

Agenda

PLANNING COMMISSION REGULAR DOCKET TUESDAY, July 10, 2018 at 5:30 P.M. CITY COUNCIL CHAMBERS

I. **Commission Pre-Meeting (Agenda discussion(s))**

Beginning: 4:30 p.m.

Location: City Hall, 2nd Floor, NDS Conference

II. **Commission Regular Meeting**

Beginning: 5:30 p.m.

Location: City Hall, 2nd Floor, Council Chambers

A. **COMMISSIONERS' REPORTS**

B. **UNIVERSITY REPORT**

C. **CHAIR'S REPORT**

D. **DEPARTMENT OF NDS**

E. **MATTERS TO BE PRESENTED BY THE PUBLIC NOT ON THE FORMAL AGENDA**

F. **CONSENT AGENDA**

(Items removed from the consent agenda will be considered at the end of the regular agenda)

1. Minutes – May 8, 2018 – Pre- meeting and Regular meeting

III. **JOINT MEETING OF COMMISSION/ COUNCIL**

Beginning: 6:00 p.m.

Continuing: until all public hearings are completed

Format: (i) Staff Report, (ii) Applicant, (iii) Hearing

1. **ZM-17-00004 - 1206 Carlton Avenue** – Justin Shimp (Shimp Engineering) on behalf of Chris Hulett (owners of 1206 Carlton Ave) has submitted a rezoning petition for 1206 Carlton Avenue (Subject Property). The rezoning petition proposes a change in zoning from the existing R-2 Two-family Residential to R-3 Multi-family with proffered development conditions. The proffered development conditions include: (i) **affordable housing:** one unit will be designated affordable and will rent at a rate set by HUD home rents, making the unit affordable to those with income of up to 80% AMI for a period of not more than 10 years, (ii) **building height:** no building on the site shall exceed 35' in height from grade. The Subject Property is further identified on City Real Property Tax Map 57 Parcels 127. The Subject Property is approximately 0.26 acres. The Land Use Plan calls for Low Density Residential. The Comprehensive Plan specifies density no greater than 15 units per acre. Information pertaining to request may be viewed online at <http://www.charlottesville.org/departments-and-services/departments-h-z/neighborhood-development-services> or obtained from the Department of Neighborhood Development Services, 2nd Floor of City Hall, 610 East Main Street. Persons interested in this rezoning petition may contact Matt Alfele, City Planner by email at (alfelem@charlottesville.org) or by telephone (434-970-3636).
2. **SP17-00008 - 1206 Carlton Avenue** – Justin Shimp (Shimp Engineering) on behalf of Chris Hulett (owners of 1206 Carlton Ave) has submitted an application seeking approval of a Special Use permit (SUP) for 1206 Carlton Avenue (Subject Property). The SUP application proposes increasing the density from a By-Right 21 Dwelling Units per Acres (DUA) to 24 DUA (per City Code Section 34-420) and adjusting the southeastern side setback from 10' to 8' (per City Code Section 34-162(a)). The applicant is requesting a rezoning (see petition ZM-17-00004) and a SUP to build a 6 unit apartment. The Subject Property is further identified on City Real Property Tax Map 57 Parcels 127. The Subject Property is further identified on City Real Property Tax Map 57 Parcels 127. The

Subject Property is approximately 0.26 acres. The Land Use Plan calls for Low Density Residential. The Comprehensive Plan specifies density no greater than 15 units per acre. Information pertaining to request may be viewed online at <http://www.charlottesville.org/departments-and-services/departments-h-z/neighborhood-development-services> or obtained from the Department of Neighborhood Development Services, 2nd Floor of City Hall, 610 East Main Street. Persons interested in this rezoning petition may contact Matt Alfele, City Planner by email at (alfelem@charlottesville.org) or by telephone (434-970-3636).

IV. COMMISSION’S ACTION ITEMS

Continuing: until all action items are concluded

1. Entrance Corridor Review Board
 - a. Seminole Square Shopping Center

V. FUTURE MEETING SCHEDULE/ADJOURN

Tuesday, July 17 & 31, 2018 – 5:00 PM	Work Session	Comprehensive Plan
Tuesday, August 14, 2018 – 4:30 PM	Pre- Meeting	
Tuesday, August 14, 2018 – 5:30 PM	Regular Meeting	<u>Entrance Corridor</u> - Lexington Avenue and East High Street - Tarleton Oak <u>Entrance Corridor SUP recommendation</u> - 140 Emmet <u>Special Permit</u> – 140 Emmet Street <u>Zoning Text Amendments</u> –Temporary Construction Laydown and Temporary Parking Areas (initiated June 12, 2018) <u>Minutes</u> – April 24, 2018 – Work Session, June 12, 2018 - Pre- meeting and Regular meeting

Anticipated Items on Future Agendas

Zoning Text Amendments –Off-street parking facilities requirements along streets designated as “framework streets” (initiated May 8, 2018) Temporary Construction Laydown and Temporary Parking Areas (initiated June 12, 2018)
SUP –MACAA (1021 Park Street), 167 Chancellor Street
Rezoning and Special Permit - 918 Nassau Street (Hogwaller Farm Development)
PUD - ZM18-00002- 1335, 1337 Carlton Avenue (Carlton Views PUD)
513 Rugby Road

Persons with Disabilities may request reasonable accommodations by contacting ada@charlottesville.org or (434)970-3182

PLEASE NOTE: THIS AGENDA IS SUBJECT TO CHANGE PRIOR TO THE MEETING.

PLEASE NOTE: We are including suggested time frames on Agenda items. These times are subject to change at any time during the meeting.

**LIST OF SITE PLANS AND SUBDIVISIONS APPROVED ADMINISTRATIVELY
6/1/2018 TO 6/30/2018**

- 1. Preliminary Site Plans**
- 2. Final Site Plans**
 - a. William Taylor Plaza PUD Phase II– June 28, 2018
- 3. Site Plan Amendments**
- 4. Subdivision**
 - a. BLA – Carlton View II Apartments (TMP 56-43.1 & 43.2) - June 5, 2018

Minutes
PLANNING COMMISSION REGULAR DOCKET
TUESDAY, May 8, 2018 – 5:30 P.M.
CITY COUNCIL CHAMBERS
NDS Conference Room

I. Commission Pre-Meeting (Agenda discussion(s))

Beginning: 4:30 p.m.

Location: City Hall, 2nd Floor, NDS Conference

Members Present: Chairman Lisa Green, Commissioners John Santoski, Genevieve Keller, Jody Lahendro, and Taneia Dowell

Members Absent: Lyle Solla-Yates

Chair Green called the meeting to order at 5:00pm and Ms. Creasy provided an overview of the agenda. Commissioner Keller asked for a refresher on the protocols for PUDs and that information was provided.

Brian Hogg asked about the BAR approval for 167 Chancellor Street. Ms. Creasy stated that as this is an item for preliminary discussion this evening, this a good time to provide feedback.

Chair Green asked if there were any questions on 227 Brookwood. Commissioner Keller wanted to make sure there was a safety plan for the site as well as a plan for drop off and pick up. Chair Green wanted clarity that any future owner who would use the family day home permit would be appropriately licensed. Ms. Robertson noted that the requirements have some exemptions on licensure requirements so the wording would need to take that into account.

Commissioner Keesecker asked if the 10th Street façade could be considered as part of the EC as he has concerns about the wall of the garage. It was noted it could.

II. Commission Regular Meeting

Beginning: 5:30 p.m.

Location: City Hall, 2nd Floor, Council Chambers

Members Present: Chairman Lisa Green, Commissioners Genevieve Keller, Jody Lahendro, Kurt Keesecker, John Santoski, and Taneia Dowell

Members Absent: Lyle Solla-Yates

COMMISSIONERS' REPORTS

Commissioner Lahendro: reported he did not attend the April 19th 2018 PACC TECH meeting because he was out of town but was able to obtain the minutes. There were three items presented: 1) the UVA athletics master plan update was discussed as well as a draft phasing of the different athletic projects; 2) the County presented an update on the Three Notched Trail planning; and 3) there were project updates by each agency representatives. Mr. Hogg was at the meeting and may have something else to add. He also reported the HAC Allocations Committee met on April 26th and were reviewing the affordable housing fund application process. We are working to simplify the application process, to provide greater flexibility, and implement a committee selection process that includes affordable housing representatives. The Tree Commission met on May 1st which he had to miss that because we gave our Comprehensive Plan public presentation that night.

Commissioner Keller: no report

Commissioner Keesecker: reported he attended the Hydraulic and 29 Steering Committee meeting on April 12, 2018 to talk over some details related to the Hydraulic and 29 plan. This is after the day that the Planning Commission had endorsed the Small Area Plan in general so the foundation of that plan is consistent in moving forward but with the consultants continuing to explore options at various 'pinch points' on the edges of the work area, for instance trying to improve the right hand northbound lane from Hydraulic to 29. They considered an option for taking 2 lanes west bound under Hydraulic and under 29 to improve that flow; discussed the interface of Hydraulic and Brandywine and the stretch that moves around that curve; discussed some options to review for bike lane options and connectivity at the 29/Hydraulic

intersection proper and in the end the committee recommended that consultants look further at an option that connected all 4 quadrants at that intersection for bike/pedestrian.

On April 18th he attended the Emmet Streetscape meeting which was the initial kickoff meeting where the consultants provided their observations of the existing conditions. They presented a brief overview of the study process, timeline, and goals based on the Smart Scale application provisions. The team anticipates a visioning process with three principles, complete street, safety, and beautification of the corridor. This study runs from Ivy Road to Arlington and Emmet Street. He said there was a group discussion on how to resolve one of the major questions that the team will have to address which is how to move the multimodal trail on the stretch of Emmet through the pinch point where the train trestle is. There is an existing very narrow area so there is some discussion of a tunnel. He reported on another Hydraulic and 29 meeting on April 26th which he did not attend but a discussion was held regarding how to package the different projects within the work area into an application for Smart Scale. He recalled the study area included eight projects and not all could be funded at once so there was some discussion about what combination of those would be put forward and when. We got an email from Mr. Emory that it was a pleasure to see how quick the Hydraulic and 29 plan came together and how it might have benefitted other parts of the city if those had been undertaken at different times; but it hasn't been that quick because they met for about 15 months and met every two weeks. It has been a fairly concerted effort and the VDOT staff has done a super good job organizing it in a way to keep it moving.

Commissioner Santoski: no report

UNIVERSITY REPORT, Brian Hogg: reported that May 17th is the PACC meeting and at that meeting the University of Virginia Foundation will be presenting their plans for demolishing the Cavalier Inn and beginning clearing for the Ivy Corridor site. My colleague, Michael Joy will present an update on the Athletics Master Plan. At the June Board of Visitors meeting there will be several items on the Buildings and Grounds Committee's agenda: The design of the Ivy Mountain Musculoskeletal Center will be presented for final approval. It is just over the City line in the County and it will be replacing the Kluge Children's Health Center. The designs of the proposed addition and renovation of Alderman Library, of the new Softball complex, and of the new Student Health building (the next project on the east side of Brandon Avenue) will all be presented to the Buildings and Grounds Committee for review.

CHAIR'S REPORT, Lisa Green: reported she did not have any meetings this month. The Citizen Transportation and Advisory Committee will meet on the 16th of May, 7:00 pm at Water Street Center. The East High Streetscape Project does not have another meeting set as of yet but she encourages you to go to East High Streetscape.org and take the survey and let your voice be heard. This is an add on to the Belmont Bridge as part of Smart Scale funding to have the project extend all the way to 10th Street past the bridge. The Emmet Street project meeting is May 12th at the Cavalier Inn from 9:00 am to 11:00 am. This is a citizen information meeting and there is a walking tour beginning at 11:00.

DEPARTMENT OF NDS Missy Creasy: reported we have two Comprehensive Plan meetings this week, one on Thursday from 12:00 noon to 2:00 pm. at City Space and one on Saturday from 10:00 until 12:00 at the Central Library in the McIntire Room on the third floor. These are two of the four that we have scheduled for the month of May for citizen participation for the Comprehensive Plan to gather feedback on the different chapters as well to gather feedback on the draft map that the Planning Commission has put together. The next meeting is May 29th in the Belmont neighborhood in the evening. Following the meetings the Planning Commission will be working with the comments received and providing updates to materials moving forward through the Comprehensive Plan process. The Commission has a work session scheduled on the 22nd on the calendar that doesn't have a specific topic to it and wondered if you had a topic and/or would like to take a break since we do have four meetings this month.

Commissioner Keller moved to dispense with the May 22nd work session, seconded by Commissioner Santoski, motion passes 5-0.

MATTERS TO BE PRESENTED BY THE PUBLIC NOT ON THE FORMAL AGENDA – no speakers present

CONSENT AGENDA (Items removed from the consent agenda will be considered at the end of the regular agenda)

No vote was taken on the consent agenda. Items will be forwarded to the next meeting.

Vice Mayor Heather Hill gaveled in City Council

III. JOINT MEETING OF COMMISSION/ COUNCIL

Beginning: 6:00 p.m.

Continuing: until all public hearings are completed

Format: (i) Staff Report, (ii) Applicant, (iii) Hearing

SP18-00006 - 227 Brookwood Drive – Landowner Diane Anderson has submitted an application pursuant to City Code 34-420, seeking approval of a Special Use Permit (SUP) for this property to authorize a Family Day Home for up to eight (8) children on the Subject Property

Matt Alfele provided the staff report.

Chair Green opened the public hearing. There were no speakers so she closed the public hearing

Commissioner Keller moved to recommend approval of this application for a Special Use Permit for the subject property in the R-1S zone to permit a Family Day Home with the following listed conditions.

- a. Limiting the number of children to a maximum of eight (8).
- b. Limiting operation hours from 7:00am to 5:30pm.
- c. That there be on file with the City a plan for the drop off and pick up of children exiting and entering cars and that it be provided annually to all of the parents whose children are attending this facility and as a new child joins it be provided to that family as well.
- d. A requirement for state licensure as required.

Seconded by Commissioner Keesecker, motion passes 5-0.

ZM18-00002- 1335, 1337 Carlton Avenue (Carlton Views PUD)- Hydro Falls, LLC, Carlton Views I, LLC, Carlton Views II, LLC, and ADC IV C' ville, LLC (landowners) have submitted an application pursuant to City Code 34-490 et seq., seeking a zoning map amendment to change the zoning district classifications of the following four (4) parcels of land: 1335 Carlton Avenue (Tax Map 56 Parcel 430), 1337 Carlton Avenue (Tax Map 56 Parcel 431), Tax Map 56 Parcel 432, and Tax Map 56 Parcel 433.

Report by Matt Alfele:

Fountainhead Properties has asked to rezone four parcels of land to the “planned unit development” category, which allows for customized rules for specific sites. Two buildings have already been constructed and a third is nearing a groundbreaking. The rezoning request is part of a larger development that started back in 2012. The first phase of the development was the completion of the by-right Blue Ridge PACE Center. He said this January, the Planning Commission approved a site plan for a third phase known as Carlton Views II. This calls for 48 units and is moving forward in part because Council authorized the spending of \$1.44 million from the Charlottesville Affordable Housing Fund.

Scott Collins, Civil engineer: represented Fountainhead before the Planning Commission. He understood the concerns about the PUD process but said the approach was taken to expand the possibility of more affordable housing within city limits. He stated we’re actually building on a very successful project and it looks great and has been well received in the community. This is really providing something for the community that Charlottesville doesn’t have. It’s providing for a campus style development that provides accessible and affordable housing next to an amenity that is set up to provide services for residents within a walkable area.

Stacy Pethia Housing Coordinator: said the first two residential buildings were financed with low-income housing tax credits which are received through the Virginia Housing and Development Authority. They have already signed agreements clarifying that those units will be affordable for 30 years. Fountainhead could only build four housing units on the remaining land by-right. The rezoning would increase the residential density on the entire site from 21 to 32 dwelling units per acre. Ms. Pethia said Fountainhead has contacted her to request additional funding for the third residential

building. That will require the rezoning to be granted in order to qualify for the low-income housing tax credits from the VHDA.

Commissioner Santoski: said he has grown wary of the planned unit development (PUD) mechanism.

He noted that we've had it happen in the past that when we've looked for PUD documents, most recently thinking about the one out on 5th Street, there was a lack of documentation within the public files about what exactly that document was. He was referring to the Beacon on 5th Street, a recently constructed apartment complex built by Riverbend Development. Council approved a PUD rezoning for the project in March 2004 but it wasn't constructed until over a dozen years later. Commissioner Santoski expressed concern that if the rezoning took place now and the development was not built, the development could be out of synch with changes that might come in the current review of the Comprehensive Plan.

Mr. Alfele: said he is aware of that frustration but that Fountainhead's application laid out expectations for the future. He pointed out how they provided a really good document so that if someone in ten years comes along they would have this document and would really know what they can and cannot do on this parcel. That has not always been the case.

Commissioner Lahendro: said he was also skeptical of using the PUD method in this case. He felt that we're not getting the real benefit of a PUD when two-thirds of the site has already been decided upon and the third that's left is at the opposite end of the site.

Open the Public Hearing

Mark Kavitt: said he is in favor of seeing more affordable housing done if it is really affordable housing. Until last week he was employed at Blue Ridge PACE Center and is familiar with this piece of property and had been following this matter for quite some time but he had been told to really not discuss much and keep my mouth shut which I don't have to worry about that now. His main concern is parking, and the site line from the street with cars going back and forth as well as entering and exiting the street. The parking lot beside PACE is used 100% by PACE. They are now using street parking in addition to the front of the building and a little bit up the hill. He saw an initial plan sometime back on the parking area that made it look like it was over where the dumpsters are and that is totally not true. They are using the entire space and they are still growing. There are about 25 JAUNT buses that come into PACE in the mornings and 25 that go out in the evening. With cars parked on the street you are not able to see the distance going up the hill on both sides while turning. We could really use some affordable housing for seniors. He feels that more research needs to be done on this project and more details in the plans as well that addresses some of the concerns that have been brought up tonight.

Bill Emory: a resident of Woolen Mills neighborhood said he was also opposed to the project. This development as initially designed spread out across the 4.8 acres at 21 DUA which allowed for focusing on the well-being of the residents vis a vis recreation and open space. Bumping up the density will come at the residents' expense. The Planning Commission understands but the general public might not understand that there is no different zoning for rich and poor, there is no special Hogwaller lens that changes the scope of review in this matter to "This is good enough for where it is going, this is good enough for who it is for". I have faith that the ten PUD objectives and the Zoning Map Amendment requirements will be evaluated here exactly as you would evaluate them if this rezoning was in a higher income portion of the City. The meaning of "not complying with the Land Use Map" is as significant here as it would be on Dairy Road. I wish you all had been given the opportunity for a work-session as you often do with PUD applicants. There are questions and concerns that could have been addressed with the developer in such a format, these include: The former SUP conditions regarding maximum number of bedrooms and fifty foot height limit which have not been carried forward. The lack of innovative arrangement of buildings and open space. The lack of the higher quality which is possible through PUD zoning. Is this a cohesive unified project? What percentage of the current residents are working for PACE or are PACE clients? Will the pedestrian linkage between buildings A, Carlton Views II, and the PACE Center actually come to pass? Instead of having to walk out in the street or take the JAUNT bus. Can it be required? Where is the Carlton Views II open space? (Parcel A) Generally, the quality of the open space is minimal. It is not usable for recreation, much of it is not accessible to the elderly. Where is the variety of housing types? Where is the mix of incomes? What employment or stores exist near this proposed residential density? Why would we locate the economically vulnerable people in an area with no services within walking distance? Westhaven is walkable, South 1st Street is walkable, and this neighborhood is not.

What is improved by changing from M-I with an SUP to PUD? Staff finds the only substantial and realistic change the rezoning to PUD will achieve is an increase in residential density.

The code, the PUD objectives, should lead to quality like Timberlake Place rather than quantity, people warehouses floating on asphalt, like this. The PUD ordinance allows a developer to build a neighborhood, this doesn't make the cut.

Rachel Vigor: a current resident of the existing Carlton Views said the quality of life in the building is not high. She said there's general frustration with the apartment. She said people experience it as being hastily built and not built right and things such as broken dishwashers, the sliding doors for balconies being too heavy to move, doors closing on people as they enter or exit their apartments. Ms. Vigor said management is lacking and people are asked to go to another apartment complex on Prospect Avenue if they have complaints. She added she cannot afford to live there and will be moving out soon.

Closed the Public Hearing

Mr. Collins: rebutted stating the plan is conceptual at this time. He also said that as more units come on line there would be more on-site management staff. Most apartment complexes, if it's anywhere below 100 units, it's very typical to find the leasing offices and staffing off-site because they do it from another place.

Commissioner Keller: said for all of the specificity of this, there's still a good number of details and questions that remain unanswered for instance, she wanted to see a diagram depicting how people would be able to walk and circulate around the entire community. She said we want these to be very good and livable and successful communities. She commented that maybe a little more time to address some of these questions would result in a better community and a better PUD.

Lisa Robertson, Interim City Attorney: pointed out of that if the item was deferred, four different planning Commissioners would hear the presentation from scratch.

Mr. Collins: asked for a deferral when it appeared the Commission was going to vote to recommend denial. He had hoped for a recommendation for an approval because of the timing of getting funding to help subsidize the project.

Commissioner Santoski: said he understood that complexity. He said these things are so complicated and pull in so many different pieces of funding and it's not the developer or the agency's fault. It's so hard to grab that federal money and other local monies to make these things work.

Commissioner Lahendro moved to accept the deferral Seconded by Commissioner Keller, motion passes 5-0.

IV. COMMISSION'S ACTION ITEMS

Chair Green Gaveled out of the Planning Commission and into Entrance Corridor

Entrance Corridor Review Board - 10th Street and East High Street:

This is a certificate of appropriateness for a three-story medical office building at the corner of East High Street and 10th Street NE. The 1.1-acre property at the corner of 10th Street and East High Street is owned by Sentara Martha Jefferson Hospital. Three buildings currently on the site would be demolished. The Comprehensive Plan calls for "mixed-use" at the site and the zoning is in the Downtown North district, which would allow for the new building without further approvals from City Council.

Jeff Werner: Historic Preservation Planner, said the proposed new building is a three-story medical office building with a two-story entrance fronting on High Street and a two-story rear parking structure with 178 spaces.

Chair Green: said it goes against every single thing that we've been talking about in the design of what we're doing in this area. It's everything we're trying to go away from.

Ms. Creasy: added there are comments in the preliminary site plan that note the continued conversations and compatibility with the project and one of those changes was a request to put a pedestrian entrance on East High Street. She said staff has determined that the height, mass and scale of the building is appropriate under the entrance corridor guidelines.

Mr. Werner: said compared to existing buildings and structures fronting on East High Street this site is prominent and the proposed building's scale and materials are appropriate for a corner building. Also the large parking deck at the rear is unfortunate in terms of massing but permitted. The project's architect said he felt his team had provided a site plan and drawings that well placed the new building within its surroundings.

Mark Dignard: Innovate Architecture | Interiors: pointed out how this building embodies a tough site, a very acute angle on a corner with sloping streets that surround it. The idea is, how do we put a building there and its parking in such a way that adds to as opposed to taking away from the community and the entrance corridor. Mr. Dignard said the project will use some of the same materials and elements as at a portion of the former Martha Jefferson Hospital that now houses the CFA Institute.

Many of the commissioners felt the parking deck was not the best use of the space.

Commissioner Keller: said we need housing and we need mixed-use. One of the worst things now about downtown is the parking deck at the other medical building on East Jefferson Street. To add this one, we'd just become a wasteland.

Mr. Dignard: said from 10th street, pedestrians will only see a brick wall with planting. He said the rendering included in the application shows a white surface in the parking deck, but the actual product would look different. He said from a vehicular standpoint or a pedestrian standpoint, we've kind of hidden the cars along High Street. You get a glimpse of the entrance driveway along the side of the building to get back to the parking, but you really can't see it very well.

Commissioner Keller: said she thought the building looked like a "mini-hospital" rather than a medical office building. She feels that it just doesn't fit that corner very well, and then you add the parking deck to it and it's just an insult.

Mr. Dignard: said medical office buildings tend to be square. He explained the reason is the medical design wants you to have a nice rectilinear space to be able to lay out the space, and as you develop a project, you want to develop every square foot you can.

Commissioner Lahendro moved to deny the certificate of appropriateness because the brick wall along 10th Street was too high. They also said the pedestrian experience on East High Street would not be improved by the current application. Motion passes 4-0-1 vote; Commissioner Keesecker abstained; Seconded by Commissioner Santoski.

Entrance Corridor Review - 1000 East High Street - Ready Kids, A certificate of appropriateness for an addition at the ReadyKids building operated by Children, Youth and Family Services at 1000 East High Street.

Commissioner Keller moved to approve the certificate of appropriateness for an addition at the ReadyKids building with the staff recommendations for conditions:

1. The ERB should view material samples. Cut sheets for materials should be submitted.
2. All glass must be specified as clear, with minimum 70% visible light transmittance (VLT).
3. Signage requires separate permits. All signage shall appear to be lit white at night.
4. Rooftop mechanical equipment will be screened within appurtenance.

Chair Green Gaveled out of Entrance Corridor and back to the Planning Commission.

2. **Preliminary Discussion 167 Chancellor Street:** The applicant is seeking to amend the existing special use permit to modify the setbacks where the addition would encroach. The applicant is not seeking to increase the number of residents allowed on both properties or change the use of the special use permit; the use of Sorority/fraternity and the limit to no more than thirty-three residents would remain the same. The preliminary proposal calls for increasing the gross

square footage (GSF) of the existing building from is 3,815 GSF to 5,505 GSF with addition, pedestrian improvements including a new six (6) foot sidewalk on the east side of Madison Lane where there currently is no sidewalk, enhanced landscaping including new street trees and proposed pedestrian lights on-site.

Mr. Keesecker said on a corner condition heavily traveled basically a building with two fronts will require a fairly unique architectural solution. He said the massing has the ability to be appropriate and as a SUP the impacts of the loss of the setbacks and the improvements to the space between building and the public way to make that space more animated and better.

Chair Green: The question coming to us is the approval of the SUP and to grant a more non-conforming setback.

Commissioner Lahendro: said he objects because this violates every one of the secretary standards of rehabilitation and a façade-ostomy and using it for the back of the house and it is not a façade anymore. He said it is inappropriate for the scale and the massing for the building and the context around it.

Applicant: Chancellor is a lot more like a typical Charlottesville residential street. The front entrance is usually a bump-out dormer and residential feel. Chancellor Street was the primary street. This is the BAR submission, to face Chancellor Street as Madison Lane developed, the elevation flipped to address Madison Lane more appropriately fit.

Mr. Hogg: said St. Anthony's is perfectly symmetrical; it was neo-classical building when it started and now it's got two big neo-classical porticos. This was a Queen Ann house with porch facing Chancellor Street and this was the back of the house. The two houses at the end, 165 and 167, in fact face Chancellor Street and the reason is that this is the back yard. He said all of the other houses on Madison Lane face Madison Lane. He commented that a large portion of this addition is the big party room going onto the patio, legibly their dining room. Every fraternity in the last five years has come to the BAR or some other regulatory agency saying that we need a party room and we will put it underground so it won't be so noisy when we are on Preston Avenue near people. It's basically demolishing the south end of this house. He is not sure that your analysis of trying to fit this in to this pattern of development in this neighborhood as a variation of the setbacks is really convincing. Mr. Hogg said he doesn't think the board's discussion of the compression and release really reflects his experience on that side of the street. He also finds it interesting you are proposing a 6 foot sidewalk and he feels the sidewalk on that side of Madison lane is 3 or 4 feet.

Ms. Newmyer: said this is just a local street but it's always said if we can provide a wider sidewalks that is great.

Commissioner Santoski: said he thought it looked nice and thought the changes to it enhance the building were good.

3. Zoning Text Amendment – Mixed Use in Downtown Extended

Commissioner Keller move to initiate a Zoning Text Amendment to implement changes to the Mixed Use Zoning regulations to specify minimum gross floor area requirement that must be satisfied in order for a development to receive additional height or density. This minimum standard is 12.5% of gross floor area and would apply only in zoning districts which no different percentages specified. This amendment is proposal one endorsed by PLACE via March 9, 2018 correspondence, Seconded by Commissioner Lahendro, motion passes, 4-0-1 (Commissioner Keesecker abstained).

Commissioner Keller move to initiate the Zoning Text Amendment based off of proposal two consideration in our packet. the that within mixed use, buildings, developments and projects; off street parking facilities must meet the following requirements along streets designated as framework streets and the Streets That Work element of the Comprehensive Plan 1) within structures pertaining parking any floor at street level of a framework shall devoted to a permitted use other than parking or little to any parking use at the street level of a framework street shall be concealed from view from the framework street using linear retail residential, commercial or office space; 2) entrances to surface parking lots and structured parking lot shall be located along the framework street but shall be located along non-framework streets or alleys; 3) the surface parking lot must be located behind building and screened from the framework street with landscape elements, Seconded by **Commissioner Lahendro**, motion passes 5-0.

Ms. Robertson said she will do the report for proposal one using the same information she put in the legal audit code review and received a recommendation from the PLACE Design Task Force. This one will be ready by the June meeting. She said proposal two seems straight forward but the PLACE Task Force said there needs to be some further study to determine whether there are any problematic areas that if it were adopted as a requirement that this couldn't be accomplished.

Commissioner Keller said it has been an honor and a privilege and a pleasure to serve with you guys (Commissioner Keesecker and Commissioner Santoski) since 2009 and looks forward to seeing you in other venues. Thank you for all of your commitment, hard work, vision, chairing and vice chairing and all of those things that you both have done so well.

Meeting adjourned at 1:30

CITY OF CHARLOTTESVILLE
DEPARTMENT OF NEIGHBORHOOD DEVELOPMENT SERVICES
STAFF REPORT



APPLICATION FOR A REZONING OF PROPERTY

JOINT CITY COUNCIL AND PLANNING COMMISSION
PUBLIC HEARING

DATE OF HEARING: July 10, 2018
APPLICATION NUMBER: ZM17-00004

Project Planner: Matt Alfele
Date of Staff Report: June 25, 2018

Applicant: Shimp Engineering
Applicants Representative: Justin Shimp with Shimp Engineering, P.C.
Current Property Owner: Chris Hulett (Hulett Management Services)

Application Information

Property Street Address: 1206 Carlton Avenue
Tax Map/Parcel #: Tax Map 57, Parcel 127
Total Square Footage/ Acreage Site: Approx. 0.26 acres (11,325 square feet)
Comprehensive Plan (General Land Use Plan): Low Density Residential
Current Zoning Classification: R-2
Tax Status: Parcel is up to date on payment of taxes
Completeness: The application generally contains all of the information required by Zoning Ordinance (Z.O.) Sec. 34-41.

Applicant's Request (Summary)

On March 13, 2018 the Planning Commission held a Public Hearing for the rezoning of 1206 Carlton Avenue from R-2 Two-Family Residential to R-3 Multi-family with no proffered development conditions; and an accompanying SUP request for the same property to increase density from twenty-one (21) DUA to twenty-four (24) DUA and modify the southeast side yard setbacks from eleven point six (11.6') feet to eight (8') feet. The Planning Commission

voted four (4) to two (2) to recommend denial of the rezoning request to City Council and six (6) to zero (0) to recommend denial of the SUP.

On March 30, 2018 the applicant emailed City Council and staff a signed Proffer Statement (**Attachment A-1**) that was not included in the March 13th Public Hearing materials.

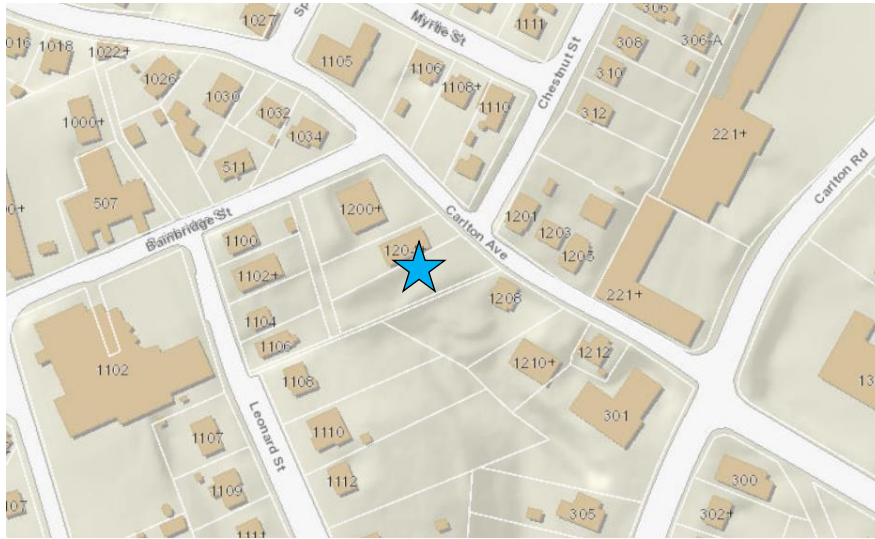
At the April 2, 2018 City Council meeting, Council referred the rezoning and SUP request back to Planning Commission for new Public Hearings based on the information within the March 30th Proffer Statement. All materials within the application are the same as presented to the Planning Commission on March 13th with the addition of the following proffer language:

1. *The proposed development does not trigger affordable housing requirements per Sec. 34-12. However, one unit will be designated affordable and will rent at a rate set by HUD home rents, making the unit affordable in those with income of up to 80% AMI for a period of not more than 10 years.*
2. *No building on the site shall exceed 35' in height from grade. This is the maximum allowable height in the low density residential districts: R-1, R-1S, and R-2.*

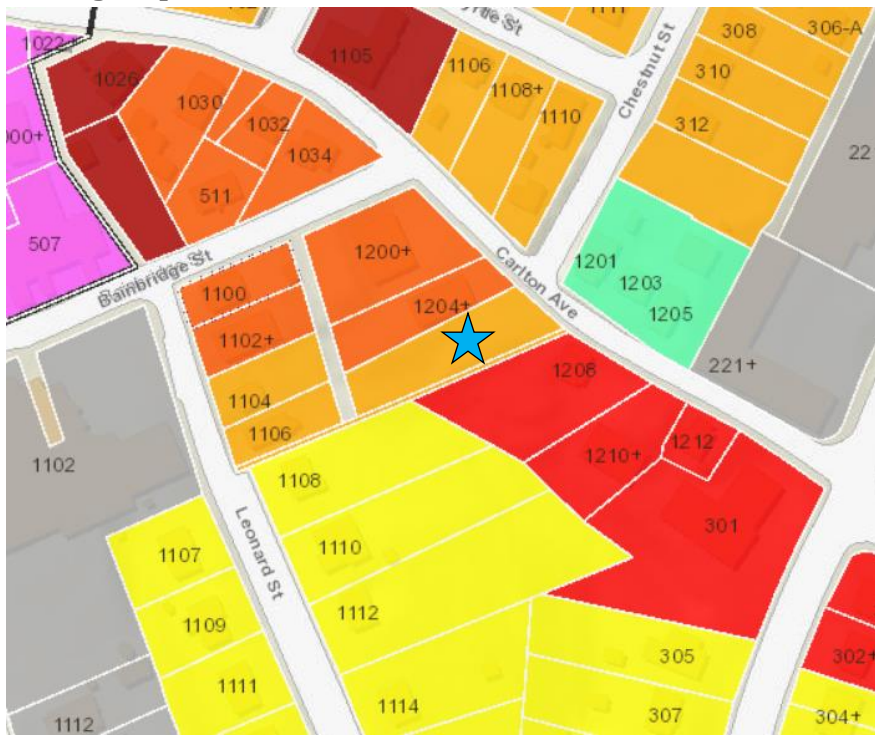
The following Staff Report has been update to include the addition of the applicant's Proffer Statement.

Justin Shimp (Shimp Engineering) on behalf of Chris Hulett (owners of 1206 Carlton Ave) has submitted a rezoning petition for 1206 Carlton Avenue (Subject Property). The rezoning petition proposes a change in zoning from the existing R-2 Two-family Residential to R-3 Multi-family with proffered development conditions. The proffered development conditions include: (i) affordable housing: one unit will be designated affordable and will rent at a rate set by HUD home rents, making the unit affordable to those with income of up to 80% AMI for a period of not more than 10 years, (ii) building height: no building on the site shall exceed 35' in height from grade The rezoning application is being requested (in conjunction with SUP application SP17-00008) to accommodate a proposed six (6) unit apartment building on the subject property that would not be permitted under the current zoning.

Vicinity Map

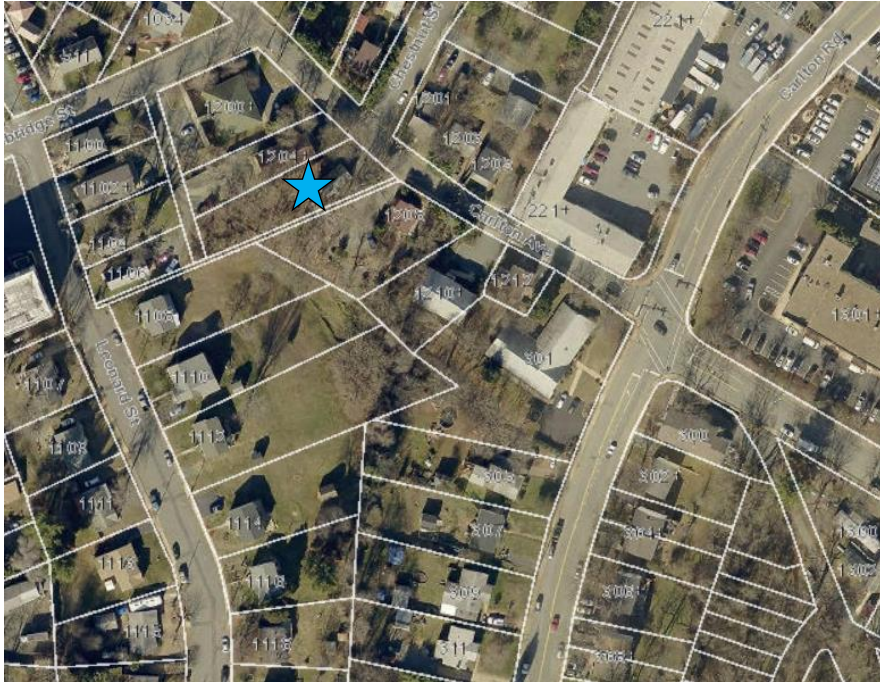


Zoning Map

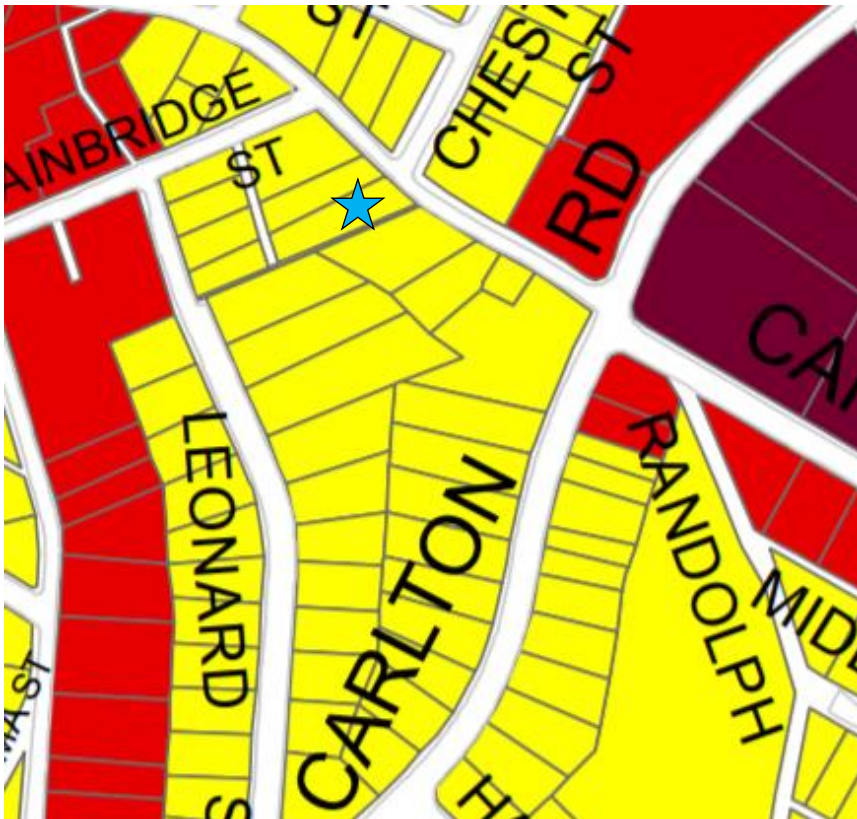


Gray: Industrial, **Light Orange:** (R-2) Residential Two-family, **Yellow:** (R-1S) Residential Single-Family, **Purple:** (NCC) Neighborhood Commercial Corridor **Red:** (B-2) Commercial, **Green:** Planned Unit Development, **Dark Orange:** (R-3) Residential Multi-family & **Dark Red:** (B-3) Commercial

2016 Aerial



2013 Comprehensive Plan Land Use Map



Yellow: Low Density Residential, **Red:** Neighborhood Commercial, & **Dark Red:** Business and Technology

Standard of Review

City Council may grant an applicant a rezoning request, giving consideration to a number of factors set forth within Z.O. Sec. 34-41. The role of the Planning Commission is and make an advisory recommendation to the City Council, as to whether or not Council should approve a proposed rezoning based on the factors listed in Z.O. Sec. 34-41(a):

(a) All proposed amendments shall be reviewed by the planning commission. The planning commission shall review and study each proposed amendment to determine:

- (1) Whether the proposed amendment conforms to the general guidelines and policies contained in the comprehensive plan;
- (2) Whether the proposed amendment will further the purposes of this chapter and the general welfare of the entire community;
- (3) Whether there is a need and justification for the change; and
- (4) When pertaining to a change in the zoning district classification of property, the effect of the proposed change, if any, on the property itself, on surrounding property, and on public services and facilities. In addition, the commission shall consider the appropriateness of the property for inclusion within the proposed zoning district, relating to the purposes set forth at the beginning of the proposed district classification.

Preliminary Analysis

The applicant is proposing to rezone the subject property from R-2 to R-3 and is congruently requesting a Special Use Permit for increased density and modified setbacks to facilitate the development of an apartment building with six (6) two-bedroom units and supporting parking. Under the current zoning the subject property could accommodate one (1) two-family dwelling. If rezoned to R-3 the subject property DUA would be:

- By-right: twenty-one (21) DUA = five (5) units on the subject property
- Special Use Permit (maximum) eighty-seven (87) DUA = twenty-two (22) units on the subject property.

The proposed development, as described in the SUP application (SP17-00008), will allow a maximum of six (6) dwelling units (0.26 acres X 24 = 6 units based on preliminary data).

Zoning History of the Subject Property

Year	Zoning District
1949	B-2 Business
1958	R-3 Multiple Dwelling District or M-1 Restricted Industrial (The 1958 Land Use Map was not parcel based and is difficult to refine beyond R-3 or M-1)
1976	R-3 Multiple Dwelling District

1991	R-3 Multiple Dwelling District
2003	R-2 Residential

Z.O. Sec. 34-42

1. Whether the proposed amendment conforms to the general guidelines and policies contained in the comprehensive plan;

a. Land Use

The applicant’s own analysis of the development’s consistency with the Comprehensive Plan, as required by Z.O. Sec. 34-41(d)(2), is provided in the Background section of the proposed rezoning application.

Staff Analysis

The Subject Property is currently zoned R-2 which is one of the most restrictive zoning categories in the City. All by-right, provisional, and special uses allowed within this zoning district are residential and related per Z.O. Sec. 34-420 and single-family attached and two-family are the most common of these uses. The 2013 Comprehensive Plan Land Use Map indicates the Subject Property remain low-density residential. The land use section of the comprehensive plan indicates all single or two-family type housing and a density less than fifteen (15) DUA is Low Density. High Density are locations with a DUA over fifteen (15) or locations with multi-family housing types (townhouses, apartment, condominiums). The applicant is requesting a rezoning of the Subject Property to R-3 residential to accommodate a higher density development. The R-3 zoning district allows a wide range of by-right, provisional, and special uses per Z.O. Sec. 34-420, but the majority of uses remain residential or related in nature. In the narrative statement the applicant is proposing a six (6) unit residential apartment building with related parking. The applicant is proposing to retain all uses permitted in the R-3 zoning district as allowed under Z.O. Sec. 34-420. The Proffer Statement (**Attachment A-1**) calls for one (1) of the units be affordable for ten (10) years. According to the land use section of the comprehensive plan, a six (6) unit apartment is considered High Density.

The Subject Property is bordered by:

Direction	Zoning District	Current Use
East	PUD (Eddins Cottages) NOT BUILT	Cluster of single family homes.
South	B-2	Residential

South	R-2	Vacant spike strip about 5' wide
West	Not Zoned	Alley leading to Bainbridge Street
West	R-2	Residential
North	R-3	Multi-family Residential

Staff finds the proposed rezoning is not consistent with the City’s future Land Use Map, but may contribute to other goals within the Land Use chapter of the Comprehensive Plan. As the subject property is centrally located to single family, multi-family, and commercial centers, a slightly higher residential density on Carlton Avenue, at this location, could contribute to Goal 2.3 (*Enhance pedestrian connections between residences, commercial centers, public facilities, amenities and green space.*) in the Land Use chapter of the Comprehensive Plan.

Although the development being proposed is consistent with surrounding uses, staff would like to point out any rezoning could have unintended consequence. Potential future development allowed in R-3 districts might not integrate into the fabric of low density neighborhoods. In addition to the rezoning request, the applicant is also submitting an application for a SUP (SP17-00008) to build an apartment building with six (6) two-bedroom units on the subject property. The proposed use in the SUP application (high density residential) is consistent with the current uses surrounding the subject property, but the rezoning application retains all uses found in the section Z.O. Sec. 34-420 Use Matrix of the zoning code. Planning Commission should consider other uses that are allowed within the use matrix (Z.O. Sec. 34-420) during review of this application. Examples of a uses allowed in the R-3 district that are not permitted with in the R-2 districts are:

- Public Health Clinic
- Bed & Breakfast
- Townhouse

b. Community Facilities

The applicant’s own analysis of the development’s consistency with the Comprehensive Plan, as required by Z.O. Sec. 34-41(d)(2), is provided in the Background section of the proposed rezoning application.

Staff Analysis

The City’s Comprehensive Plan identifies community facilities as fire protection, police enforcement, and emergency response services; public

utilities and infrastructure; and public parks and recreation opportunities. Each of these departments reviewed the Development Plan and found no impacts to community facilities.

c. Economic Sustainability

The applicant's own analysis of the development's consistency with the Comprehensive Plan, as required by Z.O. Sec. 34-41(d)(2), is provided in the Background section of the proposed rezoning application.

Staff Analysis

Staff finds no direct conflict with Chapter 3 (Economic Sustainability) of the Comprehensive Plan with a change of use from M-2 to R-3.

d. Environment

The applicant's own analysis of the development's consistency with the Comprehensive Plan, as required by Z.O. Sec. 34-41(d)(2), is provided in the Background section of the proposed rezoning application.

Staff Analysis

Staff finds uses in R-3, such as a small apartment and required parking, could increase impervious surface and stormwater runoff. Current stormwater regulations will prevent the subject property from discharging additional stormwater above current levels. The subject property is undeveloped which will require innovative design to keep stormwater at current levels. These concerns would be addressed at site plan review.

e. Housing

The applicant's own analysis of the development's consistency with the Comprehensive Plan, as required by Z.O. Sec. 34-41(d)(2), is provided in the Background section of the proposed rezoning application.

Staff Analysis

The application was reviewed by the City's Housing Development Specialist and finds the uses which could occur as part of a R-3 development, such as a small apartment building, on the subject properties could contribute to Goals 1.1, 1.2, 3.6, 8.2, & 8.5 in the Housing chapter of the Comprehensive Plan. Per Z.O. Sec. 34-12 the applicant is not required to provide on or off site affordable housing or payment into the City's Affordable Housing Fund.

Although the applicant is not required to provide any affordable housing for the proposed development, the accompanying proffer statement indicates the applicant will include one (1), on-site affordable unit. This unit will be priced at a rent level affordable to households with incomes no greater than 80% of area median income (currently \$1,027/month for a one bedroom apartment or \$1,179/month for a two bedroom unit), as established annually by the Department of Housing and Urban Development. Provision of this unit will help meet the needs of the 320 households with incomes at 80% of area median income who are paying more than half of their income for rent each month.

f. Transportation

The applicant's own analysis of the development's consistency with the Comprehensive Plan, as required by Z.O. Sec. 34-41(d)(2), is provided in the Background section of the proposed rezoning application.

Staff Analysis

The application was reviewed by the City's Traffic Engineer and finds the uses which could occur as part of a R-3 development, such as a small apartment building, could contribute to Goals 1.2, 2.6, & 6.1 in the Transportation chapter of the Comprehensive Plan and section 4.1 of Streets that Work. According to the application materials, any future development will utilize the existing alley to the west of the subject property.

g. Historic Preservation & Urban Design

The applicant's own analysis of the development's consistency with the Comprehensive Plan, as required by Z.O. Sec. 34-41(d)(2), is provided in the Background section of the proposed rezoning application.

Staff Analysis

Staff finds the uses which could occur as part of a R-3 development, such as a small apartment building, could contribute to Goal 1.4 in the Historic Preservation & Urban Design chapter of the Comprehensive Plan. The subject property is currently vacant.

2. Whether the proposed amendment will further the purposes of this chapter and the general welfare of the entire community;

The applicant's own analysis of the development's furtherance of the general welfare of the entire community is provided in the applicant's narrative statement.

Staff Analysis

Staff finds that a land use change from R-2 to R-3, with a minor increase in density as noted in the applicant's narrative statement, could benefit the surrounding community by providing additional residential housing options.

3. Whether there is a need and justification for the change;

The applicant has provided information on the factors that led to a request to rezone the subject properties from R-2 to R-3 in the Narrative section of their application.

Staff Analysis

According to the City's 2013 Land Use Map, this portion of the City should be Low Density Residential with a DUA under fifteen (15). In reality this portion of the City is a mix of low density residential, high density residential, industrial, and commercial uses. Rezoning the subject property from R-2 to R-3 would be consistent with the current land use fabric of the neighborhood.

