSED

A - 1/4" aluminum digits painted black, stud mounted to facade, font is Futura Bold Condensed.



N03: Address

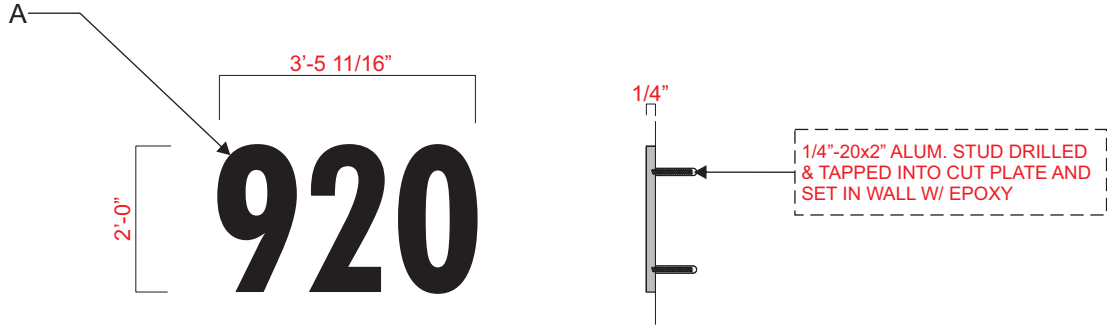


EXISTING

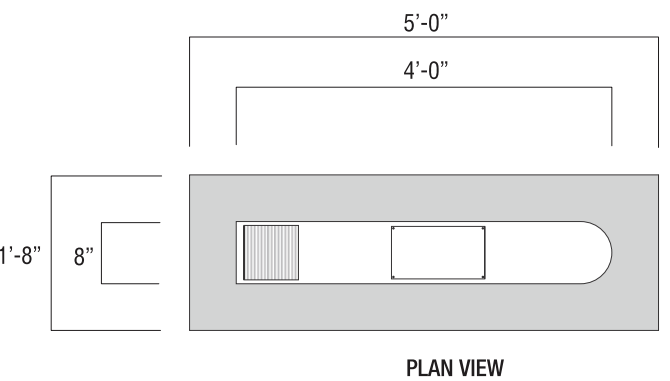


PROPOSED

A - 1/4" aluminum digits painted black, stud mounted to facade, font is Futura Bold Condensed.

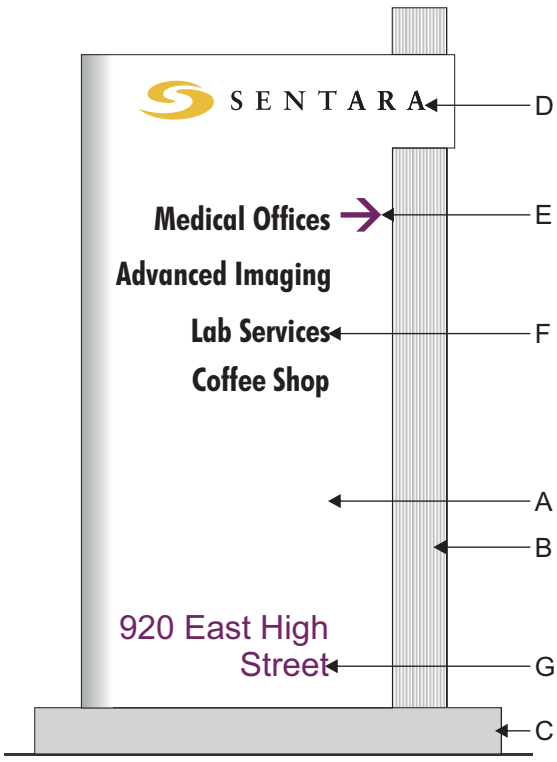
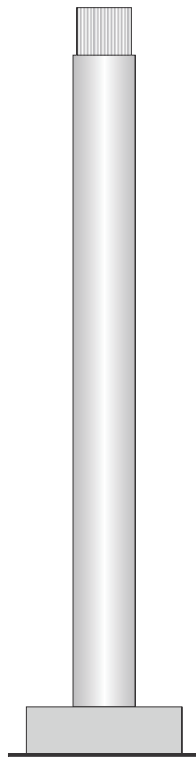
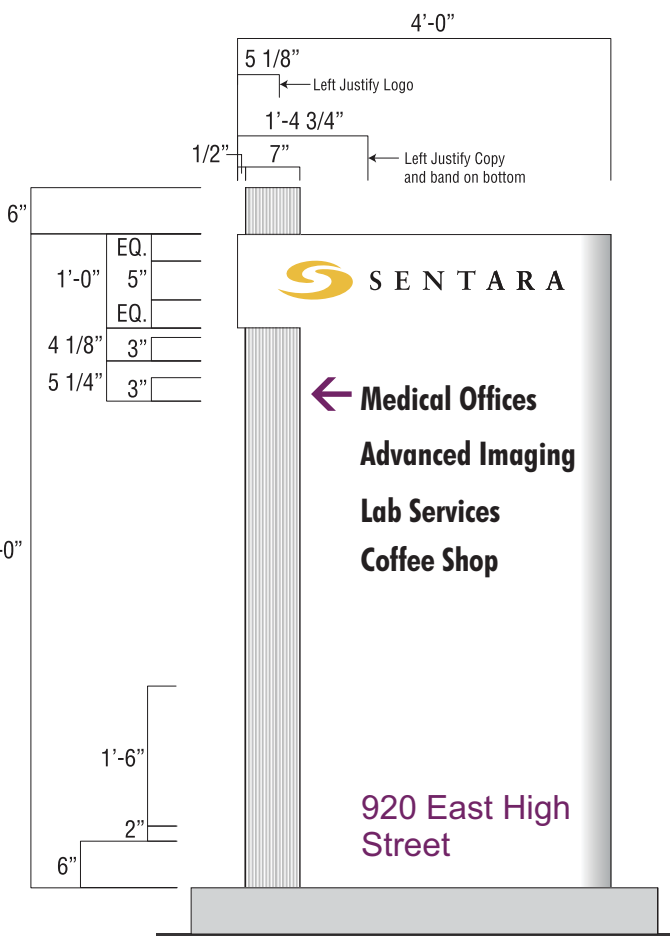


N04 : Address



The traffic directional signs will conform, generally, to the schematic shown below. Monument sign body will not exceed a height of 8', including the 6" base, a width of 4' and a depth of 8".

All lettering and logos applied to the sign body must be individually cut letters. Acrylic panels and aluminum overlays are not permitted. Internal illumination is not permitted. All lettering and logos must follow the layout rules shown below with a minimum 2" clear around the perimeter.



1 SECONDARY TRAFFIC DIRECTIONAL SIGN (SMALL)
TYPICAL, FRONT
Scale: 1/2" = 1'-0"

2 SECONDARY TRAFFIC DIRECTIONAL SIGN (SMALL)
TYPICAL, BACK
Scale: 1/2" = 1'-0"



- A - Fabricated aluminum sign cabinet painted white on all exposed surfaces
- B - Fabricated accent using RIMEX 'Cambridge' 204 satin stainless steel
- C - 6" Raised concrete foundation, finished smooth, uncolored
- D - Logo is 3M translucent vinyl #3630-75 'Marigold' Overlaid on white opaque vinyl & applied to surface to cabinet. Wordmark is Avery opaque vinyl #A6090 Black' applied to surface of cabinet. Font is Palatino.
- E - Arrow is applied to vinyl to match PMS 255C 'Royal Violet'
- F - Copy is Avery opaque vinyl #A6090 'Black' applied to surface of cabinet. Font is Futura Condensed Bold.
- G - Copy is surface applied vinyl to match PMS 255C 'Royal Violet'. Font is Arial Regular.

Traffic Directional Signs will be externally illuminated using Delta 9060 Architectural Directional LED Up Lights (see specification sheet at the end of this document).

PROPOSED N05 & N06: STDS



ADDRESS: 10th & High Street | Charlottesville, VA

DRAWN BY: C.Arocho

DATE: 05/27/2020

REVISION: 11/17/21, 02/04/22

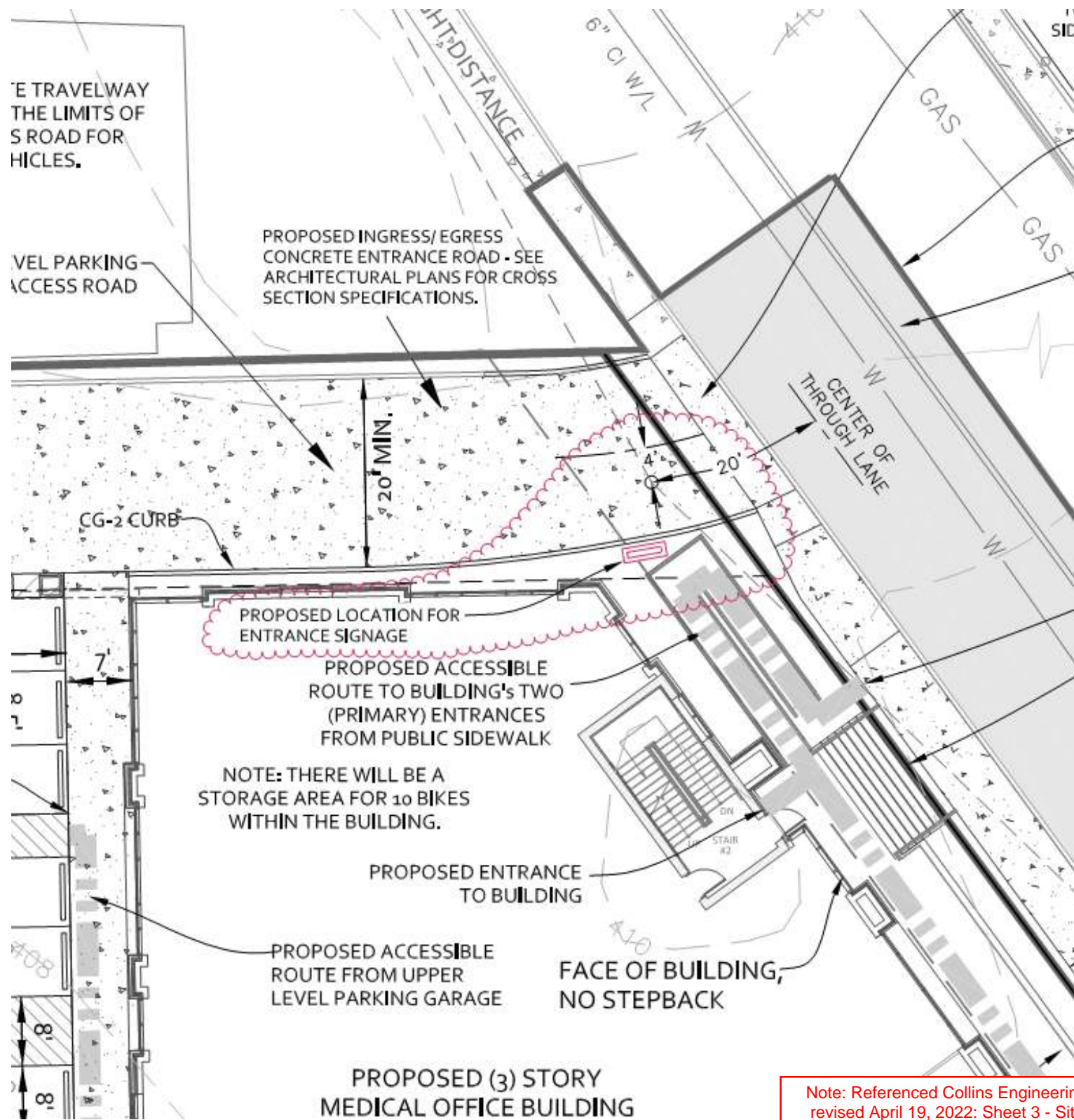
02/16/22

PAGE: 9

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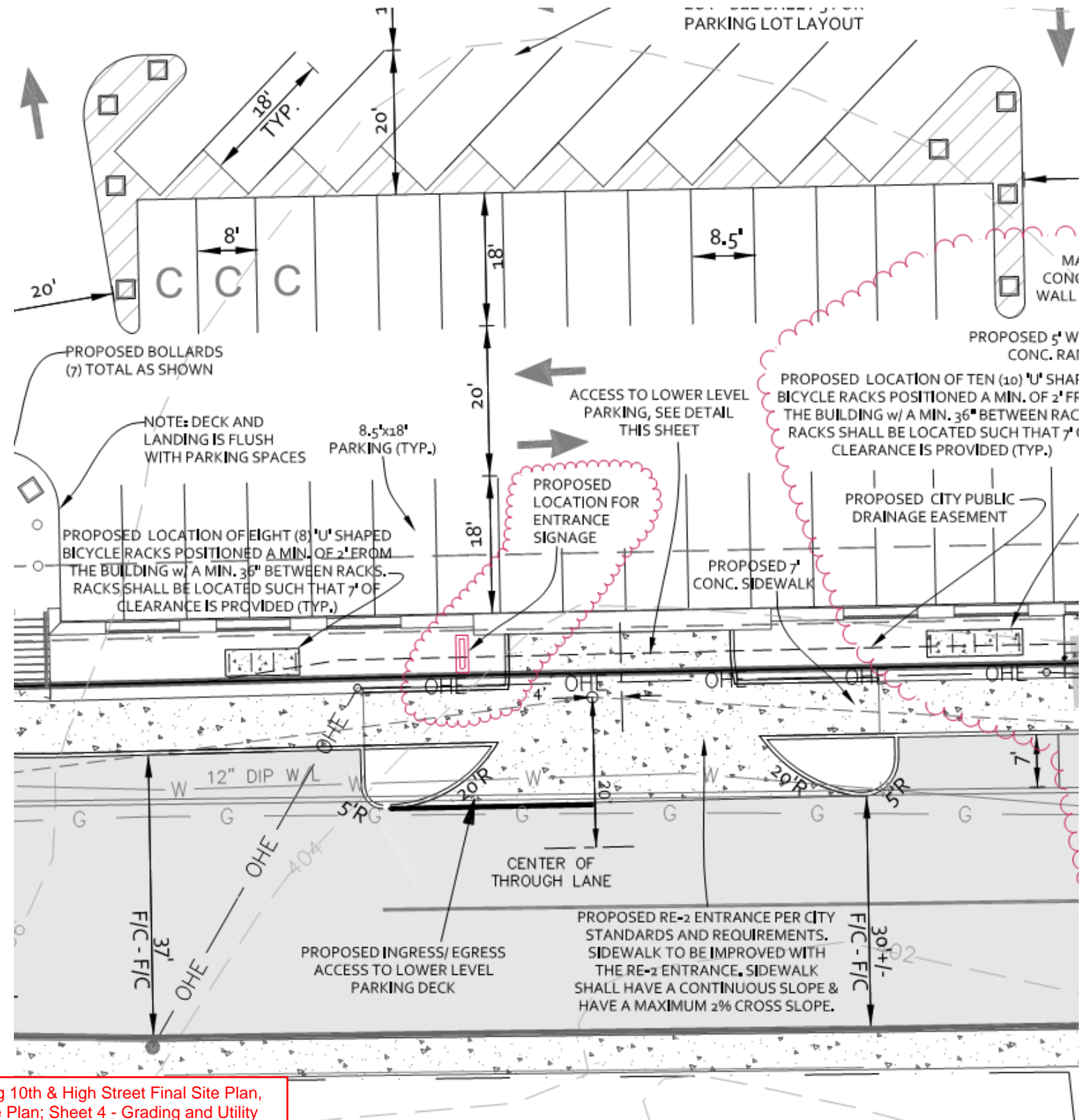


2655 International Parkway
Virginia Beach, VA 23452



N05

Note: Referenced Collins Engineering 10th & High Street Final Site Plan, revised April 19, 2022: Sheet 3 - Site Plan; Sheet 4 - Grading and Utility Plan; Sheet 7 - Landscaping Plan; and Sheet 17 - Sign Details.



N06

Alcon Lighting 9060 Delta Architectural LED Low Voltage Directional Uplight Landscape Lighting Fixture

FIXTURE SPECIFICATIONS

INTENDED USE

The Alcon Lighting **Delta** Architectural LED Directional Up Light Fixture features naturally etched finishes capable of withstanding the test of time. The Delta Directional Uplights are ideal for architectural landscape lighting applications.

DETAILS

L 6.25" x **Dia** 2.25"
Construction: Military Grade Solid Aluminum
Wattage | Lumens: 8.5 Watts | 550 Lumens
Mounting: 1/2" NPT threaded female hub (1/2" NPT Spike included)
Voltage: 12V AC/DC
CRI: 90+
Warranty: 3 Years Carefree for Parts & Components (Labor Not Included)