4. When pertaining to a change in the zoning district classification of property, the effect of the proposed change, if any, on the property itself, on surrounding property, and on public services and facilities. In addition, the commission shall consider the appropriateness of the property for inclusion within the proposed zoning district, relating to the purposes set forth at the beginning of the proposed district classification.

The location of the subject property is currently served by existing public utilities and facilities. The applicant has provided a narrative statement on adverse effects and mitigation in their application materials.

Staff Analysis

Any development on the subject property would be evaluated during site plan review and need to meet all current regulations related to public utilities and facilities. Due to the location and previous use of the subject property, staff believes all public services and facilities would be adequate to support development.

The purposes set forth per Z.O. Sec. 34-350 are:

Two-family (R-2). The two-family residential zoning districts are established to enhance the variety of housing opportunities available within certain low-density residential areas of the city, and to provide and protect those areas. There are two (2) categories of R-2 zoning districts:

R-2, consisting of quiet, low-density residential areas in which single-family attached and two-family dwellings are encouraged. Included within this

district are certain areas located along the Ridge Street corridor, areas of significant historical importance.

Multifamily. The purpose of the multifamily residential zoning district is to provide areas for medium- to high-density residential development. The basic permitted use is medium-density residential development; however, higher density residential development may be permitted where harmonious with surrounding areas. Certain additional uses may be permitted, in cases where the character of the district will not be altered by levels of traffic, parking, lighting, noise, or other impacts associated with such uses. There are three (3) categories of multifamily residential zoning districts:

R-3, consisting of medium-density residential areas in which medium-density residential developments, including multifamily uses, are encouraged.

Staff finds the development, as proposed in the application materials, would meet the purpose as set forth at the beginning of the district classification.

Public Comments Received

Community Meeting Required by Z.O. Sec. 34-41(c)(2)

On November 13, 2017 the applicant held a community meeting at Clark Elementary. The applicant gave an overview of the project as it related to the need for a rezoning and a SUP. The community voiced the following concerns with the proposed development:

- One (1) parking space per unit would be inadequate. Traffic and a shortage of parking in the neighborhood is an ongoing problem and this development could contribute to that.
- The existing alley is not adequate for ingress/egress.
- The building should be pushed north to allow additional sunlight into the apartments.

On March 13, 2018 the Planning Commission held a Public Hearing for the rezoning of the subject property from R-2 to R-3 with no proffers. During the Public Hearing, two members of the public spoke. One spoke in support of the project and believed it was in line with the “social fabric” of the neighborhood. The other speaker read a list of concerns from the Belmont-Carlton Neighborhood Association. The speaker indicated the concerns were not related to this specific project, but the concentration of development overall in Belmont and the need for the City to address infrastructure.

As of the date of this report, Staff received a number of emails regarding this project and they have been forwarded to Planning Commission and City Council. The main concern

noted is related to inadequate parking for this project and the effect that will have on the surrounding neighborhood.

Staff Recommendation

Staff finds the proposed development, as presented in the rezoning application could contribute to many goals of the City's Comprehensive Plan. Staff finds that the by-right uses for R-3, as outline in Z.O. Sec. 34-420, are appropriate for the subject property and differ only slightly from the existing by-right R-2 uses. Any SUP would require additional review by staff, Planning Commission, and City Council. Staff is concerned that a rezoning of the subject property would not conform to the City's 2013 Land Use Map.

Summarizing the Standard of Review, staff finds:

(1) Whether the proposed amendment conforms to the general guidelines and policies contained in the comprehensive plan.

No: *Staff finds the proposed rezoning (as presented in the application materials) would not comply with the City's Comprehensive General Land Use Plan Map, but would contribute to other chapters of the City's 2013 Comprehensive Plan.*

(2) Whether the proposed amendment will further the purposes of this chapter and the general welfare of the entire community.

Yes: *Staff finds the proposed rezoning (as presented in the application materials) would further the purposes of this chapter and the general welfare of the entire community.*

(3) Whether there is a need and justification for the change.

Yes: *Staff finds a justification for the change should Planning Commission determine additional density is suitable for this location.*

(4) When pertaining to a change in the zoning district classification of property, the effect of the proposed change, if any, on the property itself, on surrounding property, and on public services and facilities. In addition, the commission shall consider the appropriateness of the property for inclusion within the proposed zoning district, relating to the purposes set forth at the beginning of the proposed district classification.

Yes: *Staff finds the proposed rezoning (as presented in the application materials) would have no impact on public services or facilities, and would meet the objectives of the zoned district.*

Suggested Motions

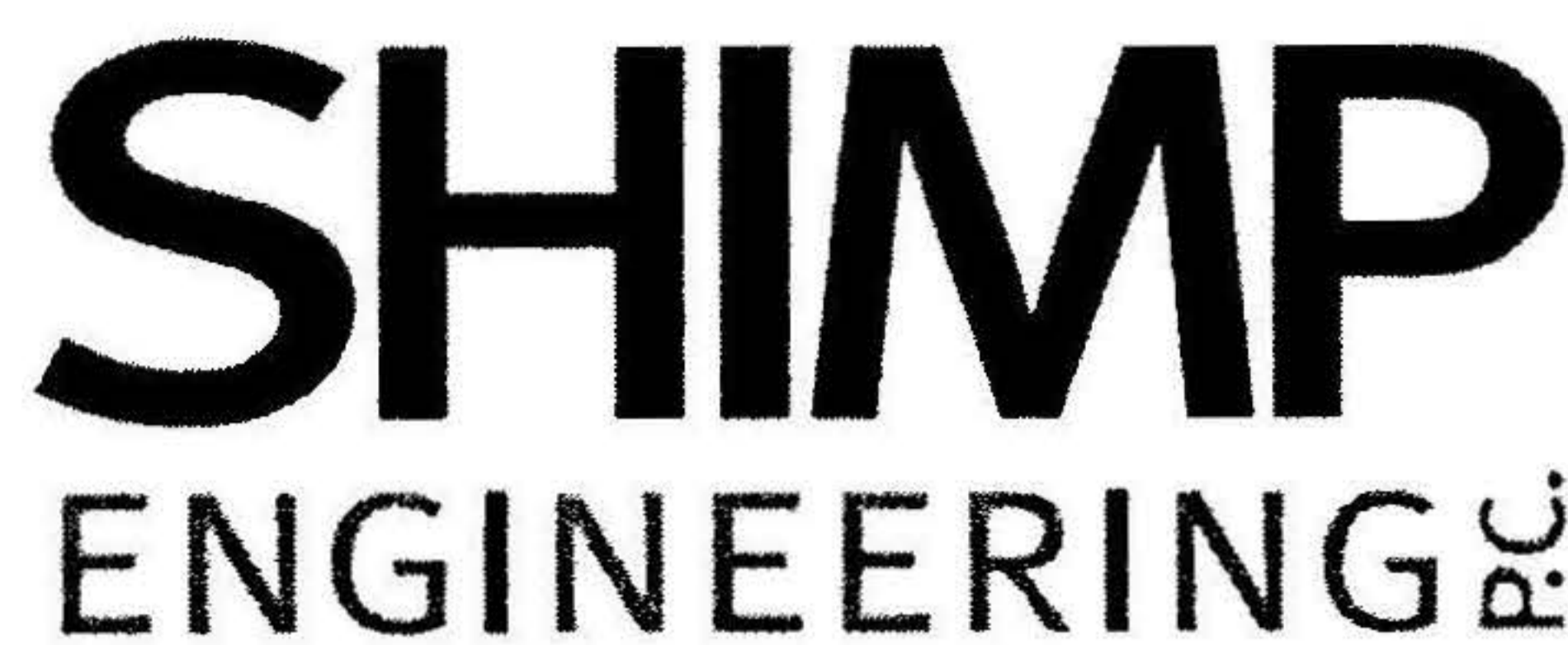
1. I move to recommend approval of this application to rezone the subject property from R-2, to R-3, on the basis that the proposal would service the interests of the general public and good zoning practice.

OR,

2. I move to recommend denial of this application to rezone the subject property from R-2 to R-3, on the basis that the proposal would not service the interests of the general public and good zoning practice.

Attachments

- A. Rezoning Application dated December 22, 2017
- A-1. Proffer Statement dated March 29, 2018 and signed March 30, 2018
- B. Applicant's Narrative Statement and supporting documents dated December 22, 2017



PROJECT MANAGEMENT
CIVIL ENGINEERING
LAND PLANNING

March 29, 2018

RE: Proffer Statement / TMP 57-127 / 1206 Carlton Avenue

Justin Shimp of Shimp Engineering (on behalf of property owner, Hulett Management Services) submitted a rezoning application in accordance with Sec. 34-41 for 1206 Carlton Avenue from the property's current residential zoning, R-2, to multi-family residential, R-3. Additionally, in accordance with Sec. 34-158 an application was submitted for a special use permit to allow for residential density of 24 dwelling units per acre and an adjustment to the side yard setback from 11'6" to 8'.

Agreement to be bound by proffers:

The applicant agrees that if the property is rezoned, the property will be subject to the following proffered conditions:

Affordable Housing:

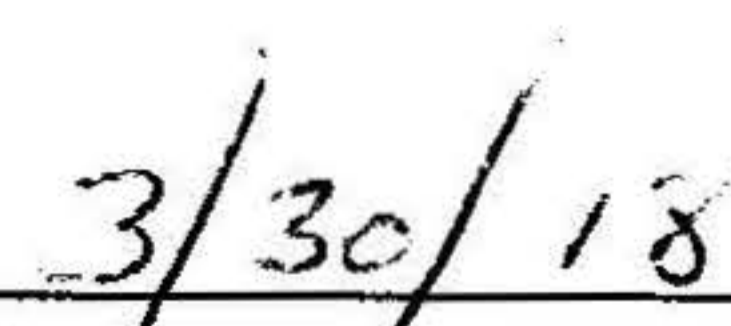
The proposed development does not trigger affordable housing requirements per Sec. 34-12. However, one unit will be designated affordable and will rent at a rate set by HUD home rents, making the unit affordable to those with income of up to 80% AMI for a period of not more than 10 years.

Physical Improvements:

No building on the site shall exceed 35' in height from grade. This is the maximum allowable height in the low density residential districts: R-1, R-1S, and R-2.

The conditions outlined in this proffer statement are contingent upon City Council's approval of the requested rezoning from R-2 to R-3 and the conditions outlined in the Special Use Permit application: adjustment of side yard setback from 11'6" to 8' and allowing 24 DUA. If ZM-17-00004 is approved, these conditions will be applied to TMP 57-127.


Chris Hulett, Hulett Management Services


Date



City of Charlottesville

Application for Rezoning

Project Name: 1200 Carlton

Address of Property: 1200 Carlton Ave

Tax Map and Parcel Number(s): 57 - 127

Current Zoning: R-2

Proposed Zoning: R-3

Comprehensive Plan Land Use Designation: low density residential

Applicant: Shimp Engineering

Address: 201 E. Main St. Charlottesville, VA 22902

Phone: (434) 227-5140 Email: justin@shimp-engineering

Applicant's Role in the Development (check one):

Owner Engineer/Designer Owner's Agent Contract Purchaser

Owner of Record: Hulett Management Services (Chris Hulett)

Address: 1808 N Quantico St. Arlington, VA 22205

Phone: _____ Email: chulett@kiwestcorporation.com

(1) Applicant's and (2) Owner's Signatures

(1) Signature [Signature] Print Justin Shimp Date 12/22

Applicant's (Circle One): LLC Member LLC Manager Corporate Officer (specify) _____
Other (specify): Engineer

(2) Signature [Signature] Print S.C. Hulett Date 11/20/17

Owner's (Circle One): LLC Member LLC Manager Corporate Officer (specify) President
Other (specify): _____

2MN-00004



City of Charlottesville

Pre-Application Meeting Verification

Project Name: 1206 CARLETON RD

Pre-Application Meeting Date: 25 OCTOBER 2017

Applicant's Representative: JUSTIN SHIMP

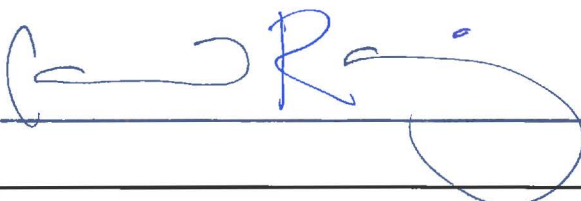
Planner: CARRIE RAINY, MATT ALFELE

Other City Officials in Attendance:

BRENNAN DUNCAN

The following items will be required supplemental information for this application and must be submitted with the completed application package:

1. _____
2. _____
3. _____
4. _____
5. _____

Planner Signature: 



City of Charlottesville

Application Checklist

Project Name: 1206 Carlton

I certify that the following documentation is ATTACHED to this application:

34-157(a)(2) Narrative statement: applicant's analysis of conformity with the Comprehensive Plan

34-157(a)(4) Narrative statement identifying and discussing any potential adverse impacts, as well as any measures included within the development plan, to mitigate those impacts

34-158(a)(6): other pertinent information (narrative, illustrative, etc.)

Completed proffer statement

All items noted on the Pre-Application Meeting Verification.

Applicant

Signature

Print

Justin Shimp

Date

12/22/17

By Its:

Shimp Engineering for Hulett Management Services

(For entities, specify: Officer, Member, Manager, Trustee, etc.)



City of Charlottesville

Community Meeting

Project Name: 1201 Canton

Section 34-41(c)(2) of the Code of the City of Charlottesville (adopted _____, 2015) requires applicants seeking rezonings and special use permits to hold a community meeting. The purpose of a community meeting is to provide citizens an opportunity to receive information about a proposed development, about applicable zoning procedures, about applicable provisions of the comprehensive plan, and to give citizens an opportunity to ask questions. **No application for a rezoning shall be placed on any agenda for a public hearing, until the required community meeting has been held and the director of neighborhood development services determines that the application is ready for final review through the formal public hearing process.**

By signing this document, the applicant acknowledges that it is responsible for the following, in connection to the community meeting required for this project:

1. Following consultation with the city, the applicant will establish a date, time and location for the community meeting. The applicant is responsible for reserving the location, and for all related costs.
2. The applicant will mail, by U.S. mail, first-class, postage pre-paid, a notice of the community meeting to a list of addresses provided by the City. The notice will be mailed at least 14 calendar days prior to the date of the community meeting. The applicant is responsible for the cost of the mailing. At least 7 calendar days prior to the meeting, the applicant will provide the city with an affidavit confirming that the mailing was timely completed.
3. The applicant will attend the community meeting and present the details of the proposed application. If the applicant is a business or other legal entity (as opposed to an individual) then the meeting shall be attended by a corporate officer, an LLC member or manager, or another individual who can speak for the entity that is the applicant. Additionally, the meeting shall be attended by any design professional or consultant who has prepared plans or drawings submitted with the application. The applicant shall be prepared to explain all of the details of the proposed development, and to answer questions from citizens.
4. Depending on the nature and complexity of the application, the City may designate a planner to attend the community meeting. Regardless of whether a planner attends, the City will provide the applicant with guidelines, procedures, materials and recommended topics for the applicant's use in conducting the community meeting.
5. On the date of the meeting, the applicant shall make records of attendance and shall also document that the meeting occurred through photographs, video, or other evidence satisfactory to the City. Records of attendance may include using the mailing list referred to in #1 as a sign-in sheet (requesting attendees to check off their name(s)) and may include a supplemental attendance sheet. The City will provide a format acceptable for use as the supplemental attendance sheet.

Applicant: 

By: Shimp Engineering for Hulett Management Services
Signature _____ Print _____ Date _____

Its: _____ (Officer, Member, Trustee, etc.)



City of Charlottesville

Personal Interest Statement

Project Name: 1206 Carlton

I swear under oath before a notary public that:

A member of the City of Charlottesville Planning Commission (identified below), or their immediate family member, has a personal interest in the property or transaction that is the subject of this application.

Planning Commissioner(s): _____

Or

No member of the City of Charlottesville Planning Commission, or their immediate family member, has a personal interest in the property or transaction that is the subject of this application.

And

A member of the City of Charlottesville City Council (identified below), or their immediate family member, has a personal interest in the property or transaction that is the subject of this application.

City Councilor(s): _____

Or

No member of the City of Charlottesville Planning Commission, or their immediate family member, has a personal interest in the property or transaction that is the subject of this application.

Applicant: Shimp Engineering for Hulett Management

By:

Signature Kelsey Schlein Print Kelsey Schlein Date 12-22-17

Its: Shimp Engineering for Hulett Management (Officer, Member, Trustee, etc.)

Commonwealth of Virginia

City of Charlottesville

The foregoing instrument was subscribed and sworn before me this 22nd day of December, 20 17 by Kelsey Schlein

Notary Signature [Signature]

Registration #: 7734575 Expires 1-31-2021

LISA ANNE JOHNSON
Notary Public
Commonwealth of Virginia
7734575
My Commission Expires 01/31/2021



City of Charlottesville

Owner's Authorizations

(Not Required)

Project Name: _____

Right of Entry- Property Owner Permission

I, the undersigned, hereby grant the City of Charlottesville, its employees and officials, the right to enter the property that is the subject of this application, for the purpose of gathering information for the review of this rezoning application.

Owner: _____ Date _____

By (sign name): _____ Print Name: _____

Owner's: LLC Member LLC Manager Corporate Officer (specify): _____

Other (specific): _____

Owner's Agent

I, the undersigned, hereby certify that I have authorized the following named individual or entity to serve as my lawful agent, for the purpose of making application for this rezoning, and for all related purposes, including, without limitation: to make decisions and representations that will be binding upon my property and upon me, my successors and assigns.

Name of Individual Agent: _____

Name of Corporate or other legal entity authorized to serve as agent: _____

Owner: _____ Date: _____

By (sign name): _____ Print Name: _____

Circle one:

Owner's: LLC Member LLC Manager Corporate Officer (specify): _____

Other (specific): _____



City of Charlottesville

Fee Schedule

Application Type	Quantity	Fee	Subtotal
Rezoning Application Fee			
Mailing Costs per letter		\$1 per letter	
Newspaper Notice		Payment Due Upon Invoice	
TOTAL			

Office Use Only

Amount Received: _____ Date Paid _____ Received By: _____



City of Charlottesville

LID Checklist

Project Name: _____

(not required)

LID Measure	LID Checklist Points	Points
Compensatory Plantings (see City buffer mitigation manual). 90% of restorable stream buffers restored.	5 points or 1 point for each 18% of the total acreage	
Pervious pavers for parking and driveways with stone reservoir for storage of 0.5 inches of rainfall per impervious drainage area. Surface area must be >1,000 ft. ² or ≥ 50% of the total parking and driveway surface area.	7 points or 1 point for each 7% of parking and driveway surface area.	
Shared parking (must have legally binding agreement) that eliminates >30% of on-site parking required.	5 points or 1 point for each 6% of parking surface eliminated.	
Impervious Disconnection. Follow design manual specifications to ensure adequate capture of roof runoff (e.g. cisterns, dry wells, rain gardens)	8 points	
Bioretention. Percent of site treated must exceed 80%. Biofilter surface area must be ≥ 5% of impervious drainage area.	8 points or 1 point for each 10% of site treated.	
Rain gardens. All lots, rain garden surface area for each lot ≥ 200 ft. ² .	8 points or 1 point for each 10% of lots treated.	
Designed/constructed swales. Percent of site treated must exceed 80%, achieve non-erosive velocities, and able to convey peak discharge from 10 year storm.	8 points or 1 point for each 10% of site treated.	
Manufactured sand filters, filter vaults (must provide filtering rather than just hydrodynamic). Percent of site treated must exceed 80%. Sizing and volume for water quality treatment based on manufacturer's criteria.	8 points or 1 point for each 10% of site treated.	
Green rooftop to treat ≥ 50% of roof area	8 points	
Other LID practices as approved by NDS Engineer.	TBD, not to exceed 8 points	
Off-site contribution to project in City's water quality management plan. This measure to be considered when on site constraints (space, environmentally sensitive areas, hazards) limit application of LID measures. Requires pre-approval by NDS Director.	5 points	
	Total Points	

Applicant's Signature

Signature _____ Print _____ Date _____

December 22, 2017

**RE: 1206 Carlton Special Use Permit/Rezoning Project Narrative
TMP 57-127**

Shimp Engineering, serving as owner's agent to Hulett Management Services, Inc., is applying concurrently for a rezoning and a special use permit on TMP 57-127 to allow for the construction of a multi-family residential structure with six, two-bedroom units. In accordance with Sec. 34-41 of the Charlottesville Zoning Ordinance, Shimp Engineering is applying to rezone the parcel from R-2 (Residential) to R-3 (Multi-Family Residential). In accordance with Sec. 34-158, Shimp Engineering is applying for a Special Use Permit to reduce the side setback on the southeast property boundary from 10' to 8' and to increase the DUA allowed in a R-3 district from 21 DUA to 24 DUA to allow for the proposed six units.

Compatibility with Existing Conditions: The property is bordered on the north by a parcel zoned R-3 with an existing six unit apartment building on the property. Adjacent to the six unit structure located at 1204 Carlton is another multi-family residential structure at the corner of Bainbridge St. and Carlton Ave. The parcel opposite TMP 57-127 on Carlton Ave is zoned PUD (Planned Unit Development). Immediately to the south of the property is a spite strip zoned R-2. The remainder of the parcels on the block fronting on the south side of Carlton Avenue are zoned B-2 (Commercial).

Residential uses, both single family and multi-family, constitute the greatest use immediately surrounding the property. A proposed six-unit multi-family structure is consistent with the existing patterns of use and development. The proposed structure is three stories, making it slightly taller than surrounding buildings; however, the site sits at a lower grade than the parcels immediately to its north, where the existing multi-family structures are located, and the site is at a lower grade than the parcels directly opposite Carlton Avenue. The proposed three story structure does not exceed the allowable height by-right in an R-2 district, 35'.

Consistency with Comprehensive Plan: The proposed improvements to the vacant property align directly with goals outlined in the transportation, land and housing sections of the Comprehensive Plan.

Transportation: Goal 2.4 "Encourage a mix of uses in priority locations, such as along identified transit corridors and other key roadways, to facilitate multimodal travel and increase cost-effectiveness of future service." TMP 57-127 is serviced directly by Bus Route 3, providing residents with convenient bus access to Downtown and 5th St. Station.

Goal 2.6 "Promote urban design techniques, such as placing parking behind buildings, reducing setbacks and increasing network connectivity, to create a more pedestrian friendly streetscape and to reduce speeds on high volume roadways." The proposed improvements to the site place the required parking behind the structure, away from the street.

Housing: Goal 3 "Grow the City's housing stock for residents of all income levels." The proposed development will provide a housing type, the two bedroom apartment, that is more affordable to a broader range of income levels in Belmont, as opposed to the single family dwelling.

Goal 3.3 "Achieve a mixture of incomes and uses in as many areas of the City as possible.*" The availability of a variety of housing types is a platform for the development of diverse, mixed-income neighborhoods.



Affordable Housing: The size of the proposed dwelling units in the multi-family structure will provide a welcome juxtaposition in pricing to the existing single family dwellings in the Belmont neighborhood. The lot is currently vacant and does not have any existing affordable housing. The FAR of the proposed development does not exceed 1.0 and so this project does not require affordable housing to be built on or off site and it does not require payment into the city's affordable housing fund. The GFA of the project is 7,332' sq ft. and all of this square footage is dedicated to residential use.

Compliance with USBC Provisions: The proposed development will comply with all applicable USBC Provisions.

Potential Adverse Impacts: Adverse traffic impacts will be minimal because the plan provides for adequate parking and the proposed one-way entrance off of Carlton Ave allows for access to the property without compromising the safety of pedestrians with a two way entrance.

Attachments: 2 Site Context Maps

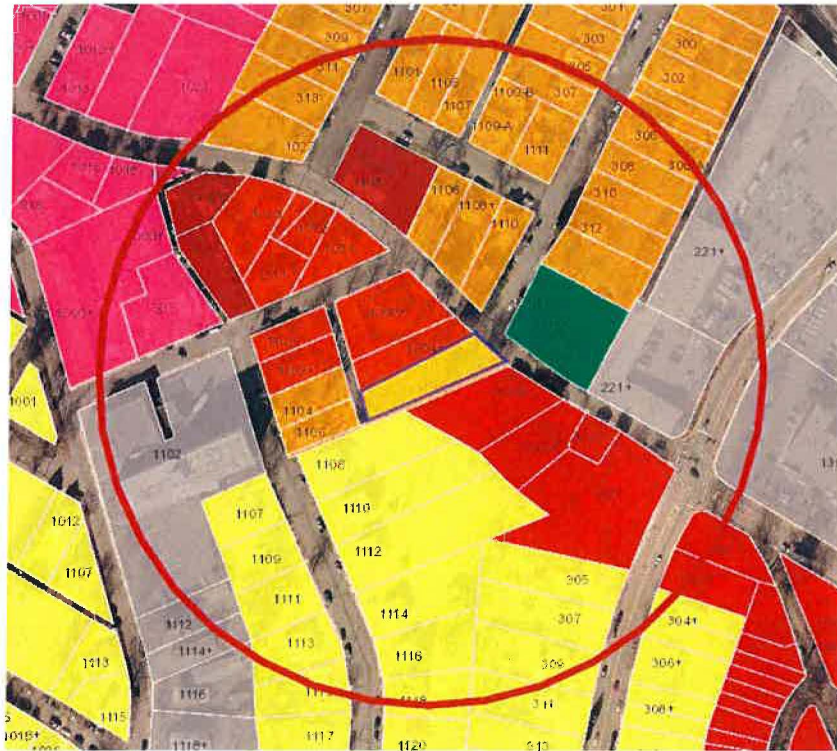


Figure 1: 500' Radius Existing Zoning

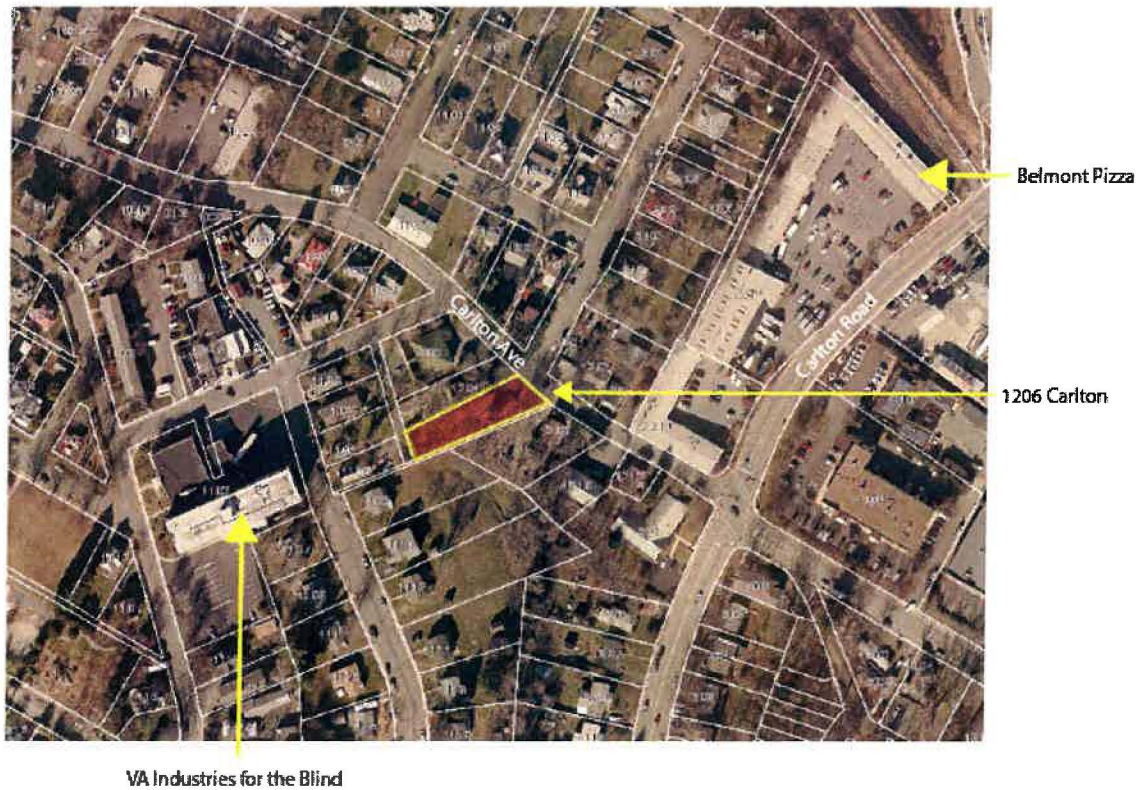
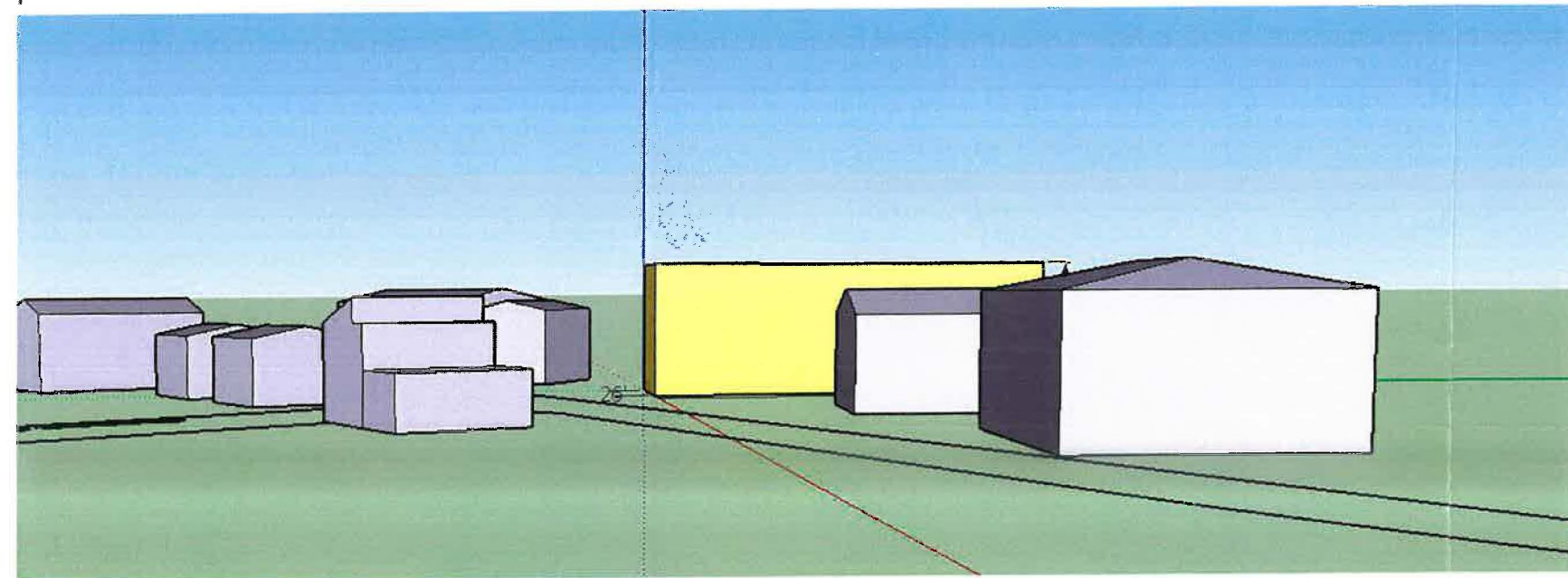
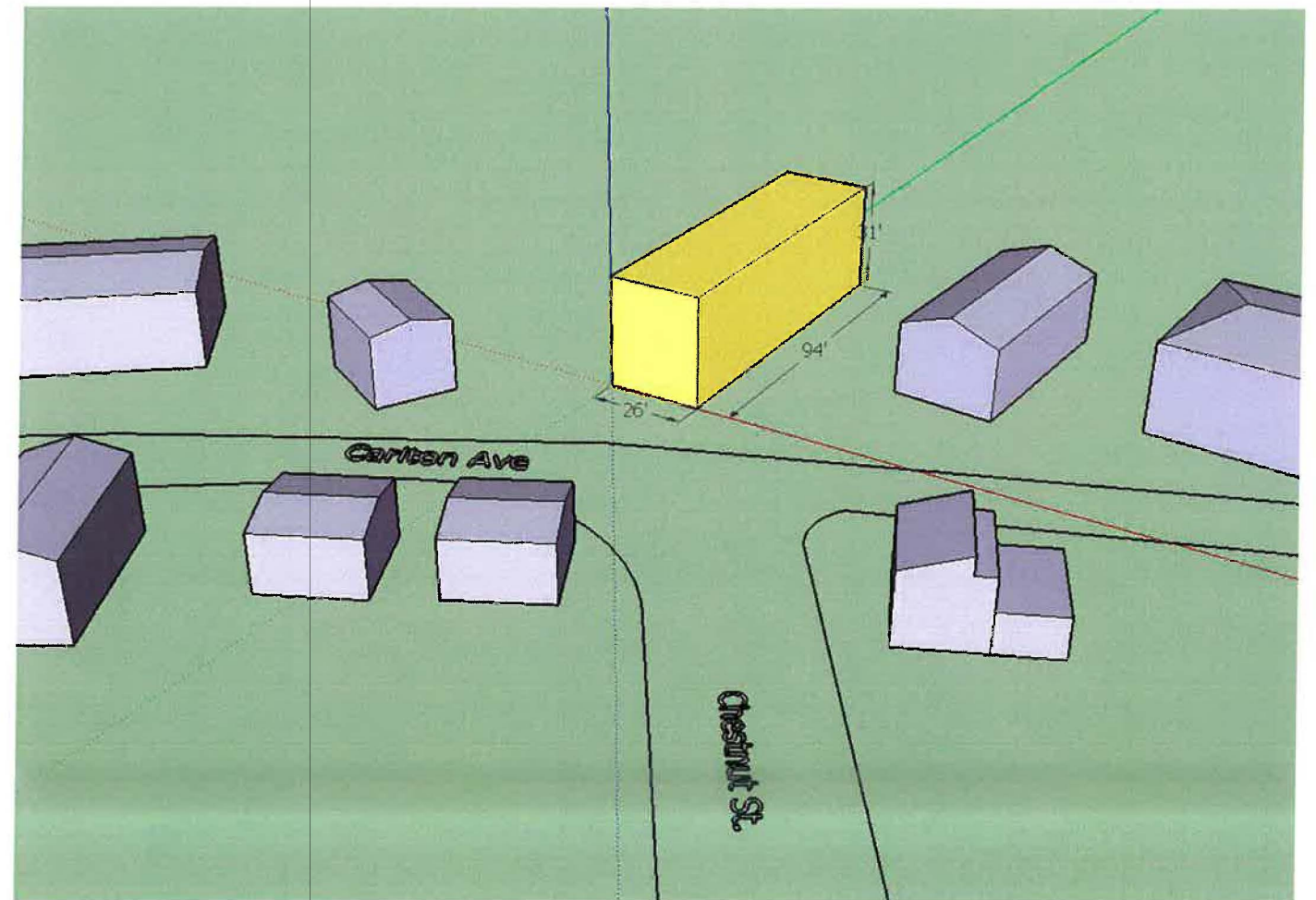
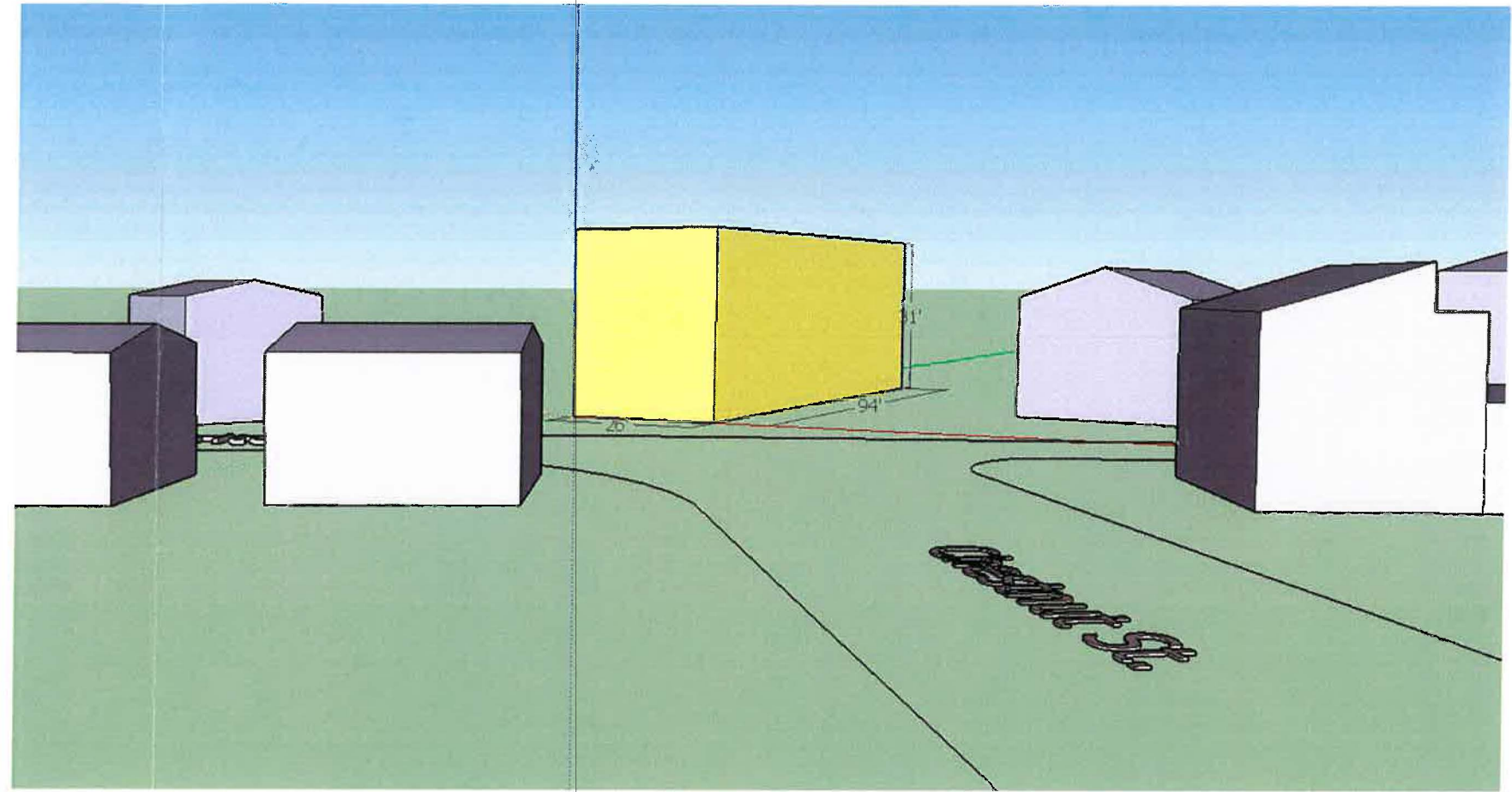
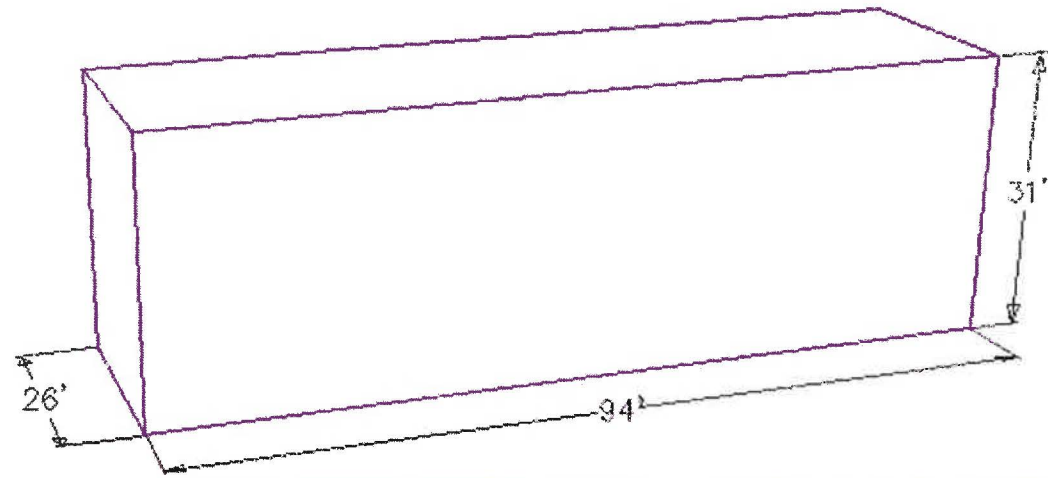
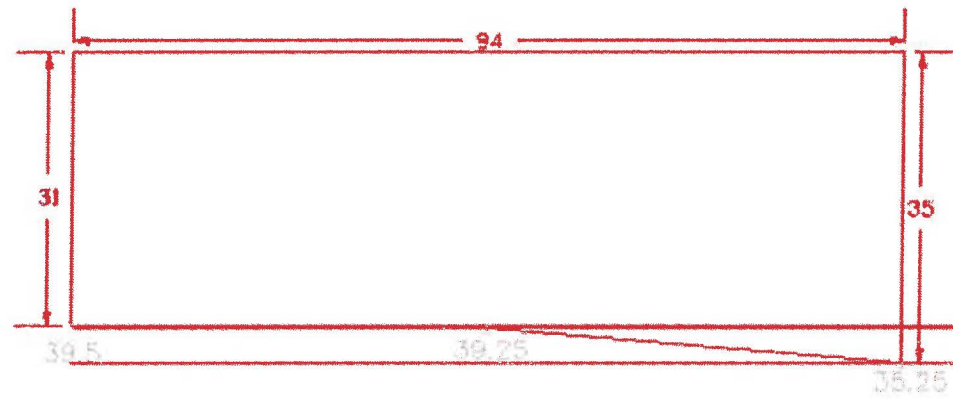


Figure 2: Site Context

1206 CARLTON MASSING DIAGRAMS



CITY OF CHARLOTTESVILLE
DEPARTMENT OF NEIGHBORHOOD DEVELOPMENT SERVICES
STAFF REPORT



APPLICATION FOR A SPECIAL USE PERMIT

**JOINT CITY COUNCIL AND PLANNING COMMISSION PUBLIC
HEARING**

DATE OF HEARING: July 11, 2018
APPLICATION NUMBER: SP17-00008

Project Planner: Matthew Alfele Date
of Staff Report: June 27, 2018

Applicant: Shimp Engineering
Applicant's Representative: Justin Shimp with Shimp Engineering, P.C.
Current Property Owner: Chris Hulett (Hulett Management Services)

Application Information

Property Street Address: 1206 Carlton Avenue
Tax Map/Parcel #: Tax Map 57, Parcel 127
Total Square Footage/ Acreage Site: Approx. 0.26 acres (11,325 square feet)
Comprehensive Plan (General Land Use Plan): Low Density Residential
Current Zoning Classification: R-2
Tax Status: Parcel is up to date on payment of taxes
Completeness: The application generally contains all of the information required by Zoning Ordinance (Z.O.) Secs. 34-41(d), and 34-158(a) and (b).

Applicant's Request (Summary)

On March 13, 2018 the Planning Commission held a Public Hearing for the rezoning of 1206 Carlton Avenue from R-2 Two-Family Residential to R-3 Multi-family with no proffered development conditions; and an accompanying SUP request for the same property to increase density from twenty-one (21) DUA to twenty-four (24) DUA and modify the southeast side yard setbacks from eleven point six (11.6') feet to eight (8') feet. The Planning Commission

voted four (4) to two (2) to recommend denial of the rezoning request to City Council and six (6) to zero (0) to recommend denial of the SUP.

On March 30, 2018 the applicant emailed City Council and staff a signed Proffer Statement (**Attachment A-1**) that was not included in the March 13th Public Hearing materials.

At the April 2, 2018 City Council meeting, Council referred the rezoning and SUP request back to Planning Commission for new Public Hearings based on the information within the March 30th Proffer Statement. All materials within the application are the same as presented to the Planning Commission on March 13th with the addition of the following proffer language:

1. The proposed development does not trigger affordable housing requirements per Sec. 34-12. However, one unit will be designated affordable and will rent at a rate set by HUD home rents, making the unit affordable in those with income of up to 80% AMI for a period of not more than 10 years.
2. No building on the site shall exceed 35' in height from grade. This is the maximum allowable height in the low density residential districts: R-1, R-1S, and R-2.

The following Staff Report has been update to include the addition of the applicant's Proffer Statement.

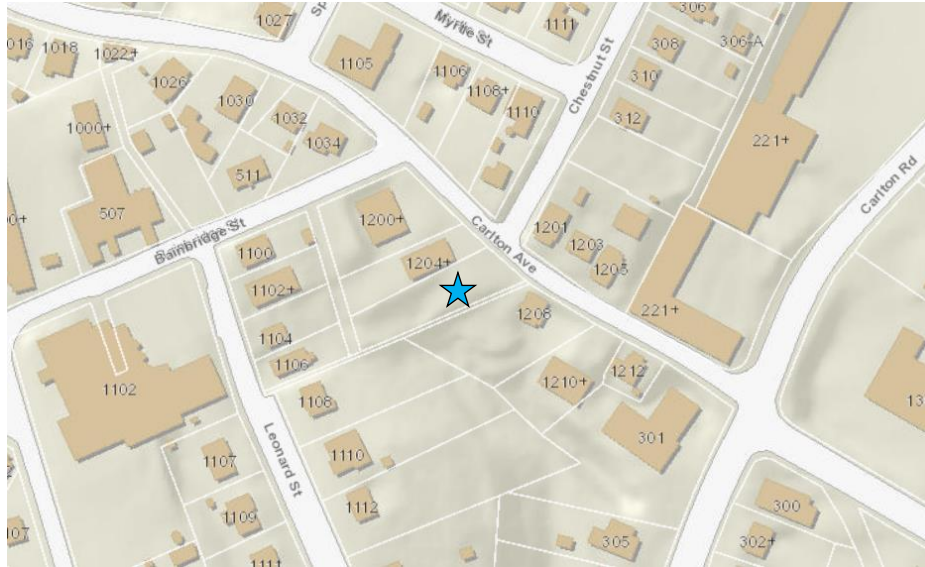
Justin Shimp (applicant), on behalf of the owner, (Hulett Management Services) has submitted a Special Use Permit (SUP) application pursuant to City Code Z.O. Sec. 34-420, which states residential density up to 43 DUA (Dwelling Units per Acres) is permitted with an SUP for R-3 zoned properties. 1206 Carlton Avenue (Subject Property) is currently zoned R-2 and the applicant is perusing a rezoning of the subject property to R-3 per petition ZM17-00004. In addition to increased density, the applicant is requesting adjustments to side yard regulations per Z.O. Sec. 34-162. The subject property has frontage on Carlton Avenue and is approximately 0.26 acres. The 2013 Land Use Map calls for Low Density Residential.

The applicant has submitted a rezoning petition (ZM17-00004) and a SUP application in order to develop a specific project on the subject property (**attachment C**). Per the two applications the proposed development involves:

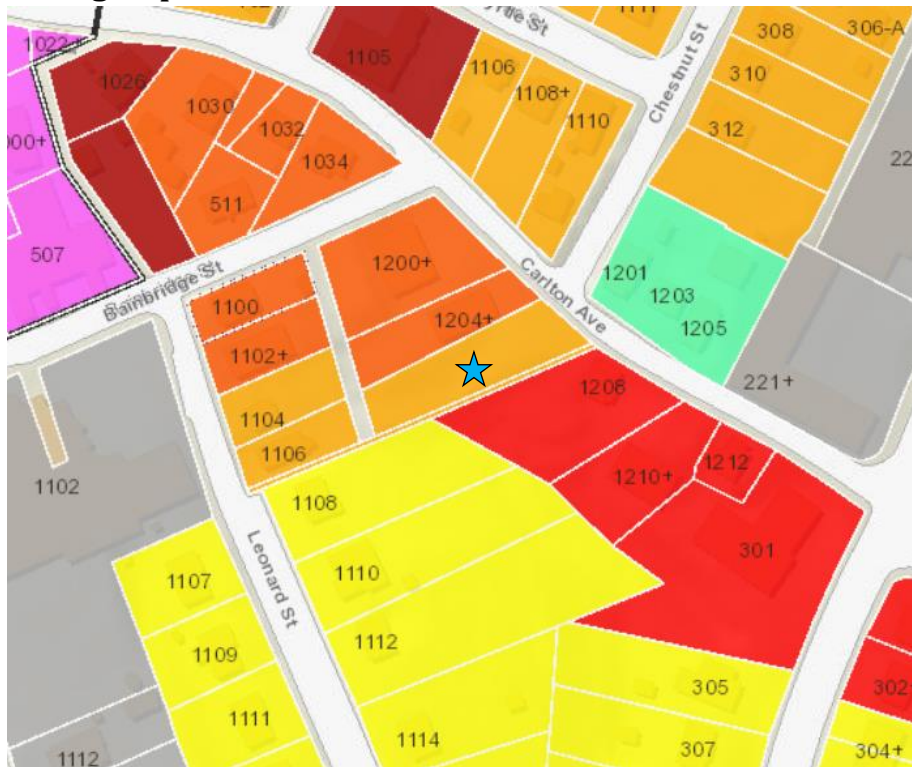
- ZM17-00004 – A rezoning request of the subject property with proffered development conditions from R-2 to R-3.
- SP17-00008 – A SUP request to increase density from twenty-one (21) DUA to twenty-four (24) DUA.
- SP17-00008 – A SUP request to modified the southeast side yard from the required eleven point six (11.6') feet to eight (8') feet.

The applicant is proposing an apartment building with six (6) two-bedroom units and seven (7) parking spaces. The modification to the side yard requirement is to accommodate a one-way driveway to the north of the apartment building.