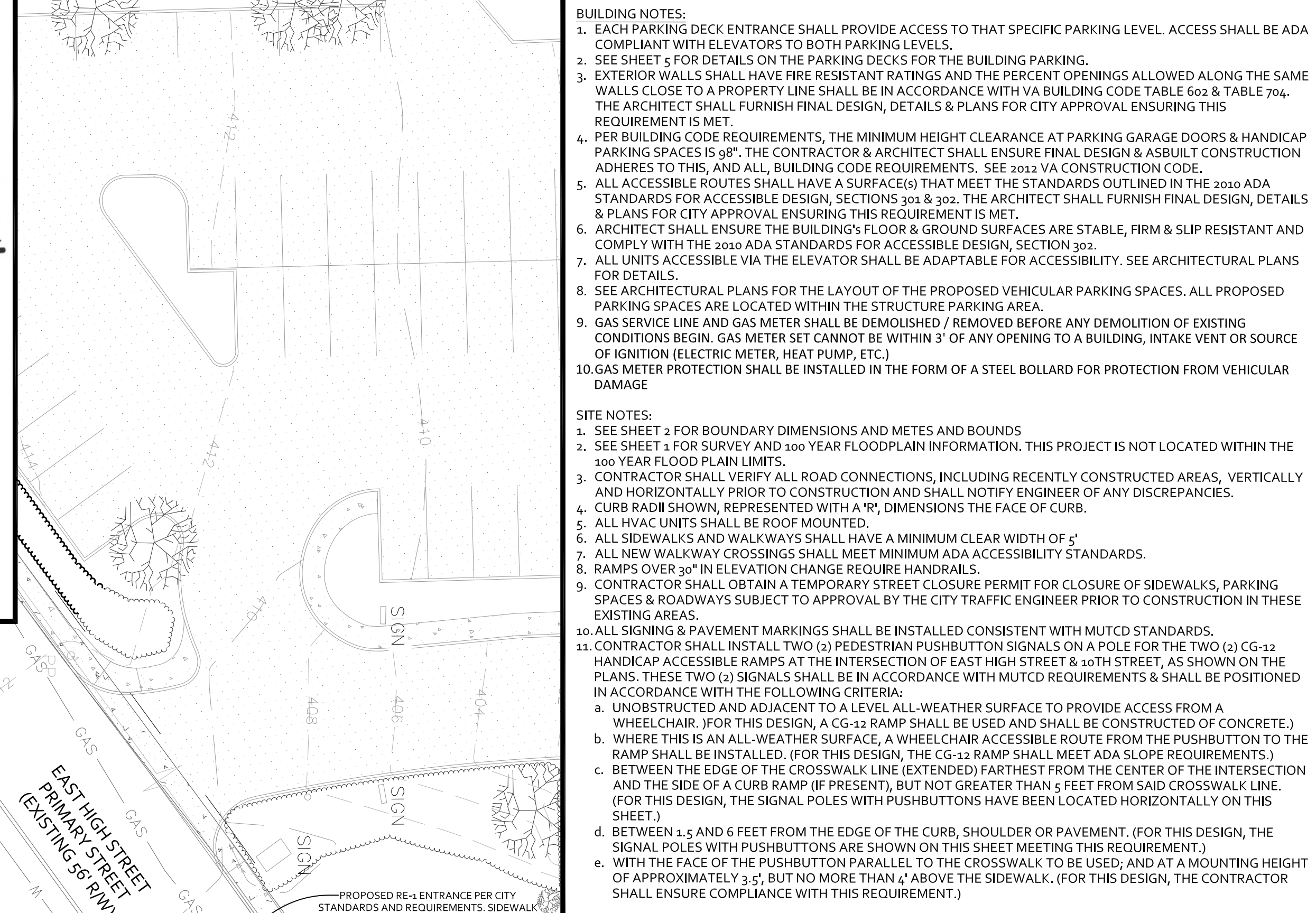
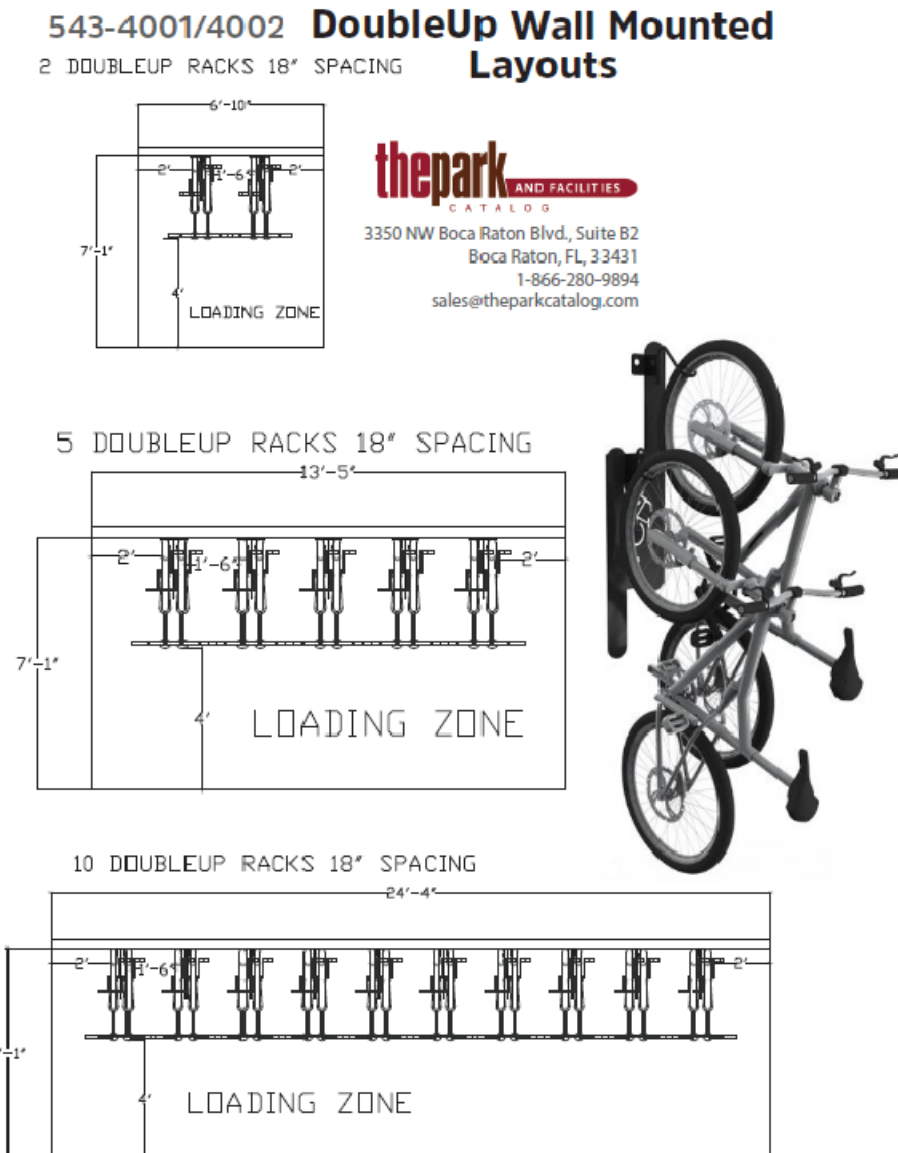
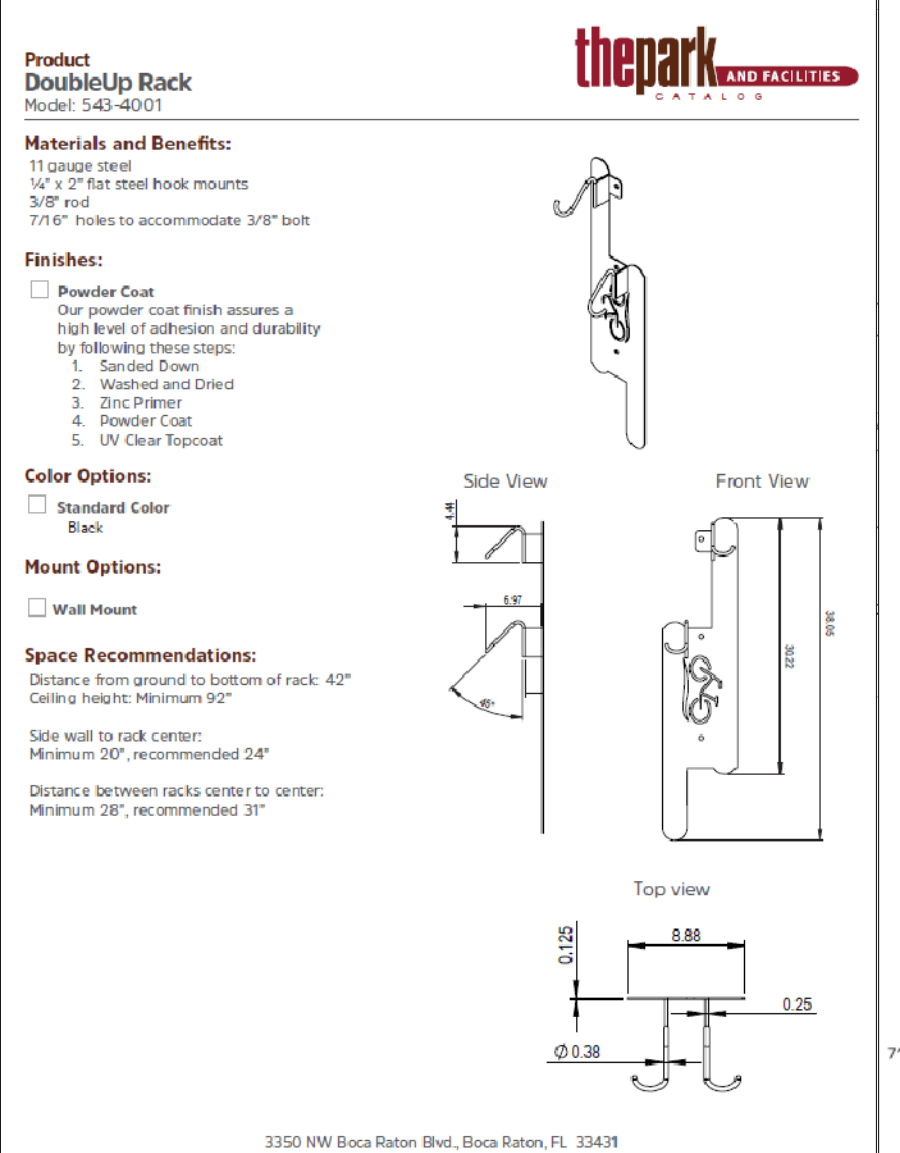
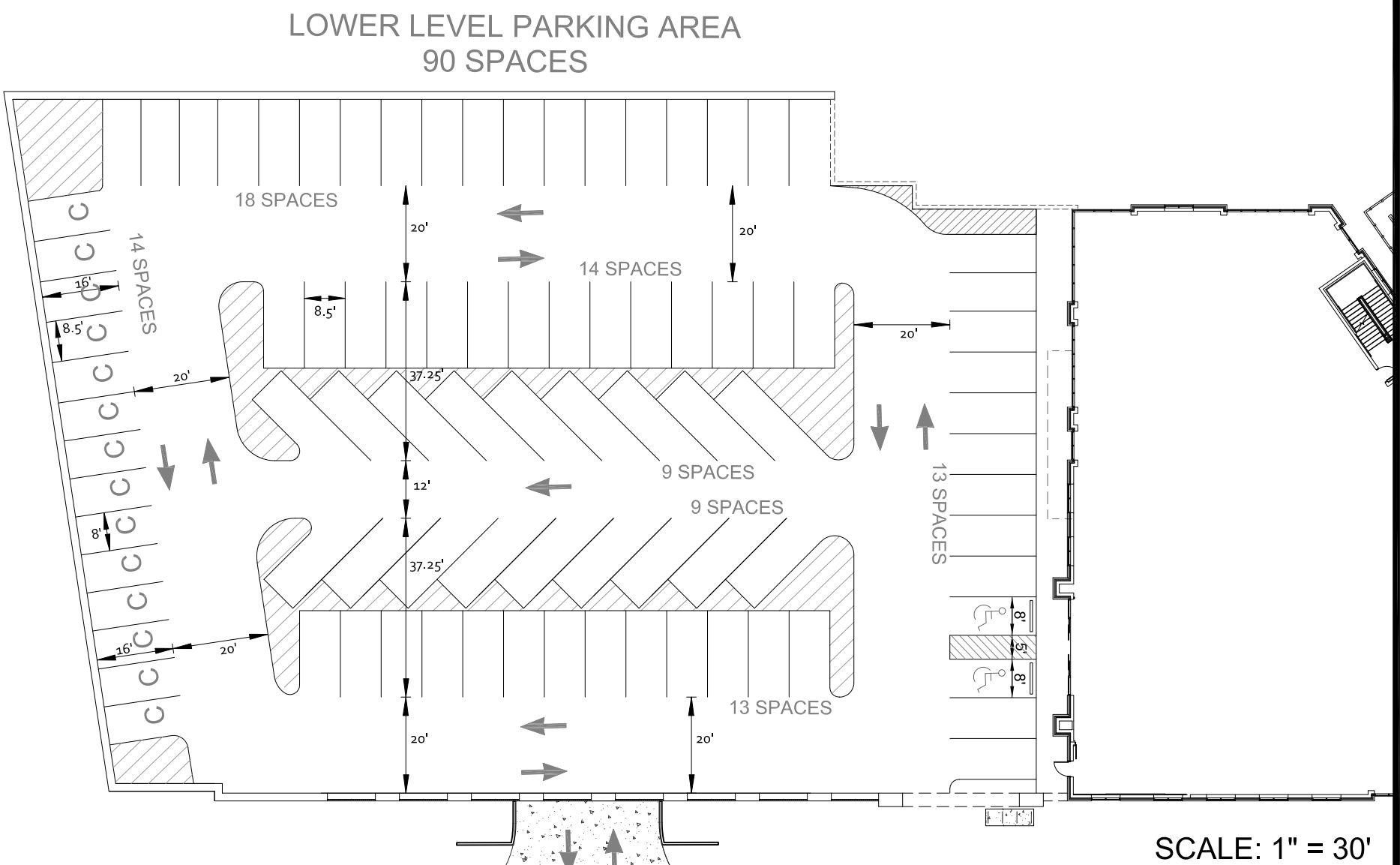