Vicinity Map

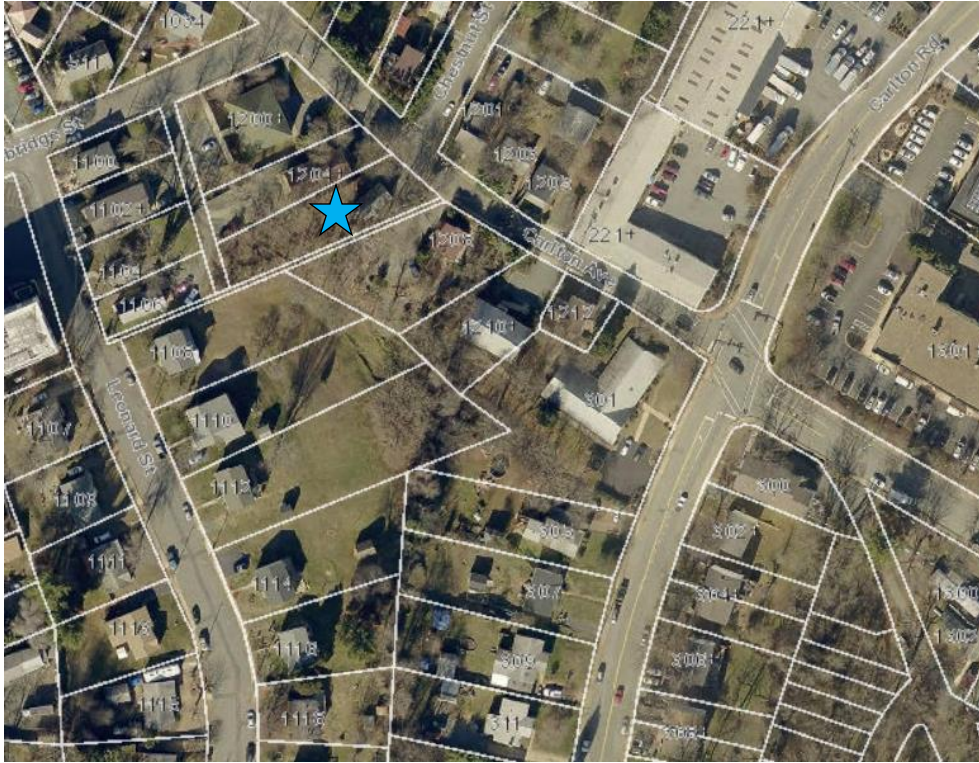


Zoning Map

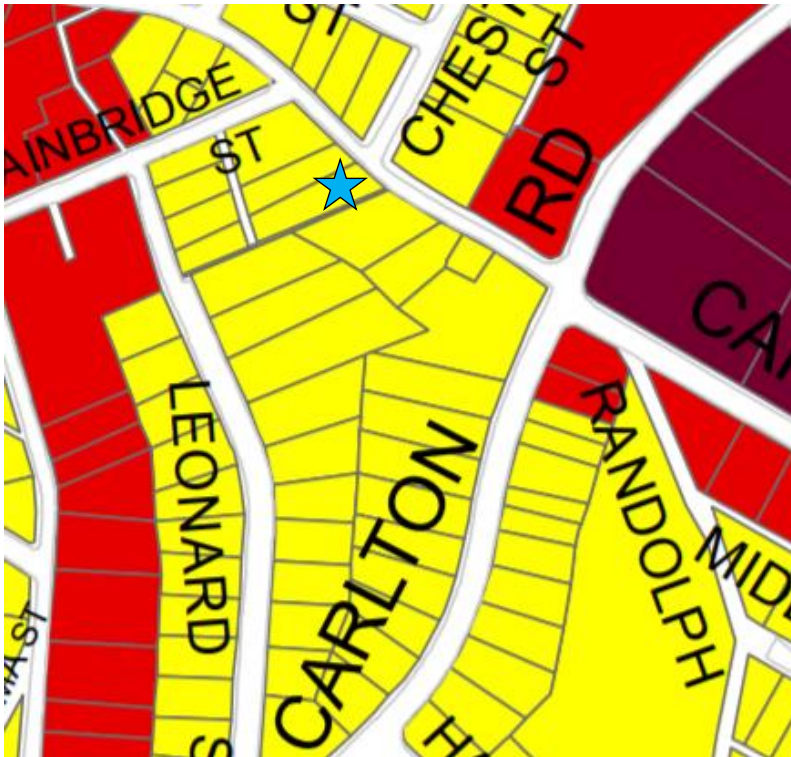


- Gray:** Industrial
- Light Orange: (R-2)** Residential Two-family
- Yellow: (R-1)** Residential Single-Family
- Purple: (NCC)** Neighborhood Commercial Corridor
- Red: (B-2)** Commercial
- Green:** Planned Unit Development
- Dark Orange: (R-3)** Residential Multi-family
- Dark Red: (B-3)** Commercial

2016 Aerial



2013 Comprehensive Plan Land Use Map



Yellow: Low Density Residential, **Red:** Neighborhood Commercial, & **Dark Red:** Business and Technology

Standard of Review

City Council may grant an applicant a special permit or special use permit, giving consideration to a number of factors set forth within Zoning Ordinance Sec. 34-157. If Council finds that a proposed use or development will have potentially adverse impacts, and if Council identifies development conditions that could satisfactorily mitigate such impacts, then Council may set forth reasonable conditions within its SUP approval. The role of the Planning Commission is to make an advisory recommendation to the City Council, as to (i) whether or not Council should approve a proposed SUP and if so, (ii) whether there are any reasonable development conditions that could mitigate potentially adverse impacts of the propose use or development.

Section 34-157 of the City’s Zoning Ordinance lists a number of factors that Council will consider in making a decision on a proposed SUP. Following below is staff’s analysis of those factors, based on the information provided by the applicant.

(1) Whether the proposed use or development will be harmonious with existing patterns of use and development within the neighborhood.

The properties immediately surrounding the subject property are described as:

Direction	Zoning District	Current Use
East (across Carlton Ave)	PUD (Eddins Cottages) NOT BUILT	Cluster of single family homes.
South	B-2	Residential
South (abutting)	R-2	Vacant spike strip about 5’ wide
West (abutting)	NA	Alley leading to Bainbridge Street
West	R-2	Residential
North (abutting)	R-3	Multi-family Residential

The uses surrounding the subject property are mostly a mix of single family, two-family, and multi-family. In addition, commercial and industrial uses are in close proximity to the subject property. Most of the surrounding buildings are one (1) or two (2) story in height. The buildings adjacent to the subject property have footprints covering ¼ to ½ of the available lot area. Directly across the street from the subject property is the Eddins Cottages PUD. This is an approved PUD not currently under construction. When completed, Eddins Cottages will contain a mix of ten (10) attached and detached dwellings. The Virginia Industries for the Blind and Clark Elementary are also in close proximity to the subject property.

Staff Analysis: The site plan (**attachment C**) and application materials (**attachment A and B**) proposes a three (3) story apartment building with six (6) two-bedroom units and seven (7) parking spaces. The footprint of the building will cover less than a ¼ of the site with parking located behind the building. The proposed use is harmonious with the existing patterns of uses within the neighborhood.

(2) Whether the proposed use or development and associated public facilities will substantially conform to the city's comprehensive plan.

The applicant's own analysis of the development's consistency with the Comprehensive Plan, as required by Z.O. Sec. 34-41(d)(2), is attached (**attachment A**)

Below are specific areas of the Comprehensive Plan for which the development may be in compliance:

a. Land Use

2.3: Enhance pedestrian connections between residences, commercial centers, public facilities, amenities and green spaces.

b. Housing

1.3: Evaluate the effects new developments have on transit, the environment, density, open space configuration, commuter costs and affordable housing.

3.2: Incorporate affordable units throughout the City, recognizing that locating affordable units throughout the community benefits the whole City.

3.3: Achieve a mixture of incomes and uses in as many areas of the City as possible.

3.4: Encourage creation of new, onsite affordable housing as part of rezoning or special use permit applications.

3.5: Consider the range of affordability proposed in rezoning and special use permit applications, with emphasis on provision of affordable housing for those with the greatest need.

3.6: Promote housing options to accommodate both renters and owners at all price points, including workforce housing.

8.5: Promote redevelopment and infill development that supports bicycle and pedestrian-oriented infrastructure and robust public transportation to better connect residents to jobs and commercial activity.

c. Transportation

2.1: Provide convenient and safe bicycle and pedestrian connections between new and existing residential developments, employment areas and other activity centers to promote the option of walking and biking.

2.3: Improve walking and biking conditions by discouraging and/or minimizing curb cuts for driveways, parking garages, etc. in new development and redevelopment.

2.6: Promote urban design techniques, such as placing parking behind buildings, reducing setbacks and increasing network connectivity, to create a more pedestrian friendly streetscape and to reduce speeds on high volume roadways.

Below are specific areas of the Comprehensive Plan for which the development may not be in compliance:

d. Land Use

2.1: When considering changes to land use regulations, respect nearby residential areas.

Comprehensive Plan

The 2013 Comprehensive Plan Land Use Map calls for the subject property and adjacent areas to be Low Density Residential. Low Density Residential, as described within the Land Use Map, includes all land occupied by single or two-family types housing. The density in these areas by-right should be no greater than 15 dwelling units per acres.

Staff Analysis: As noted in 2(a) through 2(c) above, many of the City's Comprehensive Plan goals could be achieved through a residential development of this type on the subject property. The location could promote more pedestrian and cycling trips to Downtown Belmont, the Mall (the subject property is in close proximity to the mixed use trail on Water Street), and to Kathy's Shopping Center. Several goals in the Comprehensive Plan speak to a desire to have density, as appropriate, in locations that will foster alternative transportation options to employment, entertainment, and education centers. The proposed development is consistent with existing development patterns along Carlton Avenue, although these patterns are not consistent with the Comprehensive Land Use Map. A small six (6) unit apartment building will provide additional housing options within Belmont without creating a major impact on the neighborhood or supporting infrastructure.

Streets that Work Plan

The Streets that Work Plan (approved September 2016 as an amendment to the Comprehensive Plan) labels Carlton Avenue as Local. The full plan can be viewed at: <http://www.charlottesville.org/departments-and-services/departments-h-z/neighborhood-development-services/streets-that-work/streets-that-work-plan>

Local Streets are characterized as the majority of the street network and have no specific associated typology due to the variation of context and available space. The Streets that Work Plan notes design elements on Local Streets should not exceed the dimensions specified for Neighborhood B streets, and that techniques such as curb extensions are appropriate. A minimum of five (5) to six (6) feet of clear zone width for sidewalks is recommended for Neighborhood B streets. Sidewalks and on-street parking are noted as the highest priority street elements.

Staff Analysis: Based on the application package and supporting documents (**attachments, A, B, & C**), staff concludes that the pedestrian network along the subject property's frontage is consistent with the Streets that Work Plan. In addition, the development will utilize the existing alley to the rear of the property creating a one-way traffic pattern on site. This will minimize the size of the curb cut on Carlton Avenue.

(3) Whether proposed use or development of any buildings or structures will comply with all applicable building code regulations.

Based on the information contained within the application (**attachment A and C**), the proposed development would likely comply with applicable building code regulations. However, final determinations cannot be made prior to having the details required for final site plan and building permit approvals.

(4) Potential adverse impacts, including, but not necessarily limited to:

a) Traffic or parking congestion

Traffic, Parking, and Other Modes of Transportation

The City Traffic Engineer has reviewed the development plan and finds a six (6) unit apartment building will not adversely affect traffic on Carlton Avenue or the surrounding street network. Due to the location of parking (behind the building) and one-way traffic flow; the development will create additional traffic for the nonpublic alley as vehicles circle through the development looking for parking or making deliveries. The availability of mass transit (Bus Route 3 <http://www.charlottesville.org/home/showdocument?id=34085>), biking, and walking options could negate any rise in vehicular traffic.

The development plan calls for an apartment building with six (6) two-bedroom units and a total of seven (7) parking spots. This meets the requirements per Z.O. Sec. 34-984 of the City Zoning Code. Parking congestion may occur if residents have more than one (1) vehicle or have guests that visit by car. On street parking is currently allowed on Carlton Avenue and Chestnut Street. This could become a bigger concern when the Eddins Cottages PUD is completed.

Staff Analysis: The City Traffic Engineer has reviewed the development plan and finds it will not have a major impact on the amount of traffic or parking on Carlton Avenue or surrounding street network.

Vehicular Access

One (1) point of vehicular access off a City maintained street is required for the proposed development per Z.O. Sec. 34-896(a). Current vehicular ingress and egress to the subject property includes one (1) access point on Carlton Avenue and one (1) access point off of Bainbridge Street by way of an unaccepted alley. The site plan (**attachment C**) shows the access point off of Carlton Avenue will be one-way. Per Z.O. Sec. 34-975(e)(1), the one-way driveway will be required to install and maintain control devices, such as signs, pavement markings, etc., as may be reasonably necessary to provide direction and control of vehicular movements.

Staff Analysis: The vehicular ingress /egress and circulation pattern, as shown on the site plan (**attachment C**); will lower chances of conflict with pedestrians on Carlton Avenue. By having a one-way vehicular circulation pattern and utilizing the alley, the curb cut on Carlton Avenue can be kept to a minimum width and be consistent with other curb cuts along Carlton Avenue. Staff is concerned that any conflict that could arise regarding the alley is a civil matter which the City would have no or limited standing. Staff also recommends the one-way circulation pattern should flow traffic off Carlton Avenue into the development. A sign should be placed in the parking lot directing traffic to use the alley to access Bainbridge Street and markings on the pavement should also indicate direction of use.

b) Noise, lights, dust, odor, fumes, vibration, and other factors which adversely affect the natural environment

The proposed development should result in only a moderate increase in noise, as the development only proposes six (6) two-bedroom units. The site plan (**attachment C**) shows street trees and landscaping per Z.O. Sec. 34-867. The site plan also shows vegetation screening of the parking. No lighting plan was provided but will be required during final site plan review.

Staff Analysis: A six (6) unit apartment building at this location will have minimal impact and can be mitigated through existing site plan regulations.

c) Displacement of existing residents or businesses

The subject property is currently vacant. No residents or businesses will be displaced.

d) Discouragement of economic development activities that may provide desirable employment or enlarge the tax base

As noted above, the subject property is vacant and any use has the potential to add to the City's tax base.

e) Undue density of population or intensity of use in relation to the community facilities existing or available

The City's Comprehensive Plan identifies community facilities as fire protection, police enforcement, and emergency response services; public utilities and infrastructure; and public parks and recreation opportunities. The applicant's proposal narrative (**attachment A**) has not adequately discussed this issue within its comprehensive plan analysis required by Z.O. Sec. 34-41(d)(3).

Staff Analysis: Staff finds the development will have little impact on existing community facilities. The proposed development is on a City maintained street and can be served by existing fire, police, and emergency response services. The additional density of the site will also have limited impact on surrounding parks. The site plan (**attachment C**) indicates stormwater collected on site that is piped into the City's system. The development will also be required to install a sewer lateral from the apartment building into the City's main.

f) Reduction in the availability of affordable housing in the neighborhood

The subject property is currently vacant. No affordable housing units will be lost per this development.

g) Impact on school population and facilities

The applicant's project proposal narrative (**attachment A**) does not specifically analyze this factor, as required by Z.O. Sec. 34-158(b).

Staff Analysis: Because housing is open to all, there is a possibility that families with children could take residence here. Therefore, some impact could be created on school population and facilities.

h) Destruction of or encroachment upon conservation or historic districts

The subject property is not within any design control district.

i) Conformity with federal, state and local laws, as demonstrated and certified by the applicant

Based on the information contained within the application (**attachment A, B, and C**), the proposed development would likely comply with applicable federal and state

laws. As to local ordinances (zoning, water protection, etc.), it generally appears that this project, as detailed in the application, can be accommodated on this site in compliance with applicable local ordinances; however, final determinations cannot be made prior to having the details required for final site plan and building permit approvals. Specific Z.O. requirements reviewed preliminarily at this stage include massing and scale (building height, setbacks, stepbacks, etc.) and general planned uses.

j) Massing and scale of project

The application materials (**attachment A, B, and C**) depict a new building three (3) stories above the surface of the subject property, as viewed from Carlton Avenue. The site plan (**attachment C**) indicates the maximum height of the building will be thirty-five (35') feet. The proffer statement included in the rezoning application (ZM17-00004) also indicates the allowable height for any development is thirty-five (35') feet. The maximum height for districts zoned R-3 is forty-five (45') feet. The massing information in the application indicates the building will be larger than the surrounding structures, but will be located at a lower grade.

The subject property's frontage is on Carlton Avenue. Z.O. Sec. 34-353 calls for twenty-five (25') feet minimum front yard, twenty-five (25') minimum rear yard, and one (1') foot for every three (3') feet in height with a ten (10') feet minimum side yards for developments containing twenty-two (22) to forty-three (43) DUA. To accommodate the building location, driveway, and parking the applicant is requesting altering the southeast side yard from eleven point six (11.6') feet to eight (8') feet per Z.O. Sec. 34-162. No architectural or elevation drawings were submitted with this application.

Staff Analysis: The massing, with the corresponding proffer statement, and footprint are consistent with R-3 requirements. Staff also finds the adjustment to the southeast side yard from eleven point six (11.6') feet to eight (8') feet to be appropriate. Due to the additional five (5') foot strip of land, the proposed development will still be thirteen (13') feet from parcel 57-126 (1208 Carlton Avenue).

(5) Whether the proposed use or development will be in harmony with the purposes of the specific zoning district in which it will be placed;

In 1949 the property was zoned B-2 Business. In 1958 the property was zoned R-3 Multiple Dwelling District/ or M-1 Restricted Industrial (the map has some overlay in this location). In 1976 the property was zoned R-3 Residential Multiple Dwelling. In 1991 the property was maintained as R-3 Residential Multiple Dwelling. In 2003 the

property was zoned R-2 Residential. (Application ZM17-00004 is requesting the zoning return to R-3).

According to Z.O. Sec. 34-350(b)(1), R-2, consisting of quiet, low-density residential areas in which single-family attached and two-family dwellings are encouraged.

According to Z.O. Sec. 34-350(c)(1), R-3, consisting of medium-density residential areas in which medium-density residential developments, including multifamily uses, are encouraged.

Staff Analysis: If the Planning Commission recommends approval of the corresponding rezoning request (ZM17-00004), staff finds the proposed development to be harmonious with the zoning district. If Planning Commission recommends denial of the corresponding rezoning request, staff finds the proposed development not to be harmonious with the zoning district.

(6) Whether the proposed use or development will meet applicable general and specific standards set forth within the zoning ordinance, subdivision regulations, or other city ordinances or regulations; and

Based on the information contained within the application and site plan (**attachment A, B, and C**), the proposed development would likely comply with applicable local ordinances. However, final determinations cannot be made prior to having the details required for final site plan and building permit approvals.

(7) When the property that is the subject of the application for a special use permit is within a design control district, city council shall refer the application to the BAR or ERB, as may be applicable, for recommendations as to whether the proposed use will have an adverse impact on the district, and for recommendations as to reasonable conditions which, if imposed, that would mitigate any such impacts. The BAR or ERB, as applicable, shall return a written report of its recommendations to the city council.

The subject property is not located in a design control district.

Public Comments Received

Community Meeting Required by Z.O. Sec. 34-41(c)(2)

On November 13, 2017 the applicant held a community meeting at Clark Elementary. The applicant gave an overview of the project as it related to the need for a rezoning and a SUP. The community voiced the following concerns with the proposed development:

- One (1) parking space per unit would be inadequate. Traffic and a shortage of parking in the neighborhood is an ongoing problem and this development could contribute to that.
- The existing alley is not adequate for ingress/egress.
- The building should be pushed north to allow additional sunlight into the apartments.

On March 13, 2018 the Planning Commission held a Public Hearing for the rezoning of the subject property from R-2 to R-3 with no proffers. During the Public Hearing, two members of the public spoke. One spoke in support of the project and believed it was in line with the “social fabric” of the neighborhood. The other speaker read a list of concerns from the Belmont-Carlton Neighborhood Association. The speaker indicated the concerns were not related to this specific project, but the concentration of development overall in Belmont and the need for the City to address infrastructure.

As of the date of this report, Staff received a number of emails regarding this project and they have been forwarded to Planning Commission and City Council. The main concern noted is related to inadequate parking for this project and the effect that will have on the surrounding neighborhood.

Staff Recommendation

Staff recommends the Planning Commission focus on the following items during review:

- Appropriate density
- Impact to the surrounding neighborhood
- Increased traffic and access.
- If the subject property is rezoned from R-2 to R-3 the by-right density would equal a total of five (5) units. The request for a SUP to add one (1) additional unit combined with the proffer language would equal a total of six (6) units. Planning Commission should give some thought to:
 - No rezoning or SUP = a max of two (2) market rate units
 - Rezoning from R-2 to R-3 = a max of four (4) market rate units and one (1) affordable unit.
 - Rezoning from R-2 to R-3 with a SUP = a max of five (5) market rate units and one (1) affordable unit.

Recommended Conditions

Staff recommends that a request for higher density and adjusted southeast side yard requirement could be approved with the following conditions:

1. Up to 24 dwelling units per acre (DUA) are permitted on the subject property.

2. The design, height, and other characteristics of the development shall remain essentially the same, in all material aspects, as described within the application materials (**attachment C**) received December 26, 2017 and dated December 22, 2017. Except as the design details of the development may subsequently be modified to comply with staff comments, or by any other provision(s) of these SUP Conditions, any change of the development that is inconsistent with the application shall require a modification of this SUP. Key elements of this design are:
 - a. One (1) apartment building containing six (6) two-bedroom units.
 - b. Southeast side yard setback of eight (8') feet.
 - c. One-way vehicular traffic pattern.
 - d. Vegetation used to screen parking.
 - e. Parking lot shall be located behind the building and not visible from Carlton Avenue.
 - f. Pedestrian circulation pattern shall be independent from the vehicular traffic pattern.
3. Full cutoff luminaires shall be used and shall be equipped with devices for redirecting light such as shields, visors, or hoods to eliminate the luminaire glare and block direct illumination from neighboring properties. The fixture shall completely conceal and recess the light source from all viewing positions except those positions permitted to receive illumination. Directional luminaires such as floodlights, spotlights, and sign lights shall illuminate only the task and do not shine directly onto neighboring properties, roadways, or distribute excessive light skyward.
4. The development shall provide one (1) bicycle storage space per two (2) dwelling units for a minimum of three (3) storage spaces.
5. Signage and pavement markings shall be provided indicating one-way traffic pattern.
6. Trash facility shall be provided and if outside needs to be screened per Z.O. Sec. 34-872(b)(2).

Suggested Motions

1. I move to recommend approval of this application for a Special Use Permit in the R-2 (application ZM14-00004 under review to rezone from R-2 to R-3) zone at 1206 Carlton Avenue to permit residential development with additional density and adjustment to the southeast side yard requirement with the following listed conditions.
 - a. _____
 - b. _____
 - c. _____
 - d. _____

- e. _____
- f. _____
- g. _____
- h. _____

OR,

- 2. I move to recommend denial of this application for a Special Use Permit in the R-2 zone at 1206 Carlton Avenue.

Attachments

- A. Special Use Permit Narrative and supporting documents Dated December 22, 2017
- B. Special Use Application Dated December 22, 2017
- C. Site Plan Dated December 22, 2017

December 22, 2017

RE: 1206 Carlton Special Use Permit/Rezoning Project Narrative
TMP 57-127

Shimp Engineering, serving as owner's agent to Hulett Management Services, Inc., is applying concurrently for a rezoning and a special use permit on TMP 57-127 to allow for the construction of a multi-family residential structure with six, two-bedroom units. In accordance with Sec. 34-41 of the Charlottesville Zoning Ordinance, Shimp Engineering is applying to rezone the parcel from R-2 (Residential) to R-3 (Multi-Family Residential). In accordance with Sec. 34-158, Shimp Engineering is applying for a Special Use Permit to reduce the side setback on the southeast property boundary from 10' to 8' and to increase the DUA allowed in a R-3 district from 21 DUA to 24 DUA to allow for the proposed six units.

Compatibility with Existing Conditions: The property is bordered on the north by a parcel zoned R-3 with an existing six unit apartment building on the property. Adjacent to the six unit structure located at 1204 Carlton is another multi-family residential structure at the corner of Bainbridge St. and Carlton Ave. The parcel opposite TMP 57-127 on Carlton Ave is zoned PUD (Planned Unit Development). Immediately to the south of the property is a spite strip zoned R-2. The remainder of the parcels on the block fronting on the south side of Carlton Avenue are zoned B-2 (Commercial).

Residential uses, both single family and multi-family, constitute the greatest use immediately surrounding the property. A proposed six-unit multi-family structure is consistent with the existing patterns of use and development. The proposed structure is three stories, making it slightly taller than surrounding buildings; however, the site sits at a lower grade than the parcels immediately to its north, where the existing multi-family structures are located, and the site is at a lower grade than the parcels directly opposite Carlton Avenue. The proposed three story structure does not exceed the allowable height by-right in an R-2 district, 35'.

Consistency with Comprehensive Plan: The proposed improvements to the vacant property align directly with goals outlined in the transportation, land and housing sections of the Comprehensive Plan.

Transportation: Goal 2.4 "Encourage a mix of uses in priority locations, such as along identified transit corridors and other key roadways, to facilitate multimodal travel and increase cost-effectiveness of future service." TMP 57-127 is serviced directly by Bus Route 3, providing residents with convenient bus access to Downtown and 5th St. Station.

Goal 2.6 "Promote urban design techniques, such as placing parking behind buildings, reducing setbacks and increasing network connectivity, to create a more pedestrian friendly streetscape and to reduce speeds on high volume roadways." The proposed improvements to the site place the required parking behind the structure, away from the street.

Housing: Goal 3 "Grow the City's housing stock for residents of all income levels." The proposed development will provide a housing type, the two bedroom apartment, that is more affordable to a broader range of income levels in Belmont, as opposed to the single family dwelling.

Goal 3.3 "Achieve a mixture of incomes and uses in as many areas of the City as possible.*" The availability of a variety of housing types is a platform for the development of diverse, mixed-income neighborhoods.



Affordable Housing: The size of the proposed dwelling units in the multi-family structure will provide a welcome juxtaposition in pricing to the existing single family dwellings in the Belmont neighborhood. The lot is currently vacant and does not have any existing affordable housing. The FAR of the proposed development does not exceed 1.0 and so this project does not require affordable housing to be built on or off site and it does not require payment into the city's affordable housing fund. The GFA of the project is 7,332' sq ft. and all of this square footage is dedicated to residential use.

Compliance with USBC Provisions: The proposed development will comply with all applicable USBC Provisions.

Potential Adverse Impacts: Adverse traffic impacts will be minimal because the plan provides for adequate parking and the proposed one-way entrance off of Carlton Ave allows for access to the property without compromising the safety of pedestrians with a two way entrance.

Attachments: 2 Site Context Maps

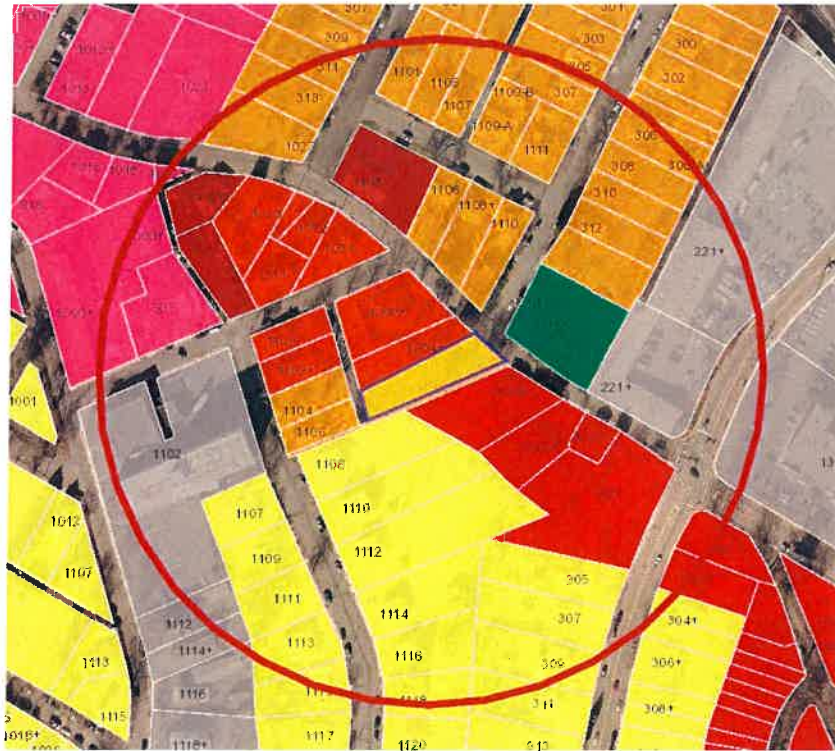
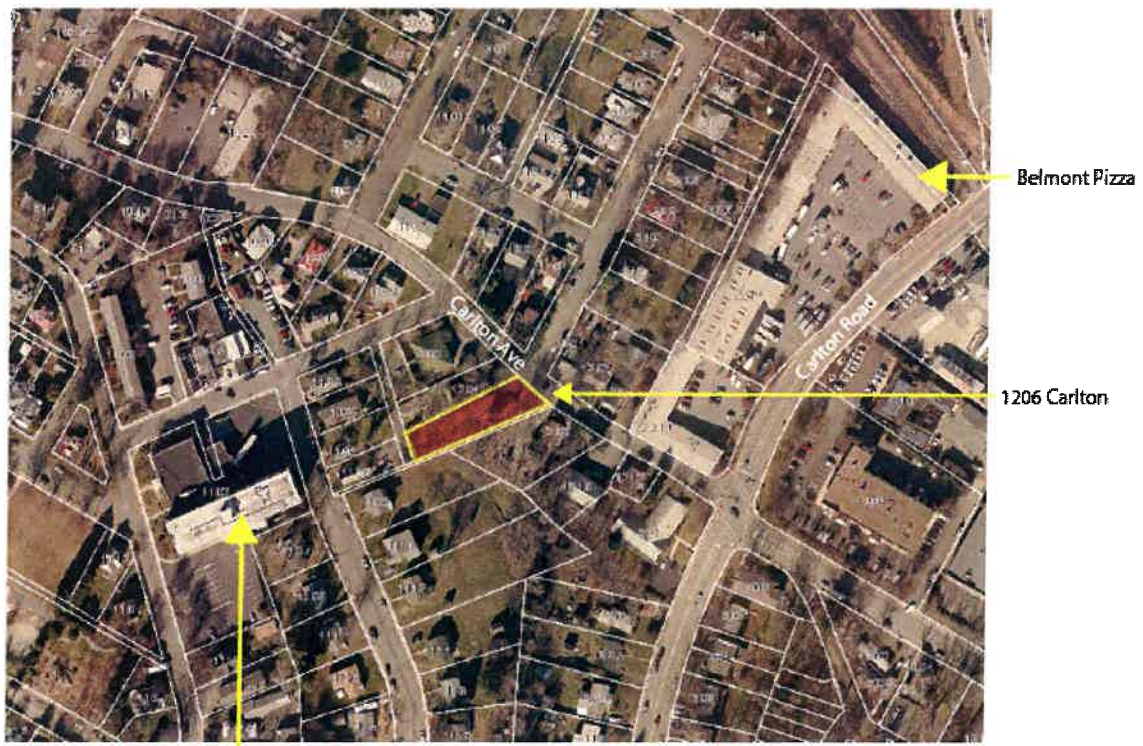


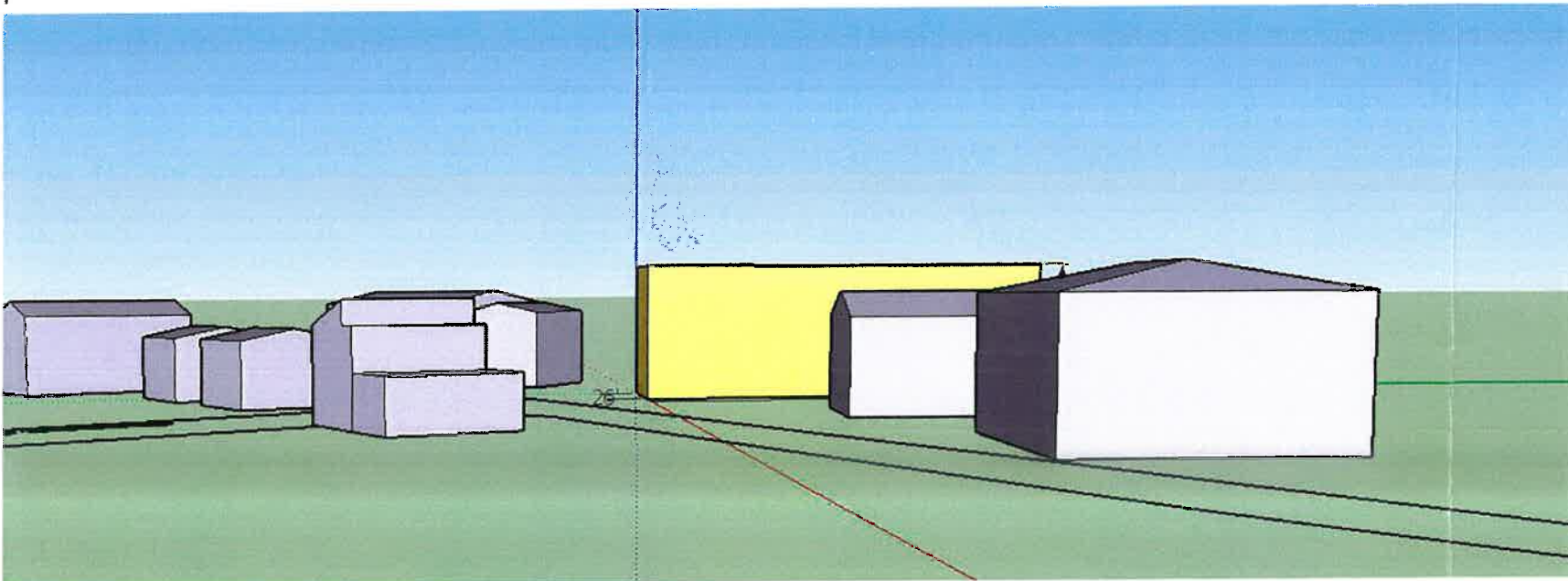
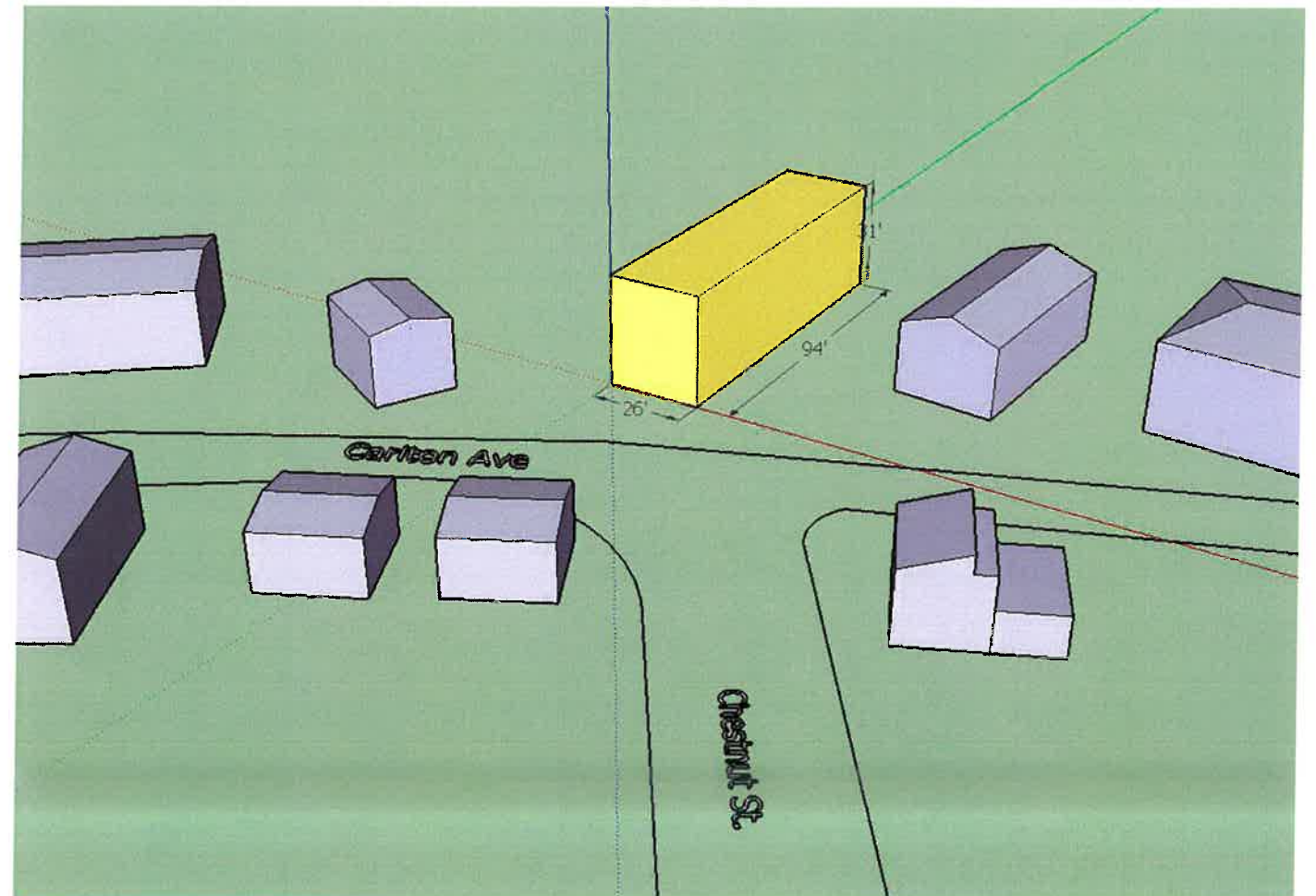
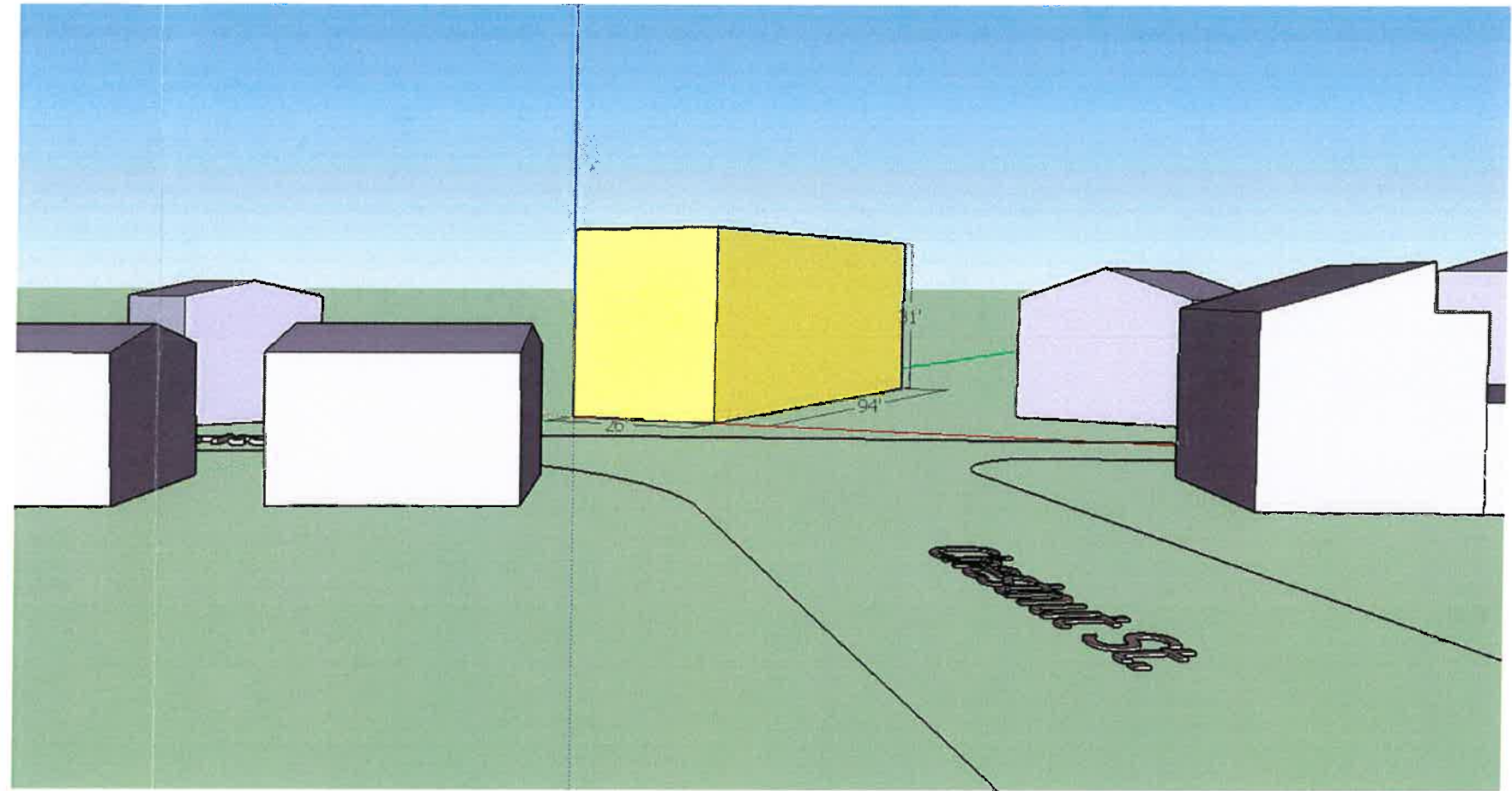
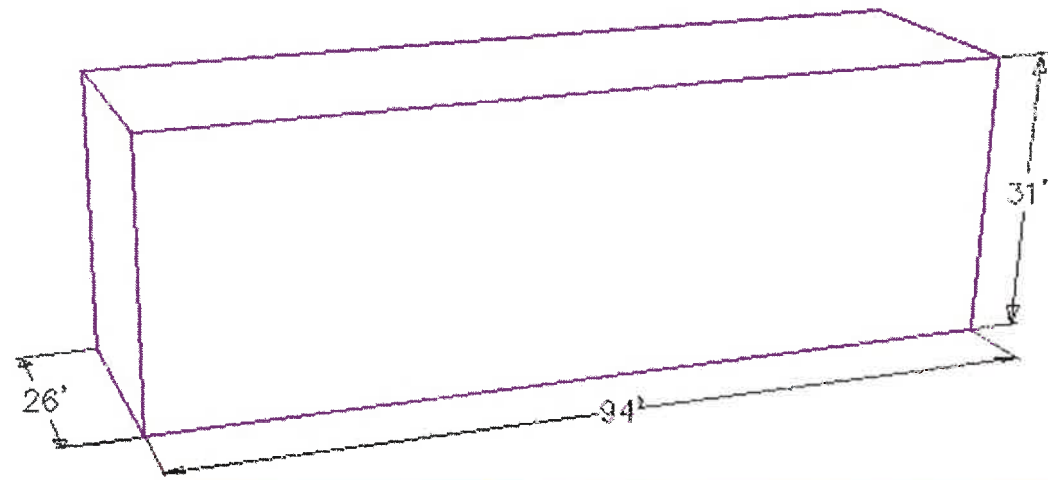
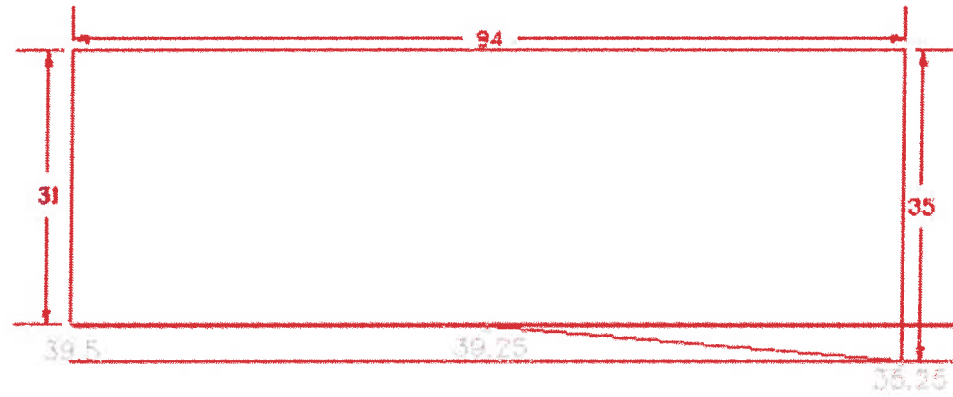
Figure 1: 500' Radius Existing Zoning



VA Industries for the Blind

Figure 2: Site Context

1206 CARLTON MASSING DIAGRAMS





City of Charlottesville

Application for Special Use Permit

Project Name: 1206 Carlton

Address of Property: 1206 Carlton Ave

Tax Map and Parcel Number(s): 57-127

Current Zoning District Classification: R-2

Comprehensive Plan Land Use Designation: low density residential

Is this an amendment to an existing SUP? NO

If "yes", provide the SUP #: _____

Applicant: Shimp Engineering

Address: 201 E. Main Charlottesville, VA 22902

Phone: (434) 227-5140 Email: justin@shimp-engineering

Applicant's Role in the Development (check one):

Owner Owner's Agent ^{Engineer} Designer Contract Purchaser

Owner of Record: Hulett Management Services (Chris Hulett)

Address: 1808 N Quantico St. Arlington, VA 22205

Phone: _____ Email: chulett@kiwestcorporation.com

Reason for Special Use Permit:

Additional height: _____ feet

Additional residential density: 6 units, or 24 units per acre (contingent upon R-3 rezoning)

Authorize specific land use (identify) _____

Other purpose(s) (specify City Code section): reduced side setback Sec. 34-353

(1) Applicant's and (2) Owner's Signatures

(1) Signature [Signature] Print Justin Shimp Date 12/22/17

Applicant's (Circle One): LLC Member LLC Manager Corporate Officer (specify) _____
Other (specify): _____

(2) Signature [Signature] Print S.C. Hulett Date 11/20/17

Owner's (Circle One): LLC Member LLC Manager Corporate Officer (specify) President
Other (specify): _____

SP 17-00008



City of Charlottesville

Pre-Application Meeting Verification

Project Name: 1206 CARLTON RD

Pre-Application Meeting Date: 25 OCTOBER 2017

Applicant's Representative: JUSTIN SHIMP

Planner: CARIE RAWLEY, MOTT ALFELD

Other City Officials in Attendance:
BRENNAN DUNCAN

The following items will be required supplemental information for this application and must be submitted with the completed application package:

1. MASSING DIAGRAM
2. _____
3. _____
4. _____
5. _____

Planner Signature: [Handwritten Signature]



City of Charlottesville

Application Checklist

Project Name: 1206 Carlton Ave.

I certify that the following documentation is ATTACHED to this application:

- 34-158(a)(1): a site plan (ref. City Code 34-802(generally); 34-1083(communications facilities))
- 34-158(a)(3): Low-impact development (LID) methods worksheet (required for developments that include non-residential uses, and developments proposing 3 or more SFDs or TFDs)
- 34-158(a)(4): a building massing diagram, and building elevations (required for applications proposing alteration of a building height or footprint, or construction of any new building(s)) *(not required)*
- 34-158(a)(5) and 34-12: affordable housing data. (i) how many (if any) existing dwelling units on the property are an "affordable dwelling unit" by the city's definitions? (ii) Will existing affordable units, or equivalent affordable units, remain following the development? (iii) What is the GFA of the project? GFA of residential uses? GFA of non-residential uses?
- 34-157(a)(1) Graphic materials that illustrate the context of the project, and a narrative statement as to compatibility with existing patterns of use and development
- 34-157(a)(2) Narrative statement: applicant's analysis of conformity with the Comprehensive Plan
- 34-157(a)(3) Narrative statement: compliance with applicable USBC provisions
- 34-157(a)(4) Narrative statement identifying and discussing any potential adverse impacts, as well as any measures included within the development plan, to mitigate those impacts
- 34-158(a)(6): other pertinent information (narrative, illustrative, etc.)
- All items noted on the Pre-Application Meeting Verification.

Applicant

Signature [Handwritten Signature] Print Justin Shimp Date 12/22/17

By Its: _____

(For entities, specify: Officer, Member, Manager, Trustee, etc.)



City of Charlottesville

Community Meeting

Project Name: 1206 Carlton Ave

Section 34-41(c)(2) of the Code of the City of Charlottesville (adopted _____, 2015) requires applicants seeking rezonings and special use permits to hold a community meeting. The purpose of a community meeting is to provide citizens an opportunity to receive information about a proposed development, about applicable zoning procedures, about applicable provisions of the comprehensive plan, and to give citizens an opportunity to ask questions. **No application for a rezoning shall be placed on any agenda for a public hearing, until the required community meeting has been held and the director of neighborhood development services determines that the application is ready for final review through the formal public hearing process.**

By signing this document, the applicant acknowledges that it is responsible for the following, in connection to the community meeting required for this project:

1. Following consultation with the city, the applicant will establish a date, time and location for the community meeting. The applicant is responsible for reserving the location, and for all related costs.
2. The applicant will mail, by U.S. mail, first-class, postage pre-paid, a notice of the community meeting to a list of addresses provided by the City. The notice will be mailed at least 14 calendar days prior to the date of the community meeting. The applicant is responsible for the cost of the mailing. At least 7 calendar days prior to the meeting, the applicant will provide the city with an affidavit confirming that the mailing was timely completed. (
3. The applicant will attend the community meeting and present the details of the proposed application. If the applicant is a business or other legal entity (as opposed to an individual) then the meeting shall be attended by a corporate officer, an LLC member or manager, or another individual who can speak for the entity that is the applicant. Additionally, the meeting shall be attended by any design professional or consultant who has prepared plans or drawings submitted with the application. The applicant shall be prepared to explain all of the details of the proposed development, and to answer questions from citizens.
4. Depending on the nature and complexity of the application, the City may designate a planner to attend the community meeting. Regardless of whether a planner attends, the City will provide the applicant with guidelines, procedures, materials and recommended topics for the applicant's use in conducting the community meeting.
5. On the date of the meeting, the applicant shall make records of attendance and shall also document that the meeting occurred through photographs, video, or other evidence satisfactory to the City. Records of attendance may include using the mailing list referred to in #1 as a sign-in sheet (requesting attendees to check off their name(s)) and may include a supplemental attendance sheet. The City will provide a format acceptable for use as the supplemental attendance sheet.

Applicant: Shimp Engineering for Chris Hulett
(Hulett Management Services)

By:

Signature [Signature] Print Justin Shimp Date 12/22/17

Its: _____ (Officer, Member, Trustee, etc.)



City of Charlottesville

Owner's Authorizations

(Not Required)

Right of Entry- Property Owner Permission

I, the undersigned, hereby grant the City of Charlottesville, its employees and officials, the right to enter the property that is the subject of this application, for the purpose of gathering information for the review of this Special Use Permit application.