WS- 9060 without Shroud

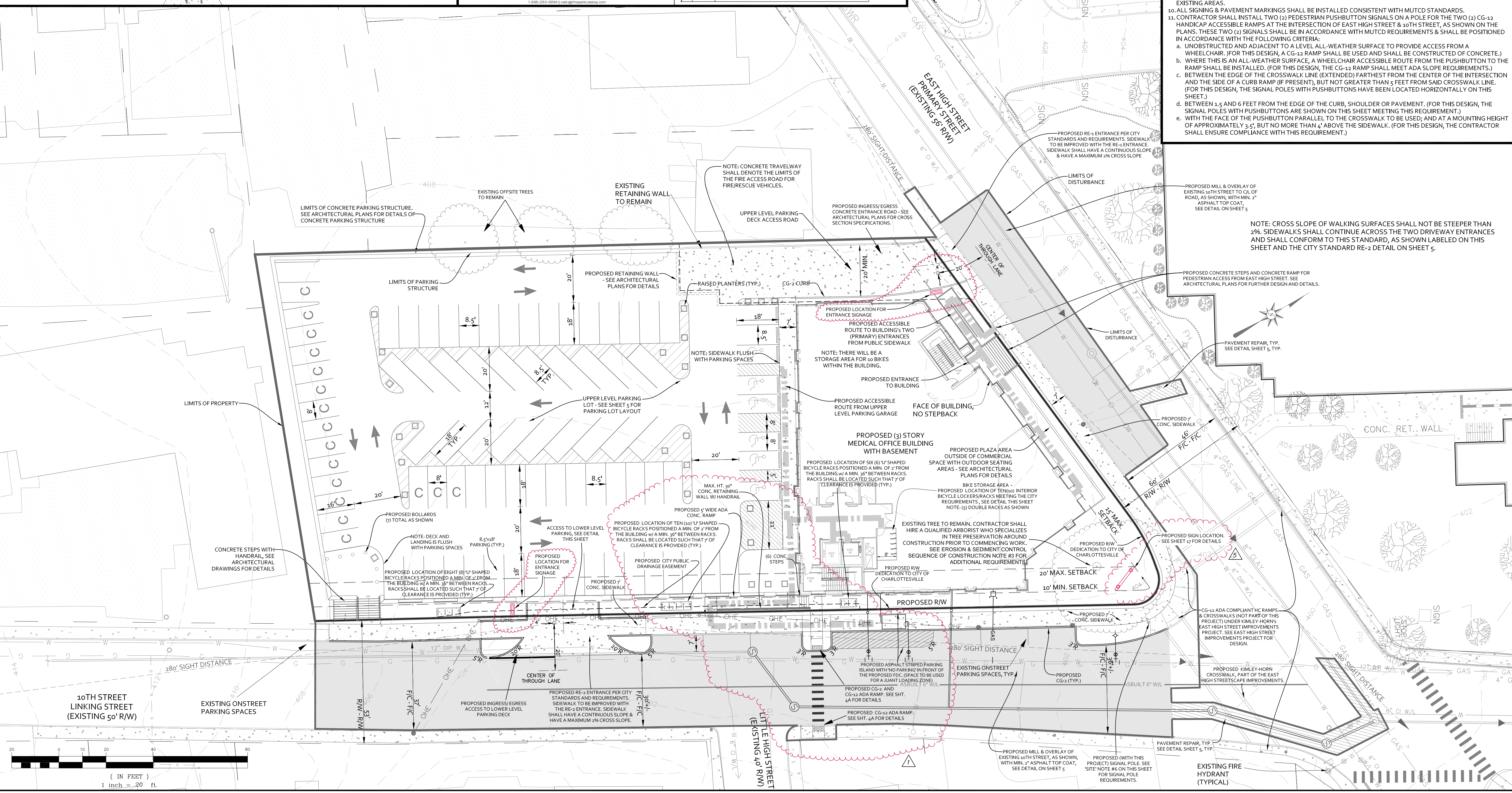


ORDERING INFORMATION Example: (9060-15-27K-BK-SH)

Model	Beam Spread	Color Temp	Finish	Options
9060	15 15°	Residential	BK Black	WS 9060 without Shroud
	25 25°	27K 2700K	BZ Bronze	CS Composite Mounting Spike
	35 35°	30K 3000K	WH White	1/2 Female Thread 8 3/4" Height 2" Diameter
		40K 4000K	SL Silver	
		Commercial		



REVISIONS	
REVISION DESCRIPTION	DATE
SITE PLAN AMENDMENT #3	4/19/22



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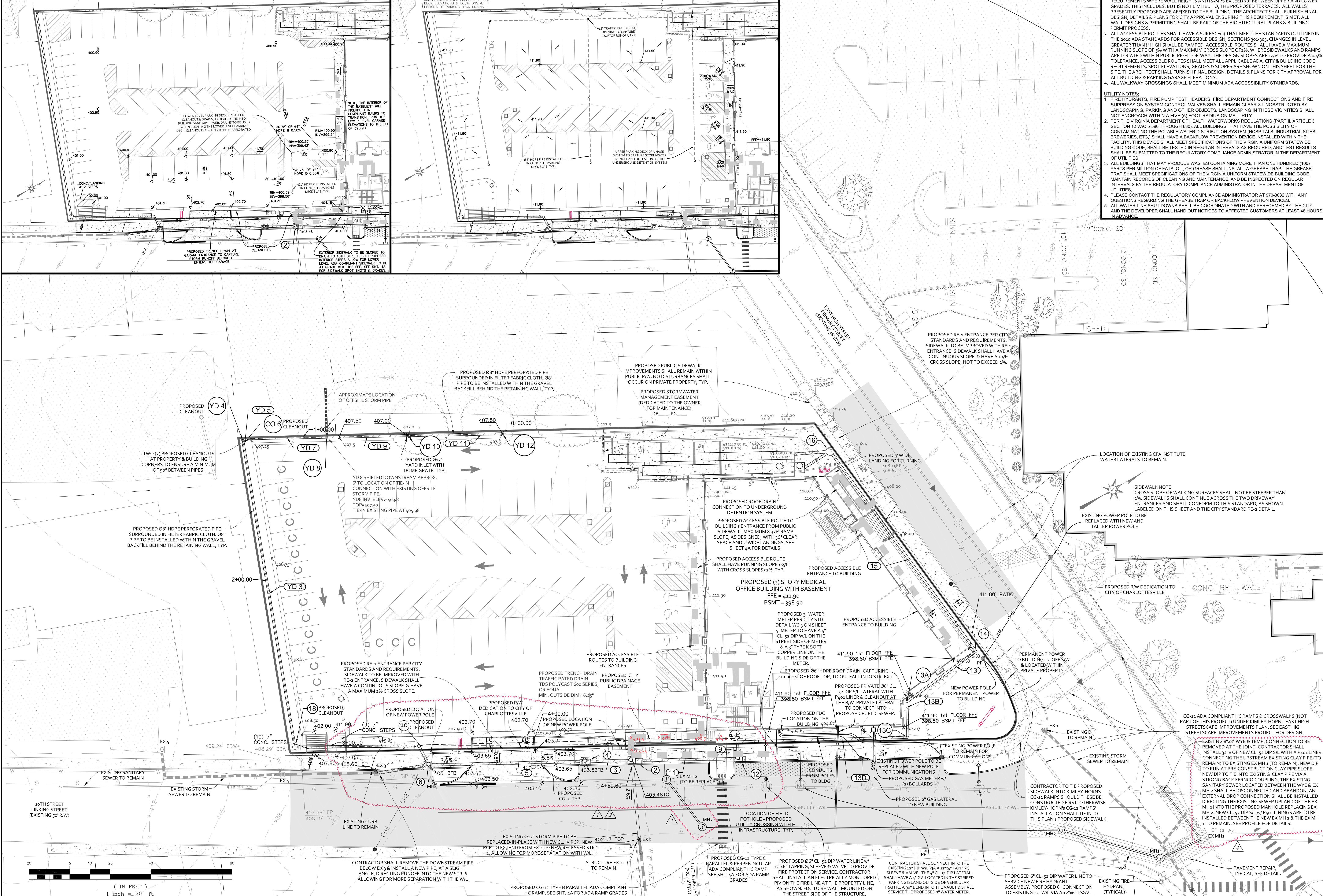
10th & HIGH STREET - FINAL SITE PLAN AMENDMENT #3
 SITE PLAN

PROJECT	172129
SCALE	1" = 20'
SHEET NO.	3

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LOWER LEVEL PARKING DECK SIDEWALK, GRADING & DRAINAGE PLAN
1"=30'

UPPER LEVEL PARKING DECK SIDEWALK, GRADING & DRAINAGE PLAN
1"=30'



- GRADING & DRAINAGE NOTES:**
1. EACH PARKING DECK ENTRANCE SHALL PROVIDE ACCESS TO ALL LEVELS OF PARKING. ACCESS SHALL BE ADA COMPLIANT WITH ELEVATORS.
 2. GUARDRAILS / HANDRAILS SHALL BE INSTALLED & IN ACCORDANCE WITH BUILDING CODE REQUIREMENTS WHERE WALL HEIGHTS AND RAMPS EXCEED 30" BETWEEN UPPER AND LOWER GRADES. THIS INCLUDES, BUT IS NOT LIMITED TO, THE PROPOSED TERRACES. ALL WALLS PRESENTLY PROPOSED ARE AFFIXED TO THE BUILDING. THE ARCHITECT SHALL FURNISH FINAL DESIGN, DETAILS & PLANS FOR CITY APPROVAL ENSURING THIS REQUIREMENT IS MET. ALL WALL DESIGN & PERMITTING SHALL BE PART OF THE ARCHITECTURAL PLANS & BUILDING PERMIT PROCESS.
 3. ALL ACCESSIBLE ROUTES SHALL HAVE A SURFACE(S) THAT MEET THE STANDARDS OUTLINED IN THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN, SECTIONS 303-303. CHANGES IN LEVEL GREATER THAN 1/4" HIGH SHALL BE RAMPED. ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM RUNNING SLOPE OF 1/4" WITH A MAXIMUM CROSS SLOPE OF 1/4". WHERE SIDEWALKS AND RAMPS ARE LOCATED WITHIN PUBLIC RIGHT-OF-WAY, THE DESIGN SLOPES ARE 1:20 TO PROVIDE A 0.5% TOLERANCE. ACCESSIBLE ROUTES SHALL MEET ALL APPLICABLE ADA, CITY & BUILDING CODE REQUIREMENTS. SPOT ELEVATIONS, GRADES & SLOPES ARE SHOWN ON THIS SHEET FOR THE SITE. THE ARCHITECT SHALL FURNISH FINAL DESIGN, DETAILS & PLANS FOR CITY APPROVAL FOR ALL BUILDING & PARKING GARAGE ELEVATIONS.
 4. ALL WALKWAY CROSSINGS SHALL MEET MINIMUM ADA ACCESSIBILITY STANDARDS.
- UTILITY NOTES:**
1. FIRE HYDRANTS, FIRE PUMP TEST HEADERS, FIRE DEPARTMENT CONNECTIONS AND FIRE SUPPRESSION SYSTEM CONTROL VALVES SHALL REMAIN CLEAR & UNOBSTRUCTED BY LANDSCAPING, PARKING AND OTHER OBJECTS. LANDSCAPING IN THESE VICINITIES SHALL NOT ENCRUSH WITHIN A FIVE (5) FOOT RADIUS ON MATURITY.
 2. PER THE VIRGINIA DEPARTMENT OF HEALTH WATERWORKS REGULATIONS (PART II, ARTICLE 3, SECTION 12 VAC 5-590 THROUGH 630), ALL BUILDINGS THAT HAVE THE POSSIBILITY OF CONTAMINATING THE POTABLE WATER DISTRIBUTION SYSTEM (HOSPITALS, INDUSTRIAL SITES, BREWERIES, ETC.) SHALL HAVE A BACKFLOW PREVENTION DEVICE INSTALLED WITHIN THE FACILITY. THIS DEVICE SHALL MEET SPECIFICATIONS OF THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE, SHALL BE TESTED IN REGULAR INTERVALS AS REQUIRED, AND TEST RESULTS SHALL BE SUBMITTED TO THE REGULATORY COMPLIANCE ADMINISTRATOR IN THE DEPARTMENT OF UTILITIES.
 3. ALL BUILDINGS THAT MAY PRODUCE WASTES CONTAINING MORE THAN ONE HUNDRED (100) PARTS PER MILLION OF FATS, OIL, OR GREASE SHALL INSTALL A GREASE TRAP. THE GREASE TRAP SHALL MEET SPECIFICATIONS OF THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE, MAINTAIN RECORDS OF CLEANING AND MAINTENANCE, AND BE INSPECTED ON REGULAR INTERVALS BY THE REGULATORY COMPLIANCE ADMINISTRATOR IN THE DEPARTMENT OF UTILITIES.
 4. PLEASE CONTACT THE REGULATORY COMPLIANCE ADMINISTRATOR AT 970-3032 WITH ANY QUESTIONS REGARDING THE GREASE TRAP OR BACKFLOW PREVENTION DEVICES.
 5. ALL WATER LINE SHUT DOWNS SHALL BE COORDINATED WITH AND PERFORMED BY THE CITY, AND THE DEVELOPER SHALL HAND OUT NOTICES TO AFFECTED CUSTOMERS AT LEAST 48 HOURS IN ADVANCE.