Owner: _____ Date _____

By (sign name): _____ Print Name: _____

Owner's: LLC Member LLC Manager Corporate Officer (specify): _____

Other (specific): _____

Owner's Agent

I, the undersigned, hereby certify that I have authorized the following named individual or entity to serve as my lawful agent, for the purpose of making application for this special use permit, and for all related purposes, including, without limitation: to make decisions and representations that will be binding upon my property and upon me, my successors and assigns.

Name of Individual Agent: _____

Name of Corporate or other legal entity authorized to serve as agent: _____

Owner: _____ Date: _____

By (sign name): _____ Print Name: _____

Circle one:

Owner's: LLC Member LLC Manager Corporate Officer (specify): _____

Other (specific): _____



City of Charlottesville

Disclosure of Equitable Ownership

Section 34-8 of the Code of the City of Charlottesville requires that an applicant for a special use permit make complete disclosure of the equitable ownership ("real parties in interest") of the real estate to be affected. Following below I have provided the names and addresses of each of the real parties in interest, including, without limitation: each stockholder or a corporation; each of the individual officers and directors of a corporation; each of the individual members of an LLC (limited liability companies, professional limited liability companies); the trustees and beneficiaries of a trust, etc. Where multiple corporations, companies or trusts are involved, identify real parties in interest for each entity listed.

Name Chris Hulett Address 1808 N. Quantico St. Arlington, VA 22205
Name _____ Address _____
Name _____ Address _____
Name _____ Address _____

Attach additional sheets as needed.

Note: The requirement of listing names of stockholders does not apply to a corporation whose stock is traded on a national or local stock exchange and which corporation has more than five hundred (500) shareholders.

Applicant: Shimp Engineering for Hulett Management Services

By:
Signature _____ Print _____ Date 12/22/17

Its: _____ (Officer, Member, Trustee, etc.)



City of Charlottesville

Fee Schedule

Project Name: 1206 Carlton Ave

Application Type	Quantity	Fee	Subtotal
Special Use Permit (Residential)		\$ 1,500	
Special Use Permit (Mixed Use/Non-Residential)		\$ 1,800	
Mailing Costs per letter		\$1 per letter	
Newspaper Notice		Payment Due Upon Invoice	
TOTAL			

Office Use Only

Amount Received: _____ Date Paid _____ Received By: _____

Amount Received: _____ Date Paid _____ Received By: _____

Amount Received: _____ Date Paid _____ Received By: _____

Amount Received: _____ Date Paid _____ Received By: _____

SITE DEVELOPMENT PLAN FOR 1206 CARLTON TAX MAP 57, PARCEL 127 CITY OF CHARLOTTESVILLE, VIRGINIA

VICINITY MAP SCALE: 1"=1000'

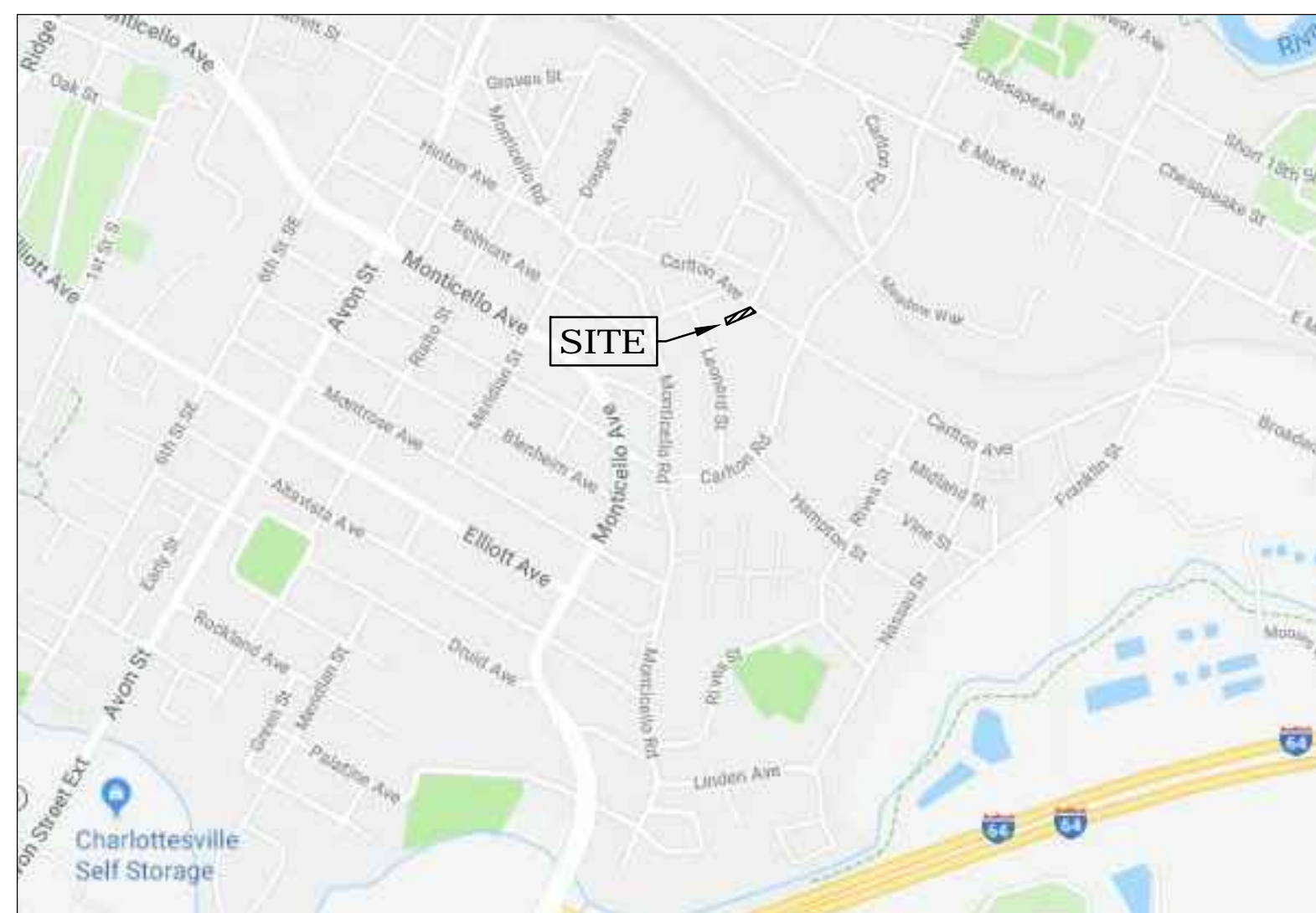


IMAGE PROVIDED BY GOOGLE MAPS

LEGEND		DESCRIPTION
EXIST	NEW	
16 ⁵ TC	x 12 ² TC	TOP OF CURB ELEVATION
16 ⁵	x 12 ²	SPOT ELEVATION
16 ⁵ TW	x 12 ² TW	TOP OF WALL ELEVATION
16 ⁵ BW	x 12 ² BW	BOTTOM OF WALL ELEVATION
		BENCHMARK
		STORM SEWER
		ROOF DRAIN
		SEWER LINE
		WATER LINE
		GAS LINE
		OVERHEAD ELECTRIC WIRE
		UNDERGROUND ELECTRIC
		OVERHEAD TELEPHONE LINE
		UNDERGROUND TELEPHONE LINE
		DRAIN INLET (DI)
		STORM/SANITARY MANHOLE
		PLUG
		WATER VALVE & BOX
		FIRE HYDRANT
		WATER METER
		LIGHT POLE
		UTILITY POLE
		PROPERTY LINE
		ADJACENT PROPERTY LINE
		VACATED PROPERTY LINE
		BUILDING SETBACK
		PARKING SETBACK
		SANITARY EASEMENT
		GRADING EASEMENT
		DRAINAGE EASEMENT
		UTILITY EASEMENT
		WATER EASEMENT
		ACCESS EASEMENT
		STORM DRAINAGE EASEMENT
		TREE LINE
		FENCE
		STREAM
		INTERVAL CONTOUR
		INDEX CONTOUR
		STANDARD 6" CURB
		COMBINATION 6" CURB & GUTTER
		CONCRETE PAVEMENT / SIDEWALK
		RIPRAP
		ASPHALT
		GRASS
		EC-2 MATTING
		EC-3 MATTING
		WETLAND
		COMPACT PARKING
		CROSSWALK
		HANDICAP ACCESSIBLE AISLE
		CG-12
		HANDICAP PARKING

NOTE:
1. THE SIZE OF THE SYMBOLS MAY VARY FROM WHAT IS SHOWN.

SHEET INDEX

- SHEET C1 - COVER SHEET
- SHEET C2 - EXISTING CONDITIONS
- SHEET C3 - SITE PLAN
- SHEET C4 - LANDSCAPE PLAN

NOTES

1. All excavation for underground pipe installation must comply with OSHA Standards for the Construction Industry (29 CFR Part 1926).
2. The location of existing utilities across or along the line of the proposed work are not necessarily shown on the plans and where shown based on "MISS UTILITY" markings and are only approximately correct. The contractor shall locate all underground lines and structures as necessary.
3. The contractor shall verify the locations of all boundaries, buildings, existing elevations, vegetation and other pertinent site elements. Contractor shall immediately report any discrepancies to the engineer of record.
4. The contractor shall be responsible for notifying "MISS UTILITY" - 1-800-552-7001.
5. Any damage to existing utilities caused by the contractor or its subcontractors shall be the contractor's sole responsibility to repair. This expense is the contractor's responsibility.
6. All paving, drainage related materials and construction methods shall conform to current specifications and standards of the City of Charlottesville unless otherwise noted.
7. An erosion and sediment control plan is required with this site plan.
8. All slopes and disturbed areas are to be fertilized, seeded and mulched. The maximum allowable slope is 2:1. Where it is reasonably obtainable, lesser slopes of 3:1 or better are to be achieved.
9. Paved, rip-rap or stabilization mat lined ditch may be required when in the opinion of the Engineer it is deemed necessary in order to stabilize a drainage channel.
10. All traffic control signs shall conform to the 2011 Virginia Supplement to the 2009 Manual on Uniform Control Devices.
11. Unless otherwise noted all concrete pipe shall be reinforced concrete pipe - Class III.
12. All material inside concrete forms shall be clean and free of all rocks and other loose debris. Sub-base material shall be compacted by mechanical means. Remove all standing water from area inside forms.
13. Concrete and asphalt shall not be placed unless the air temperature is at least 40 degrees in the shade and rising. Material shall not be placed on frozen subgrade.
14. All existing curbs, curb and gutters and sidewalks to be removed shall be taken out to the nearest joint.
15. Existing asphalt pavement shall be saw cut and removed as per VDOT Road and Bridge Specifications 2007. Removal shall be done in such a manner as to not tear, bulge or displace adjacent pavement. Edges shall be clean and vertical. All cuts shall be parallel or perpendicular to the direction of traffic.
16. The contractor shall exercise care to provide positive drainage to the storm inlets or other acceptable drainage paths in all locations.
17. Contact information for any necessary inspections with City: E&S inspector, NDS- 970-3182 (for the E&S inspections) Project Inspectors, NDS-970-3182 (for other construction items like sidewalk, pavement patches, road, storm sewer etc) Water and Sanitary Sewer-Public Works 970-3800 Street cut, Public Works 970-3800 Other public ROW issues-City Engineer 970-3182.
18. Any sidewalk and/or curb damage identified in the site vicinity due to project construction activities as determined by City inspector shall be repaired at the contractor's expense.
19. A temporary street closure permit is required for closure of sidewalks, parking spaces and roadways and is subject to approval by the City Traffic Engineer.

OWNER/DEVELOPER

Hulett Management Services Inc
1808 N. Quantico Street
Arlington, VA 22205

ZONING

Zoned R-2 - Residential

LEGAL REFERENCE

TM 57 Parcel 127
DB 69 PG 302 (Plot)

SOURCE OF BOUNDARY & TOPO

Boundary information obtained from plot of record
Topography information obtained from City of Charlottesville GIS

BUILDING HEIGHT

Maximum Building Height Allowed in R-3.45'
Maximum Proposed Building Height: 35'

BUILDING SETBACKS

Front Primary Street: 25' Min.
Rear Alley: 25' Min.
Side Adjacent to R-3 Medium Density Residential: 10' Min.
Side Adjacent to R-2 Low Density Residential Spite Strip: 10' Min, 5' Requested for 8'

EXISTING USE

Low Density Residential

PROPOSED USE

6 - 2 Bedroom Residential Units
Gross Residential Density:
6 Units/0.26 Acres = 24 Units Per Acre

LAND USE SCHEDULE

	Area	%
EXISTING		
Impervious area	0 SF	0%
Open space	11,326 SF	100%
Total=	11,326 SF (0.26 ac.)	
PROPOSED		
Building	2,444 SF	21.6%
Pavement	4,106 SF	36.3%
Sidewalk	1,028 SF	9.1%
Impervious area	7,578 SF	66.9%
Open Space	3,748 SF	33.1%
Total=	11,326 SF (0.26 ac.)	

LAND DISTURBANCE

0.26 acres of total land disturbance is proposed with this plan.

CITY PERMITS

1. The contractor shall be responsible for obtaining a street cut permit from the City.
2. A Temporary Street Closure Permit is required for closure of sidewalks, parking spaces and roadways and is subject to approval by the City Traffic Engineer. The contractor contact information will be provided with the final plans.

SIGNS

All signs and pavement markings shall conform with the latest edition of the MUTCD Guidelines.

FIRE MARSHAL'S NOTES

- SITE PLAN:
1. VSFFC 505.1-The building street number to be plainly visible from the street for emergency responders.
 2. VSFFC 506.1 - An approved key box shall be mounted to the side of the front or main entrance.
 3. VSFFC 506.1.2 - An elevator key box will be required if the building has an elevator.
 4. VSFFC 507.5.4 - Fire hydrants, fire pump test header, fire department connections or fire suppression system control valves shall remain clear and unobstructed by landscaping, parking or other objects.
 2. VSFFC 503.2.1 - Overhead wiring or other obstructions shall be higher than 13 feet 6 inches.
 3. VSFFC 3312.1 - An approved water supply for fire protection shall be made available as soon as combustible material arrives on the site. Fire hydrants shall be installed and useable prior to the start of any building construction.
 4. All pavement shall be capable of supporting fire apparatus weighing 85,000 lbs.
 5. Required vehicle access for fire fighting shall be provided to all construction or demolition sites. Vehicle access shall be provided to within 100 feet of temporary or permanent fire department connections. Vehicle access shall be provided by either temporary or permanent roads, capable of supporting vehicle loading under all weather conditions. Vehicle access shall be maintained until permanent fire apparatus access roads are available.
 6. Buildings four or more stories in height shall be provided with not less than one standpipe for use during construction. Such standpipes shall be installed when the progress of construction is not more than 40 feet in height above the lowest level of fire department access. Such standpipe shall be provided with fire department hose connections at accessible locations adjacent to useable stairs. Such standpipes shall be extended as construction progresses to within one floor of the highest point of construction having secured decking or flooring.

CONSTRUCTION & DEMOLITION:

1. VSFFC 310.3: 310.5 - Smoking to be allowed in only designated spaces with proper receptacles.
2. VSFFC 3304.2 - Waste disposal of combustible debris shall be removed from the building at the end of each workday.
3. IFC 1410.1-Access to the building during demolition and construction shall be maintained.
4. VSFFC 3304.6 - Operations involving the use of cutting and welding shall be done in accordance with Chapter 35, of the Virginia Statewide Fire Prevention Code, addressing welding and hotwork operations.
5. VSFFC 3315.1 -Fire extinguishers shall be provided with not less than one approved portable fire extinguisher at each stairway on all floor levels where combustible materials have accumulated.
6. VSFFC 3310.1 - Required vehicle access for fire fighting shall be provided to all construction or demolition sites. Vehicle access shall be provided to within 100 feet of temporary or permanent fire department connections, if any. Vehicle access shall be maintained until permanent fire apparatus access roads are available.

FLOOD ZONE

According to the FEMA Flood Insurance Rate Map, effective date February 4, 2005 (Community Panel 5100300288D), this property does not lie within a Zone A 100-year flood plain.

ELECTRIC / TELEPHONE / CABLE TV

If feasible, all new service lines for electricity, telephone and cable TV are to be installed underground. Care is to be taken to assure their location does not conflict with any other aspects of the proposed site plan.

PARKING SCHEDULE

Required Parking:
1 space per 1-2 bedroom residential unit. = 6 Units X 1 = 6 Spaces Req.
Accessible Parking: 1 Spaces Per 25 Total Req. = 6/25 = 1 Spaces
Total Required: 6 Spaces

Provided Parking:
6 Spaces Total Provided
Includes 1 Space as Van Accessible

Bike Parking:
1 space per 2 residential units = 6 Units X 0.5 = 3 Spaces Req.
3 Parking Spaces Provided

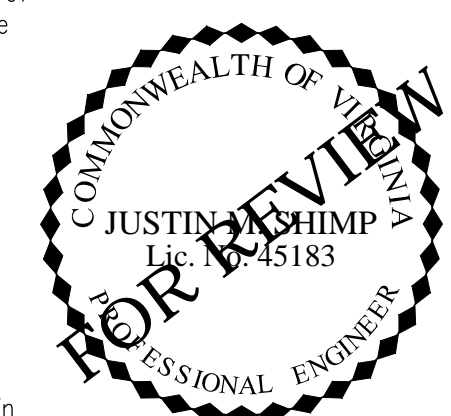
ITE TRIP GENERATION

Use Description	ITE	Qty	AM			PM		
			in	out	Total	in	out	Total
Apartment	220	6 units	1	2	3	2	2	4

APPROVALS:

DIRECTOR OF NEIGHBORHOOD DEVELOPMENT SERVICES _____ DATE _____

SHIMP ENGINEERING, P.C.
 ENGINEERING - LAND PLANNING - PROJECT MANAGEMENT
 201 E. MAIN ST., SUITE 101
 CHARLOTTESVILLE, VA 22902
 PHONE: (434) 227-5140
 JUSTIN@SHIMP-ENGINEERING.COM



COVER SHEET

Rev. #	Date	Description

SPECIAL USE PERMIT APPLICATION
1206 Carlton
 CITY OF CHARLOTTESVILLE, VIRGINIA

Date: 12/22/2017
Scale: N/A
Sheet No.: C1 OF 4
File No.: 17.039



SHIMP ENGINEERING, P.C.
 ENGINEERING - LAND PLANNING - PROJECT MANAGEMENT
 201 E. MAIN ST., SUITE M
 CHARLOTTEVILLE, VA 22902
 PHONE: (434) 227-5140
 JUSTIN@SHIMP-ENGINEERING.COM

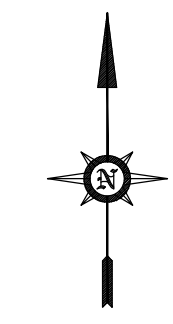
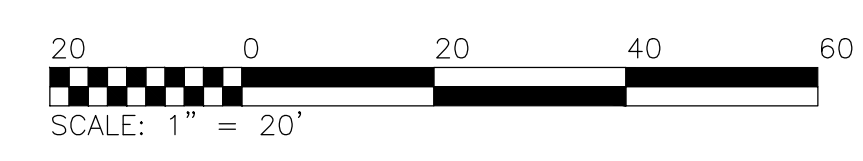


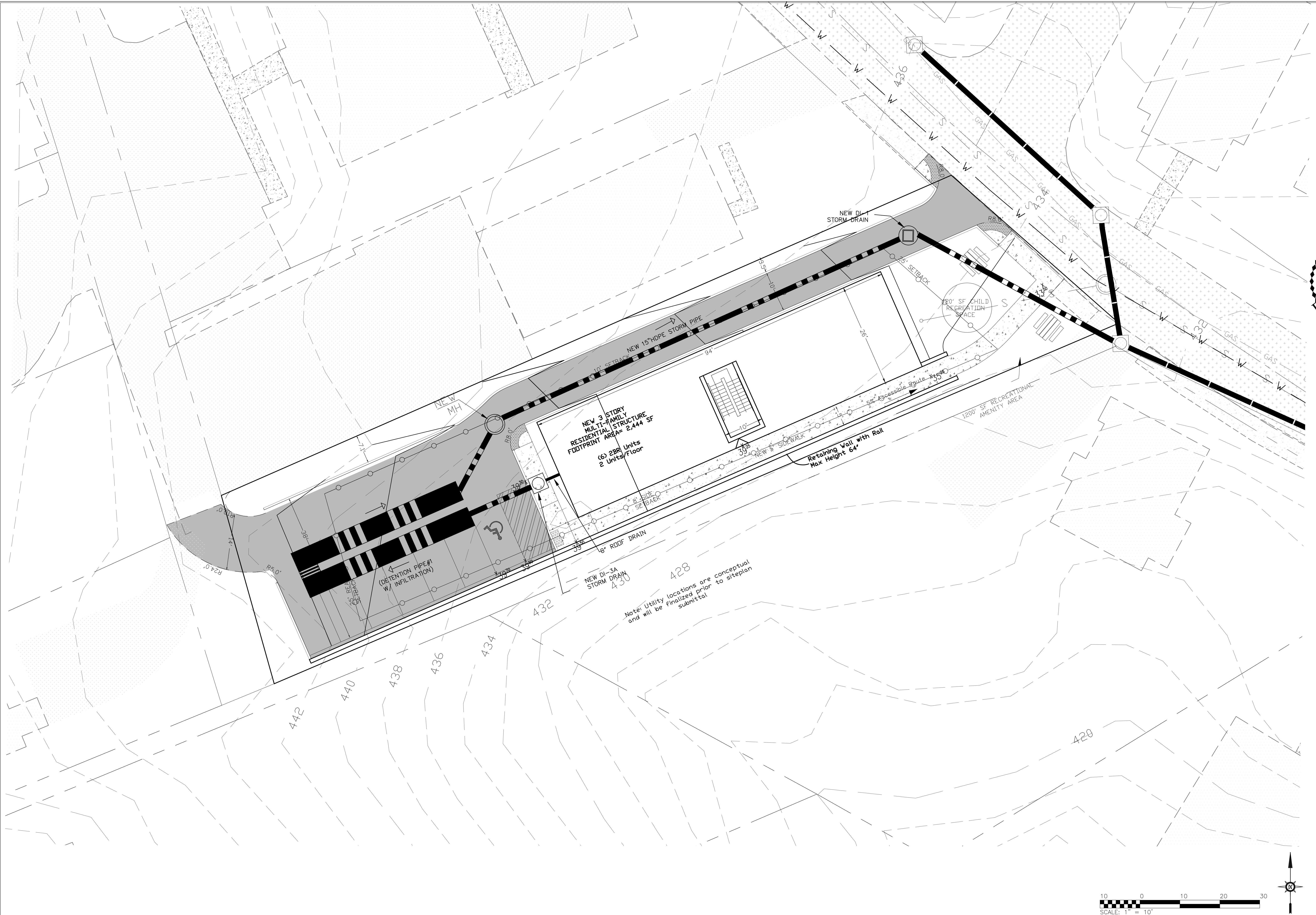
EXISTING CONDITIONS

Rev. #	Date	Description

SPECIAL USE PERMIT APPLICATION
1206 Carlton Ave
 CITY OF CHARLOTTEVILLE, VIRGINIA

Date: 12/22/2017
 Scale: 1" = 20'
 Sheet No.: C2 OF 4
 File No.: 17.039





Note: Utility locations are conceptual and will be finalized prior to siteplan submittal

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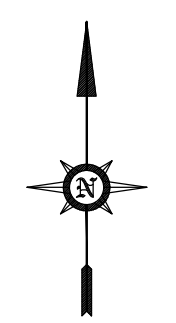
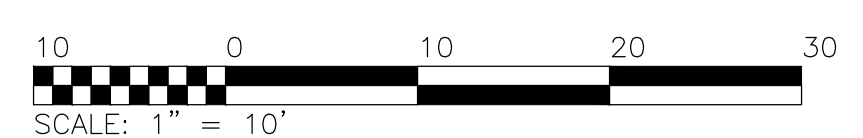


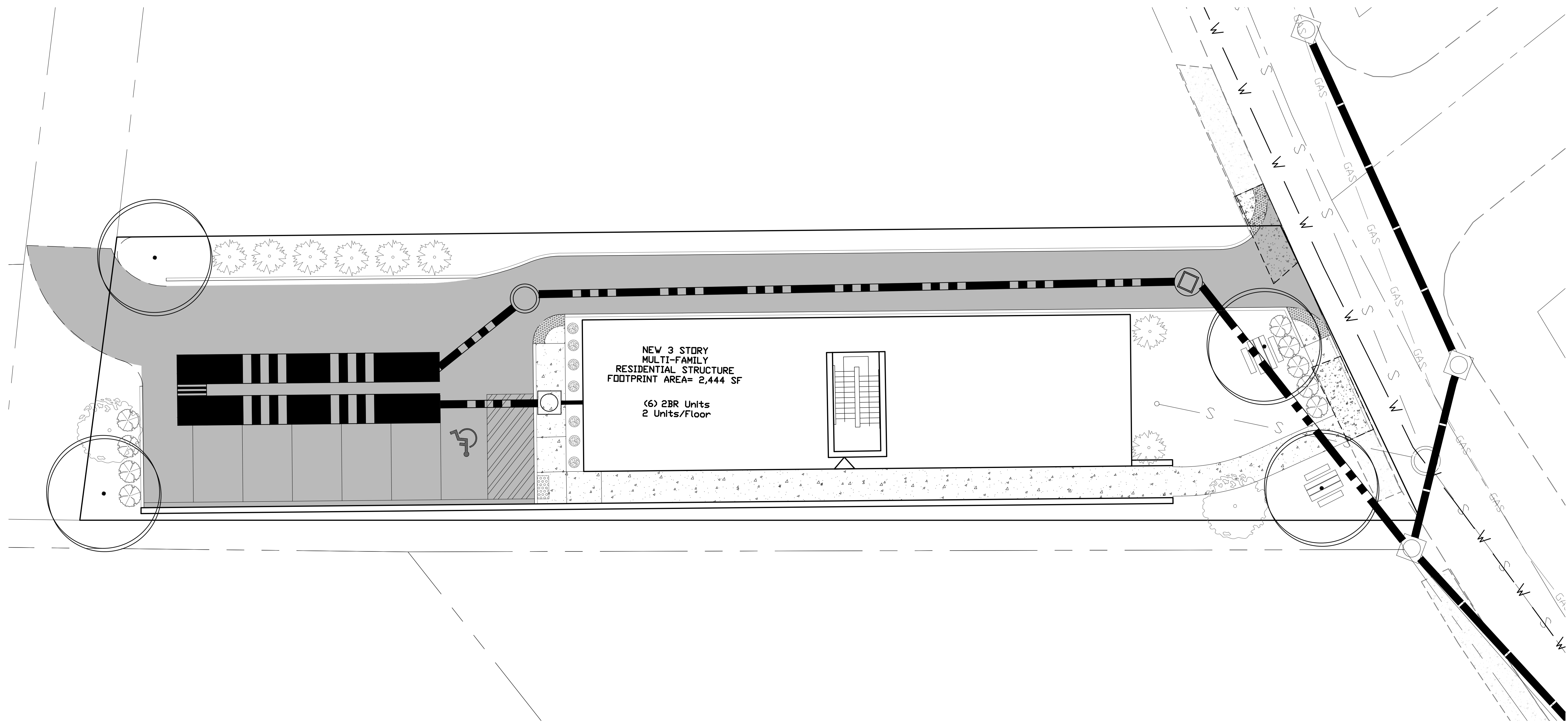
SITE PLAN

Rev. #	Date	Description

SPECIAL USE PERMIT APPLICATION
1206 Carlton Ave
 CITY OF CHARLOTTEVILLE, VIRGINIA

Date: 12/22/2017
 Scale: 1" = 10'
 Sheet No.: C3 OF 4
 File No.: 17.039

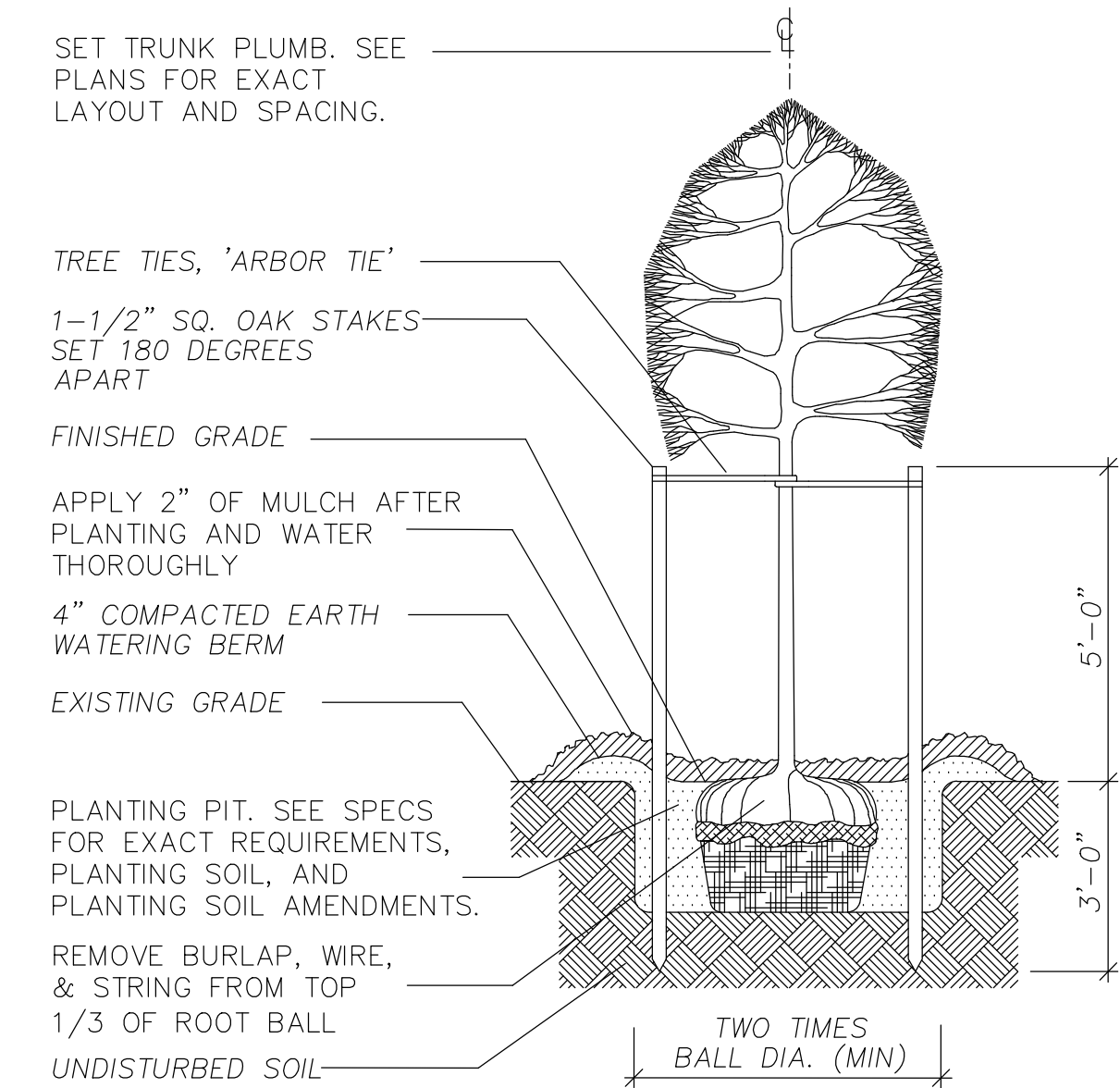




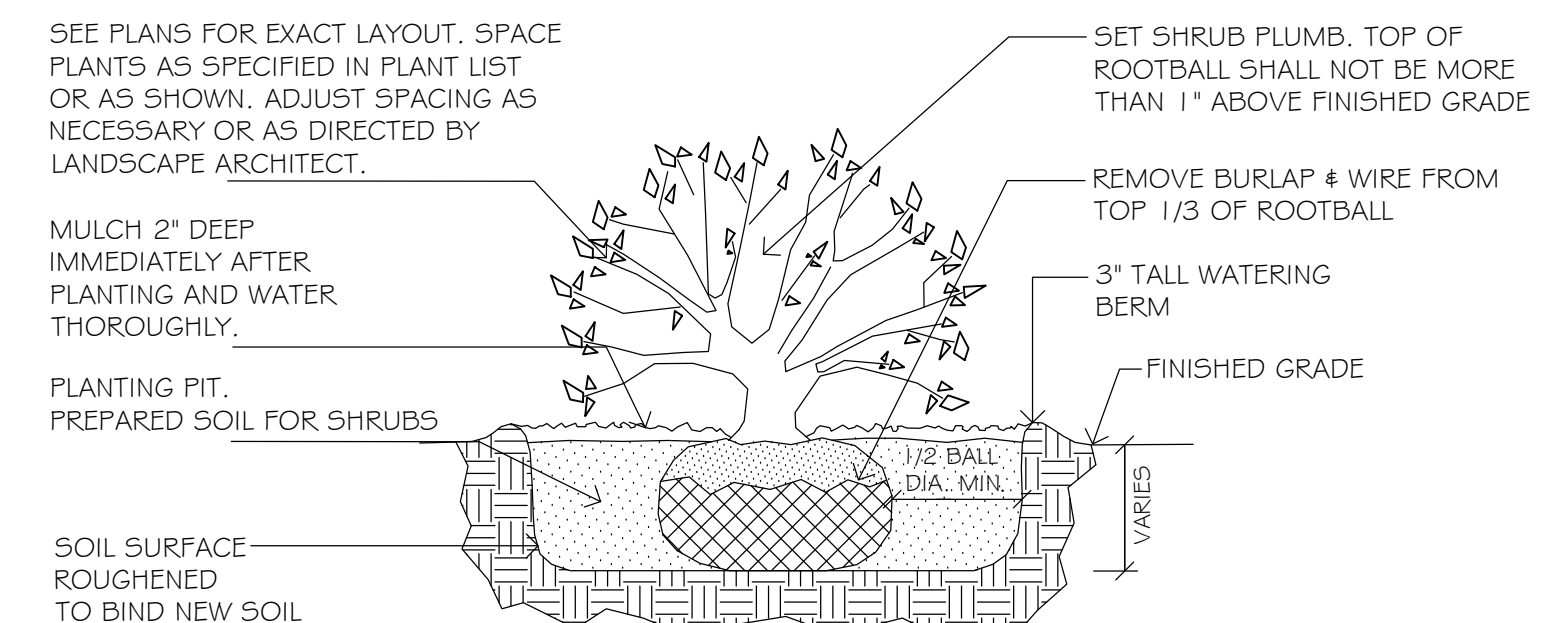
LANDSCAPING NOTES:
 STREETScape REQUIREMENT (SEC 34-870) :
 66 LINEAR FEET / 40 = 2 TREES
 2 STREET TREES PROVIDED PROVIDED
 INTERIOR PARKING LOT LANDSCAPING (SEC. 34-873) :
 5% * 1,345 SF (GROSS PARKING AREA) = 68 SF
 1 LARGE SHADE TREE & 4 SHRUBS PROVIDED
 CANOPY REQUIREMENT (SEC. 34-869):
 R2 REQUIRES 15% OF TOTAL SITE AREA FOR CANOPY COVER
 0.15 * 10,658 SF (0.245 AC) = 1,599 SF REQUIRED
TOTAL CANOPY PROVIDED: 1,631 SF

- NOTES:**
- Contractor to apply mulch bedding around all proposed trees and shrubs. All other landscaped areas shall be sodded.
 - All site plantings of trees and shrubs shall be allowed to reach, and be maintained at, mature height; the topping of trees is prohibited. Shrubs and trees shall be pruned minimally and only to support the overall health of the plant.
 - Canopy from 10 YR growth.

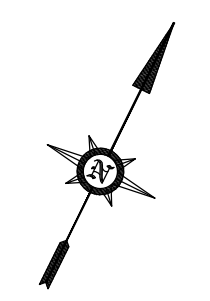
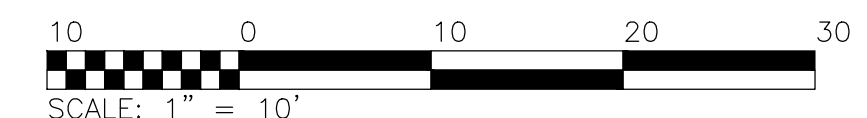
PROPOSED LANDSCAPE SCHEDULE									
Plant Symbol	Key	Planting Type	Botanical Name	Common Name	Min. Cal./Height	Quantity	Canopy SF (in 10 Yrs)	Total Canopy SF	
⊙	QA	Large Deciduous Tree	Quercus alba	White Oak	2" Cal.	4	243	972	
⊙	HV	Ornamental Tree	Hamamelis virginiana	Common Witch Hazel	6'	2	113	226	
⊙	MC	Broadleaf Evergreen	Myrica cerifera	Southern Waxmyrtle	6'	8	44	352	
⊙	CA	Deciduous Shrub	Cephalanthus occidentalis	Buttonbush	2'	9	9	81	
⊙	RA	Deciduous Shrub	Rhus aromatica 'low-gro'	Flameleaf Sumac 'low-gro'	2'	7	0	0	
■		Ground Cover		Premium Double Shredded Mulch		0			
								TOTAL SF:	1631



1 TREE PLANTING DETAIL
 C6 Not To Scale



2 SHRUB PLANTING DETAIL
 C6 Not To Scale



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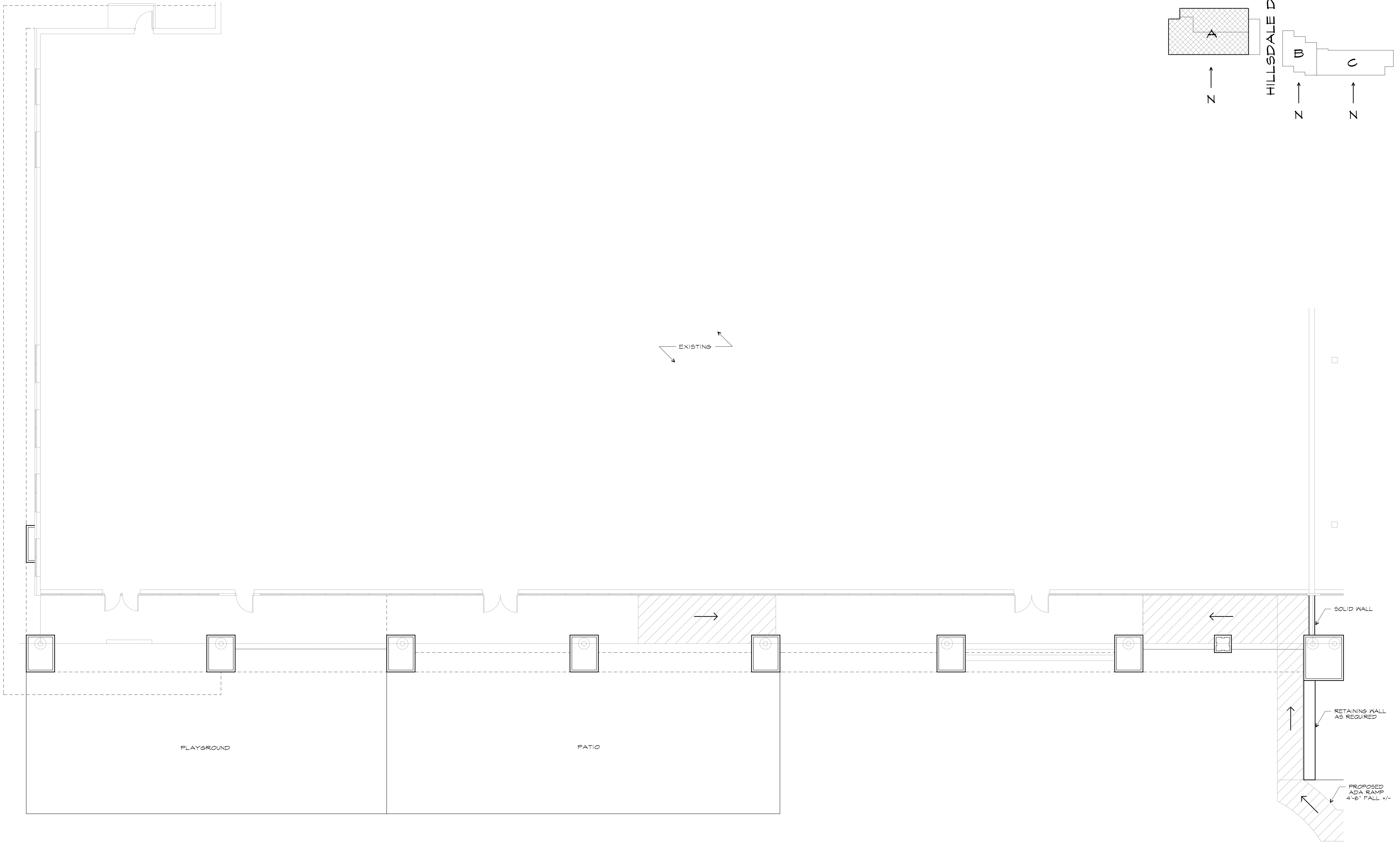


LANDSCAPE PLAN

Rev. #	Date	Description

SPECIAL USE PERMIT APPLICATION
1206 Carlton Ave
 CITY OF CHARLOTTEVILLE, VIRGINIA

Date: 12/22/2017
 Scale: 1" = 10'
 Sheet No. C4 OF 4
 File No. 17.039

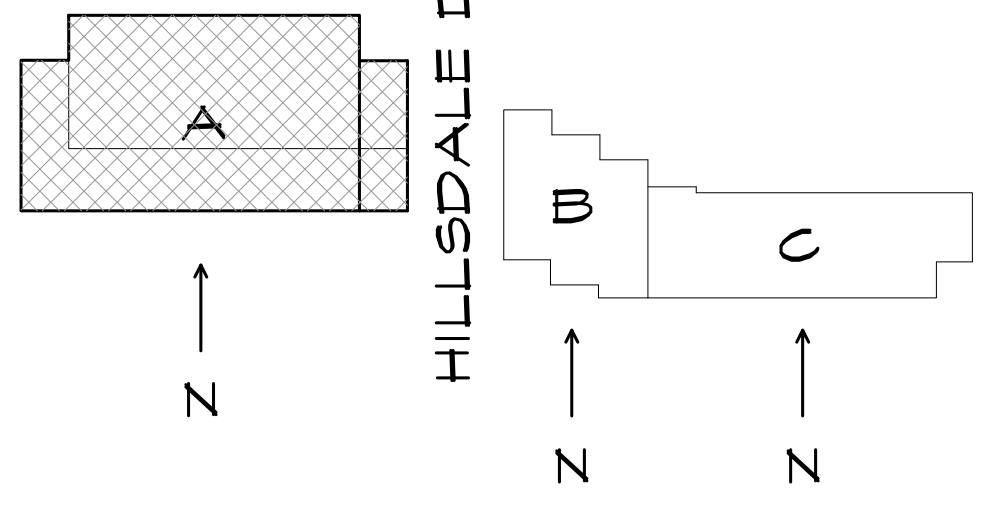
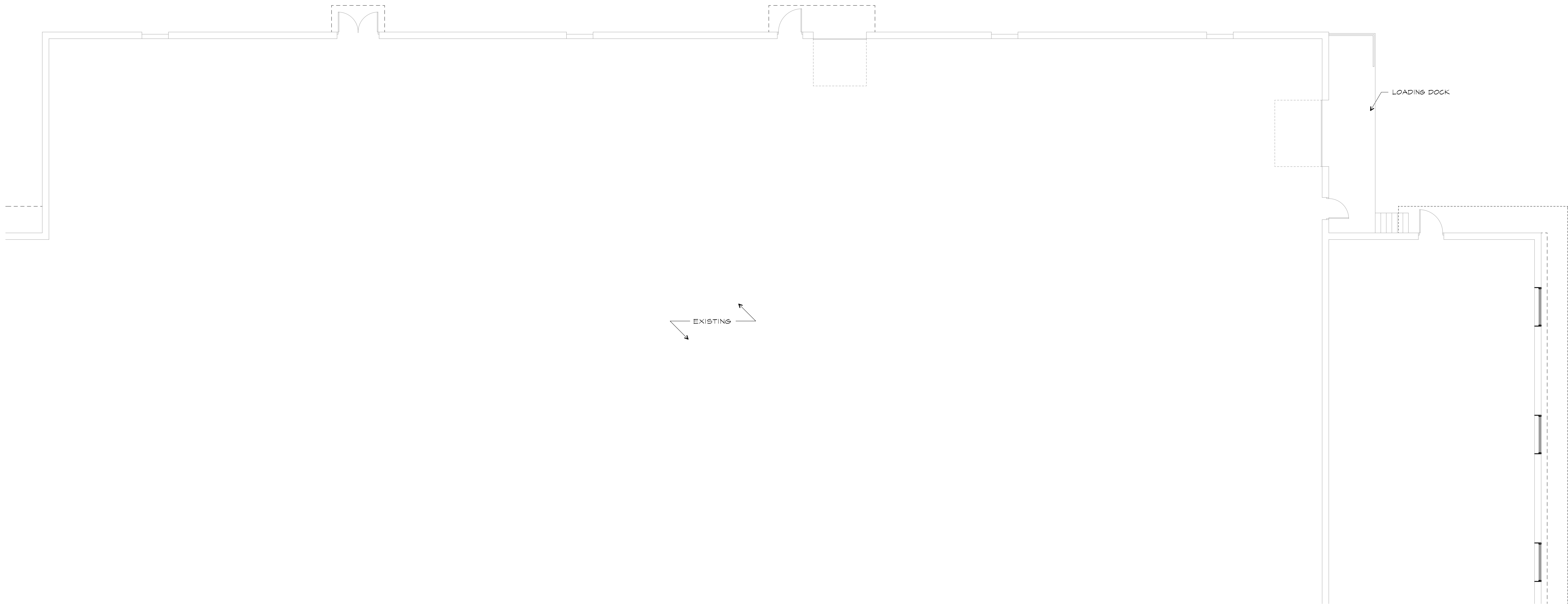


1 PROPOSED NORTH WING PLAN - BUILDING A
SCALE: 1/8" = 1'-0"

ALTERATIONS
SEMINOLE SQUARE
CHARLOTTESVILLE, VIRGINIA

DRAWING RELEASE		REVISION	
NO.	DATE	NO.	DATE

NORTH WING PLAN BUILDING A	PROJECT NO. 1526	FILE NO. 1526-ERB02
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1 PROPOSED NORTH WING PLAN - BUILDING A - REAR
 SCALE: 1/8" = 1'-0"