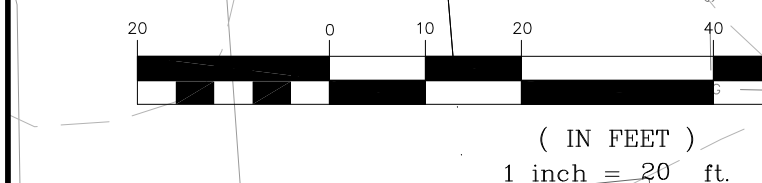
REVISIONS

DATE	REVISION DESCRIPTION
4/19/22	SITE PLAN AMENDMENT # 3

CE COLLINS ENGINEERING
200 GARRETT STREET, SUITE K - CHARLOTTEVILLE, VA 22902 - 434.293.3719

10th & HIGH STREET - FINAL SITE PLAN AMENDMENT #3
GRADING & UTILITY PLAN

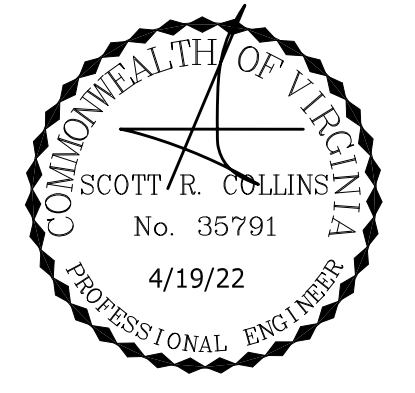
PROJECT SHEET
JOB NO. 172129
SCALE AS SHOWN
SHEET NO. 4



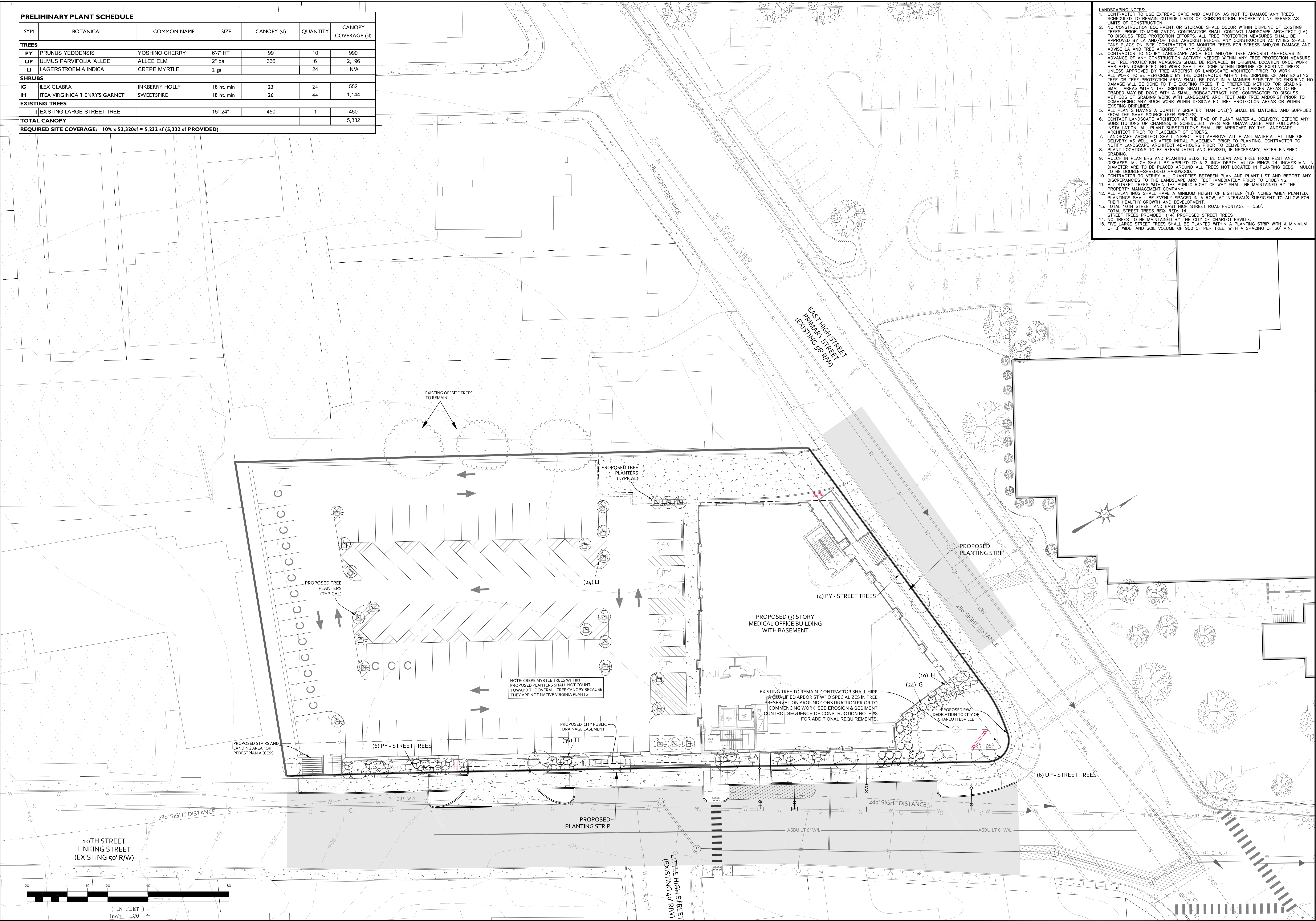
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PRELIMINARY PLANT SCHEDULE						
SYM	BOTANICAL	COMMON NAME	SIZE	CANOPY (sf)	QUANTITY	CANOPY COVERAGE (sf)
TREES						
PY	PRUNUS YEDOENSIS	YOSHINO CHERRY	6'-7' HT.	99	10	990
UP	ULMUS PARVIFOLIA 'ALLEE'	ALLEE ELM	2" cal	366	6	2,196
LI	LAGERSTROEMIA INDICA	CREPE MYRTLE	2 gal		24	N/A
SHRUBS						
IG	ILEX GLABRA	INKBERRY HOLLY	18 ht. min	23	24	552
IH	ITEA VIRGINICA 'HENRY'S GARNET'	SWEETSPICE	18 ht. min	26	44	1,144
EXISTING TREES						
I	EXISTING LARGE STREET TREE		15'-24"	450	1	450
TOTAL CANOPY						5,332
REQUIRED SITE COVERAGE: 10% x 52,320sf = 5,232 sf (5,332 sf PROVIDED)						