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SEAL

ALTERATIONS
SEMINOLE SQUARE
 CHARLOTTEVILLE, VIRGINIA

NO.	DATE	DRAWING RELEASE
NO.	DATE	REVISION

NORTH WING PLAN BUILDING A	PROJECT NO. 1526	FILE NO. 1526-ERB03
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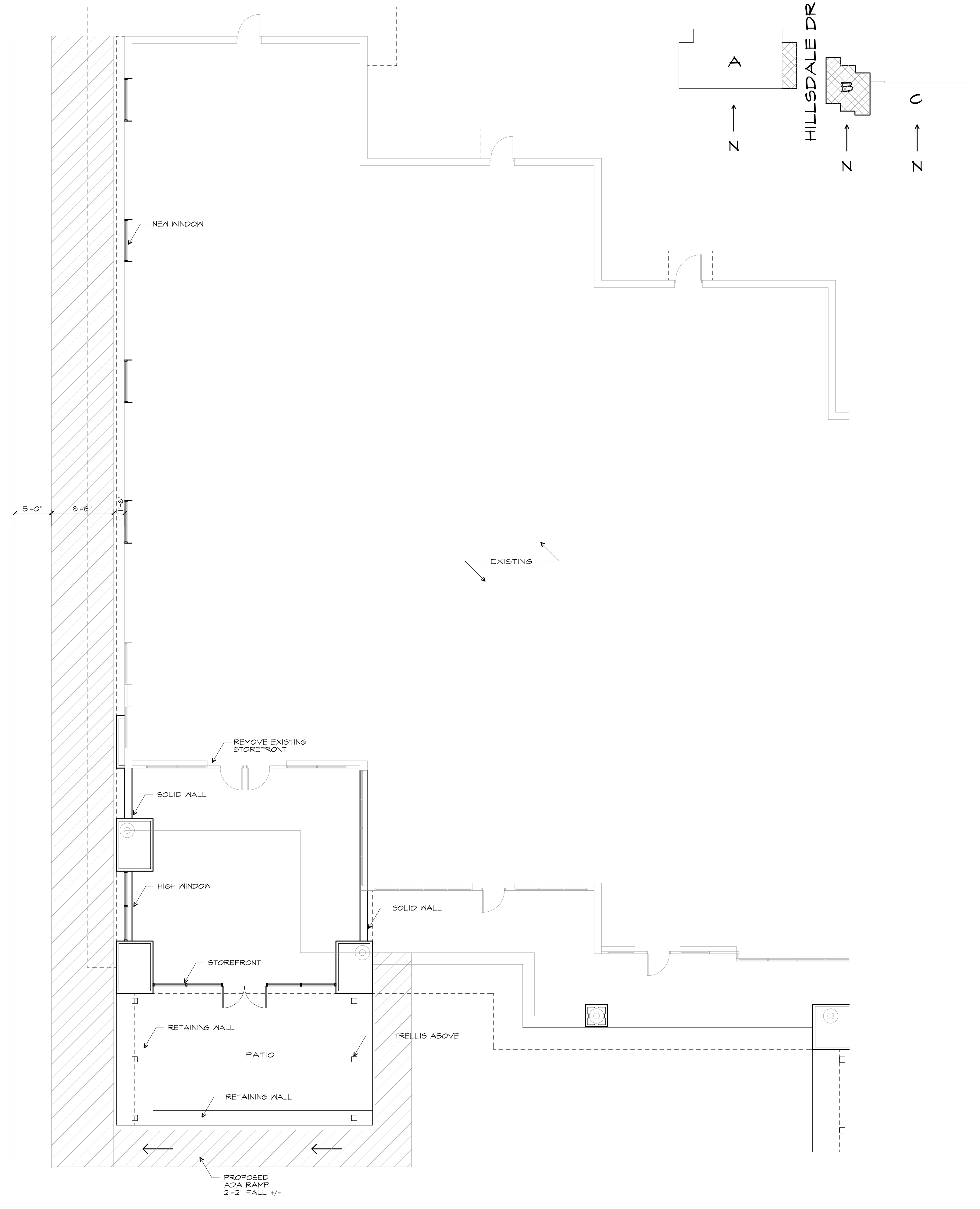
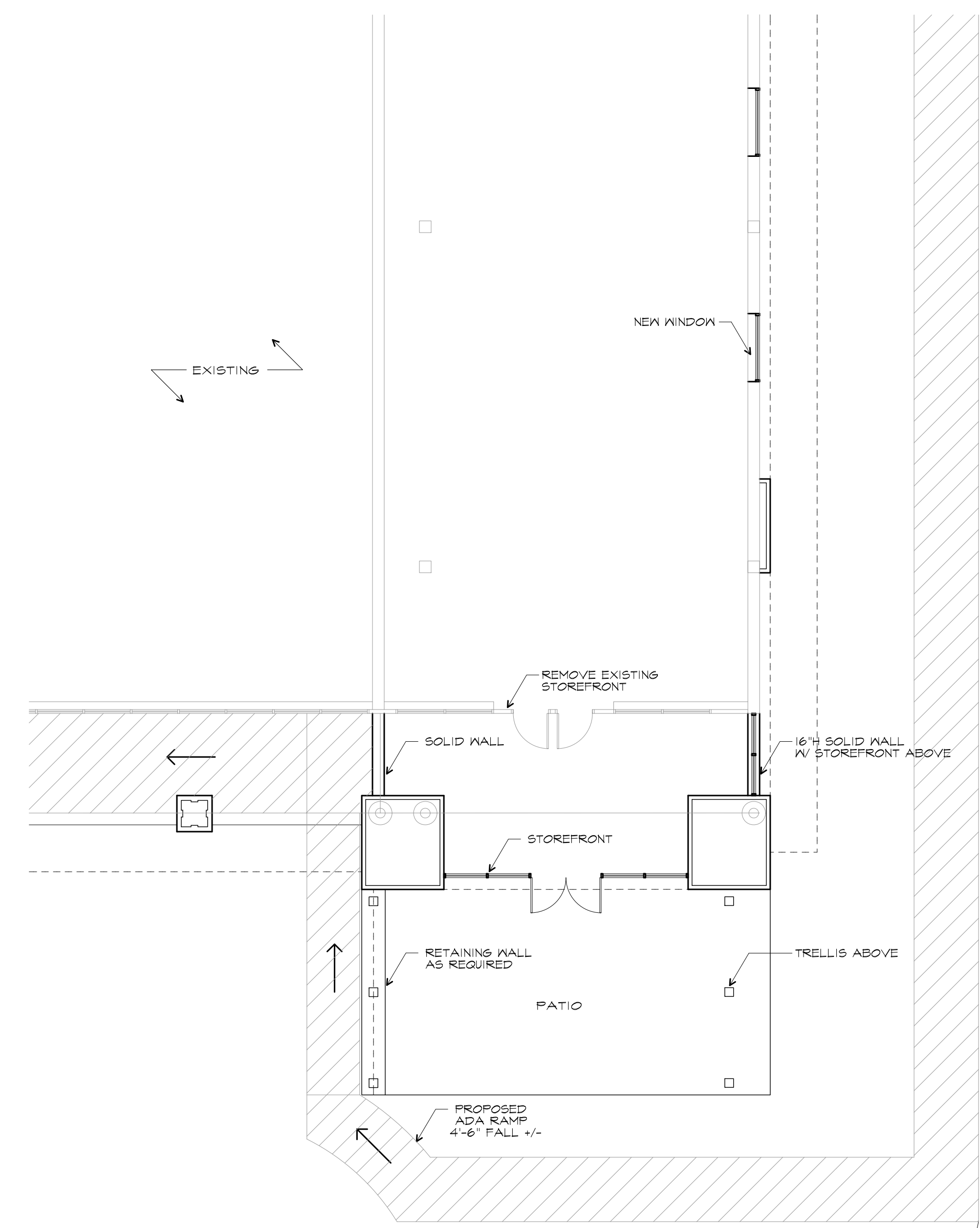
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ALTERATIONS
SEMINOLE SQUARE
 CHARLOTTEVILLE, VIRGINIA

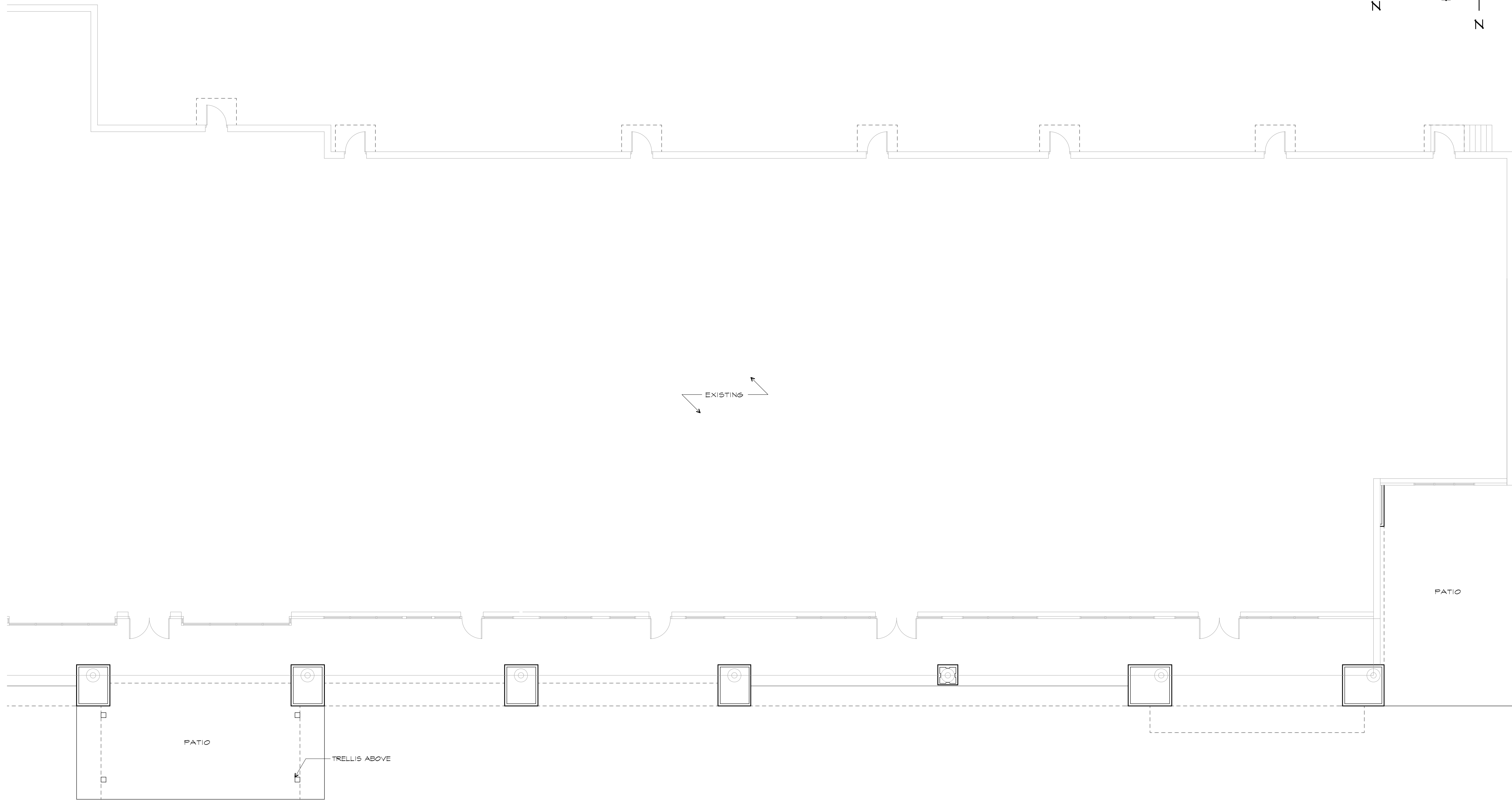
NO.	DATE	DRAWING RELEASE	NO.	DATE	REVISION

NORTH WING PLAN BUILDING B	PROJECT NO. 1526	FILE NO. 1526-ERB04
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ERB.04



1 PROPOSED NORTH WING PLAN - BUILDING B
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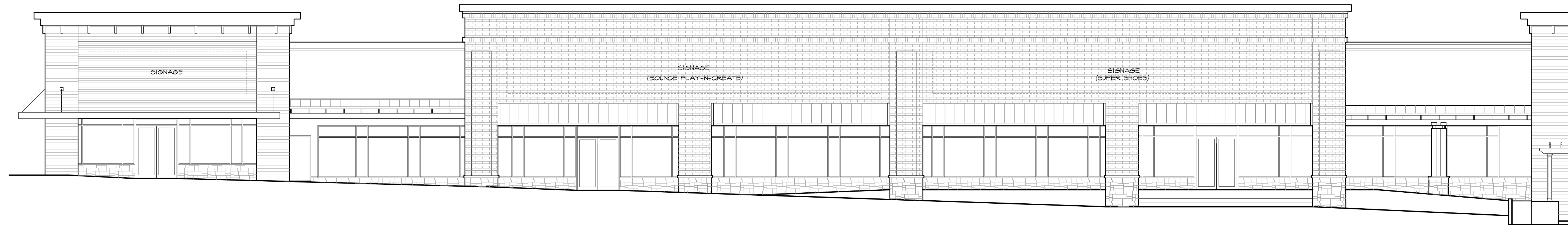


1 PROPOSED NORTH WING PLAN - BUILDING C
SCALE: 1/8" = 1'-0"

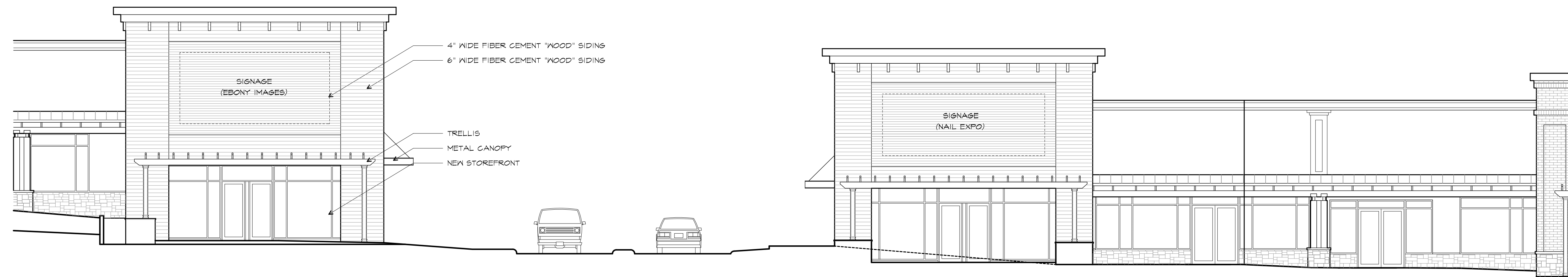
ALTERATIONS
SEMINOLE SQUARE
CHARLOTTESVILLE, VIRGINIA

NO.	DATE	DRAWING RELEASE
NO.	DATE	REVISION

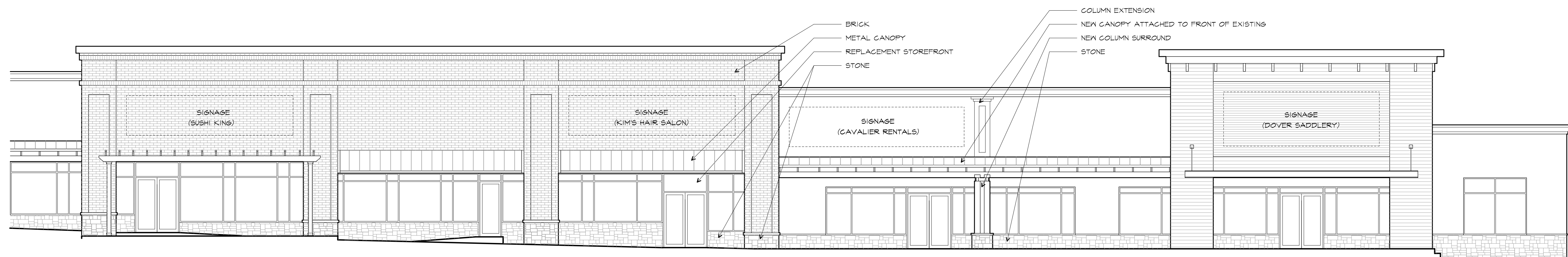
NORTH WING PLAN BUILDING C	PROJECT NO. 1526	FILE NO. 1526-ERB05
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1 PROPOSED NORTH WING ELEVATION - BUILDING A - FRONT
SCALE: 1/8" = 1'-0"



2 PROPOSED NORTH WING ELEVATION - BUILDING B - FRONT
SCALE: 1/8" = 1'-0"



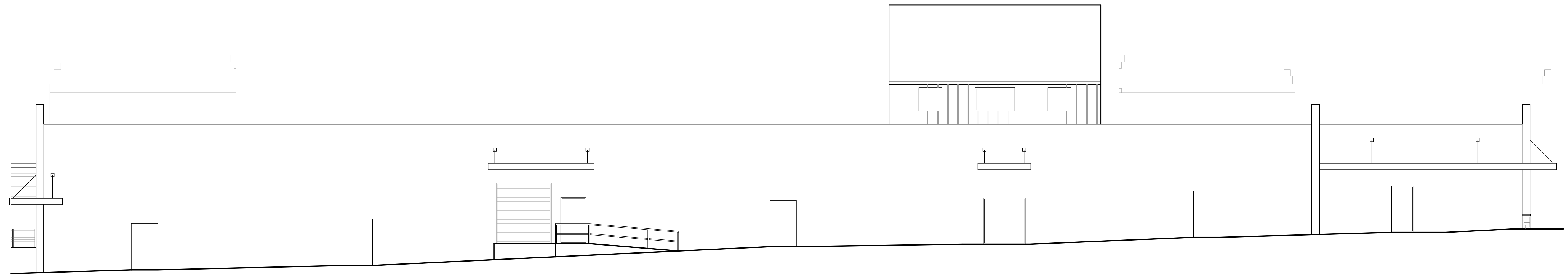
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SCALE: 1/8" = 1'-0"

DRAWING RELEASE		REVISION	
NO.	DATE	NO.	DATE

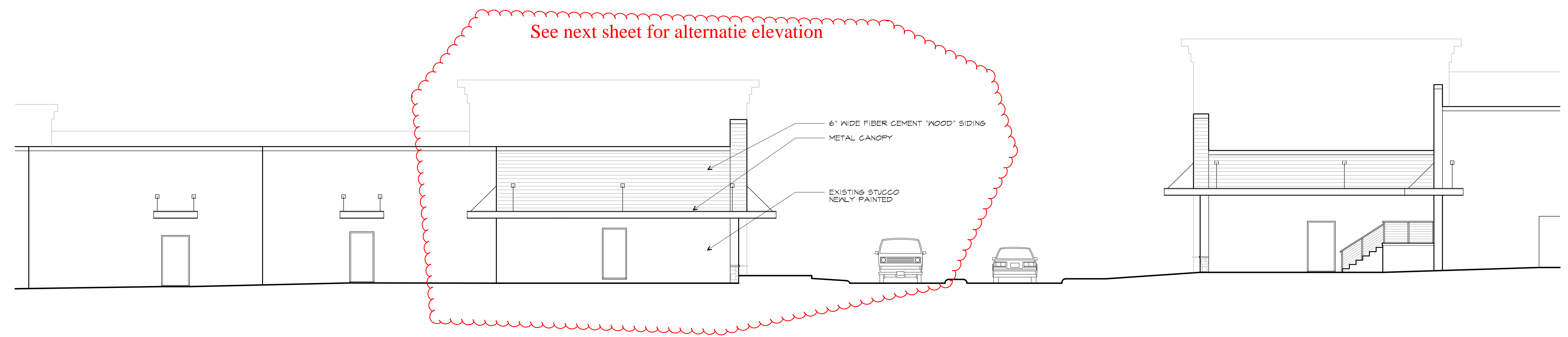
ALTERATIONS
SEMINOLE SQUARE
 CHARLOTTESVILLE, VIRGINIA

NO.	DATE	DRAWING RELEASE	NO.	DATE	REVISION

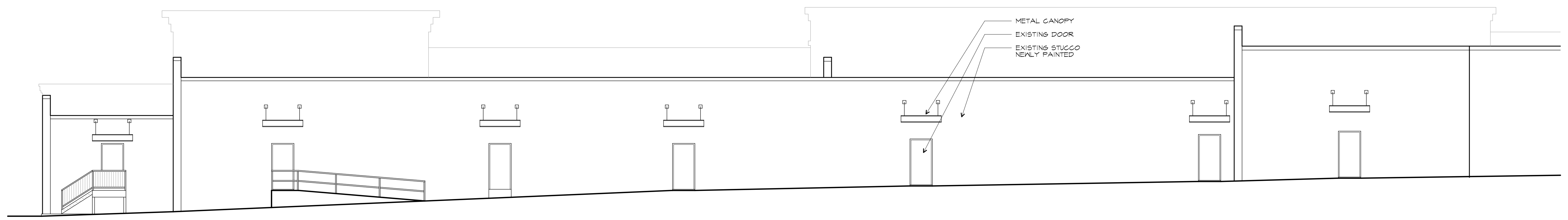
NORTH WING PLAN REAR ELEVATIONS	PROJECT NO. 1526	FILE NO. 1526-ERB07
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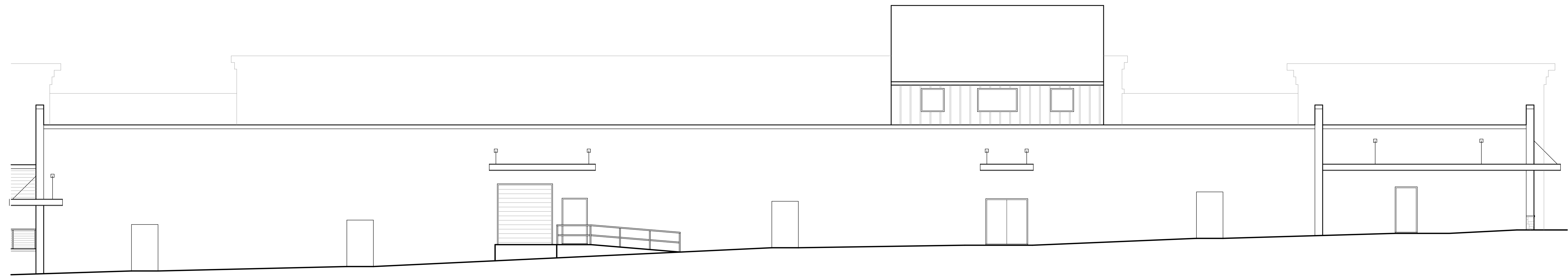
1 PROPOSED NORTH WING ELEVATION - BUILDING A - REAR
 SCALE: 1/8" = 1'-0"



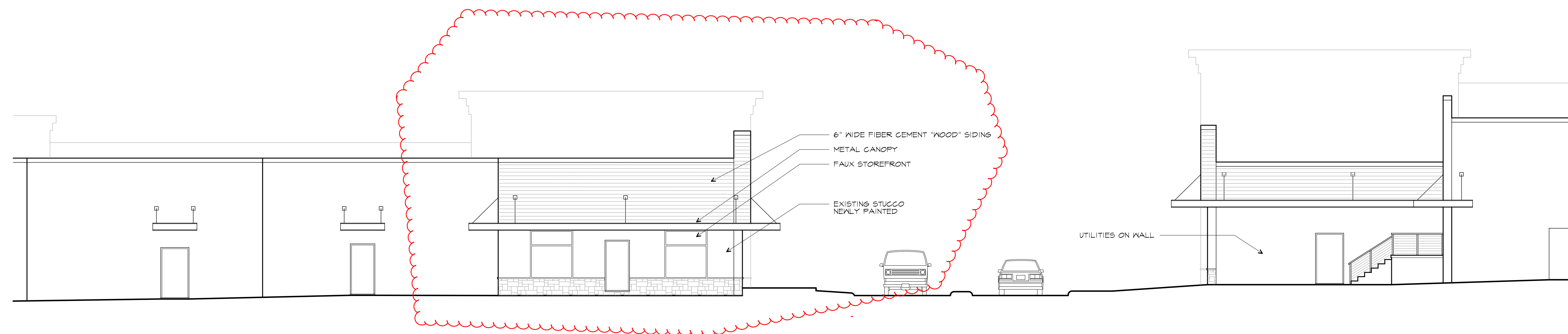
2 PROPOSED NORTH WING ELEVATION - BUILDING B - REAR
 SCALE: 1/8" = 1'-0"



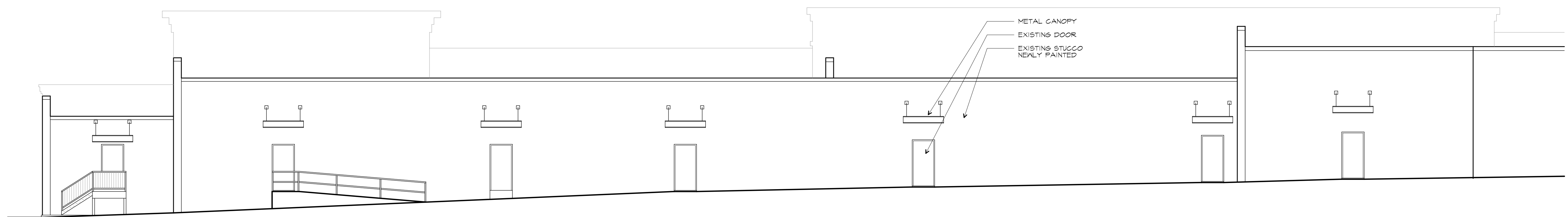
3 PROPOSED NORTH WING ELEVATION - BUILDING C - REAR
 SCALE: 1/8" = 1'-0"



1 PROPOSED NORTH WING ELEVATION - BUILDING A - REAR - ALTERNATE
SCALE: 1/8" = 1'-0"



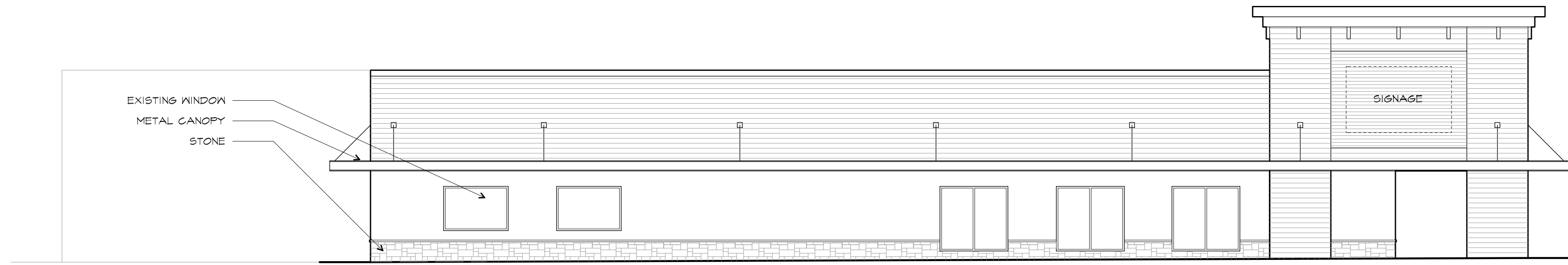
2 PROPOSED NORTH WING ELEVATION - BUILDING B - REAR - ALTERNATE
SCALE: 1/8" = 1'-0"



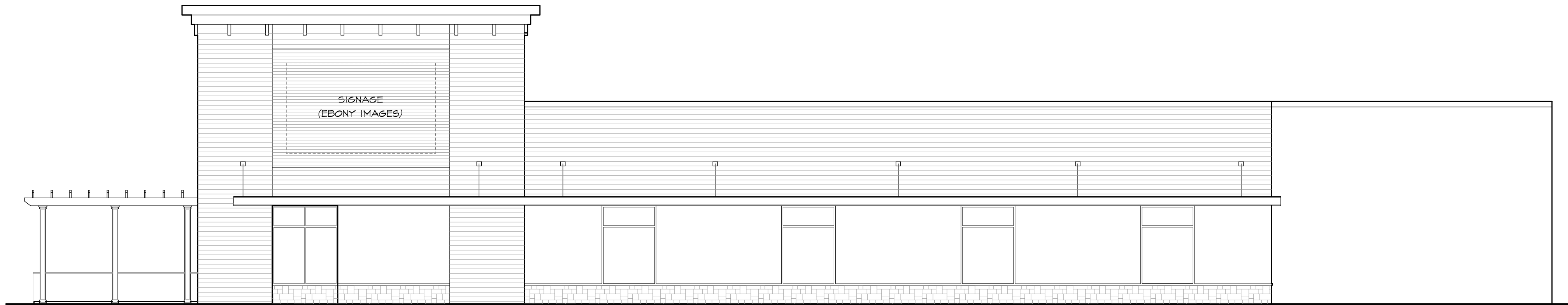
3 PROPOSED NORTH WING ELEVATION - BUILDING C - REAR - ALTERNATE
SCALE: 1/8" = 1'-0"

DRAWING RELEASE	
NO.	DATE
REVISION	
NO.	DATE

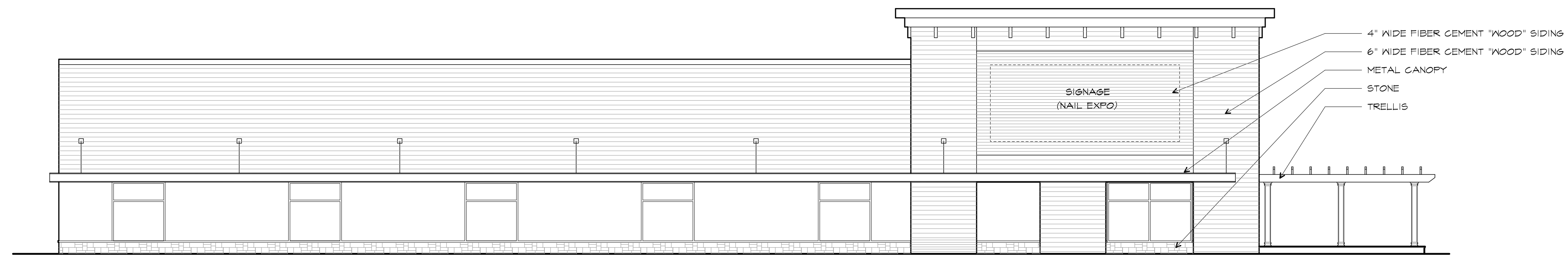
NORTH WING PLAN REAR ELEVATIONS ALTERNATE	PROJECT NO. 1926	FILE NO. 1926-ERS07
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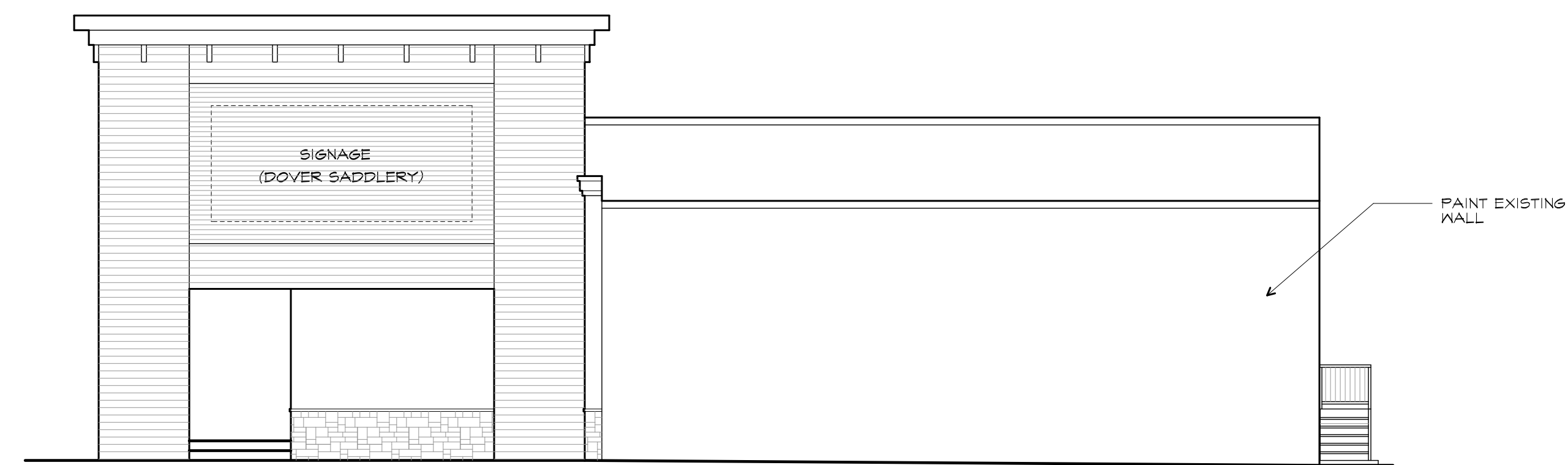
1 PROPOSED NORTH WING ELEVATION - BUILDING A - LEFT SIDE
SCALE: 1/8" = 1'-0"



2 PROPOSED NORTH WING ELEVATION - BUILDING A - RIGHT SIDE
SCALE: 1/8" = 1'-0"



3 PROPOSED NORTH ELEVATION - BUILDING B - LEFT SIDE
SCALE: 1/8" = 1'-0"



4 PROPOSED NORTH ELEVATION - BUILDING C - RIGHT SIDE
SCALE: 1/8" = 1'-0"

NO.	DATE	DRAWING RELEASE	NO.	DATE	REVISION



EXISTING - EAST WING FRONT FROM PARKING LOT/HILLSDALE DRIVE

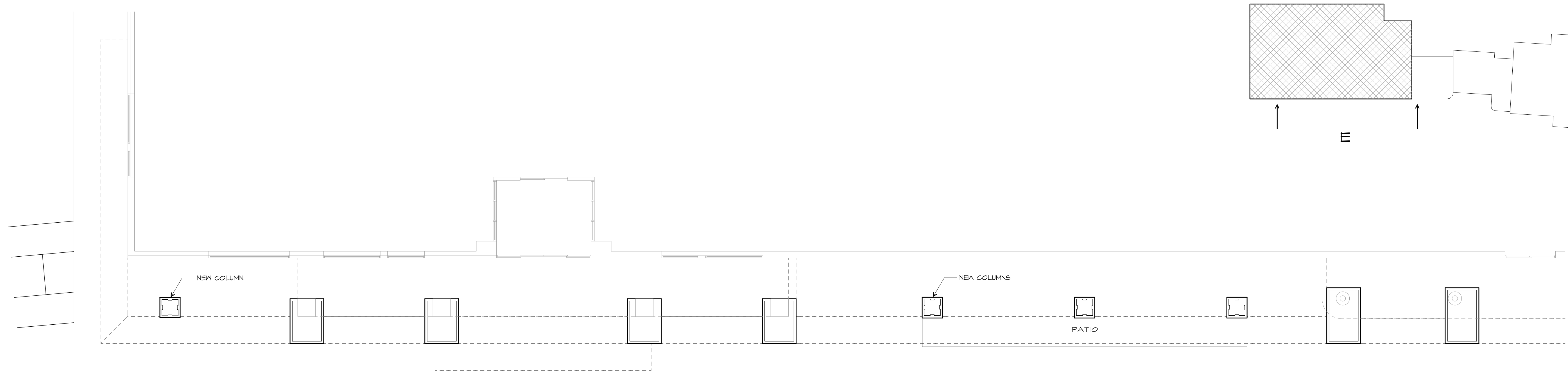
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ALTERATIONS
SEMINOLE SQUARE
 CHARLOTTESVILLE, VIRGINIA

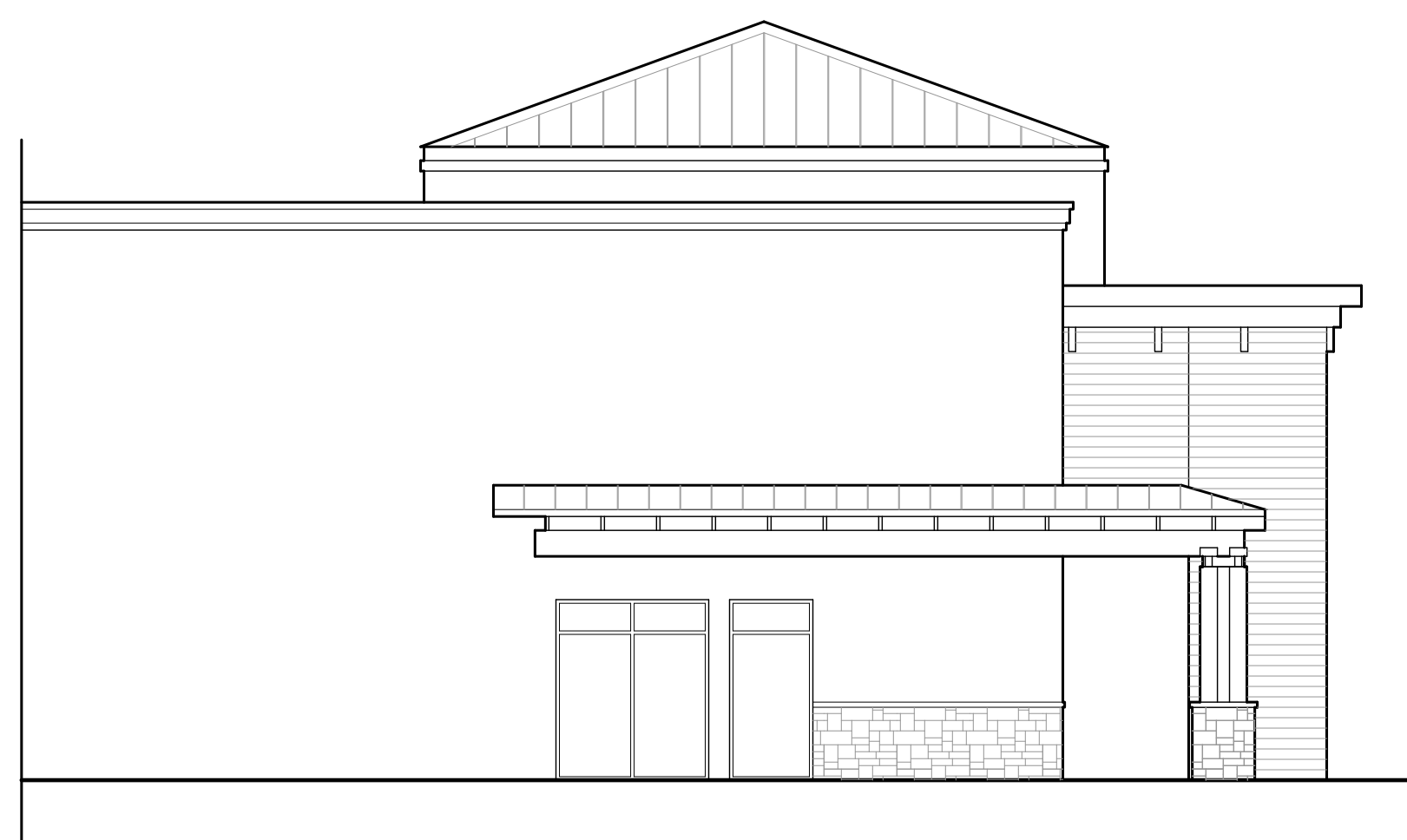
DRAWING RELEASE		REVISION	
NO.	DATE	NO.	DATE

SEMINOLE SQUARE
 SHOPPING CENTER
 CERT. OF APPROPRIATENESS
 PROJECT NO. 1926 FILE NO. 1926-ERS04

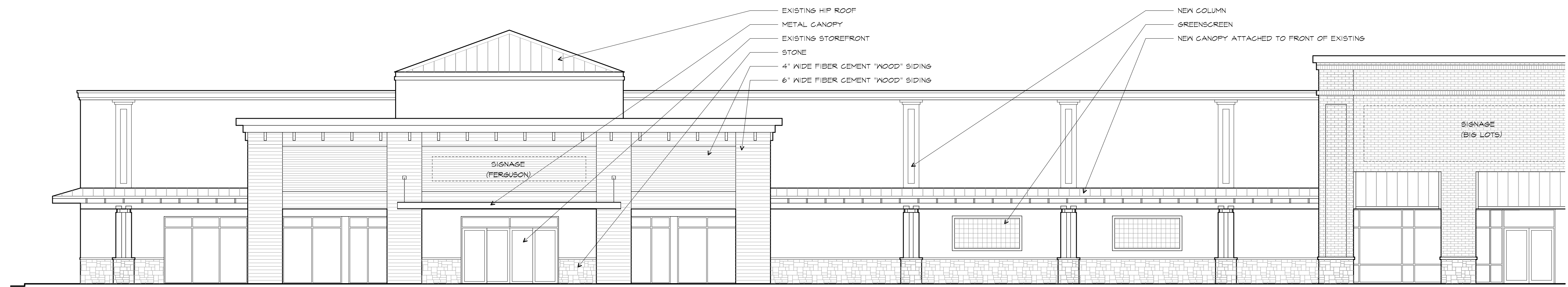
ERB.09



1 PROPOSED EAST WING PLAN
SCALE: 1/16" = 1'-0"



2 PROPOSED EAST WING ELEVATION - END WALL
SCALE: 1/16" = 1'-0"

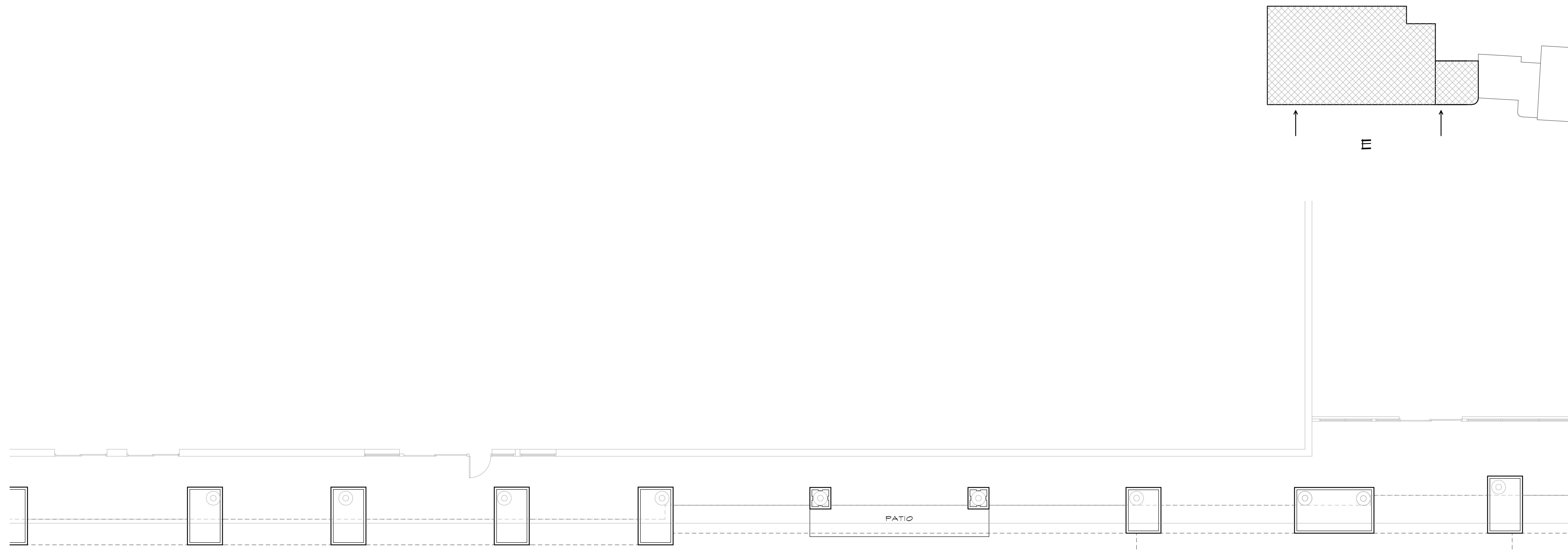


3 PROPOSED EAST WING ELEVATION
SCALE: 1/16" = 1'-0"

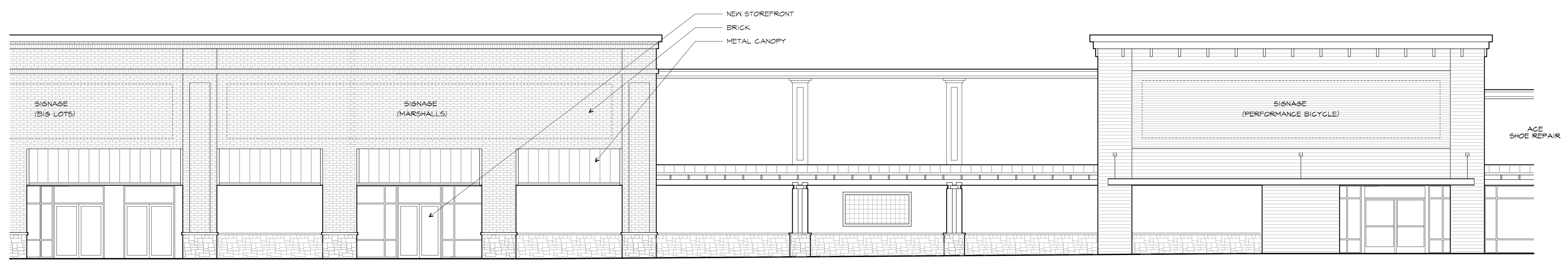
ALTERATIONS
SEMINOLE SQUARE
CHARLOTTESVILLE, VIRGINIA

DRAWING RELEASE		REVISION	
NO.	DATE	NO.	DATE

EAST WING PLAN & ELEVATIONS		FILE NO. 1526-ERS10
PROJECT NO. 1526		



1 PROPOSED EAST WING PLAN
SCALE: 1/16" = 1'-0"

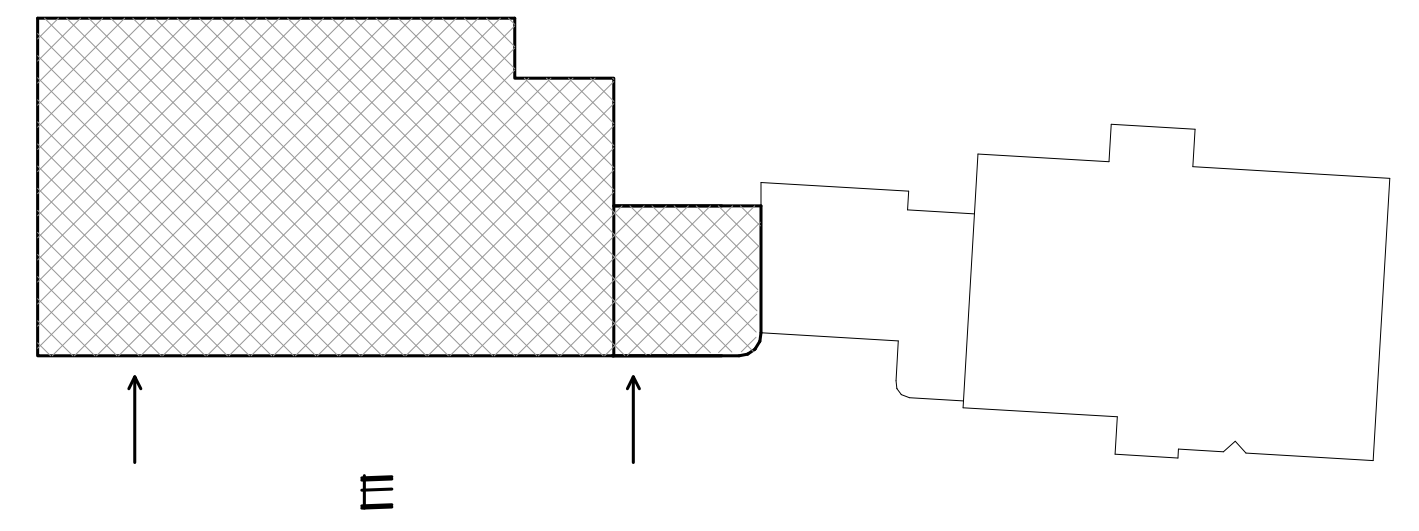
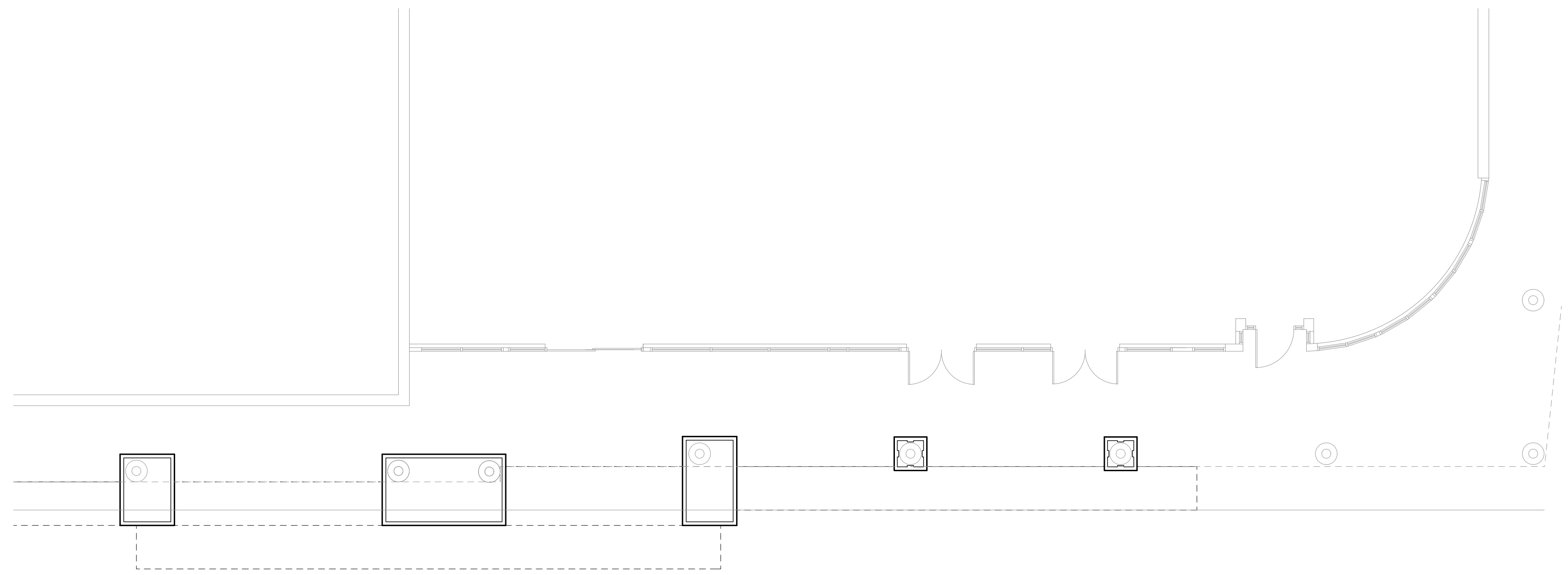


2 PROPOSED EAST WING ELEVATION
SCALE: 1/16" = 1'-0"

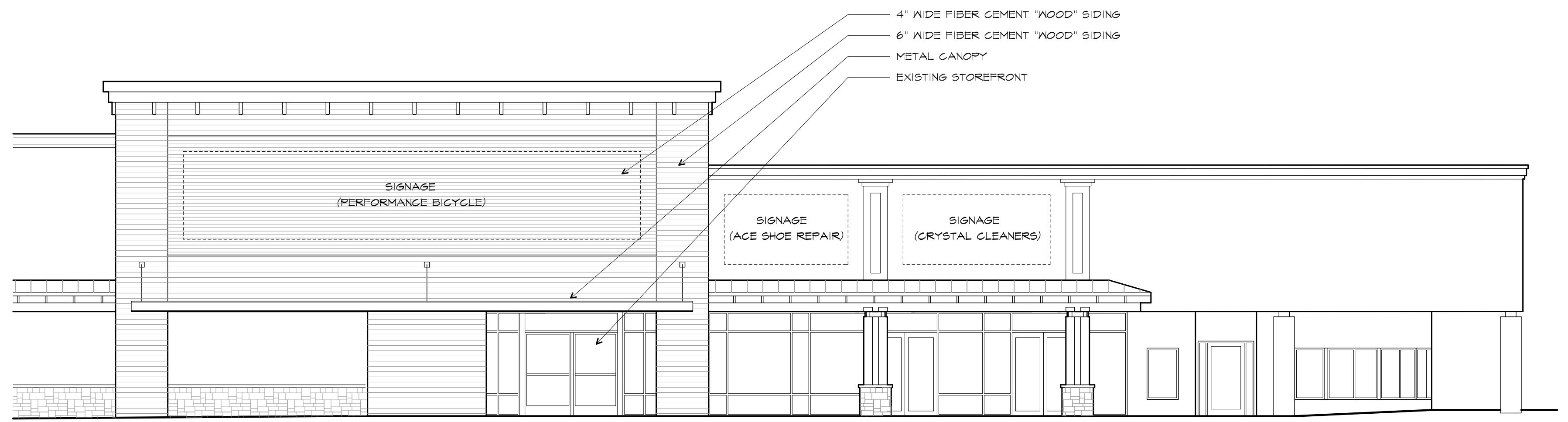
ALTERATIONS
SEMINOLE SQUARE
CHARLOTTESVILLE, VIRGINIA

NO.	DATE	DRAWING RELEASE

NO.	DATE	REVISION



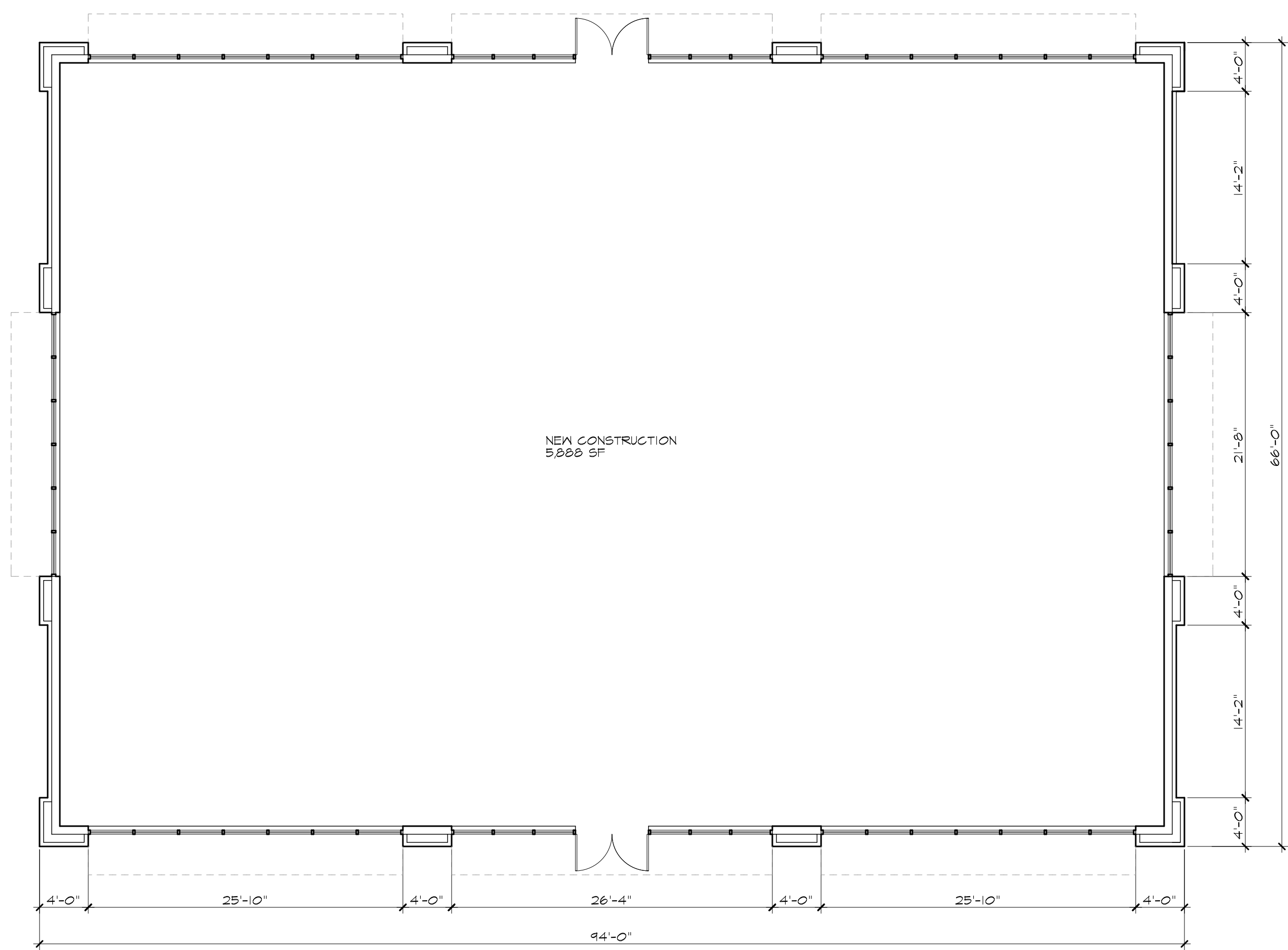
1 PROPOSED EAST WING PLAN
SCALE: 1/16" = 1'-0"