- LANDSCAPING NOTES:**
- CONTRACTOR TO USE EXTREME CARE AND CAUTION AS NOT TO DAMAGE ANY TREES SCHEDULED TO REMAIN OUTSIDE LIMITS OF CONSTRUCTION. PROPERTY LINE SERVES AS LIMITS OF CONSTRUCTION.
 - NO CONSTRUCTION EQUIPMENT OR STORAGE SHALL OCCUR WITHIN DRILLPIECE OF EXISTING TREES. PRIOR TO MOBILIZATION CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT (LA) TO DISCUSS TREE PROTECTION EFFORTS. ALL TREE PROTECTION MEASURES SHALL BE APPROVED BY LA AND/OR TREE ARBORIST BEFORE ANY CONSTRUCTION ACTIVITIES SHALL TAKE PLACE ON-SITE. CONTRACTOR TO MONITOR TREES FOR STRESS AND/OR DAMAGE AND ADVISE LA AND TREE ARBORIST IF ANY OCCUR.
 - CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT AND/OR TREE ARBORIST 48-HOURS IN ADVANCE OF ANY CONSTRUCTION ACTIVITY NEEDED WITHIN ANY TREE PROTECTION MEASURE. ALL TREE PROTECTION MEASURES SHALL BE REPLACED IN ORIGINAL LOCATION ONCE WORK HAS BEEN COMPLETED. NO WORK SHALL BE DONE WITHIN DRILLPIECE OF EXISTING TREES UNLESS APPROVED BY TREE ARBORIST OR LANDSCAPE ARCHITECT PRIOR TO WORK.
 - ALL WORK TO BE PERFORMED BY THE CONTRACTOR WITHIN THE DRILLPIECE OF ANY EXISTING TREE OR TREE PROTECTION AREA SHALL BE DONE IN A MANNER SENSITIVE TO ENSURING NO DAMAGE WILL BE DONE TO THE EXISTING TREES. THE PREFERRED METHOD FOR GRADING SMALL AREAS WITHIN THE DRILLPIECE SHALL BE DONE BY HAND. LARGER AREAS TO BE GRADED MAY BE DONE WITH A SMALL BOBCAT/TRACTOR-HOE. CONTRACTOR TO DISCUSS METHODS OF GRADING WORK WITH LANDSCAPE ARCHITECT AND TREE ARBORIST PRIOR TO COMMENCING ANY SUCH WORK WITHIN DESIGNATED TREE PROTECTION AREAS OR WITHIN EXISTING DRILLPIECES.
 - ALL PLANTS HAVING A QUANTITY GREATER THAN ONE(1) SHALL BE MATCHED AND SUPPLIED FROM THE SAME SOURCE (PER SPECIES).
 - CONTACT LANDSCAPE ARCHITECT AT THE TIME OF PLANT MATERIAL DELIVERY, BEFORE ANY SUBSTITUTIONS OR CHANGES, IF SCHEDULED TYPES ARE UNAVAILABLE, AND FOLLOWING INSTALLATION, ALL PLANT SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLACEMENT OF ORDERS.
 - LANDSCAPE ARCHITECT SHALL INSPECT AND APPROVE ALL PLANT MATERIAL AT TIME OF DELIVERY AS WELL AS AFTER INITIAL PLACEMENT PRIOR TO PLANTING. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT 48-HOURS PRIOR TO DELIVERY.
 - PLANT LOCATIONS TO BE REEVALUATED AND REVISED, IF NECESSARY, AFTER FINISHED GRADING.
 - MULCH IN PLANTERS AND PLANTING BEDS TO BE CLEAN AND FREE FROM PEST AND DISEASES. MULCH SHALL BE APPLIED TO A 2-INCH DEPTH. MULCH RINGS 24-INCHES MIN. IN DIAMETER ARE TO BE PLACED AROUND ALL TREES NOT LOCATED IN PLANTING BEDS. MULCH TO BE DOUBLE-SHREDDED HARDWOOD.
 - CONTRACTOR TO VERIFY ALL QUANTITIES BETWEEN PLAN AND PLANT LIST AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT IMMEDIATELY PRIOR TO ORDERING.
 - ALL PLANTINGS SHALL HAVE A MINIMUM HEIGHT OF EIGHTEEN (18) INCHES WHEN PLANTED. PLANTINGS SHALL BE EVENLY SPACED IN A ROW, AT INTERVALS SUFFICIENT TO ALLOW FOR THEIR HEALTHY GROWTH AND DEVELOPMENT.
 - TOTAL STREET TREES REQUIRED: 14
TOTAL STREET TREES PROVIDED: (14) PROPOSED STREET TREES
NO TREES TO BE MAINTAINED BY THE CITY OF CHARLOTTEVILLE
 - FIVE LARGE STREET TREES SHALL BE PLANTED WITHIN A PLANTING STRIP WITH A MINIMUM OF 8' WIDE, AND SOIL VOLUME OF 900 CF PER TREE, WITH A SPACING OF 30' MIN.