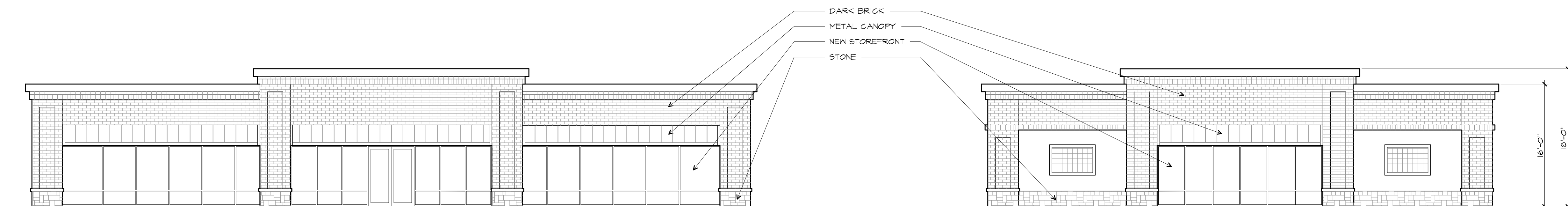
2 PROPOSED EAST WING ELEVATION
SCALE: 1/16" = 1'-0"

DRAWING RELEASE	
NO.	DATE
REVISION	
NO.	DATE

EAST WING PLAN & ELEVATION	PROJECT NO. 1526	FILE NO. 1526-ERB12
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1 PROPOSED NORTH WING - NEW CONSTRUCTION - PLAN
SCALE: 1/8" = 1'-0"



2 NORTH WING - NEW CONSTRUCTION - FRONT & REAR ELEVATION
SCALE: 1/8" = 1'-0"

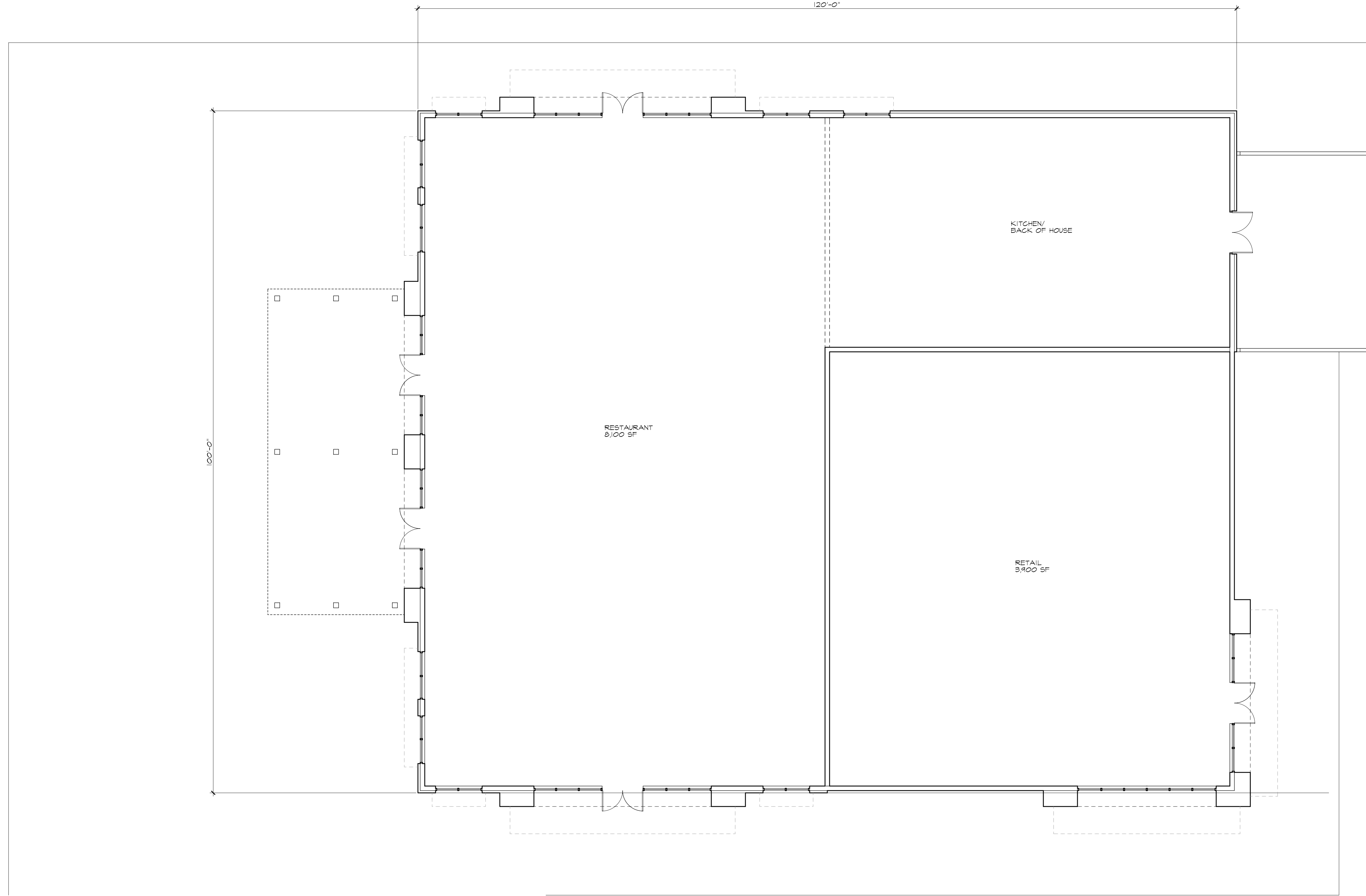
3 NORTH WING - NEW CONSTRUCTION - RIGHT & LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

ALTERATIONS
SEMINOLE SQUARE
CHARLOTTESVILLE, VIRGINIA

NO.	DATE	DRAWING RELEASE	NO.	DATE	REVISION

EAST WING
NEW CONSTRUCTION
ELEVATIONS
PROJECT NO. 1526 FILE NO. 1526-ERB.13

1 PROPOSED EAST WING - NEW CONSTRUCTION - PLAN
 SCALE: 1/8" = 1'-0"



EAST WING
 NEW CONSTRUCTION
 PLAN
 PROJECT NO. 1526 FILE NO. 1526-ERB-4

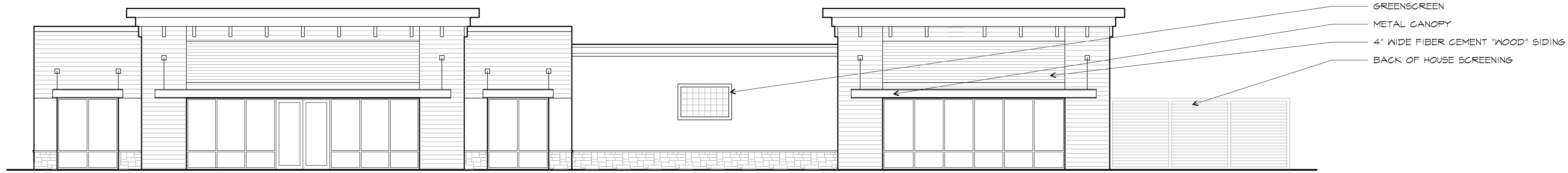
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NO.	DATE	DRAWING RELEASE
NO.	DATE	REVISION

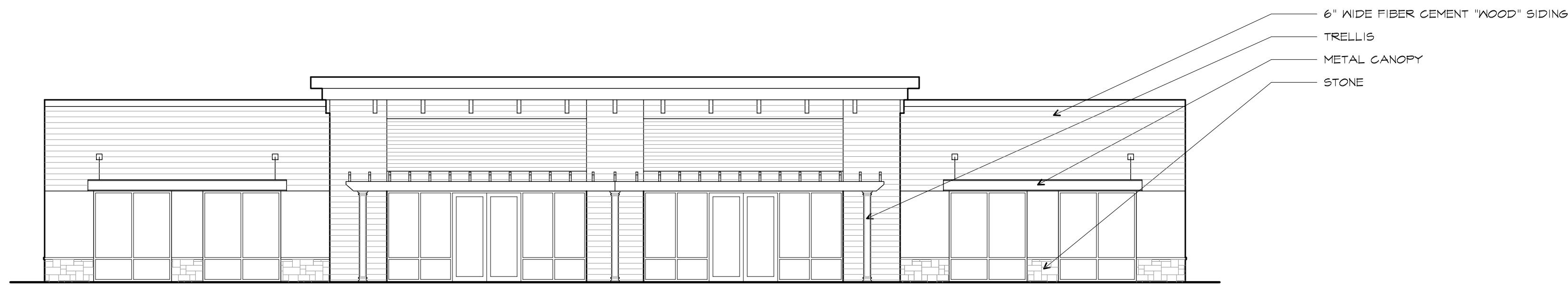
ALTERATIONS
SEMINOLE SQUARE
 CHARLOTTEVILLE, VIRGINIA

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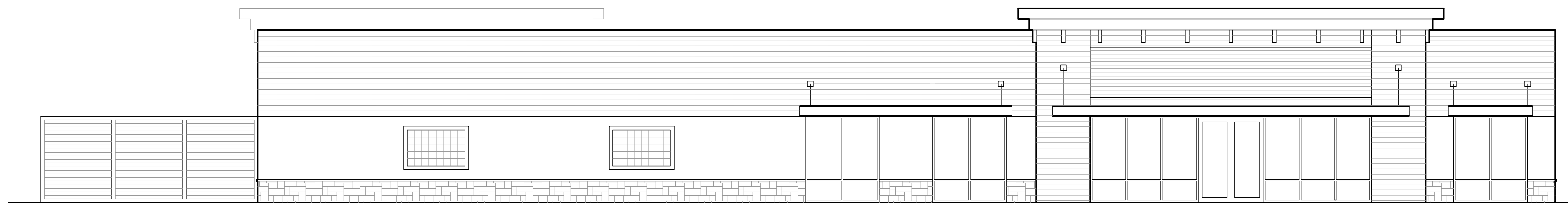
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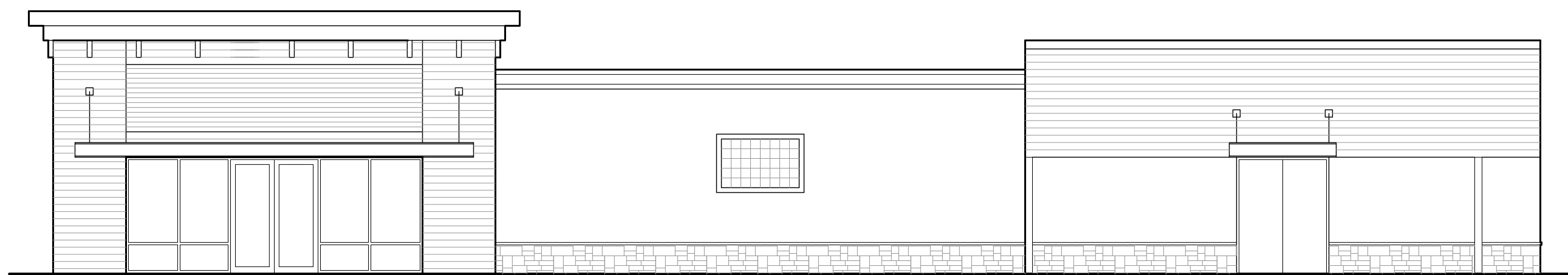
1 EAST WING - NEW CONSTRUCTION - EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST WING - NEW CONSTRUCTION - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



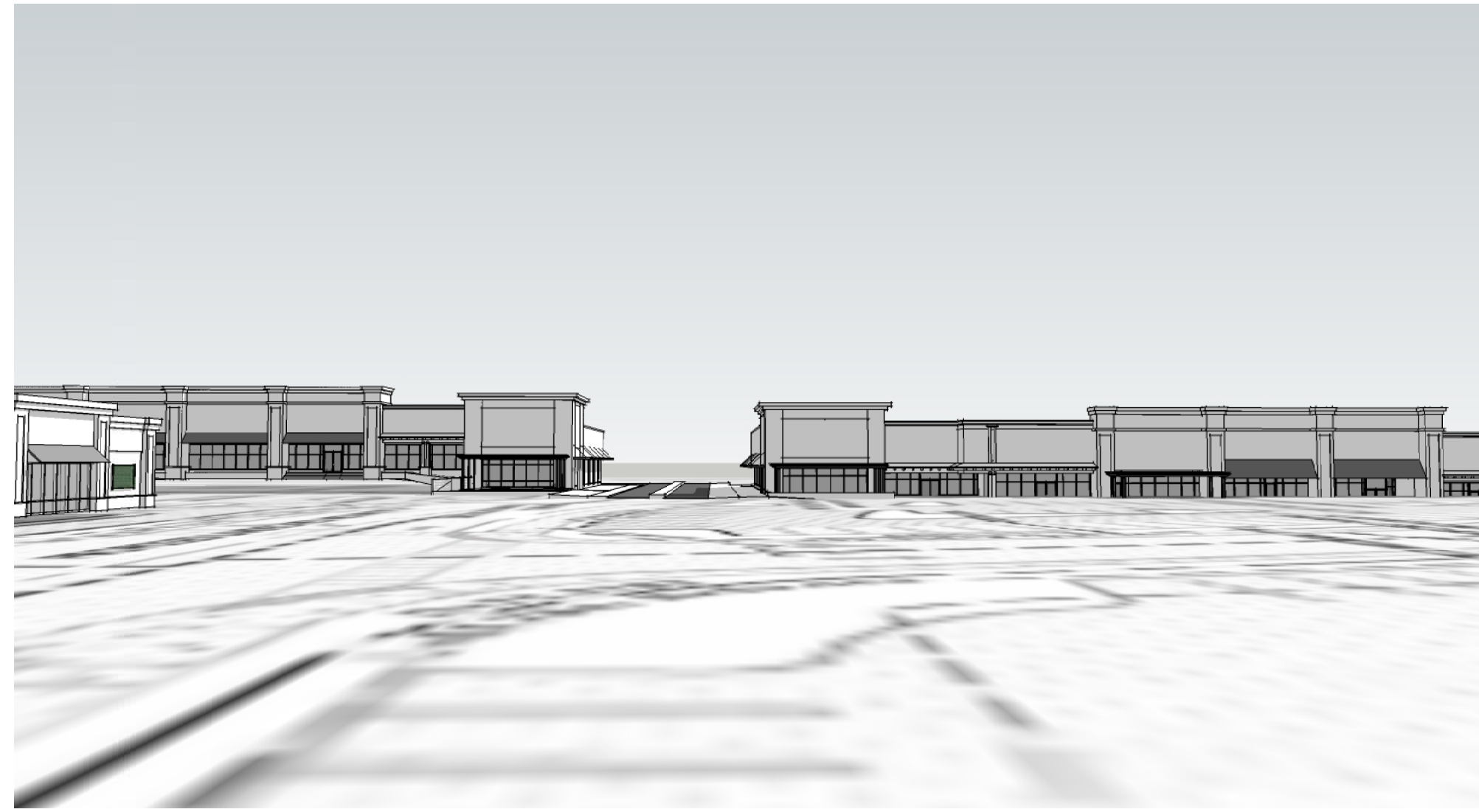
3 EAST WING - NEW CONSTRUCTION - WEST ELEVATION
SCALE: 1/8" = 1'-0"



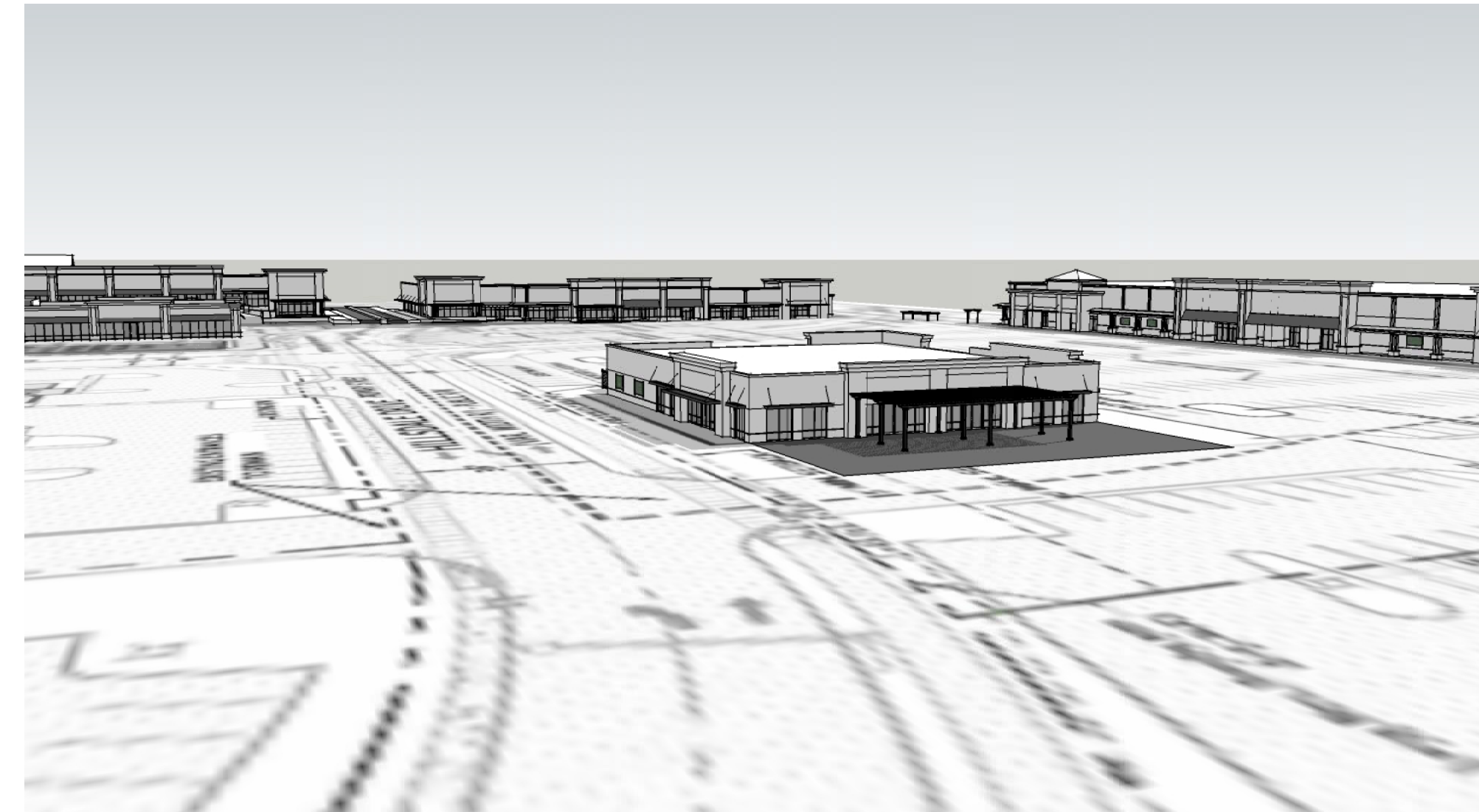
4 EAST WING - NEW CONSTRUCTION - NORTH ELEVATION
SCALE: 1/8" = 1'-0"

DRAWING RELEASE	
NO.	DATE

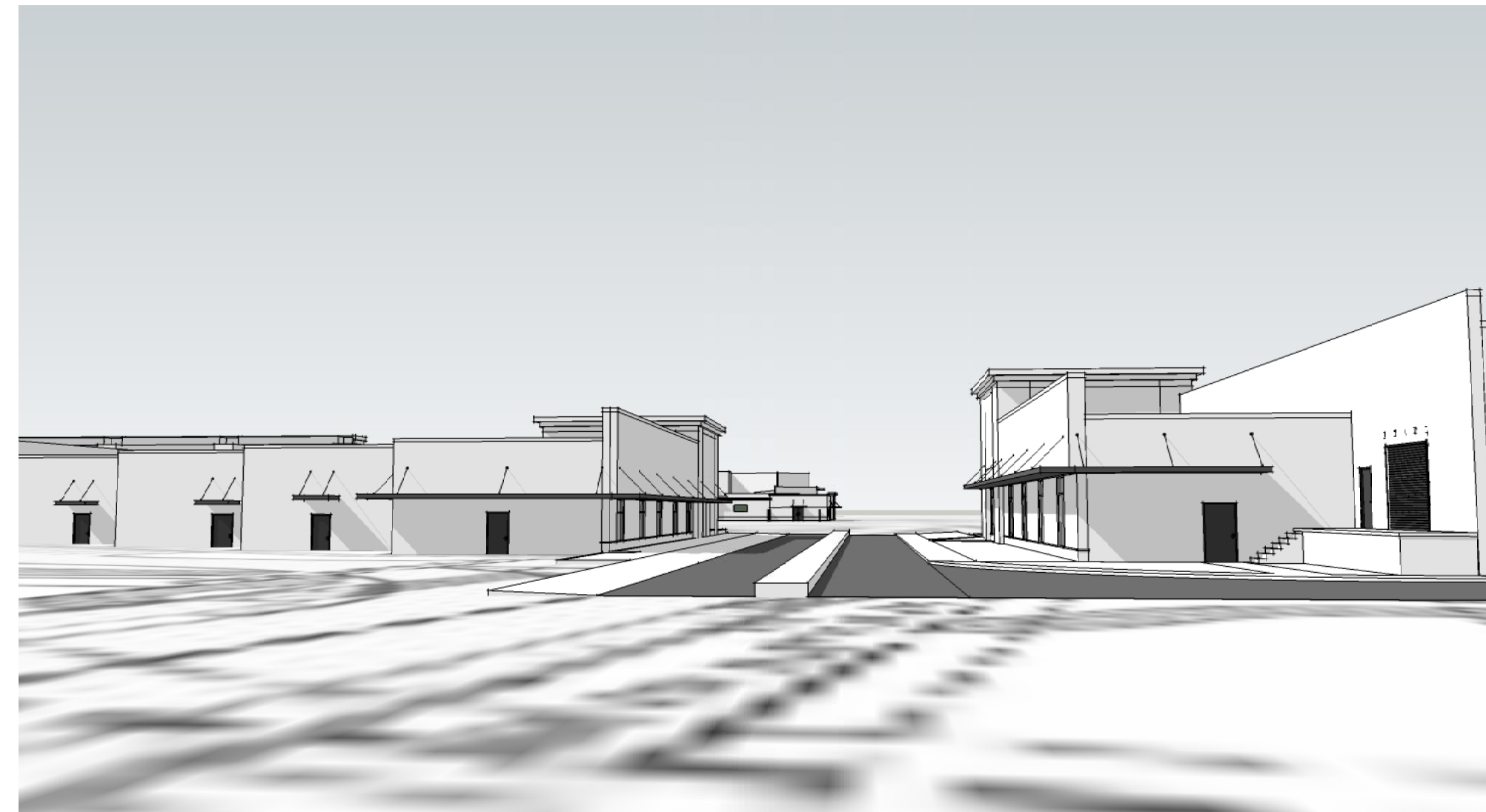
REVISION	
NO.	DATE



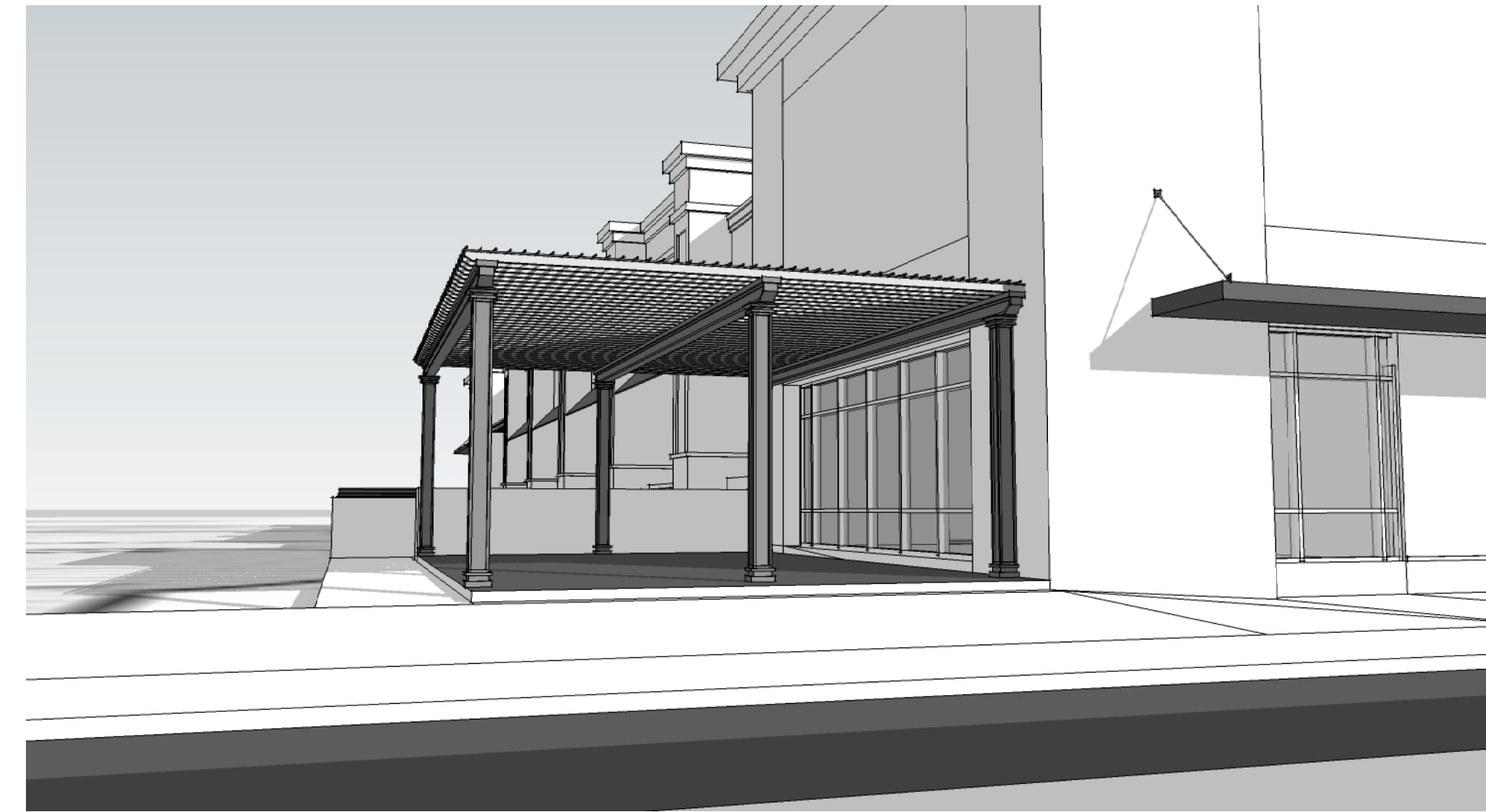
PROPOSED - NORTH WING FRONT FROM HILLSDALE DRIVE



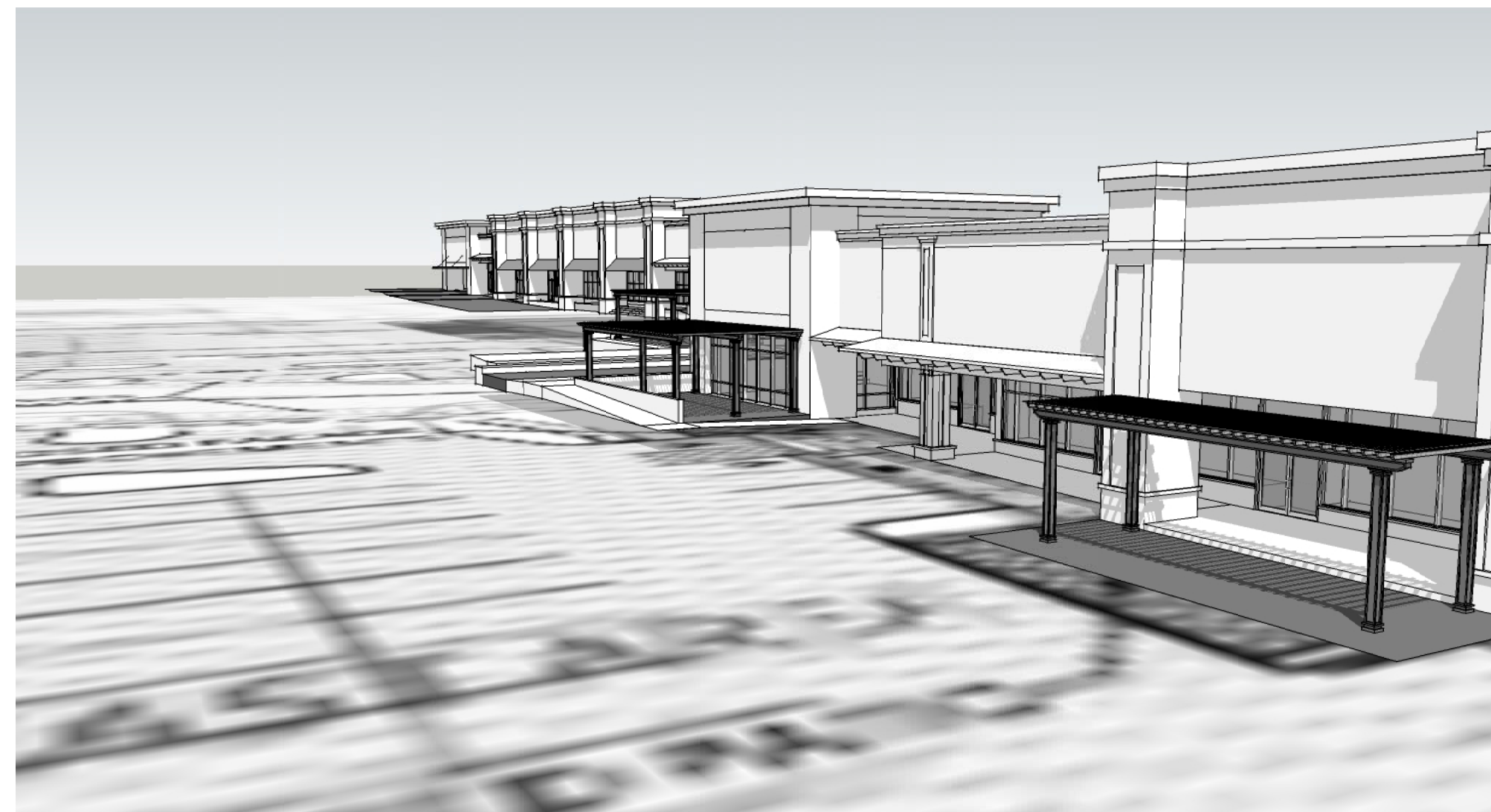
PROPOSED - NORTH & EAST WING FROM HILLSDALE DRIVE



PROPOSED - NORTH WING REAR FROM HILLSDALE DRIVE



PROPOSED - NORTH WING - PEDESTRIAN VIEW



PROPOSED - NORTH WING - PEDESTRIAN VIEW



PROPOSED - EAST WING - PEDESTRIAN VIEW

ALTERATIONS
SEMINOLE SQUARE
 CHARLOTTESVILLE, VIRGINIA

NO.	DATE	DRAWING RELEASE

NO.	DATE	REVISION

SEMINOLE SQUARE
 SHOPPING CENTER
 MASSING MODEL
 PROJECT NO. 1526 FILE NO. 1526-1526/6

Seminole Square Shopping Center – Design Guidelines

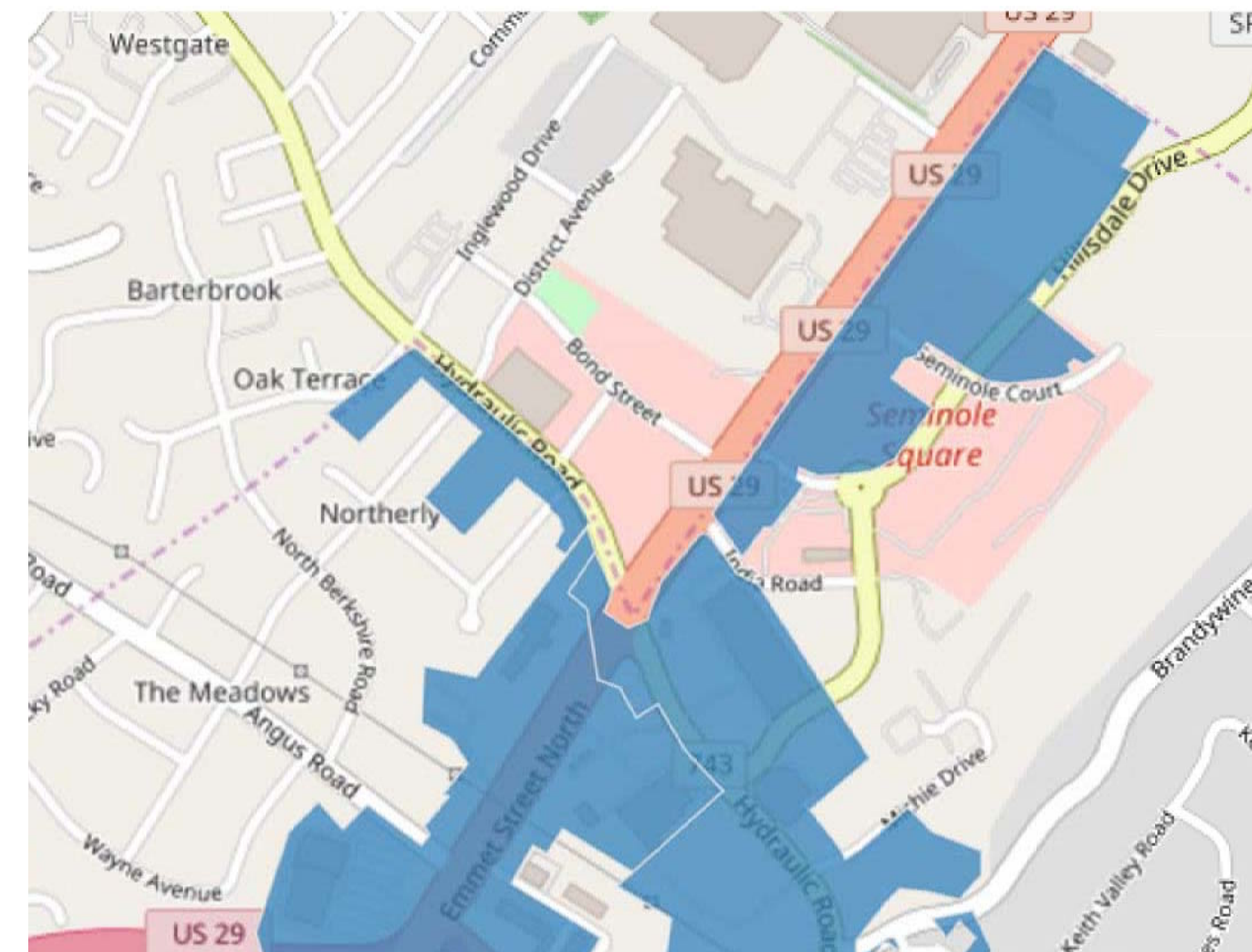
Seminole Square Shopping Center was originally constructed in the 1980's with the surrounding property following in the same style. Great Eastern Management Company proposes to renovate the exterior of the North and East Wings as an extension to the Hillsdale Drive project. The renovation will include new front facades, side and rear facade facelift on the North Wing, new landscaping and lighting. The work also includes two new construction buildings within the existing parking lots.

The improvements are much needed not only for aesthetic appeal but also to address maintenance of the existing structures. The newly constructed Hillsdale Drive presents an opportunity for revitalization of the shopping center with the increase of traffic that comes through daily. The proposed changes take the existing structures out of the eighties, to become more like the newer construction along Route 29 such as Stonefield. More pedestrian friendly elements are to be added and enhanced and the sea of parking will be broken up with landscaping to present a more pleasant shopping experience.

The architectural enhancements are in keeping with the existing structures overall massing and the improvements will be built around the existing canopies and columns that currently cover the buildings structure. The proposed materials and subtle height changes help to break up the existing monotonous feel. The stucco will also be broken up further with additional storefront and windows. The added canopies bring a human scale to the shopping center while adding to the outdoor space. Additionally, more outdoor space will be created with trellis patios, along with covered walkways. The proposed stone, brick, stucco and fiber cement "wood" siding is in keeping with a more classic feel that will allow the structure to age more gracefully. The material changes designate signage placements that correlate with the business location.

All sides of the North Wing will be addressed now that they are visible from Hillsdale Drive. Parking, landscaping and lighting will be added to the rear of the building for employee parking and sidewalks extend around the entire building perimeter. Sidewalks will become ADA compliant in the front of the building and patio spaces will be added for outdoor dining, sidewalk shopping and kid space by Bounce, Play & Create.

The proposed new construction in the North and East Wing parking lots brings pedestrians closer to Hillsdale drive and breaks up the parking to create more pedestrian thoroughfares. The architecture for the new buildings matches the proposed improvements to the existing structures and includes large outdoor spaces.



ENTRANCE CORRIDOR OVERLAY

DRAWING RELEASE	
NO.	DATE
REVISION	
NO.	DATE

SEMINOLE SQUARE
 SHOPPING CENTER
 DESIGN GUIDELINES
 PROJECT NO. 1526 FILE NO. 1526-ERSB17



BREAK UP MONOTONOUS STOREFRONT
 >1,000 lin. ft. of storefront

OUTDOOR SPACE

PEDESTRIAN FRIENDLY

BREAK UP SEA OF PARKING

Seminole Square
 Shopping Center

Exterior Alterations

Entrance Review Board
 June 19, 2018





EXISTING
EAST WING FROM HILLSDALE DRIVE

Redevelopment



PROPOSED
EAST WING FROM HILLSDALE DRIVE

NEW MATERIALS AND MASSING BREAK UP MONOTONOUS LINEAR FEEL



BREAK UP MONOTONOUS STOREFRONT
>1,000 lin. ft. of storefront

OUTDOOR SPACE

PEDESTRIAN FRIENDLY

BREAK UP SEA OF PARKING

Seminole Square
Shopping Center

Exterior Alterations

Entrance Review Board
June 19, 2018





EXISTING
WEST NORTH WING FROM HILLSDALE DRIVE



PROPOSED
EAST NORTH WING FROM HILLSDALE DRIVE

NEW MATERIALS AND MASSING BREAK UP MONOTONOUS LINEAR FEEL

Redevelopment



BREAK UP MONOTONOUS STOREFRONT
>1,000 lin. ft. of storefront

OUTDOOR SPACE

PEDESTRIAN FRIENDLY

BREAK UP SEA OF PARKING

Seminole Square
Shopping Center

Exterior Alterations

Entrance Review Board
June 19, 2018





EXISTING
TRAVELING NORTH ON HILLSDALE DRIVE



PROPOSED
TRAVELING NORTH ON HILLSDALE DRIVE

NEW OUTDOOR PATIOS WITH TRELLIS CREATES A SPACE FOR OUTDOOR DINING

Redevelopment



BREAK UP MONOTONOUS STOREFRONT
>1,000 lin. ft. of storefront

OUTDOOR SPACE

PEDESTRIAN FRIENDLY

BREAK UP SEA OF PARKING

Seminole Square
Shopping Center

Exterior Alterations

Entrance Review Board
June 19, 2018





EXISTING
 SEMINOLE COURT LOOKING TOWARDS NORTH WING



PROPOSED
 SEMINOLE COURT LOOKING TOWARDS NORTH WING

RAISED PEDESTRIAN CROSSINGS AND PERGOLAS CREATE A MORE INVITING PEDESTRIAN EXPERIENCE WALKING BETWEEN NORTH AND EAST WING OF THE SHOPPING CENTER

Redevelopment



BREAK UP MONOTONOUS STOREFRONT
 >1,000 lin. ft. of storefront

OUTDOOR SPACE

PEDESTRIAN FRIENDLY

BREAK UP SEA OF PARKING

Seminole Square
 Shopping Center

Exterior Alterations

Entrance Review Board
 June 19, 2018





EXISTING
SEMINOLE COURT LOOKING TOWARDS NORTH WING



PROPOSED
SEMINOLE COURT LOOKING TOWARDS NORTH WING

ADDITIONAL SIDEWALKS, LANDSCAPING AND INCREASED DENSITY CREATE A MORE PEDESTRIAN FRIENDLY FEEL THROUGHOUT THE ENTIRE SHOPPING CENTER

Redevelopment



BREAK UP MONOTONOUS STOREFRONT
>1,000 lin. ft. of storefront

OUTDOOR SPACE

PEDESTRIAN FRIENDLY

BREAK UP SEA OF PARKING

Seminole Square
Shopping Center

Exterior Alterations

Entrance Review Board
June 19, 2018





EXISTING
NORTH WING PARKING LOT



PROPOSED
NORTH WING PARKING LOT

THE ADDITION OF TWO NEW COMMERCIAL BUILDINGS, MINIMIZES THE EXPANSIVE PARKING LOTS AND MAKES THE SHOPPING CENTER MORE PEDESTRIAN FRIENDLY

Redevelopment



BREAK UP MONOTONOUS STOREFRONT
>1,000 lin. ft. of storefront

OUTDOOR SPACE

PEDESTRIAN FRIENDLY

BREAK UP SEA OF PARKING

Seminole Square
Shopping Center

Exterior Alterations

Entrance Review Board
June 19, 2018





EXISTING
 INTERSECTION OF SEMINOLE COURT AND HILLSDALE DRIVE



PROPOSED
 INTERSECTION OF SEMINOLE COURT AND HILLSDALE DRIVE

THE ADDITION OF TWO NEW COMMERCIAL BUILDINGS, INCREASES DENSITY AND HELPS TO VISUALLY
 BREAK UP THE LARGE PARKING LOTS

Redevelopment



BREAK UP MONOTONOUS STOREFRONT
 >1,000 lin. ft. of storefront

OUTDOOR SPACE

PEDESTRIAN FRIENDLY

BREAK UP SEA OF PARKING

Seminole Square
 Shopping Center

Exterior Alterations

Entrance Review Board
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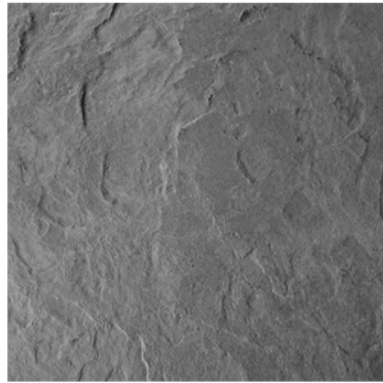




OAK RIDGE STONE
DRY STACKED



BM 1617, 1616, 1613
Trellis/metal roof over columns, rear, front/sides



BLUESTONE
STONE WALL AND COLUMN CAPS

TRADITIONAL LAP MAHOGANY
ALLURA FIBER CEMENT



Redevelopment



MATERIALS

Seminole Square
Shopping Center

Exterior Alterations

Entrance Review Board
June 19, 2018



Wall stone: Oak Ridge Stone



Stone cap: Bluestone



Brick:
Lawrenceville *Monticello*



Seminole Square Redevelopment
Photographs of physical samples provided by applicant.
(Available at NDS)

Allura Fiber Cement Panel: Traditional Lap, Mahogany



Allura Fiber Cement Panel: Traditional Lap, Maple





METAL CANOPY MA006
B&C AWNINGS
PAINTED BM 1613 ON BRICK



PVC TRIM
VERSATEX
PAINTED TO MATCH MAHOGANY LAP SIDING
COLUMNS, PHO TRELLIS W/METAL ROOF



METAL CANOPY MA152
B&C AWNINGS
ANODIZED ALUMINUM



TRELLIS T009
B&C AWNINGS
PAINTED BM 1617

Redevelopment



MATERIALS

Seminole Square
Shopping Center

Exterior Alterations

Entrance Review Board
June 19, 2018





EXISTING
 TRAVELING SOUTH ON HILLSDALE DRIVE
 ON NEW BRIDGE LOOKING AT BACK OF NORTH WING



PROPOSED
 TRAVELING SOUTH ON HILLSDALE DRIVE
 ON NEW BRIDGE LOOKING AT BACK OF NORTH WING

REAR OF BUILDING BECOMES MORE INVITING WITH NEW PAINT, DESIGNATED PARKING AND LANDSCAPING

Expansion



CONNECTION TO TRAIL

Seminole Square
 Shopping Center

Expansion Project

Entrance Review Board
 June 19, 2018





EXISTING
 AT END OF NEW HILLSDALE DRIVE BRIDGE
 LOOKING WEST AT REAR OF NORTH WING



PROPOSED
 AT END OF NEW HILLSDALE DRIVE BRIDGE
 LOOKING WEST AT REAR OF NORTH WING

 NEW LANDSCAPING IS ADDED BY TRAIL TO TIE IN WITH THE SHOPPING CENTER

Expansion

	<p>CONNECTION TO TRAIL</p>	<p>Seminole Square Shopping Center</p> <p>Expansion Project</p> <p>Entrance Review Board June 19, 2018</p>	
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EXISTING
 IN REAR OF EAST-NORTH WING
 LOOKING TOWARDS HILLSDALE DRIVE BRIDGE



PROPOSED
 IN REAR OF EAST-NORTH WING
 LOOKING TOWARDS HILLSDALE DRIVE BRIDGE

THE EXISTING ALLEY IS NOW MORE PEDESTRIAN FRIENDLY WITH DESIGNATED SIDEWALKS, TRAIL AND LANDSCAPING

Expansion



CONNECTION TO TRAIL

Seminole Square
 Shopping Center

Expansion Project

Entrance Review Board
 June 19, 2018





Hardiness Zone 8b

Fred Meyer - Issaquah, WA

A pattern of greenscreen® wall mounted panels are mounted off the surface of a split face block wall to break up a monolithic surface adjacent to a pedestrian drop off waiting zone. Additional panels mounted in the parkway to overhead roof protection help block wind driven weather.

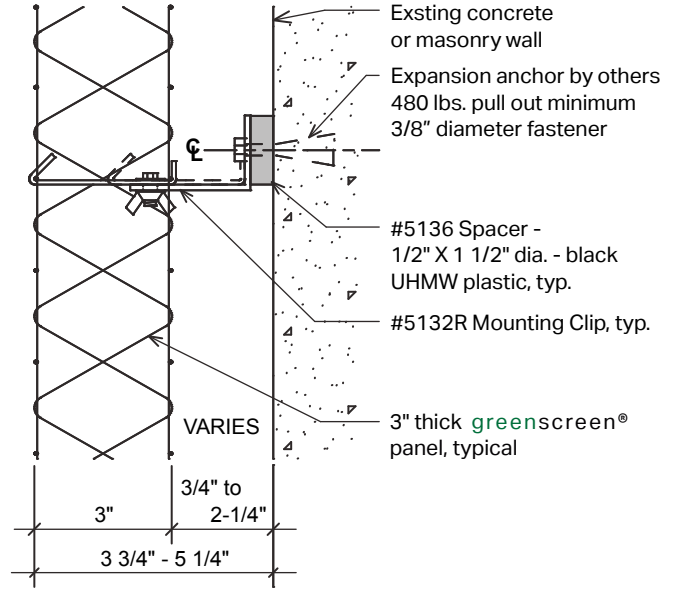
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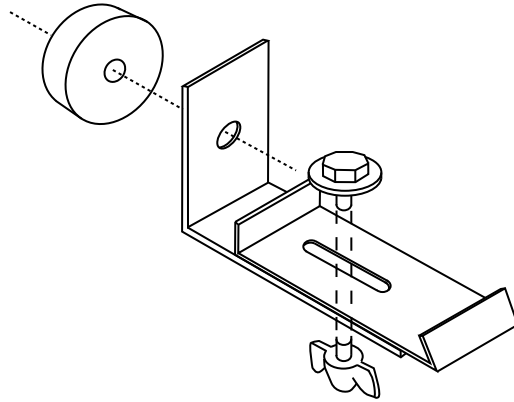
www.greenscreen.com



SECTION

5132R ADJUSTABLE CLIP

The 5132R Adjustable Clip provides panel support for both download and uplift. The clip can mount to wall surfaces or to a steel frame. The slot allows for panel adjustment and ease of installation.



greenscreen[®]



**ENTRANCE CORRIDOR
CERTIFICATE OF APPROPRIATENESS**

DATE OF PLANNING COMMISSION MEETING: July 10, 2018

Projects: A) Seminole Square *Redevelopment* and B) Seminole Square *Expansion*

Planner: Jeff Werner, AICP

Applicant: Great Eastern Management

Applicant's Representative: Scott Collins

Applicant's Relation to Owner: Engineer, Collins Engineering

Application Information

Property Street Address: 230-270 Zan Road

Property Owner: Giant Sequel Investors, LLC

Tax Map/Parcel #: 41C003100

Total Square Footage/Acreage Site: 18.81 acres

Comprehensive Plan (Land Use Plan) Designation: Mixed Use

Current Zoning Classification: Highway Corridor (HW) with Entrance Corridor (EC) Overlay

Entrance Corridor Overlay District: Route 29 North (Sub-Area A)

Current Usage: Shopping Center

Existing conditions

Seminole Square Shopping Center was constructed in 1986 on approximately 18 acres and features 168,278 square feet of single-story commercial space fronting on a surface parking lot with 978 parking spaces. The site is accessed from the west by an entrance off of Route 29 (via Seminole Court) and from the north and south via the recently-completed extension of Hillsdale Drive. There is no access from the east; the rear of the shopping center's East Wing runs parallel to Meadow Creek.



Applicant's Request

Note: This staff report covers both the Seminole Square Redevelopment plan and Seminole Square Expansion plan. Separate COAs will be required for each.

Seminole Square Redevelopment:

- Improvements to primary facades of the existing commercial buildings.
- Construction of two new commercial buildings. At North Wing - approximately 6,000 square feet (60-ft. x 94-ft). At the East Wing - approximately 12,000 square feet (120-ft. x 100-ft).

Improved primary facades of existing buildings and exterior walls of the two new buildings will feature walls faced with combinations of brick, stone and cement fiber siding with a sequence of trellises, metal canopies and cable-supported metal awnings. In some locations, the existing stucco will remain and be painted. At the existing buildings, exterior columns will be enclosed within piers or pilasters of either brick, fiber cement material or painted PVC trim. A field stone knee-wall with bluestone cap will be installed beneath storefront windows and form a pediment for the brick, where it is used on exterior walls and column enclosures. New signage to be installed above building entries. The facades will vary in height and cornice detail; some sections will feature a simple cornice, in others the cornice will be more complex and include brackets. Existing roofing to remain.

Seminole Square Expansion (Rear of North Wing):

At the rear (north) of the existing North Wing buildings creation of parking areas and construction of the greenway trail segment. At the rear and side walls, existing stucco will be painted and cable-supported metal canopies installed over existing doors. Related parking, lighting and landscape improvements as summarized below.

At the northern boundary of the parcel, an 8-foot wide, asphalt, multi-purpose path will link the sidewalk on Route 29 to an existing sidewalk at the northeast corner of the parcel--a distance of approximately 1,100-ft and within a 10-foot right of way to be deeded to the city. On each side of the path will be a wood, two-rail, split rail fence. Where necessary due to grade, a stacked-stone retaining wall will be constructed on the north side of the path. Where the path crosses Hillsdale Drive will be a flashing signal. Ultimately, this trail segment will provide a bike/ped connection to the planned Meadow Creek trail. (Note: This greenway trail segment is a condition of the Critical Slope Waiver, approved by City Council on October 2, 2017. See attachments.)

Proposed building materials (Existing and new construction)

- Brick: Lawrenceville Monticello (revised from Old Lexington)
- Stone facing: Oak Ridge, dry stack pattern
- Stone cap: Bluestone
- Fiber cement board panels: Allura lap siding, 4" and 6", Mahogany and Maple (revised from Cedar)
- Painted columns and cornice: Versatex PVC trim (Color: TBD)
- Stucco (rear and side elevations): existing to be painted (color: Benjamin Moore #1616, *Stormy Sky*)
- Stucco (primary elevations): existing to be painted (color: Benjamin Moore #1613, *Silent Night*)
- Green Screens: Wall-mounted panels with vegetation. (Plantings TBD)
- Roof (new buildings only): flat roof concealed behind parapet
- Roof (existing buildings): existing to remain
- Awnings and canopies: painted metal (color: Benjamin Moore #1617, *Cheating Heart*) and anodized aluminum
- Metal trellis: painted metal (color: Benjamin Moore #1617, *Cheating Heart*)

- Metal storefront windows and doors: Match existing frames: dark bronze (Not all storefronts being replaced.)

Parking lot improvements, including lighting and landscaping (Redevelopment and Expansion)

- Parking: Portions of the existing parking lots will be redeveloped, resulting in the removal of 92 parking spaces. (886 spaces will remain, exceeding the required 853.) Some parking spaces (58) will be relocated to the rear of the North Wing’s two buildings. The perceived scale of the shopping center’s parking lot is reduced by the division of the parking areas; divided by streetscape and landscaping. The individual parking spaces are arranged to increase flow of traffic, and minimally interfere with pedestrian crossings. The edges of the parking lots are separated from Hillsdale Drive and Seminole Court with a 12-foot planting bed, creating a soft, yet definitive buffer between the streets and parking areas.
- Crosswalks: The proposed site plan features eight internal parking lot pedestrian crossings, accommodating pedestrian needs and vehicular circulation. The Redevelopment connects the individual lots together with pedestrian crossings at key locations such as the intersection of Hillsdale Drive and Seminole Court. (Note: Additional pedestrian connections linking buildings and public sidewalk, etc.—requirements per city code--will be addressed during Site Plan review.)
- Lighting: All light fixtures are noted as full cutoff, and directed away from adjoining properties and road. Light spillover is limited to one-half foot-candle. Pedestrian areas are well lit. Pole-mounted fixtures are placed 20’ above grade. All lamping is noted as LED white lights to create a unified cool white lighting throughout the site.
- Landscaping: Landscaping primarily occurs within the planted beds at the perimeter of the designated parking areas. Within these will be medium and large canopy trees, including: Red Maple, River Birch, London Plane, Staghorn Sumac, and Bald Cypress. Ornamental grasses and shrubs will infill between the trees. Throughout project area: 119 trees and 553 shrubs.

Signage (Redevelopment only)

Signage is shown on project drawings (for illustration only), however all new signage will require a separate permit and, unless amended, must comply with the approved *Comprehensive Signage Plan*, dated June 7, 2005.

Standard of Review

The Planning Commission serves as the Entrance Corridor Review Board (ERB) and, as the ERB, is responsible for administering the design review process in Entrance Corridor Overlay Districts. This development project requires a site plan, and therefore also requires a Certificate Of Appropriateness (COA) from the ERB, pursuant to the provisions of §34-309(a)(3) of the City’s Zoning Ordinance. The ERB shall act on an application within 60 days of the submittal date, and shall either approve, approve with conditions, or deny the application. Appeal would be to City Council.

Standards for considering certificates of appropriateness:

In reviewing an application, the ERB must consider certain features and factors in determining the appropriateness of proposed construction, alteration, etc. of buildings or structures located within an Entrance Corridor overlay District. Following is a list of the standards set forth within §34-310 of the City Code:

§34-310(1): Overall architectural design, form, and style of the subject building or structure, including, but not limited to: the height, mass and scale;

Staff Analysis: This project is predominantly the aesthetic improvement and renovation of an existing, linearly-oriented, single-story, commercial center. The height, massing, and scale of the existing

buildings—currently and after improvements—and of the two new buildings are consistent with and compatible to those of other commercial areas within this sub-area of the corridor.

§34-310(2): Exterior architectural details and features of the subject building or structure;

Staff Analysis: The existing building elevations provide somewhat of a blank canvas on which to apply updated architectural elements and materials. While primarily aesthetic improvements—versus structural—the applied materials and components will create a human-scaled and aesthetically welcoming commercial center. The variation of façade heights, materials (brick, stone, metal) and design elements (piers, pilasters, awnings, canopies) modify the facades so as to create the appearance of individual, yet architecturally-related buildings.

The minimal aesthetic improvements to the rear (north) facades of the North Wing buildings are insufficient. While these elevations are not the primary façade and not intended to serve as entries into the commercial spaces, they will be visible from Hillsdale Drive, the greenway trail required via the Critical Slope Waiver, and the new parking areas. Incorporating onto these elevations design elements and components similar to—but not necessarily to the extent of matching—the primary facades to better engage trail users and pedestrians along Hillsdale Drive would address this concern.

§34-310(3): Texture, materials and color of materials proposed for use on the subject building or structure;

Staff Analysis: The materials and finishes for the proposed renovations and new construction will add texture, materiality, and color to an outdated shopping center. Red brick, metal roofing for awnings and canopies, field stone, painted stucco and [faux wood] siding are building materials commonly used in the area.

§34-310(4): Design and arrangement of buildings and structures on the subject site;

Staff Analysis: This is an auto-oriented zoning district. However, as has occurred at Barracks Road Shopping Center, further improvements and, most importantly, infill and redevelopment take time. The extension of Hillsdale Drive—now a true *through-street*—provides this site with valuable street frontage that will, incrementally and over time, be developed.

§34-310(5): The extent to which the features and characteristics described within paragraphs (1)-(4), above, are architecturally compatible (or incompatible) with similar features and characteristics of other buildings and structures having frontage on the same EC street(s) as the subject property.

Staff Analysis: The goals are to make the site function well for the users of this site and the corridor, and to have an attractive development that is compatible with its surrounding context. Commercial development dominates sub-area A; almost all of it being in single-story buildings fronting on large parking lots. Outside of the prevailing suburban, strip mall form, there is no coherent design theme linking the various commercial centers within this sub-area. However, like other commercial centers within the corridor, the improvements proposed at Seminole Square provide design elements, materials, colors and landscaping that will provide the center its own, unique *sense of place*.

§34-310(6): Provisions of the Entrance Corridor Design Guidelines.

Relevant sections of the guidelines include:

Section 1 (Introduction)

The Entrance Corridor design principles are expanded below:

Design for a Corridor Vision: New building design should be compatible (in massing, scale, materials, colors) with those structures that contribute to the overall character and quality of the corridor. Existing developments should be encouraged to make upgrades consistent with the corridor vision. Site designs should contain some common elements to provide continuity along the corridor. New development,

including franchise development, should complement the City's character and respect those qualities that distinguish the City's built environment.

Staff Analysis:

Redevelopment: Proposal complies generally with this guideline.

Expansion: Issues at the rear elevations of the North Wing must be addressed.

Preserve History: Preserve significant historic buildings as well as distinctive architecture from more recent periods. Encourage new contemporary design that integrates well with existing historic buildings to enhance the overall character and quality of the corridor.

Staff Analysis: This guideline is not applicable.

Facilitate Pedestrian Access: Encourage compact, walkable developments. Design pedestrian connections from sidewalk and car to buildings, between buildings, and between corridor properties and adjacent residential areas.

Staff Analysis: Proposal complies generally with this guideline. Additional, code-required, access issues will be address at Site Plan review.

Maintain Human Scale in Buildings and Spaces: Consider the building scale, especially height, mass, complexity of form, and architectural details, and the impact of spaces created, as it will be experienced by the people who will pass by, live, work, or shop there. The size, placement and number of doors, windows, portals and openings define human scale, as does the degree of ground-floor pedestrian access.

Staff Analysis:

Redevelopment: Proposal complies generally with this guideline.

Expansion: Issues at the rear elevations of the North Wing must be addressed.

Preserve and Enhance Natural Character: Daylight and improve streams, and retain mature trees and natural buffers. Work with topography to minimize grading and limit the introduction of impervious surfaces. Encourage plantings of diverse native species.

Staff Analysis: Relative to landscaping (trees and plantings), proposal complies generally with this guideline.

Create a Sense of Place: In corridors where substantial pedestrian activity occurs or is encouraged, or where mixed use and multi-building projects are proposed, one goal will be creating a sense of place. Building arrangements, uses, natural features, and landscaping should contribute, where feasible, to create exterior space where people can interact.

Staff Analysis:

Redevelopment: proposal complies generally with this guideline.

Expansion: The construction and dedication of the trail is a welcome and positive addition to the city's trail system. Issues at the rear elevations of the North Wing must be addressed.

Create an Inviting Public Realm: Design inviting streetscapes and public spaces. Redevelopment of properties should enhance the existing streetscapes and create an engaging public realm.

Staff Analysis: Proposal complies generally with this guideline.

Create Restrained Communications: Private signage and advertising should be harmonious and in scale with building elements and landscaping features.

Staff Analysis: This guideline is not applicable. All new signage must comply with the approved Comprehensive Signage Plan, dated June 7, 2005.

Screen Incompatible Uses and Appurtenances: Screen from adjacent properties and public view those uses and appurtenances whose visibility may be incompatible with the overall character and quality of the

corridor, such as: parking lots, outdoor storage and loading areas, refuse areas, mechanical and communication equipment, Where feasible, relegate parking behind buildings. It is not the intent to require screening for utilitarian designs that are attractive, and/or purposeful.

Staff Analysis: While the relegated parking is limited, proposal complies generally with this guideline.

Respect and Enhance Charlottesville’s Character: Charlottesville seeks new construction that reflects the unique character, history, and cultural diversity of this place. Architectural transplants from other locales, or shallow imitations of historic architectural styles, for example, are neither appropriate nor desirable. Incompatible aspects of franchise design or corporate signature buildings must be modified to fit the character of this community.

Staff Analysis: Proposal complies generally with this guideline, particularly in that franchise elements have not dictated the design.

Section 2 (Streetscape)

Staff Analysis: The proposed streetscape features are appropriate. The areas being redeveloped feature site elements such as: parking, crosswalks, lighting, and landscaping. Each of these site elements are consistent throughout the proposed redeveloped area.

Section 3 (Site):

Staff Analysis: The site features are appropriate. The utilities and service areas are appropriately enclosed and screened. The proposed expansion features a trail segment that provides bike/ped access along the center’s northern boundary.

Section 4 (Buildings):

Staff Analysis: The variation of heights, materials (brick, stone, metal) and of design elements (piers, pilasters, awnings, canopies) modify the facades so as to create the appearance of individual, yet architecturally-related buildings. At the rear elevations of the North Wing, additional treatment may be necessary.

Section 5 (Individual Corridors):

Route 29 North, Sub-Area A: Northern Corporate Limits to 250 Overpass

While much of the growth of this corridor is expected to be within Albemarle County’s section as it extends north, there is great opportunity to redevelop Charlottesville’s parts with more intense retail and mixed uses. Scale of development will go from large to medium as you move south towards the City. More pedestrian scaled, mixed-use infill opportunities exist in the Barracks Road area as opposed to the auto-oriented north end.

Route 29 North Sub-Area A: Northern corporate limits to 250 overpass Vision:

As Route 29 traffic enters the City this area should serve to calm traffic and create a transition from auto-oriented, suburban development to more pedestrian friendly, urban scale development. Planting and maintaining street trees along the existing Route 29 sidewalks, and locating buildings close to the road will assist in this effort. Although wide roads and large traffic volumes discourage pedestrian crossings, a pedestrian environment can be encouraged within developments. Providing walking and driving linkages between developments and providing for transit will also create alternatives to having to drive on Route 29. Individual building designs should complement the City’s character and respect the qualities that distinguish the City’s built environment. This corridor is a potential location for public way-finding signage.

Staff Analysis: The following are from the *Recommended General Guidelines for Route 29 North, Sub-Area A*. This project general meets the recommendations. While the relegated parking is minimal, it is

understandable given project's minimal building construction and limited space behind existing buildings..

- *Larger scale commercial retail development*
- *Limited residential and mixed-use*
- *Auto-oriented*
- *Surface or structured parking behind buildings*
- *Pedestrian connectivity within developments*
- *Articulated building forms to reduce mass*
- *Divided and planted parking lots to reduce visual impact*

Hydraulic Small Area Plan

Staff Analysis: While the *Hydraulic Small Area Plan*, adopted May 7, 2018 recommends improvements to bike and pedestrian access to and through Seminole Square. This project's improved streetscape and pedestrian routes along Hillsdale Drive and the contribution of the trail segment along the northern boundary provide positive steps towards addressing that need. Additionally, this project includes minimal new construction (two new buildings; less than 20,000 SF in total) thus preserving the option for future and more-intensive infill development/re-development as envisioned in the *Small Area Plan*.

Public Comments Received

No public comments have been received to date.

Staff Recommendations

Note: Separate Site Plans have been submitted for the two projects—*Seminole Square Redevelopment* and *Seminole Square Expansion*--therefore staff recommends that separate actions be taken on the COA request for each project.

Overall, the proposed transition of this shopping center—the *Redevelopment* component--is generally consistent with the guidelines and a welcome transition from the existing. If the design, materials, finishes and site improvements are satisfactory to the ERB, staff is supportive approving the COA for the proposed *Seminole Square Redevelopment*.

However, the *Expansion* component of the project requires further clarification and discussion. Specifically, the treatment of the rear elevations of the North Wing buildings has not been addressed satisfactorily. The visual impact of these walls was a key concern during preliminary discussion about the re-grading of the site and the construction of the greenway trail.

Staff suggests consideration of the following in any motion for approval:

- All glass must be clear, with minimum 70% visible light transmittance (VLT).
- While signage requires separate permits and approvals, all illuminated signage shall appear to be lit white at night.
- Rooftop mechanical equipment will be screened within appurtenance.

Suggested Motions

Seminole Square Redevelopment

1. Having considered the standards set forth within the City Code, including the City Entrance Corridor Design Guidelines, I move to find that the proposed new construction, existing building rehabilitation, landscaping, site improvements associated with the Seminole Square Redevelopment satisfy the ERB's criteria and are compatible with the goals for sub-area A of the Route 29 North Entrance Corridor, and that the ERB approves the COA application as submitted.

2. ...approves the COA application as submitted with the following conditions...
3. Having considered the standards set forth within the City Code, including the City Entrance Corridor Design Guidelines I move to find that the proposed new construction, existing building rehabilitation, landscaping, site improvements associated with the Seminole Square Redevelopment *does not* satisfy the ERB's criteria and are *not* compatible with the goals for sub-area A of the Route 29 North Entrance Corridor, and that the ERB denies the COA application as submitted.

Seminole Square Expansion

4. Having considered the standards set forth within the City Code, including the City Entrance Corridor Design Guidelines, I move to find that the proposed existing building rehabilitation, landscaping, site improvements, and greenway trail segment associated with the Seminole Square Expansion satisfy the ERB's criteria and are compatible with the goals for sub-area A of the Route 29 North Entrance Corridor, and that the ERB approves the COA application as submitted.
5. ...approves the COA application as submitted with the following conditions...
6. Having considered the standards set forth within the City Code, including the City Entrance Corridor Design Guidelines, I move to find that the proposed existing building rehabilitation, landscaping, site improvements, and greenway trail segment associated with the Seminole Square Expansion *does not* satisfy the ERB's criteria and are *not* compatible with the goals for sub-area A of the Route 29 North Entrance Corridor, and that the ERB denies the COA application as submitted.

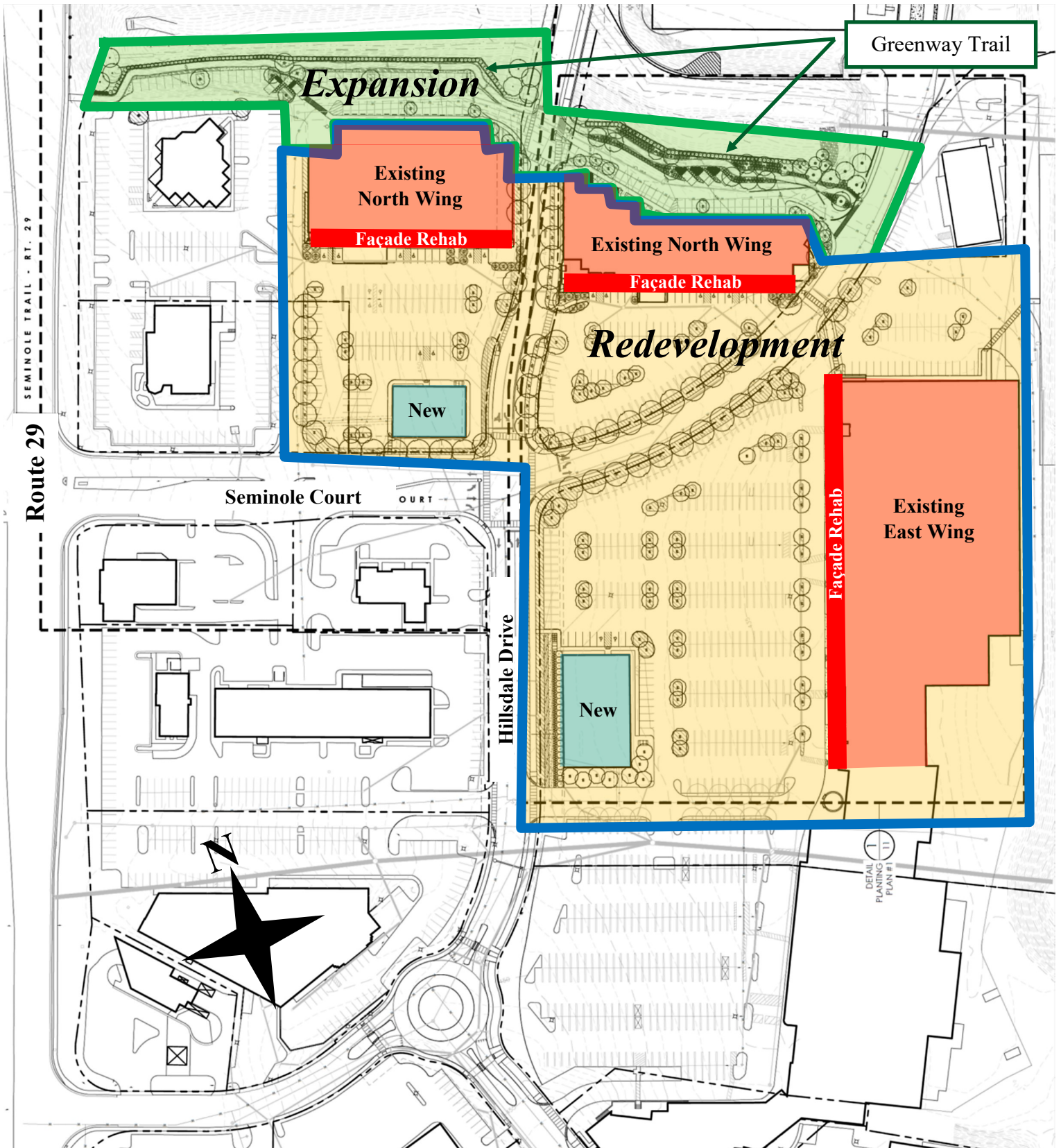
Attachments:

- Plan view - project summary. NDS
- Critical Slope Waiver, dated Oct 2, 2017
- Collins Engineering, *Seminole Square Redevelopment, Preliminary Site Plan*, sheets 1 through 9 (dated May 22, 2018), sheet 10 through 13 (dated May 16, 2018), and sheet 14 (dated May 22, 2018).
- Collins Engineering, *Seminole Square Expansion, Preliminary Site Plan*, sheets 1 through 5 (dated March 6, 2018), sheets 11, 12, & 13 (dated May 16, 2018), and sheet 14 (date May 22, 2018).
- Collins Engineering, *Proposed Seminole Square & Pepsi Trailway Exhibit*, undated, one sheet.
- Henningsen Kestner Architects, *Exterior Renovations for Seminole Square Shopping Center*, dated May 22, 2018, sheets ERB-00 through ERB.17. (**Note:** Alternate elevation on 2nd sheet ERB.07)
- Henningsen Kestner Architects, *Seminole Square Shopping Center Exterior Alterations*, dated June 19, 2018, unnumbered sheets include renderings and photos of materials.
- Greenscreen (product information)

Seminole Square Redevelopment

Seminole Square Expansion

(For discussion only.)



**RESOLUTION APPROVING A REQUEST FOR WAIVER
OF CRITICAL SLOPES PROVISIONS
PURSUANT TO CITY CODE SECTION 34-1120(B)(6)
FOR SEMINOLE SQUARE SHOPPING CENTER**

WHEREAS, Towers Limited Partnership, owner of property designated on City Tax Map 41C, Parcel 3.1, consisting of approximately 18.81 acres of land, and known as Seminole Square Shopping Center (the “Property”), seeks a waiver of the critical slopes requirements of City Code Sec. 34-1120(b)(6) in connection with the construction of two (2) segmented retaining walls, totaling 1,180’ in length, along the northern portion of the Property (the “Project”); and

WHEREAS, the Planning Commission considered this request at their regular meeting on September 12, 2017, and recommended approval of the request, with conditions, to waive the critical slopes requirements, pursuant to City Code Sec. 34-1120(b)(6); and

WHEREAS, upon consideration of the information and materials provided by the applicant, and the recommendation of the Planning Commission, the City Council finds and determines pursuant to City Code Sec. 34-1120(b)(6)(d)(ii) that due to unusual size, topography, shape, location, or other unusual physical conditions, or existing development of the Project, one (1) or more of these critical slopes provisions would effectively prohibit or unreasonably restrict the use, reuse or redevelopment of such property; now, therefore,

BE IT RESOLVED by the Council for the City of Charlottesville, Virginia that the request by Towers Limited Partnership for a waiver of the critical slopes requirements for the above-described Project on the Property, is hereby granted, conditioned upon the following:

1. The Applicant shall petition City Council to vacate the existing 1985 stormwater easement, in order to transfer the burden of maintenance of the stormwater facility from the City to the owner of the Property.
2. A detailed survey by a licensed professional should be provided following construction of the retaining wall to capture any deviation from the approved plans. Upon completion of the as-built survey, the stormwater routing analysis should be verified using the as-built data.
3. The improvements depicted in the Concept Plan Exhibit Series attached to the critical slopes waiver request shall be incorporated in any site plan amendment for future redevelopment of the Property, including the following modifications recommended by staff:
 - a. Elimination of the proposed pedestrian crossing along Hillsdale Drive given its proximity to the signalized intersection;
 - b. Proposed pedestrian areas shall meet ADA standards (including curb ramps, minimum width and cross-slope); and

- c. Proposed bicycle racks shall be located close to the building entrance, visible from the multi-use trail, and the number of bicycle racks shall meet the standards outlined in City Code Sec. 34-881 (in effect on the date of this SUP approval).
4. Construction shall not begin until after the Hillsdale Road extension project is complete.
5. The proposed 8' wide greenbelt trail shall be asphalt, and include a buffer no less than three (3) feet from the parking lot, and the proposed type and height of the fence will be determined by Parks & Recreation staff prior to site plan approval.
6. Proposed 10' wide easement encompassing the 8' wide greenbelt trail shall be for maintenance of the trail itself and not for any improvements placed within the easement by the Property Owner (i.e. the retaining wall), which shall be maintained by the Property owner. A deed of easement from the Property owner to the City, in form approved by the City Attorney, for the greenbelt trail shall be signed prior to site plan approval.
7. The previously submitted routing analysis for the existing stormwater basin between Seminole Square and Pepsi shall be revised and resubmitted to Engineering staff should the retaining wall located on the Seminole Square site require adjustment due to the development activities on either the adjoining Pepsi property or the Seminole Square property.

GENERAL NOTES:

OWNER: GANT SEQUEL INVESTORS, LLC
 PO BOX 5526
 CHARLOTTEVILLE, VA 22905

DEVELOPER: GREAT EASTERN MANAGEMENT
 PO BOX 5526
 CHARLOTTEVILLE, VA 22905

ENGINEER: COLLINS ENGINEERING, INC
 200 GARRETT STREET, SUITE K
 CHARLOTTEVILLE, VA 22902
 (434) 293-3719

PROPERTY: TMP 41C003100
 LOCATION OF PROJECT: INTERSECTION OF HILLSDALE DRIVE AND SEMINOLE COURT
 TOTAL ACRES OF SITE: TOTAL ACRES: 18.806 ACRES

PHASING: SITE CONSTRUCTION SHALL OCCUR WITH (3) PROPOSED PHASES OF CONSTRUCTION (BASED ON THE DIFFERENT QUADRANTS OF THE SITE), AND NOT INCLUDING THE PROPOSED CONSTRUCTION WITH THE SITE PLAN AMENDMENT #1 (INSTALLATION OF THE RETAINING WALLS AND EXPANSION OF THE REAR PARKING LOTS)

EXISTING ZONING: HW (ENTRANCE CORRIDOR OVERLAY)
 EXISTING USE: COMMERCIAL SHOPPING CENTER
 PROPOSED USE: EXPANSION OF EXISTING COMMERCIAL SHOPPING CENTER FOR (2) ADDITIONAL BUILDINGS, BUILDING FACADE IMPROVEMENTS, AND PARKING LOT IMPROVEMENTS (TOTAL BUILDING EXPANSION=18,000 SF)

BUILDING/LOT SETBACKS: HW-HIGHWAY CORRIDOR ZONING:
 PRIMARY STREET: 5' MINIMUM AND 30' MAXIMUM (SEMINOLE TRAIL AND HILLSDALE DRIVE)
 LINKING STREET: 5' MINIMUM AND 20' MAXIMUM (SEMINOLE COURT)

NOTE: THE BACK PORTION OF THE SITE FRONTS ON TWO LINKING STREETS (HILLSDALE DRIVE & SEMINOLE COURT), HILLSDALE DRIVE WILL REVERT TO THE PRIMARY STREET AS IT IS THE HIGHEST FUNCTIONING OF THE TWO STREETS.

SIDE/REAR:
 20' ADJACENT TO LOW DENSITY RESIDENTIAL DISTRICT
 NO SETBACK ADJACENT TO SIMILAR DENSITY DISTRICT

MAXIMUM HEIGHT: 80' MAXIMUM PROPOSED BUILDING HEIGHT = 18' (BOTH PROPOSED BUILDINGS)

GROSS FLOOR AREA: 18,000 +/- SF PROPOSED COMMERCIAL

ADJACENT OWNERS: SEE LAYOUT PLAN, THIS SHEET FOR ADJACENT OWNERS AND INFORMATION

FLOODPLAIN: THERE ARE NO FLOODPLAIN LIMITS WITHIN THE SUBJECT PROPERTY PER FEMA MAP#51003C0278D, PANEL #0278D DATED FEBRUARY 4, 2005.

STREAM BUFFER: THE DEVELOPMENT OF THIS PROPERTY DOES NOT IMPACT A STREAM BUFFER, WATERCOURSE, OR FLOODPLAIN ON THE PROPERTY. THE PROPOSED IMPROVEMENTS OF THIS PROPERTY AS SHOWN ON THE PLAN SHALL ALSO NOT IMPACT THE STREAM BUFFER LOCATED ON THE ADJACENT PROPERTY.

SURVEY: BOUNDARY AND TOPOGRAPHY OF THE SITE WAS PROVIDED BY TOWNES ENGINEERING, JUNE 2017. STORM SEWER RIM & INVERT ELEVATIONS LOCATED IN SEMINOLE SQUARE WAS PROVIDED BY A LICENSED LAND SURVEYOR AT MERIDIAN PLANNING GROUP IN JANUARY OF 2018. THE MISS UTILITY TICKET NUMBER IS A813503360-00A AND THE SITE WAS FIELD VERIFIED ON FEBRUARY 8, 2018.

USGS DATUM: NAD 83 (1994)

TOTAL LAND DISTURBANCE: 9.19 ACRES (THIS PLAN + SEMINOLE SQUARE EXPANSION SITE PLAN AMENDMENT #1). CONSTRUCTION ACTIVITIES WILL CONFORM TO THE LATEST EDITION OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK GUIDELINES.

UTILITIES: THE SITE WILL BE SERVED BY PUBLIC WATER AND SEWER.
 CRITICAL SLOPES: NO IMPACTS TO CRITICAL SLOPES WITH THIS SITE PLAN AMENDMENT THAT MEET THE CONDITIONS OF THE CITY ORDINANCE SECTION 34-1120.
 AREAS PUBLIC USE: A GREENWAY TRAIL SYSTEM IS PROPOSED ON THIS PROPERTY WITH THE PROPOSED SITE PLAN AMENDMENT #1 (THAT IS CURRENTLY UNDER REVIEW FOR FINAL APPROVAL).
 WATER DEMANDS: THE PROPOSED BUILDINGS WILL HAVE A SPRINKLER SYSTEM FOR FIRE PROTECTION.
 INGRESS AND EGRESS: ACCESS TO THE SHOPPING CENTER FROM SEMINOLE TRAIL (RT 29) AND HILLSDALE DRIVE.
 LIGHTING PLAN: A LIGHTING PLAN IS INCLUDED WITH THIS PRELIMINARY SITE PLAN.
 SITE TRIP GENERATION AND LAND USE ITE CODE 7TH EDITION:
 SHOPPING CENTER (CODE 820) PER 1,000 SF GROSS LEASABLE AREA
 ADDITIONAL 18,000 SF OF COMMERCIAL RETAIL SPACE
 ADT = 773 VPH (386 ENTER/387 EXIT)
 AM HOUR = 19 VPH (11 ENTER/8 EXIT)
 PM HOUR = 68 VPH (32 ENTER/36 EXIT)

STREAMS/BUFFERS: SITE CONTAINS NO EXISTING WATER COURSES, STREAM BUFFERS OR FLOOD PLANS. THIS SITE DRAINS TO THE EXISTING MEADOW CREEK STREAM AND WATERSHED.

EXISTING VEGETATION: EXISTING SEMINOLE SQUARE SHOPPING CENTER

Existing Area Chart		Proposed Area Chart	
Building	Area (sf)	Building	Area (sf)
Building	157,793	Building	189,664
Pavement	390,423	Pavement	348,253
Sidewalk	12,722	Sidewalk	17,403
Total Impervious	560,938	Total Impervious	555,324
Total Project Area	670,190	Total Project Area	670,190
Open Space	109,228	Open Space	117,861

WATER DEMAND: PROPOSED FIXTURE COUNTS:
 COMMERCIAL BUILDING: 6,000 SF
 TOILET/URINAL: 6, LAVATORIES: 3
 COMMERCIAL BUILDING: 12,000 SF
 TOILET/URINAL: 12, LAVATORIES: 6

PAVED PARKING AND CIRCULATION:
 SOUTHEAST PHASE: 194,295 SF
 NORTHWEST PHASE: 65,703 SF
 NORTHEAST PHASE: 85,257 SF

RECREATION AREA: NONE

TRASH: PROPOSED COMMERCIAL BUILDINGS SHALL HAVE DUMPSTERS ON SITE.
 NOTE: PER SEC. 34-872(b)(2) AN ENCLOSURE AT A MINIMUM HEIGHT OF ONE (1) FOOT ABOVE THE HEIGHT OF THE DUMPSTER(S) WITH A MINIMUM INSIDE CLEARANCE AT THE OPENING OF TWELVE (12) FEET WILL BE PROVIDED.
 NOTE: DUMPSTERS WILL COMPLY WITH SEC. 34-932 WHERE DUMPSTERS WILL BE LOCATED ON A PAD OF SUFFICIENT SIZE TO ADEQUATELY ACCOMMODATE LOADING AND UNLOADING VEHICLES WITHOUT DAMAGE TO THE SURROUNDING SURFACES, WITH A MINIMUM DIMENSION OF TEN (10) FEET IN WIDTH AND TWENTY (20) FEET IN LENGTH.

STORMWATER MANAGEMENT: THIS PLAN PROPOSES A REDUCTION IN IMPERVIOUS AREA ON SITE AND TO THE EXISTING STORMWATER MANAGEMENT FACILITY ON THE PROPERTY. THE PROPOSED SITE PLAN AMENDMENT WILL CONTINUE TO HONOR THE EXISTING DRAINAGE PATTERNS, WHICH CURRENTLY DRAIN TO AN EXISTING STORMWATER MANAGEMENT FACILITY (LAT. 38.065079, LONG. 78.484650). THIS EXISTING FACILITY WILL CONTINUE TO ATTENUATE AND DETAIN FLOWS FROM THE SEMINOLE SQUARE SHOPPING CENTER TO MEET STORMWATER MANAGEMENT REQUIREMENTS.

SIGNAGE: THE CURRENT SIGNAGE FOR THE PROPERTY IS EXISTING AND SHALL REMAIN. NO CHANGES TO THE OVERALL SIGNAGE IS PROPOSED WITH THIS PLAN AMENDMENT.

FIRE FLOW: NO FIRE HYDRANTS ARE PROPOSED, HOWEVER THERE ARE THREE EXISTING FIRE HYDRANTS THAT SURROUND THE EXISTING AND PROPOSED BUILDINGS. ALSO, THE ADJACENT PROPERTY CONTAINS TWO FIRE HYDRANTS. FIRE HYDRANT #08250 MAINTAINED A STATIC PRESSURE OF 90 PSI WHILE FIRE HYDRANT #08255 WAS OPENED AND RELEASED A FLOW OF 1,275 GPM.

NOTE: CONTRACTOR SHALL BE REQUIRED TO PROVIDE ADEQUATE PEDESTRIAN BARRIERS AND PEDESTRIAN CIRCULATION DURING CONSTRUCTION SHOULD CONSTRUCTION OCCUR AFTER HILLSDALE DRIVE EXTENSION'S COMPLETION.

PARKING SUMMARY: PROPOSED PARKING SHALL BE IN ACCORDANCE WITH CITY CODE OF ORDINANCES, SECTION 34-984 AND SHALL ACCOMMODATE THE EXISTING & PROPOSED DEVELOPMENT NEEDS. PLEASE SEE BELOW FOR A COMPLETE ANALYSIS OF THE SHOPPING CENTER'S PARKING PLAN:

REQUIRED PARKING:
 BUILDING FRONTING PARKING LOTS S-1 & S-2 (RETAIL FLOOR AREA = 191,971 x 0.90); 172,774 SF
 BUILDING FRONTING PARKING LOT N-1 (RETAIL FLOOR AREA = 34,013 x 0.90); 30,612 SF
 BUILDING FRONTING PARKING LOT N-2 (RETAIL FLOOR AREA = 26,887 x 0.90); 24,198 SF
 PROPOSED RETAIL IN SEMINOLE SQUARE REDEVELOPMENT PLAN (RETAIL FLOOR AREA = (12,000 + 6,000) x 0.90); 16,200 SF
 TOTAL PARKING REQUIRED = 3.5 SPACES PER 1,000 SF x 243,784 SF = 853 SPACES

EXISTING PARKING PROVIDED:
 EXISTING PARKING LOT S-1: 474 SPACES (INCLUDES 12 HC SPACES)
 EXISTING PARKING LOT S-2: 262 SPACES (INCLUDES 16 HC SPACES)
 EXISTING PARKING LOT N-1: 161 SPACES (INCLUDES 5 HC SPACES)
 EXISTING PARKING LOT N-2: 81 SPACES (INCLUDES 4 HC SPACES)
 EXISTING PARKING LOT N-3: 0 SPACES
 EXISTING PARKING LOT N-4: 0 SPACES
 TOTAL EXISTING PARKING PROVIDED= 978 SPACES (INCLUDES 37 HC SPACES)

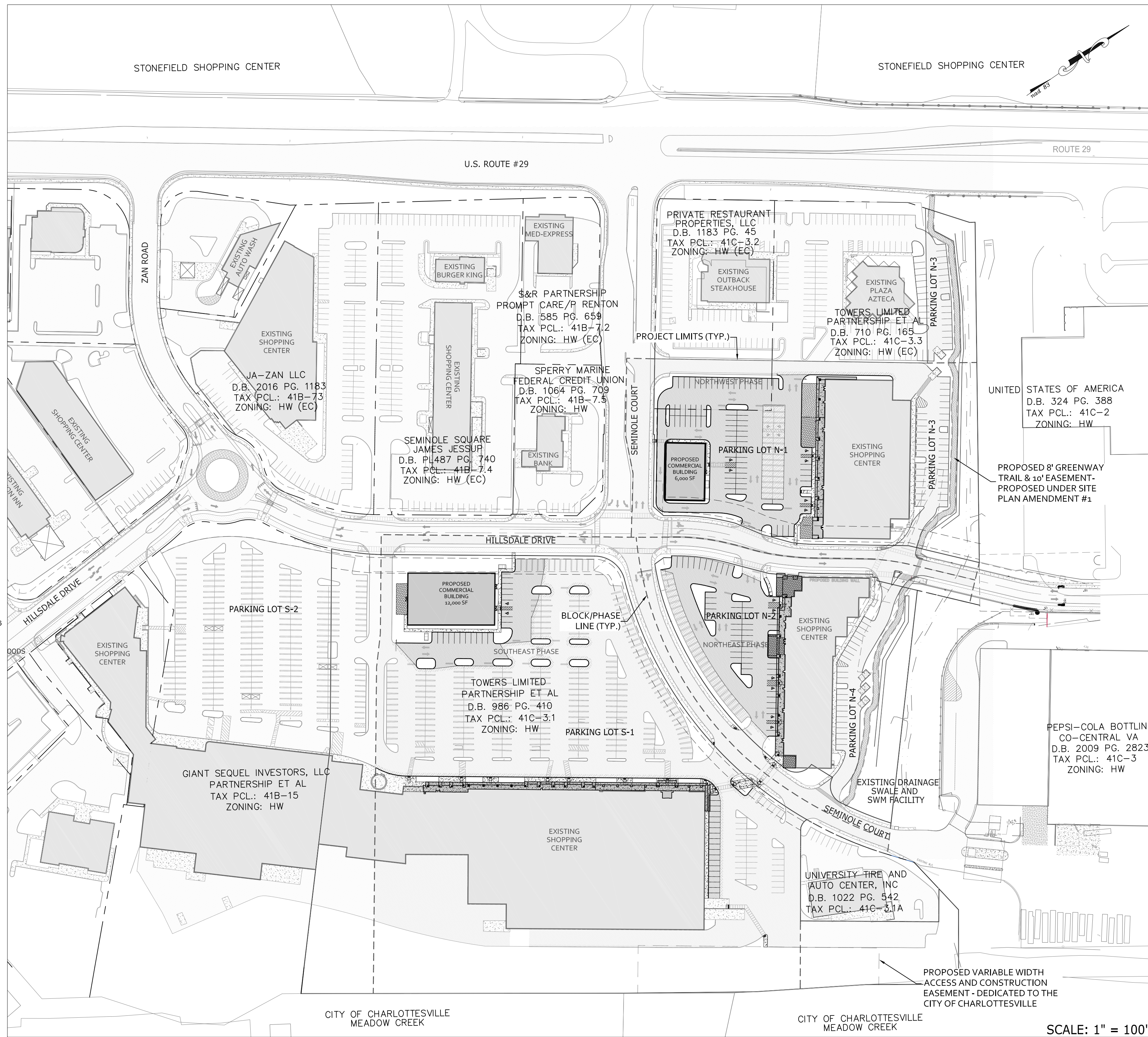
PROPOSED PARKING PROVIDED:
 PARKING LOT S-1, MODIFIED WITH SEMINOLE SQUARE REDEVELOPMENT PLAN (THIS PLAN): 351 SPACES (INCLUDES 12 HC SPACES)
 PARKING LOT S-2, NOT MODIFIED: 262 SPACES (INCLUDES 16 HC SPACES)
 PARKING LOT N-1, MODIFIED WITH SEMINOLE SQUARE REDEVELOPMENT PLAN (THIS PLAN): 110 SPACES (INCLUDES 10 HC SPACES)
 PARKING LOT N-2, MODIFIED WITH SEMINOLE SQUARE REDEVELOPMENT PLAN (THIS PLAN): 86 SPACES (INCLUDES 6 HC SPACES)
 PARKING LOT N-3, MODIFIED WITH SEMINOLE SQUARE SITE PLAN AMENDMENT #1: 52 SPACES
 PARKING LOT N-4, MODIFIED WITH SEMINOLE SQUARE SITE PLAN AMENDMENT #1: 23 SPACES
 TOTAL PROVIDED PARKING = 884 SPACES (INCLUDES 44 HC SPACES)

BICYCLE PARKING: 1 SPACE PER 1,000sf OF PROPOSED PUBLIC SPACE IS REQUIRED. (18,000sf = 18 BICYCLE PARKING SPACES REQUIRED. THIS PLAN PROPOSED 18 BICYCLE PARKING SPACES. THE SEMINOLE SQUARE SITE PLAN AMENDMENT #1 PROPOSED AN ADDITIONAL 6 BICYCLE PARKING SPACES.

SEMINOLE SQUARE REDEVELOPMENT

PRELIMINARY SITE PLAN

CITY OF CHARLOTTEVILLE, VIRGINIA

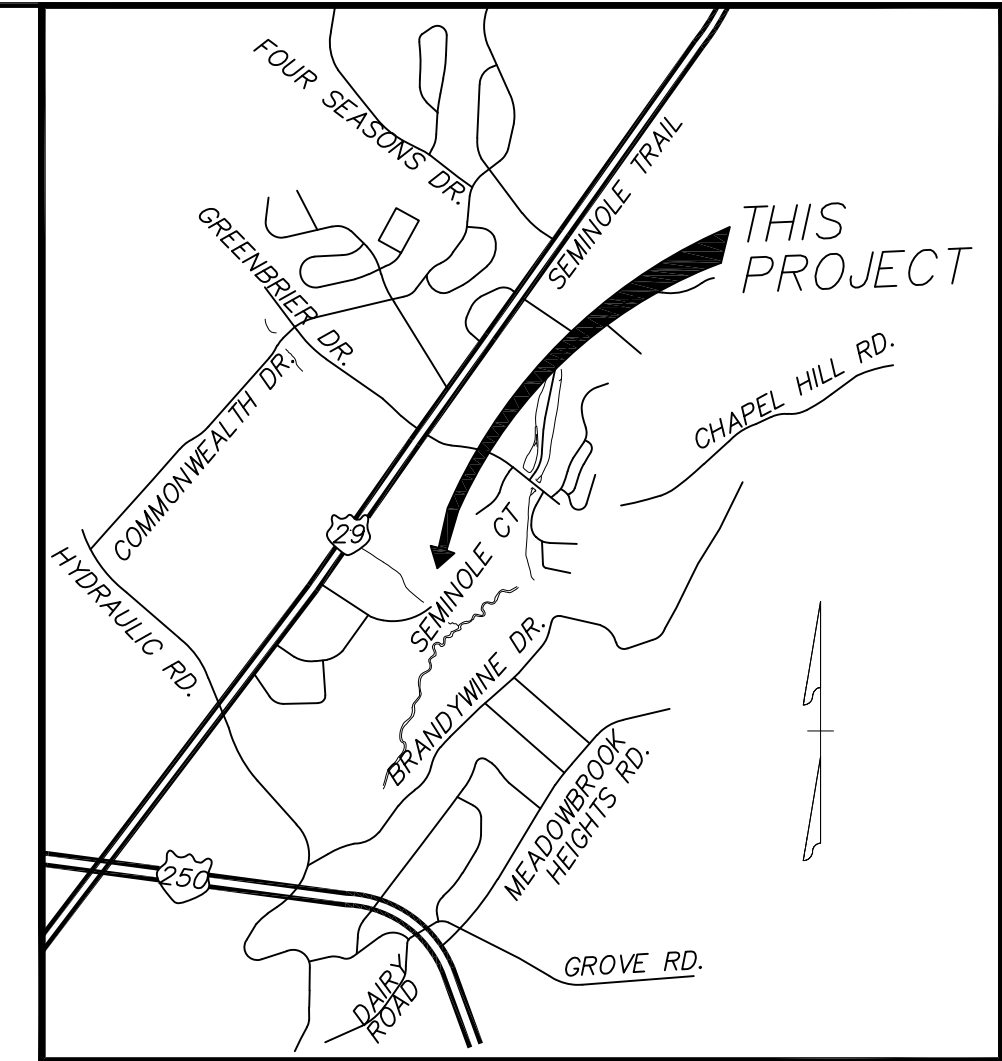


LAYOUT PLAN SHEET

- NOTES:
- ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE CONSISTENT WITH THE MUTCD.
 - IFC 605-THE BUILDING STREET NUMBER TO BE PLAINLY VISIBLE FROM THE STREET FOR EMERGENCY RESPONDERS.
 - IFC 606-A APPROVED KEY BOX SHALL BE MOUNTED TO THE SIDE OF THE FRONT OR MAIN ENTRANCE. THE CHARLOTTEVILLE FIRE DEPARTMENT CARRIES THE KNOX BOX MASTER KEY. A KNOX BOX KEY BOX CAN BE ORDERED BY GOING ONLINE TO WWW.KNOXBOX.COM. THE KNOX BOX ALLOWS ENTRY TO THE BUILDING WITHOUT DAMAGING THE LOCK AND DOOR SYSTEM.
 - FIRE HYDRANTS, FIRE PUMP TEST HEADER, FIRE DEPARTMENT CONNECTIONS OR FIRE SUPPRESSION SYSTEM CONTROL VALVES SHALL REMAIN CLEAR AND UNOBSERVED BY LANDSCAPING, PARKING OR OTHER OBJECTS. THE FIRE MARSHAL'S OFFICE NO LONGER ALLOWS ANY TYPE OF LANDSCAPING TO BE PLACED IN FRONT OF AND WITHIN 5 FEET OF FIRE HYDRANTS, FIRE PUMP TEST HEADERS, FIRE DEPARTMENT CONNECTIONS OR FIRE SUPPRESSION SYSTEM CONTROL VALVES.
 - IFC 1404.2-WASTE DISPOSAL OF COMBUSTIBLE DEBRIS SHALL BE REMOVED FROM THE BUILDING AT THE END OF EACH WORKDAY.
 - IFC 1404.3-ACCESS TO THE BUILDING DURING DEMOLITION AND CONSTRUCTION SHALL BE MAINTAINED.
 - IFC 1404.6-CUTTING AND WELDING. OPERATIONS INVOLVING THE USE OF CUTTING AND WELDING SHALL BE DONE IN ACCORDANCE WITH CHAPTER 26, OF THE INTERNATIONAL FIRE CODE, ADDRESSING WELDING AND HOTWORK OPERATIONS.
 - IFC 1414.4-FIRE EXTINGUISHERS SHALL BE PROVIDED WITH NOT LESS THAN ONE APPROVED PORTABLE FIRE EXTINGUISHER AT EACH STAIRWAY ON ALL FLOOR LEVELS WHERE COMBUSTIBLE MATERIALS HAVE ACCUMULATED.
 - REQUIRED VEHICLE ACCESS FOR FIRE FIGHTING SHALL BE PROVIDED TO ALL CONSTRUCTION OR DEMOLITION SITES. VEHICLE ACCESS SHALL BE PROVIDED TO WITHIN 100 FEET OF TEMPORARY OR PERMANENT FIRE DEPARTMENT CONNECTIONS. VEHICLE ACCESS SHALL BE PROVIDED BY EITHER TEMPORARY OR PERMANENT ROADS, CAPABLE OF SUPPORTING VEHICLE LOADING UNDER ALL WEATHER CONDITIONS. VEHICLE ACCESS SHALL BE MAINTAINED UNTIL PERMANENT FIRE APPARATUS ACCESS ROADS ARE AVAILABLE.
 - OVERHEAD WIRING OR OTHER OBSTRUCTIONS SHALL BE HIGHER THAN 13 FEET 6 INCHES.
 - ALL SIGNS SHALL BE IN ACCORDANCE WITH ARTICLE 15, SECTION 34-3020 CITY CODE.