REVISIONS	
DATE	REVISION DESCRIPTION
4/19/22	SITE PLAN AMENDMENT #3



COLLINS ENGINEERING
 200 GARRETT STREET, SUITE K - CHARLOTTEVILLE, VA 22902 - 434.293.3719

PROJECT
 10th & HIGH STREET - FINAL SITE PLAN AMENDMENT #3

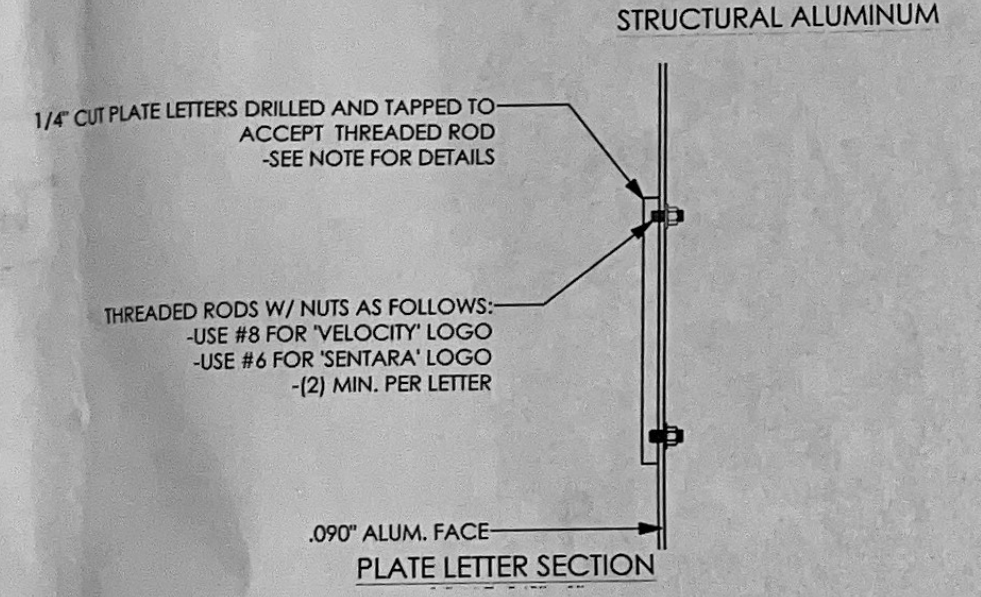
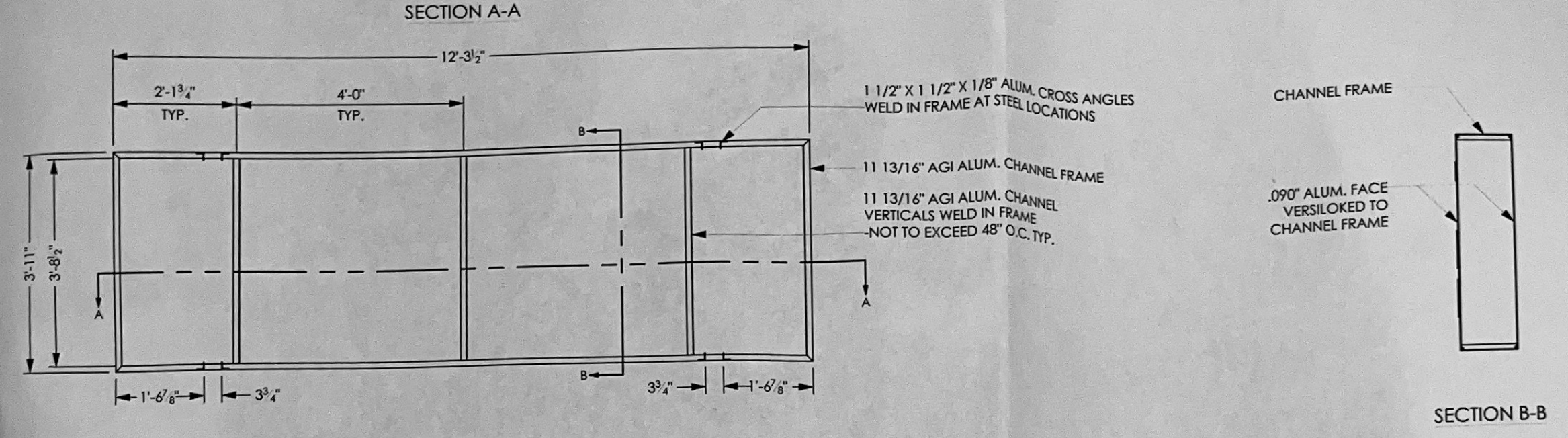
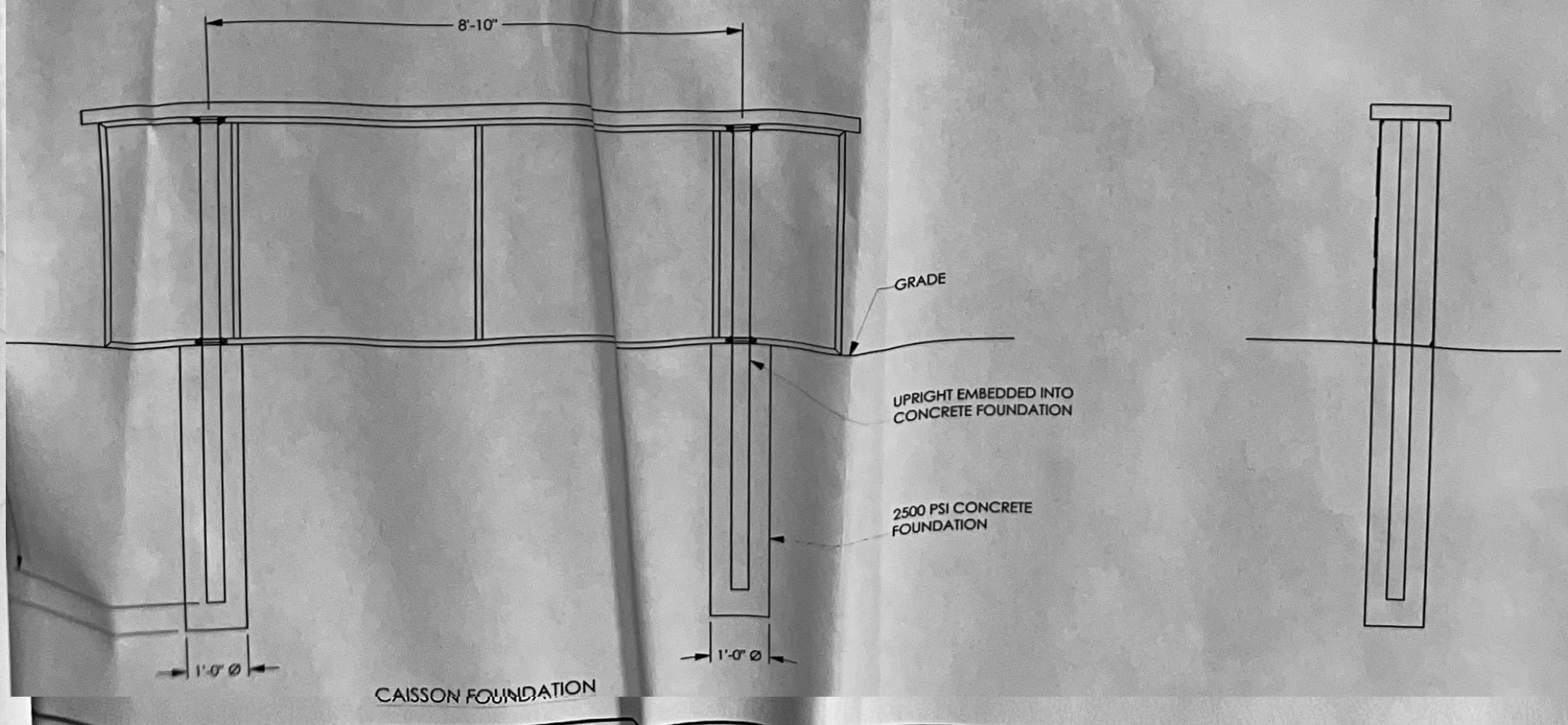
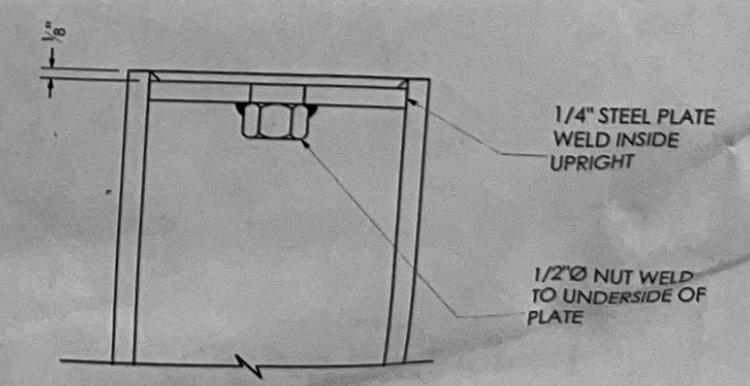
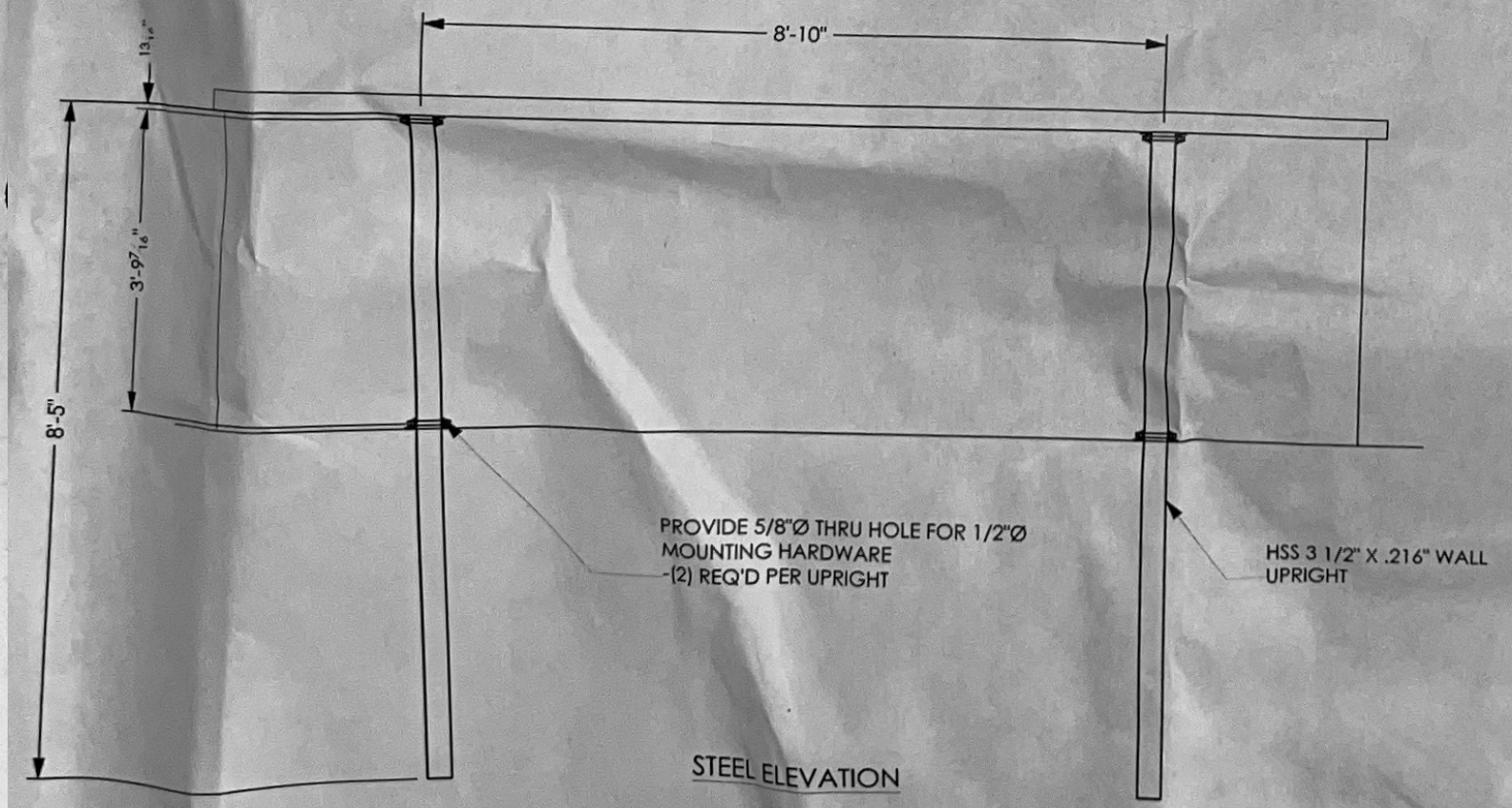
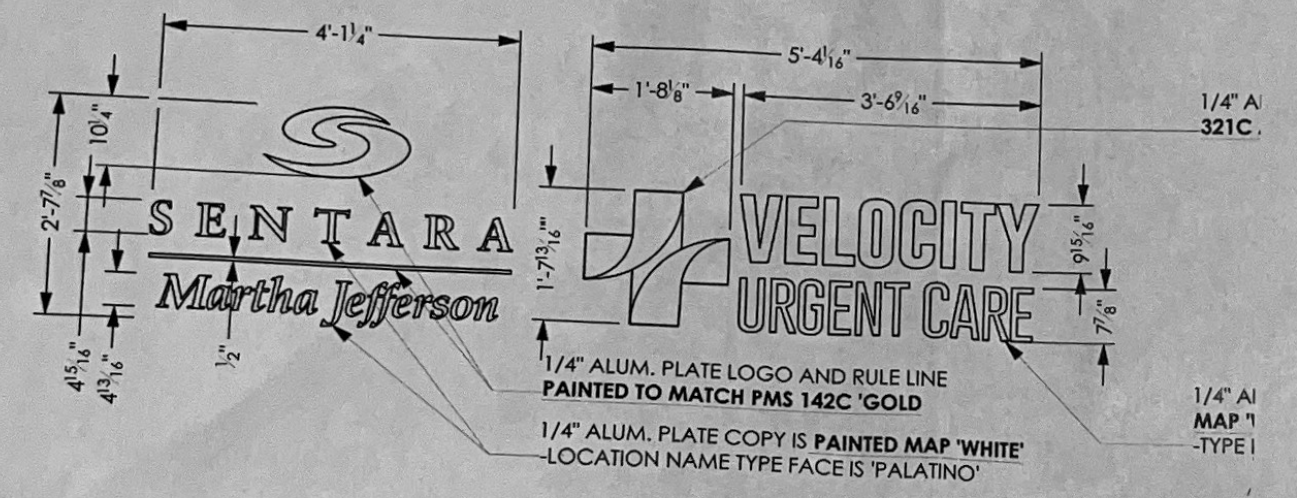
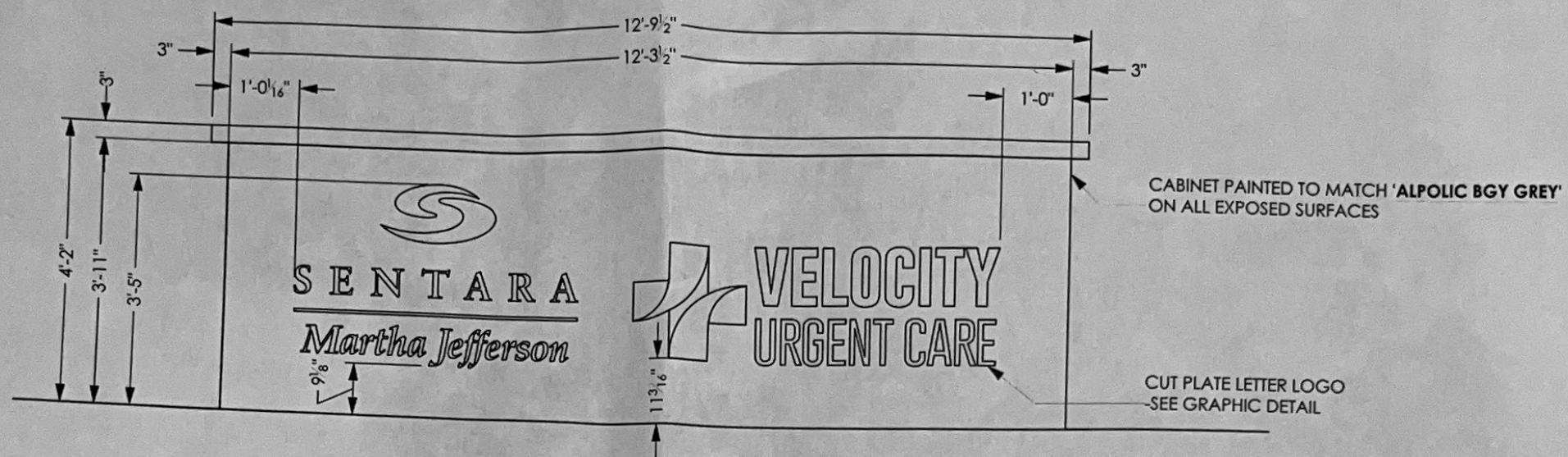
LANDSCAPING PLAN

JOB NO.
 172129

SCALE
 1" = 20'

SHEET NO.
 7

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To whom it may concern,

It is my professional opinion that the new sign foundation design and placement as outlined in the email sent by Chris Lokama on 4/5/2022 and 4/7/2022 respectively is safe for the Sugar Maple located at the corner of East High Street and Tenth Street NE. The agreed upon work by Bartlett tree Experts will further reduce damage and health risk to the tree. Please feel free to contact me with any questions or concerns.

Sincerely,

James Walker

James Walker
Board Certified Master Arborist, MA 4867B
B.S. Forestry, Virginia Tech

REVISIONS

REVISION DESCRIPTION	DATE
SITE PLAN AMENDMENT #3	4/19/22

COLLINS ENGINEERING
200 GARRETT STREET, SUITE K - CHARLOTTESVILLE, VA 22902 - 434.293.3719



10th & HIGH STREET - FINAL SITE PLAN AMENDMENT #3
SIGN DETAILS

PROJECT: 172129
JOB NO: 172129
SCALE: NONE
SHEET NO: 17

East High Street Entrance Corridor

(from EC Design Guidelines)

http://weblink.charlottesville.org/public/0/edoc/793363/5_Chapter%20V%20Maps%20of%20Corridors_ERB.pdf

Overall Description

High Street is the traditional downtown entry corridor from I-64 and Route 250 east and the growth areas of the eastern part of Albemarle County. Its character changes as one goes up the hill west towards downtown. The lower parts of the corridor have older, small retail and auto-oriented service establishments with no streetscape improvements. Small scale dwellings begin at Gillespie Street and continue up the hill. Older, larger and more historic residences dominate the closer one gets to the downtown. Newer medical office infill structures are mixed in with residences along much of this section of the corridor due to the proximity of Martha Jefferson Hospital.

Positive Aspects

- Hillside corridor provides views and vistas
- Proximity of Rivanna River offers opportunities for new, more intense uses
- Older residential sections provide transition to downtown historic districts

Vision

The southeast side of High Street from Long Street to the light at Meade Avenue shares similar characteristics with the Long Street corridor. Properties here have potential to be redeveloped at an urban scale with shallow setbacks, higher density, and mixed uses. The natural character of the river should be preserved, and riverfront properties may incorporate the river as a site amenity. Future infill and redevelopment on the northwest side of High Street from Riverdale Drive to Locust Avenue and on the southeast side of High Street from Meade Avenue to 10th Street should complement the smaller scale of the abutting residential neighborhoods on either side. The retail areas of this part of the corridor will continue to provide basic service-business functions until redeveloped into a mix of uses including residential. This area may be considered for nearby offsite or shared parking in the future, due to the small parcel sizes and convenience to transit and the downtown area. From Locust Avenue to Market Street there will be opportunities for denser development. The area surrounding Martha Jefferson Hospital is a potential historic district. A pedestrian environment should be encouraged along the entire corridor with sidewalks, landscaping and transit stops.

Sub-Area C: 9th Street from High to Market Street

Description

Ninth Street between High and Market Streets delineates the northern edge of the central downtown area. Gas stations are located at both ends of the corridor. Early-twentieth-century residences converted to professional use for either the adjacent court complex or Martha Jefferson Hospital are intermingled with offices and banks of more recent construction.

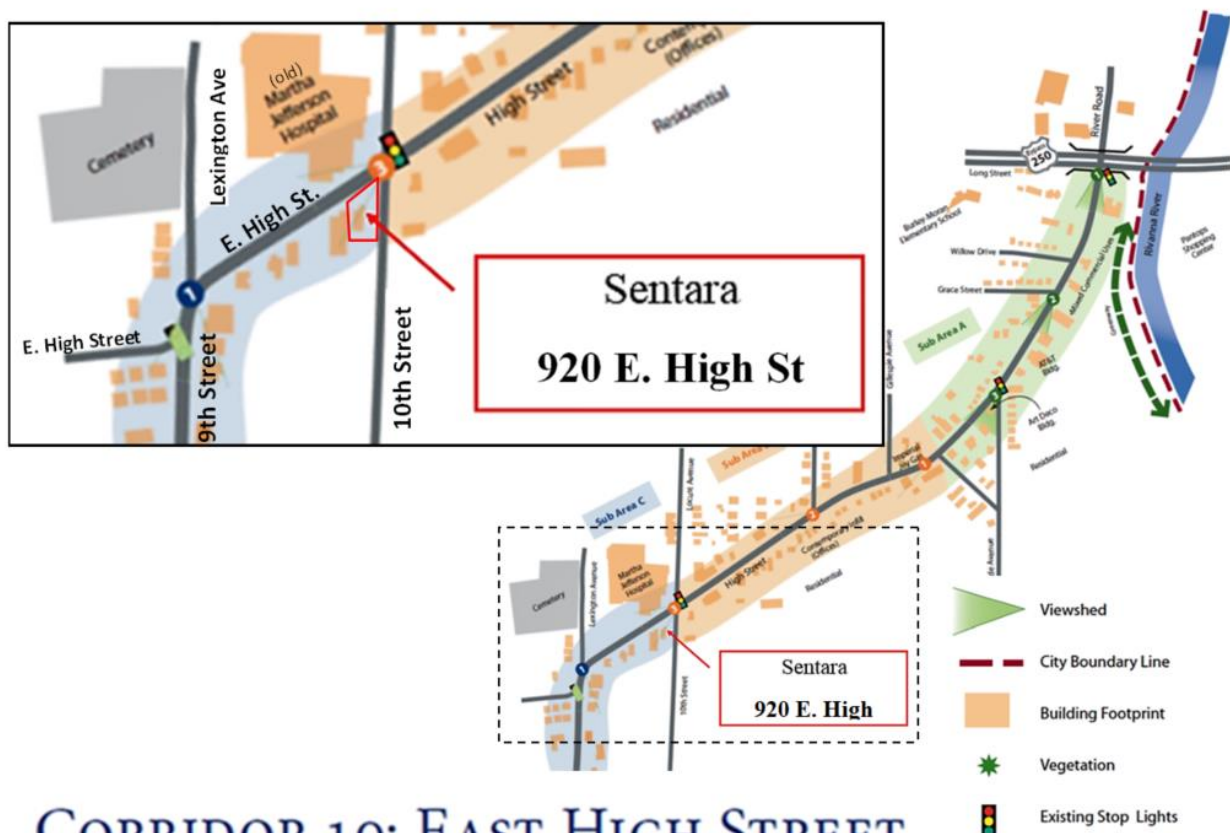
- *Streetscape*: Mixed-use, mixed-scale, mixed-setback, concrete median, 4 lanes, overhead utilities, cobra-head lights, concrete sidewalks.
- *Site*: Parking in front of several structures, large trees on private sites, some edge landscaping, mixed private site lighting. Tree planting and consistent sidewalks in this area have started to create a more pedestrian-oriented environment.
- *Buildings*: 1-3 stories, several older residences, 2 gas stations.

Recommended General Guidelines

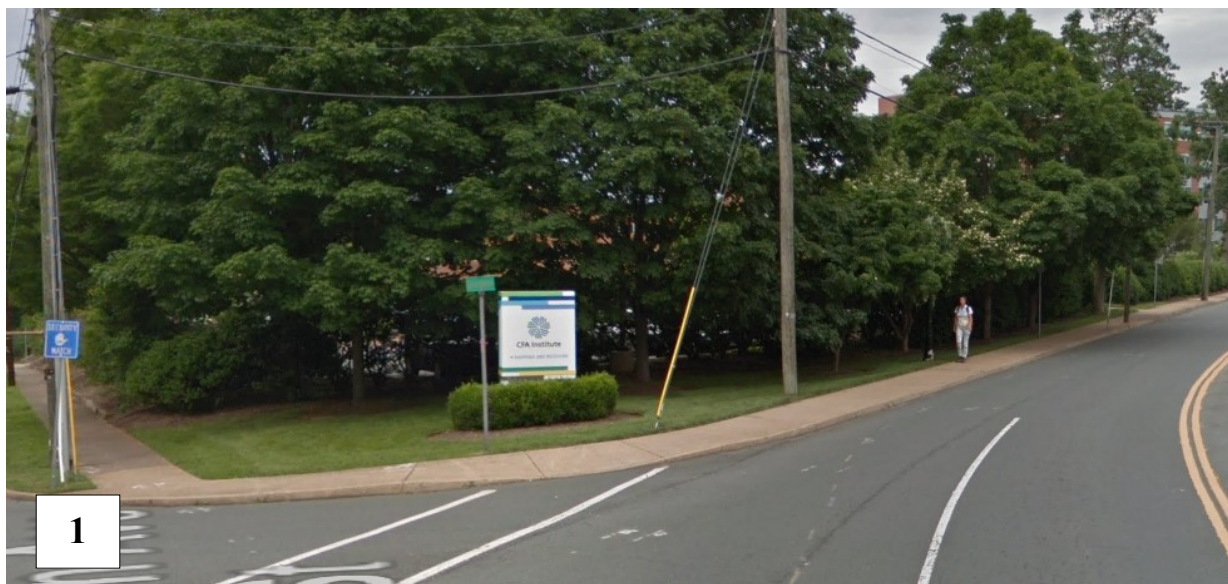
- Provide streetscape improvements to give this section of corridor better definition as it meets the downtown
- Improve edge conditions of site with plantings
- Relate new infill architectural design more to existing character of older buildings

Guidelines Specific to the Zoning

North Downtown Corridor: The Downtown North Corridor district is the historic center of the City of Charlottesville and contains many historic structures. In more recent years, this area has also developed as the heart of the city’s legal community, including court buildings and related law and professional offices, and commercial and retail uses supporting those services. Within this area, residential uses have been established both in single-use and in mixed-use structures. Many former single-family dwellings have been converted to office use. The regulations for this district are intended to continue and protect the nature and scale of these existing patterns of development.

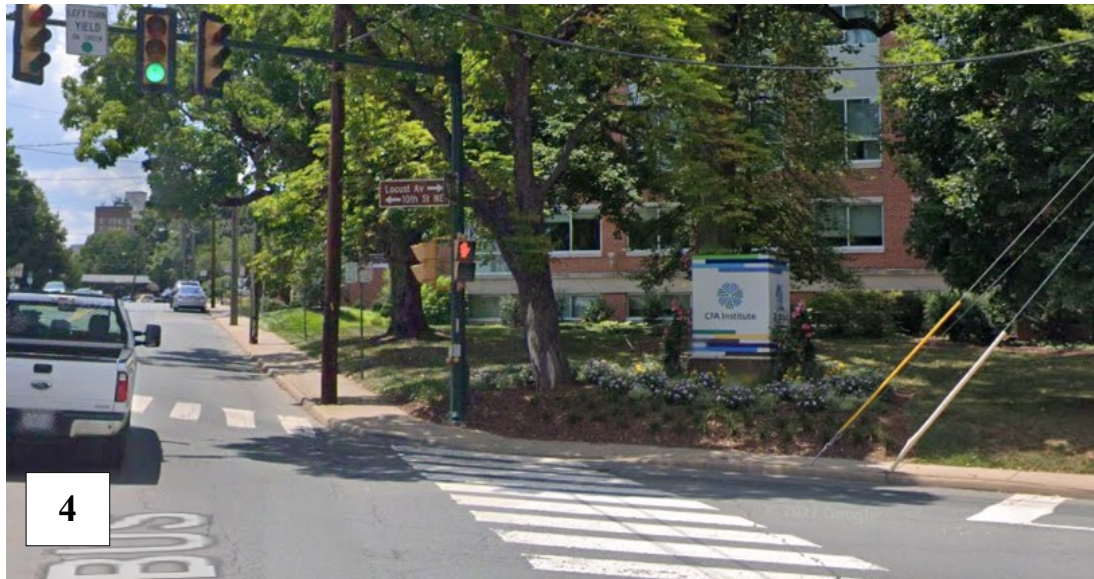


CORRIDOR 10: EAST HIGH STREET





3



4



5



6



7



8



9



10