BMP DATA FOR THIS PROJECT:

BMP OWNERSHIP INFORMATION:	TOWERS LIMITED PARTNERSHIP ET AL. GREAT EASTERN MANAGEMENT PO BOX 5526 CHARLOTTEVILLE, VA 22905
TYPE/DESCRIPTION OF BMP INSTALLED:	AN EXISTING, ON-SITE SWM FACILITY IS PROPOSED TO PROVIDE QUANTITY TREATMENT. WATER QUALITY CREDITS ARE PROPOSED TO BE PURCHASED FOR ANY ADDITIONAL QUALITY COMPLIANCE.
GEOGRAPHIC LOCATION & HYDROLOGIC UNIT CODE:	BEHIND EXISTING SEMINOLE SQUARE SHOPPING CENTER, 195 SEMINOLE CT., CHARLOTTEVILLE, VA 22901; LATITUDE 38.065175°, LONGITUDE -78.484748°, HUC 12 403080204001 014 HYDROLOGIC SOIL GROUP TYPE 8B-FULL
WATERBODY THE BMP IS ULTIMATELY DISCHARGING INTO:	MEADOW CREEK, PART OF THE SOUTH FORK RIVANNA RIVER RESERVOIR
# OF ACRES TREATED BY BMP:	A 4.19 ac. SUBAREA WITH 3.50 ac. OF IMPERVIOUS AREA IS TREATED VIA THE EXISTING STORMWATER MANAGEMENT BASIN (QUANTITY). ALSO, NO ADDITIONAL NUTRIENT CREDITS ARE REQUIRED (QUALITY) AT THIS TIME FOR COMPLIANCE.
DESCRIPTION OF REQUIRED MAINTENANCE & OPERATION:	EXISTING STORMWATER MANAGEMENT BASIN: THE MAINTENANCE PROGRAM FOR THE WATER QUALITY SHALL BE CLEANING OUT THE BASIN ANNUALLY, OR AS NECESSARY, AND ENSURING THE FACILITY IS FREE OF TRASH AND DEBRIS. MAINTENANCE TO ALSO INCLUDE INSPECTION, AND REPAIR AS NECESSARY, OF ALL PIPES, JOINTS, TRASHRACKS AND OUTLET STRUCTURES.
OWNER'S SIGNATURE AGREEING TO MAINTAIN FACILITY:	



VICINITY MAP
SCALE: 1" = 2000'

Sheet List Table

Sheet Number	Sheet Title
1	COVER
2	EXISTING CONDITIONS & DEMOLITION PLAN
3	OVERALL LAYOUT
4	LAYOUT - SOUTHEAST PHASE
5	LAYOUT - NORTHWEST PHASE
6	LAYOUT - NORTHWEST PHASE
7	GRADING, DRAINAGE, & UTILITY PLAN - SOUTHEAST PHASE
8	GRADING, DRAINAGE, & UTILITY PLAN - NORTHWEST PHASE
9	GRADING, DRAINAGE, & UTILITY PLAN - NORTHWEST PHASE
10	OVERALL PLANTING PLAN
11	DETAIL PLANTING PLAN #1
12	DETAIL PLANTING PLAN #2
13	PLANT SCHEDULE, NOTES, DETAILS, & CALCULATIONS
14	LIGHTING PLAN
14	TOTAL SHEETS

CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHOWN ON PLANS IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTACT ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLANS, IF THERE APPEARS TO BE A CONFLICT, AND UPON DISCOVERY OF ANY UTILITY NOT SHOWN ON THE PLANS.

ANY SIDEWALK AND/OR CURB DAMAGE IDENTIFIED IN THE SITE VICINITY DUE TO PROJECT CONSTRUCTION ACTIVITIES AS DETERMINED BY THE CITY INSPECTOR SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

ALL SIGNING AND PAVEMENT MARKINGS SHALL BE CONSISTENT WITH THE MUTCD. A TEMPORARY STREET CLOSURE PERMIT IS REQUIRED FOR CLOSURE OF SIDEWALKS, PARKING SPACES AND ROADWAYS AND IS SUBJECT TO APPROVAL BY THE CITY TRAFFIC ENGINEER.

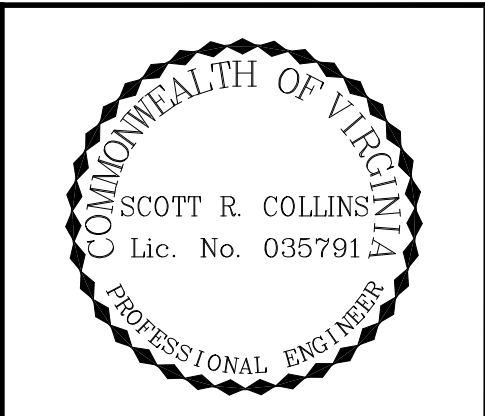
SITE AND BUILDING CONSTRUCTION SHALL MEET 2006 IRC SECTION 3409 FOR ACCESSIBILITY AND VA USBC 103.3 FOR CHANGE OF OCCUPANCY.

LEGEND

- ROADS**
- EXISTING CULVERT
 - CULVERT
 - DROP INLET & STRUCTURE NO.
 - CURB
 - CURB & GUTTER
 - PROPOSED ASPHALT
 - PROPOSED CONCRETE
 - PROPOSED VEGETATIVE COVER
 - PROPOSED BIOFILTER VEGETATION
 - EC-3A DITCH
 - DEPTH OF EC-3A DITCH
 - EC-2 DITCH
 - DEPTH OF EC-2 DITCH
 - EARTH DITCH
 - DRIVEWAY CULVERT
 - BENCH MARK
 - CLEARING LIMITS
 - VDOT STANDARD STOP SIGN
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - PROPOSED SPOT ELEVATION
 - T/B DENOTES TOP/BACK OF CURB
 - T/C DENOTES TOP OF BOX

SIGNATURE PANEL

DIRECTOR,
NEIGHBORHOOD DEVELOPMENT



REVISIONS

REVISION DESCRIPTION	DATE
INITIAL SUBMITTAL	2/21/18
REVISED PER CITY OF CHARLOTTEVILLE COMMENTS	5/22/18

COLLINS ENGINEERING
 200 GARRETT STREET, SUITE K - CHARLOTTEVILLE, VA 22902 - 434-293-3719

SEMINOLE SQUARE REDEVELOPMENT - PRELIMINARY SITE PLAN

PROJECT SHEET TITLE

JOB NO. 182142

SCALE AS SHOWN

SHEET NO. 1

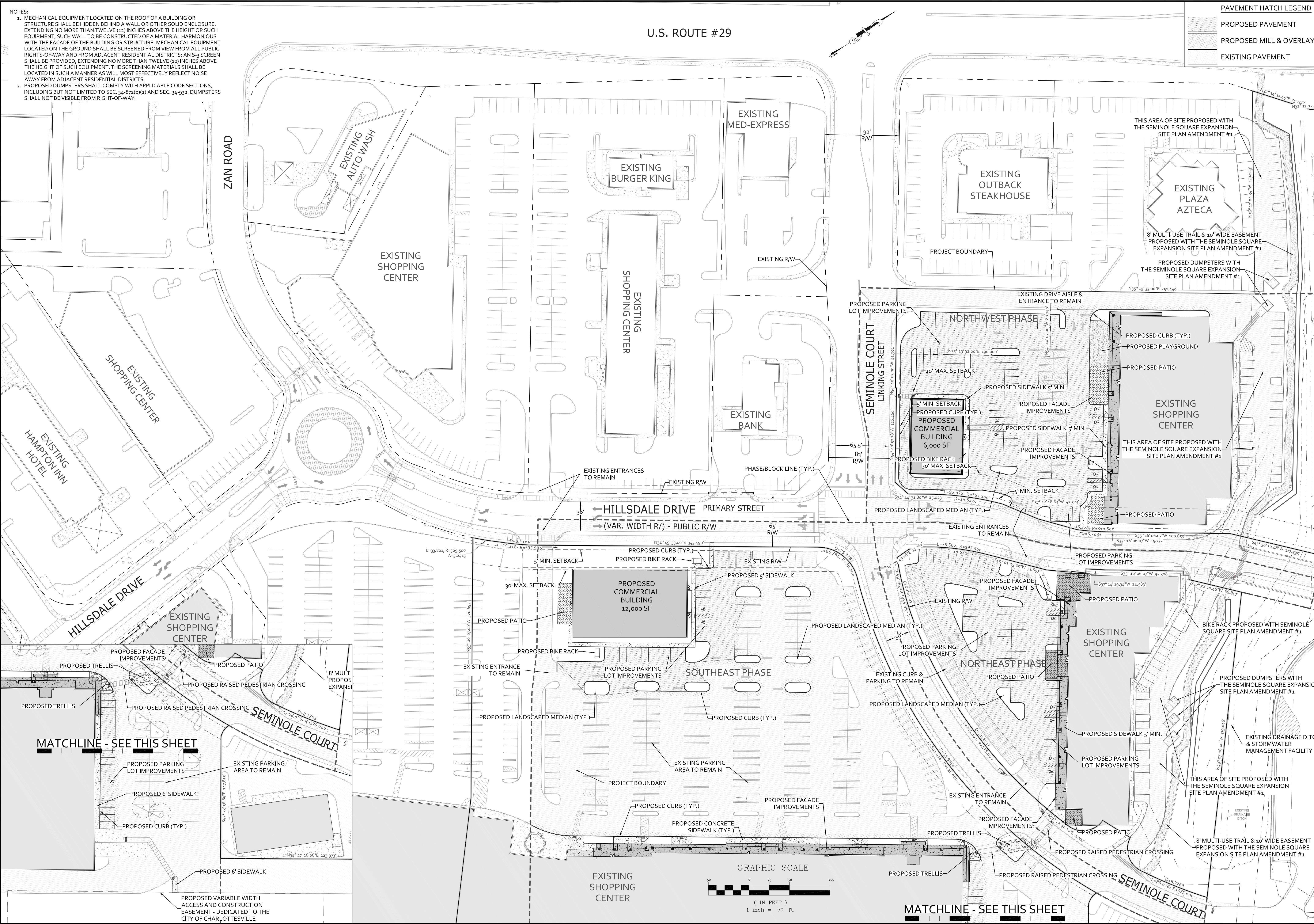
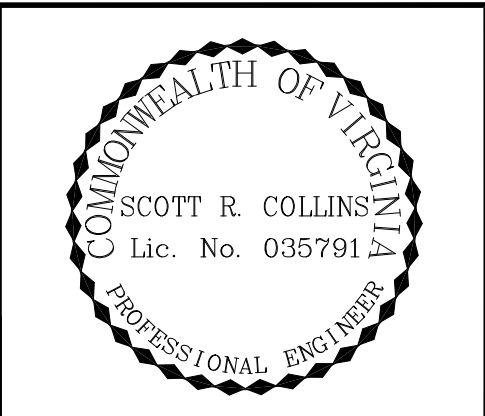
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NOTES:
 1. MECHANICAL EQUIPMENT LOCATED ON THE ROOF OF A BUILDING OR STRUCTURE SHALL BE HIDDEN BEHIND A WALL OR OTHER SOLID ENCLOSURE, EXTENDING NO MORE THAN TWELVE (12) INCHES ABOVE THE HEIGHT OR SUCH EQUIPMENT, SUCH WALL TO BE CONSTRUCTED OF A MATERIAL HARMONIOUS WITH THE FACADE OF THE BUILDING OR STRUCTURE. MECHANICAL EQUIPMENT LOCATED ON THE GROUND SHALL BE SCREENED FROM VIEW FROM ALL PUBLIC RIGHTS-OF-WAY AND FROM ADJACENT RESIDENTIAL DISTRICTS; AN S-3 SCREEN SHALL BE PROVIDED, EXTENDING NO MORE THAN TWELVE (12) INCHES ABOVE THE HEIGHT OF SUCH EQUIPMENT. THE SCREENING MATERIALS SHALL BE LOCATED IN SUCH A MANNER AS WILL MOST EFFECTIVELY REFLECT NOISE AWAY FROM ADJACENT RESIDENTIAL DISTRICTS.
 2. PROPOSED DUMPSTERS SHALL COMPLY WITH APPLICABLE CODE SECTIONS, INCLUDING BUT NOT LIMITED TO SEC. 34-872(b)(2) AND SEC. 34-932. DUMPSTERS SHALL NOT BE VISIBLE FROM RIGHT-OF-WAY.

U.S. ROUTE #29

PAVEMENT HATCH LEGEND

	PROPOSED PAVEMENT
	PROPOSED MILL & OVERLAY
	EXISTING PAVEMENT



REVISIONS

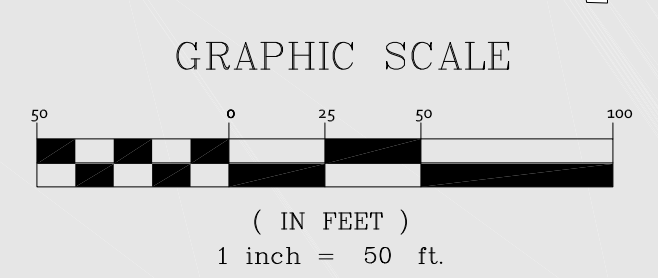
REVISION DESCRIPTION	DATE
INITIAL SUBMITTAL	2/21/18
REVISED PER CITY OF CHARLOTTESVILLE COMMENTS	5/22/18

COLLINS ENGINEERING
 200 GARRETT STREET, SUITE K - CHARLOTTESVILLE, VA 22902 - 434.293.3719

SEMINOLE SQUARE REDEVELOPMENT - PRELIMINARY SITE PLAN

OVERALL LAYOUT

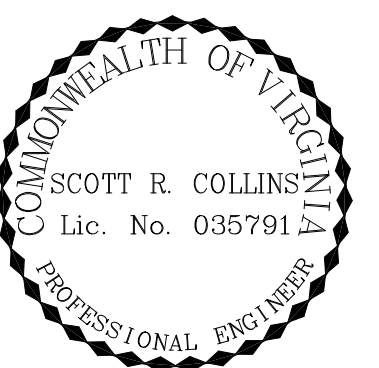
PROJECT	JOB NO.
SEMINOLE SQUARE REDEVELOPMENT - PRELIMINARY SITE PLAN	182142
SHEET TITLE	SCALE
OVERALL LAYOUT	1"=50'
	SHEET NO.
	3



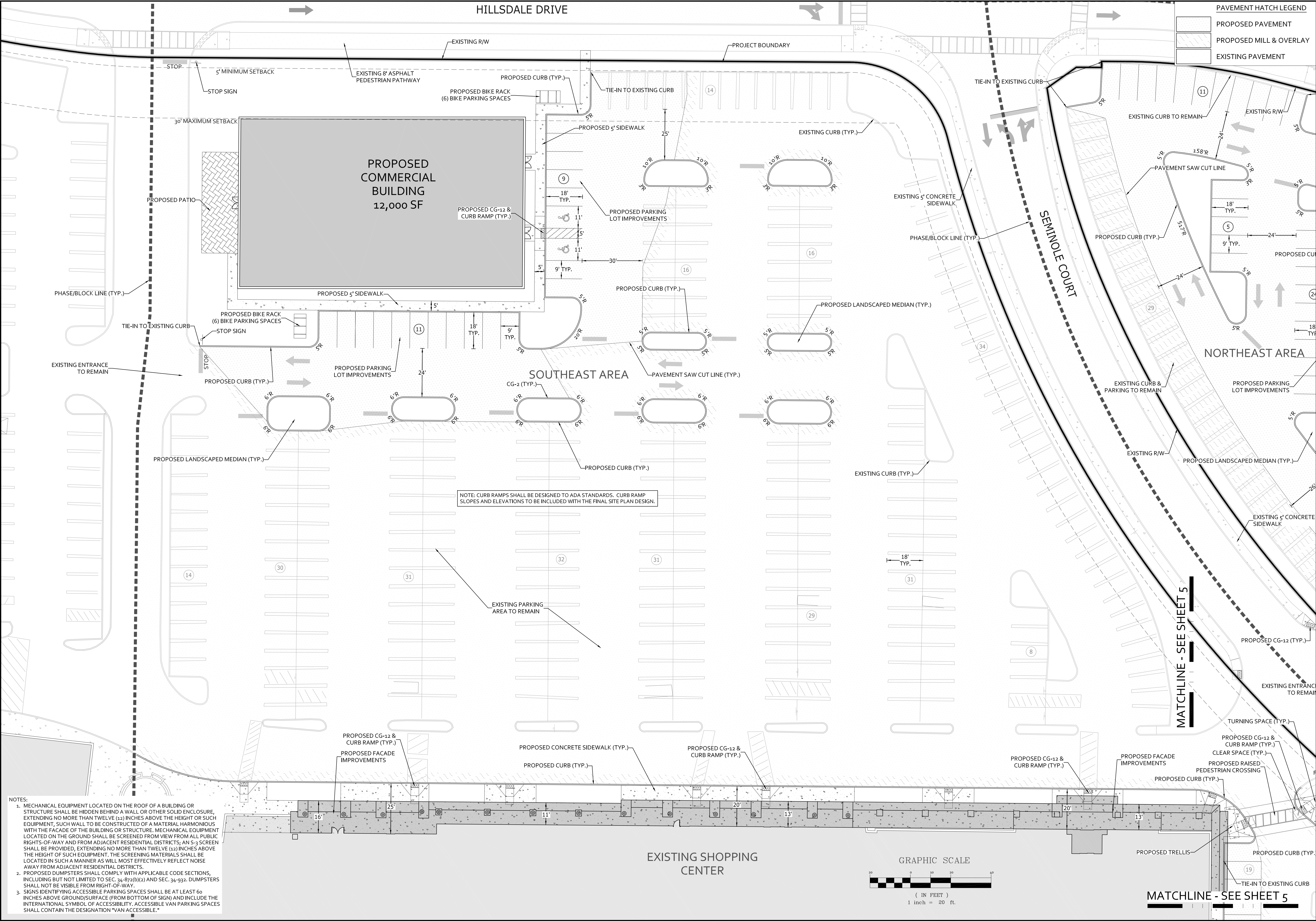
MATCHLINE - SEE THIS SHEET

MATCHLINE - SEE THIS SHEET

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PAVEMENT HATCH LEGEND	
[Hatched Pattern]	PROPOSED PAVEMENT
[Hatched Pattern]	PROPOSED MILL & OVERLAY
[Hatched Pattern]	EXISTING PAVEMENT



REVISIONS

REVISION DESCRIPTION	DATE
INITIAL SUBMITTAL	2/21/18
REVISED PER CITY OF CHARLOTTESVILLE COMMENTS	5/22/18

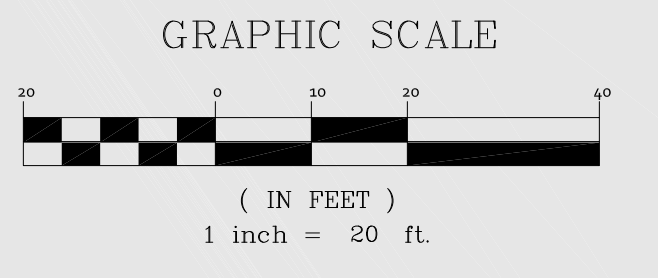
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SEMINOLE SQUARE REDEVELOPMENT - PRELIMINARY SITE PLAN

SOUTHEAST AREA - LAYOUT

- NOTES:**
- MECHANICAL EQUIPMENT LOCATED ON THE ROOF OF A BUILDING OR STRUCTURE SHALL BE HIDDEN BEHIND A WALL OR OTHER SOLID ENCLOSURE, EXTENDING NO MORE THAN TWELVE (12) INCHES ABOVE THE HEIGHT OR SUCH EQUIPMENT, SUCH WALL TO BE CONSTRUCTED OF A MATERIAL HARMONIOUS WITH THE FACADE OF THE BUILDING OR STRUCTURE. MECHANICAL EQUIPMENT LOCATED ON THE GROUND SHALL BE SCREENED FROM VIEW FROM ALL PUBLIC RIGHTS-OF-WAY AND FROM ADJACENT RESIDENTIAL DISTRICTS; AN S-3 SCREEN SHALL BE PROVIDED, EXTENDING NO MORE THAN TWELVE (12) INCHES ABOVE THE HEIGHT OF SUCH EQUIPMENT. THE SCREENING MATERIALS SHALL BE LOCATED IN SUCH A MANNER AS WILL MOST EFFECTIVELY REFLECT NOISE AWAY FROM ADJACENT RESIDENTIAL DISTRICTS.
 - PROPOSED DUMPSTERS SHALL COMPLY WITH APPLICABLE CODE SECTIONS, INCLUDING BUT NOT LIMITED TO SEC. 34-872(b)(2) AND SEC. 34-932. DUMPSTERS SHALL NOT BE VISIBLE FROM RIGHT-OF-WAY.
 - SIGNS IDENTIFYING ACCESSIBLE PARKING SPACES SHALL BE AT LEAST 60 INCHES ABOVE GROUND/SURFACE (FROM BOTTOM OF SIGN) AND INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. ACCESSIBLE VAN PARKING SPACES SHALL CONTAIN THE DESIGNATION "VAN ACCESSIBLE."



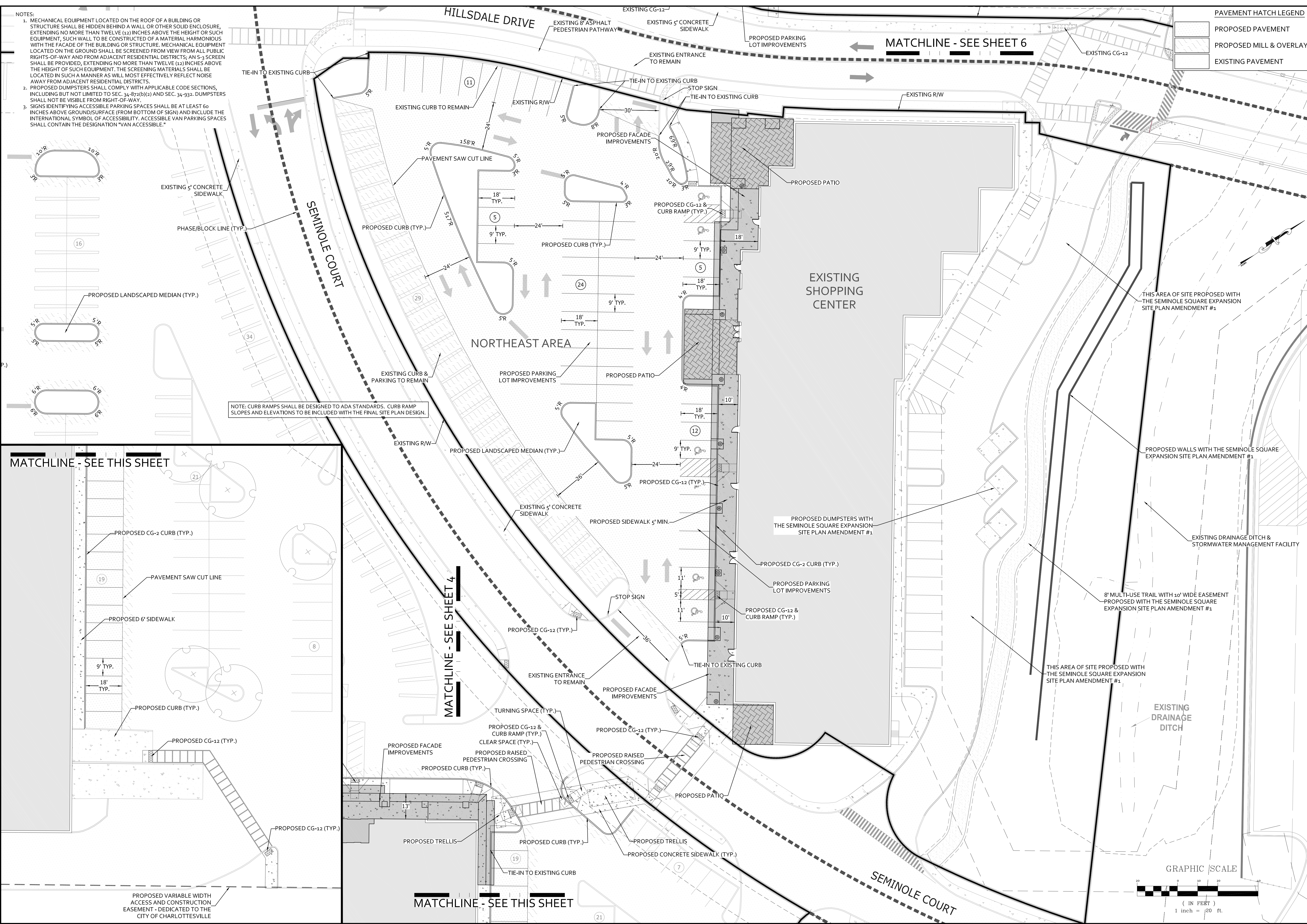
MATCHLINE - SEE SHEET 5

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PAVEMENT HATCH LEGEND

	PROPOSED PAVEMENT
	PROPOSED MILL & OVERLAY
	EXISTING PAVEMENT



NOTE: CURB RAMPS SHALL BE DESIGNED TO ADA STANDARDS. CURB RAMP SLOPES AND ELEVATIONS TO BE INCLUDED WITH THE FINAL SITE PLAN DESIGN.

REVISIONS

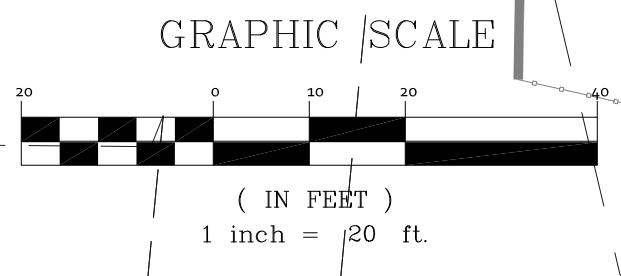
REVISION DESCRIPTION	DATE
INITIAL SUBMITTAL	2/21/18
REVISED PER CITY OF CHARLOTTESVILLE COMMENTS	5/22/18

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SEMINOLE SQUARE REDEVELOPMENT - PRELIMINARY SITE PLAN
 NORTHEAST AREA - LAYOUT

PROJECT: SEMINOLE SQUARE REDEVELOPMENT - PRELIMINARY SITE PLAN
 SHEET TITLE: NORTHEAST AREA - LAYOUT

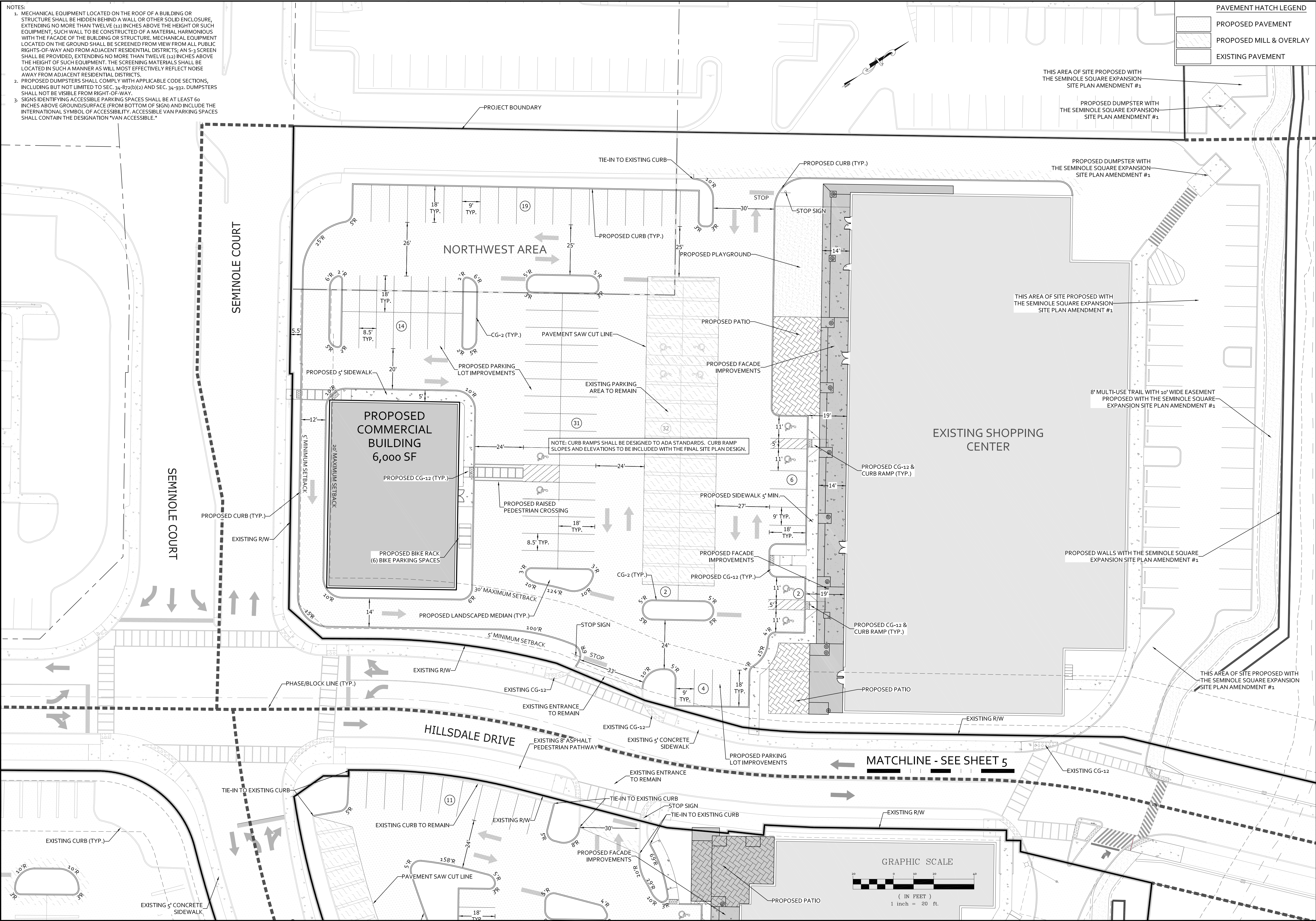
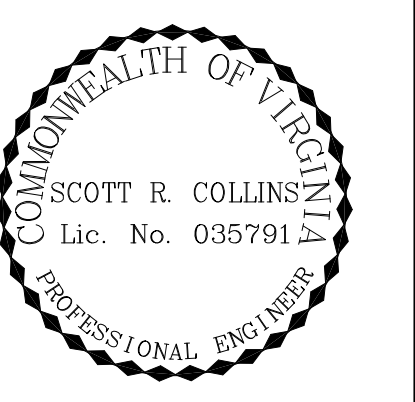
JOB NO. 182142
 SCALE 1"=20'
 SHEET NO. 5



- NOTES:
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PAVEMENT HATCH LEGEND

	PROPOSED PAVEMENT
	PROPOSED MILL & OVERLAY
	EXISTING PAVEMENT



REVISIONS

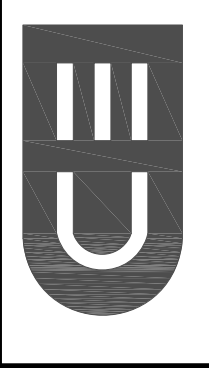
REVISION DESCRIPTION	DATE
INITIAL SUBMITTAL	2/21/18
REVISED PER CITY OF CHARLOTTESVILLE COMMENTS	5/22/18

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SEMINOLE SQUARE REDEVELOPMENT - PRELIMINARY SITE PLAN

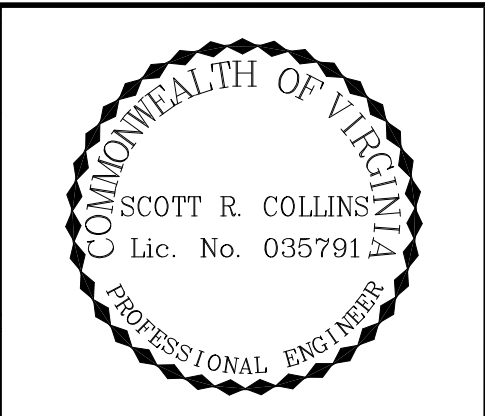
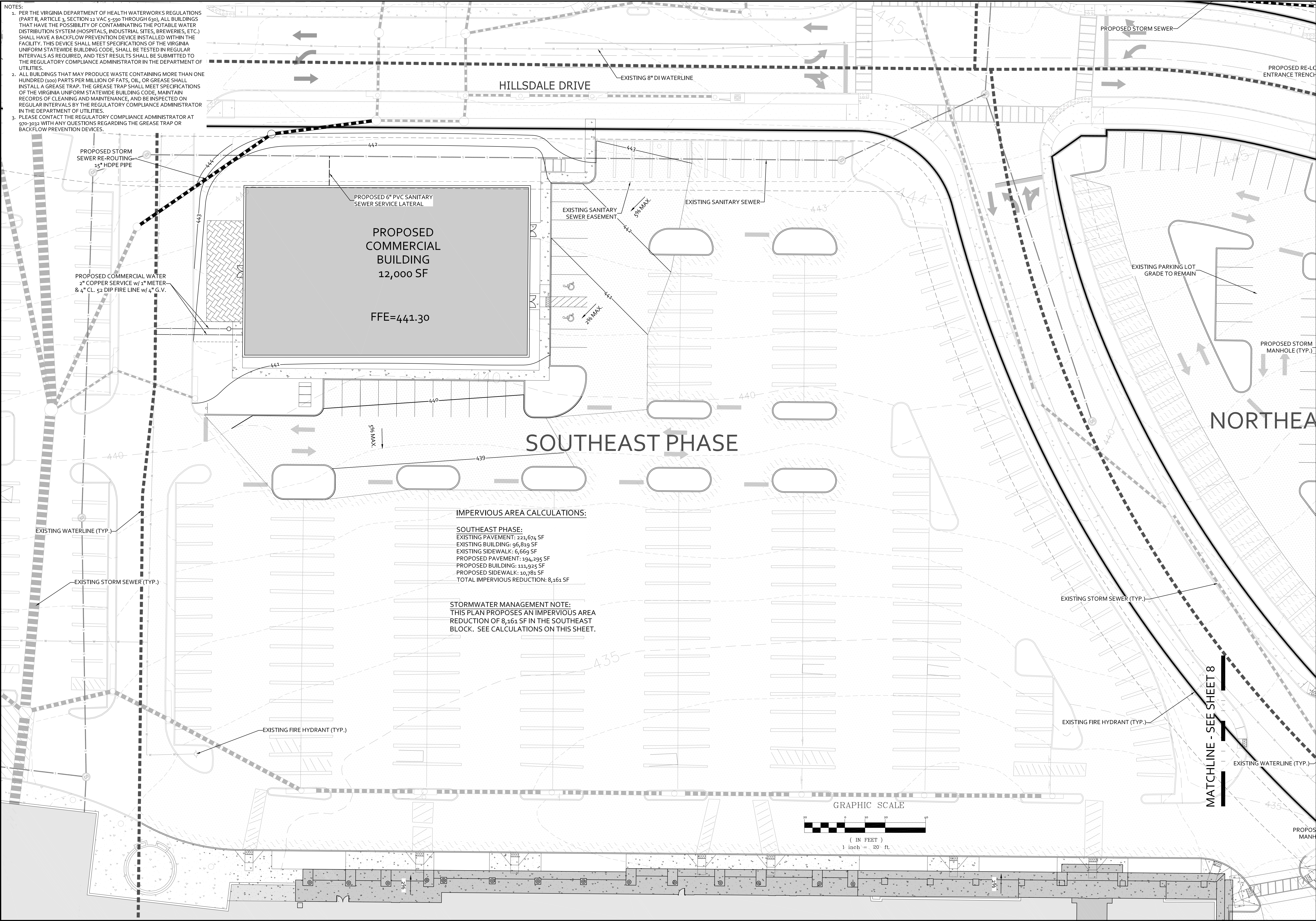
NORTHWEST AREA - LAYOUT



JOB NO.	182142
SCALE	1"=20'
SHEET NO.	6

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- NOTES:
- PER THE VIRGINIA DEPARTMENT OF HEALTH WATERWORKS REGULATIONS (PART II, ARTICLE 3, SECTION 12 VAC 5-590 THROUGH 630), ALL BUILDINGS THAT HAVE THE POSSIBILITY OF CONTAMINATING THE POTABLE WATER DISTRIBUTION SYSTEM (HOSPITALS, INDUSTRIAL SITES, BREWERIES, ETC.) SHALL HAVE A BACKFLOW PREVENTION DEVICE INSTALLED WITHIN THE FACILITY. THIS DEVICE SHALL MEET SPECIFICATIONS OF THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE, SHALL BE TESTED IN REGULAR INTERVALS AS REQUIRED, AND TEST RESULTS SHALL BE SUBMITTED TO THE REGULATORY COMPLIANCE ADMINISTRATOR IN THE DEPARTMENT OF UTILITIES.
 - ALL BUILDINGS THAT MAY PRODUCE WASTE CONTAINING MORE THAN ONE HUNDRED (100) PARTS PER MILLION OF FATS, OIL, OR GREASE SHALL INSTALL A GREASE TRAP. THE GREASE TRAP SHALL MEET SPECIFICATIONS OF THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE, MAINTAIN RECORDS OF CLEANING AND MAINTENANCE, AND BE INSPECTED ON REGULAR INTERVALS BY THE REGULATORY COMPLIANCE ADMINISTRATOR IN THE DEPARTMENT OF UTILITIES.
 - PLEASE CONTACT THE REGULATORY COMPLIANCE ADMINISTRATOR AT 970-3032 WITH ANY QUESTIONS REGARDING THE GREASE TRAP OR BACKFLOW PREVENTION DEVICES.



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SEMINOLE SQUARE REDEVELOPMENT - PRELIMINARY SITE PLAN
 GRADING, DRAINAGE, & UTILITY PLAN - SOUTHEAST PHASE

PROJECT	JOB NO.
SEMINOLE SQUARE REDEVELOPMENT - PRELIMINARY SITE PLAN	182142
SHEET TITLE	SCALE
GRADING, DRAINAGE, & UTILITY PLAN - SOUTHEAST PHASE	1"=20'
	SHEET NO.
	7

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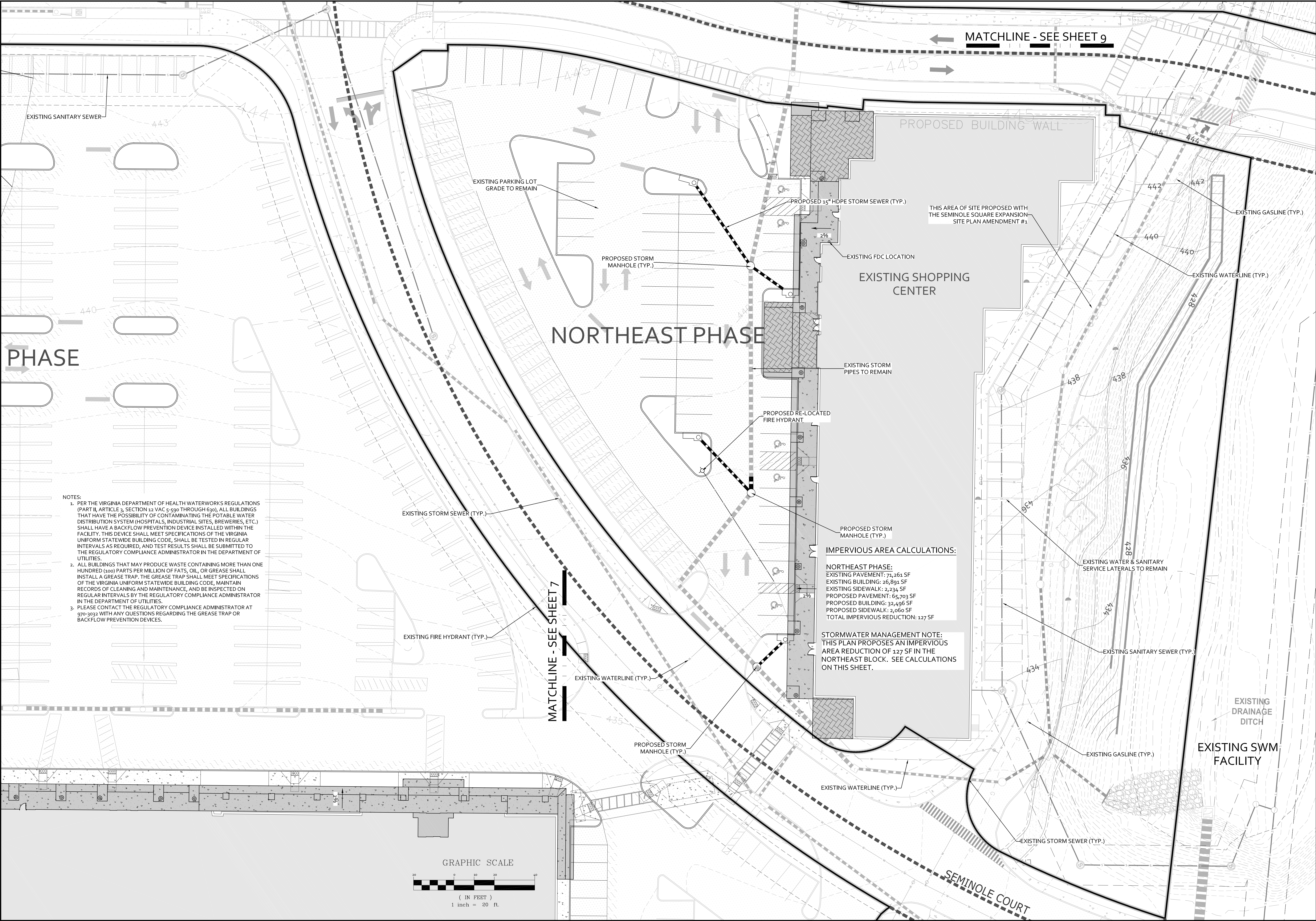
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SEMINOLE SQUARE REDEVELOPMENT - PRELIMINARY SITE PLAN

GRADING, DRAINAGE, & UTILITY PLAN - NORTHEAST AREA

PROJECT	JOB NO.
SHEET TITLE	182142
	SCALE
	1"=20'
	SHEET NO.
	8

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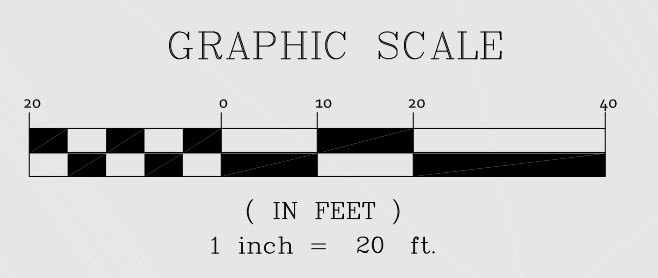


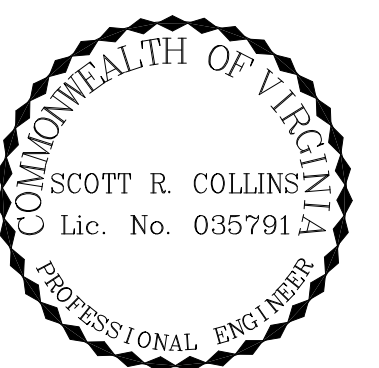
- NOTES:**
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IMPERVIOUS AREA CALCULATIONS:

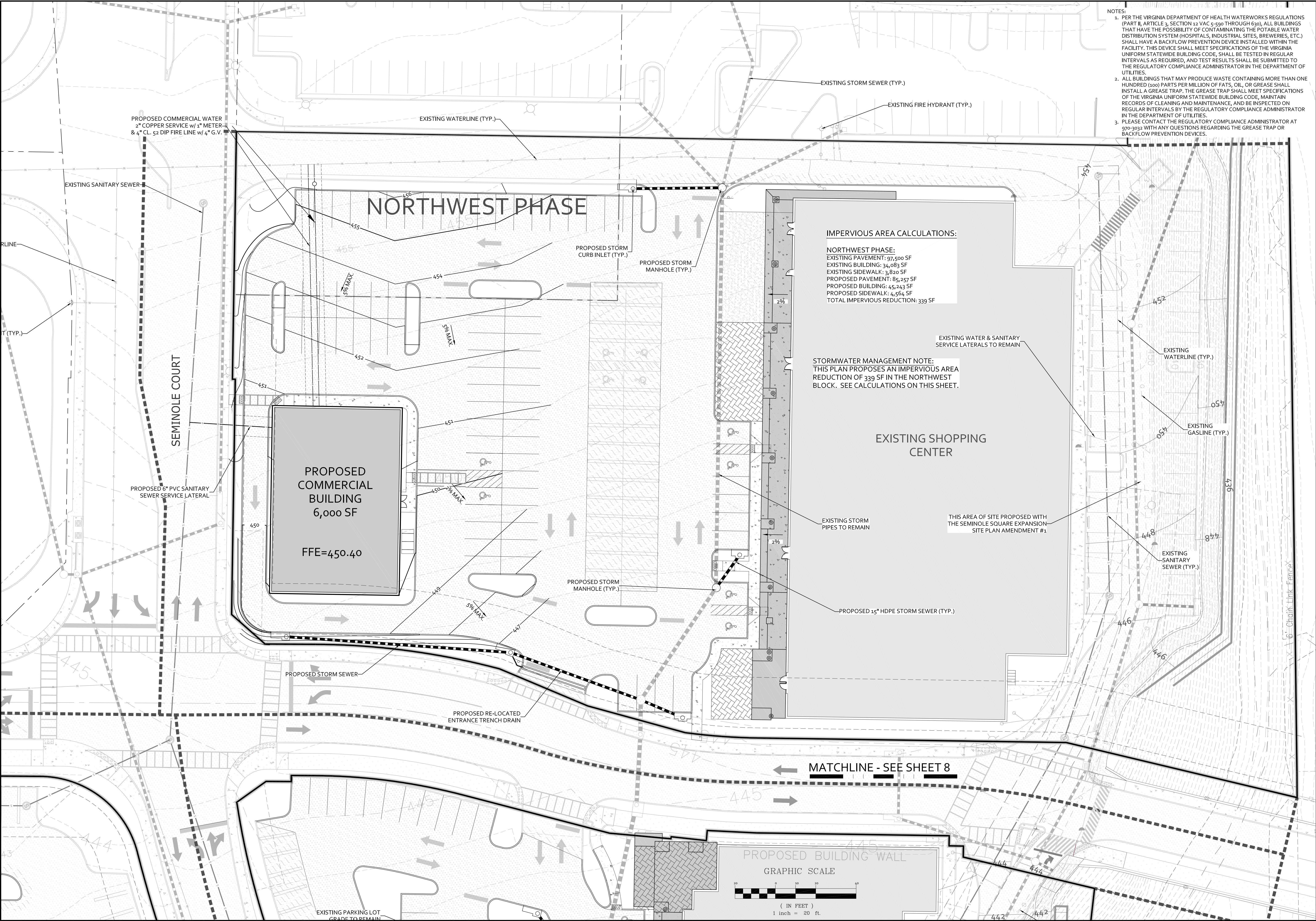
NORTHEAST PHASE:
 EXISTING PAVEMENT: 77,261 SF
 EXISTING BUILDING: 26,891 SF
 EXISTING SIDEWALK: 2,234 SF
 PROPOSED PAVEMENT: 65,703 SF
 PROPOSED BUILDING: 32,496 SF
 PROPOSED SIDEWALK: 2,060 SF
 TOTAL IMPERVIOUS REDUCTION: 127 SF

STORMWATER MANAGEMENT NOTE:
 THIS PLAN PROPOSES AN IMPERVIOUS AREA REDUCTION OF 127 SF IN THE NORTHEAST BLOCK. SEE CALCULATIONS ON THIS SHEET.





- NOTES:
- PER THE VIRGINIA DEPARTMENT OF HEALTH WATERWORKS REGULATIONS (PART II, ARTICLE 3, SECTION 12 VAC 5-590 THROUGH 630), ALL BUILDINGS THAT HAVE THE POSSIBILITY OF CONTAMINATING THE POTABLE WATER DISTRIBUTION SYSTEM (HOSPITALS, INDUSTRIAL SITES, BREWERIES, ETC.) SHALL HAVE A BACKFLOW PREVENTION DEVICE INSTALLED WITHIN THE FACILITY. THIS DEVICE SHALL MEET SPECIFICATIONS OF THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE, SHALL BE TESTED IN REGULAR INTERVALS AS REQUIRED, AND TEST RESULTS SHALL BE SUBMITTED TO THE REGULATORY COMPLIANCE ADMINISTRATOR IN THE DEPARTMENT OF UTILITIES.
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SEMINOLE SQUARE REDEVELOPMENT - PRELIMINARY SITE PLAN
GRADING, DRAINAGE, & UTILITY PLAN - NORTHWEST PHASE

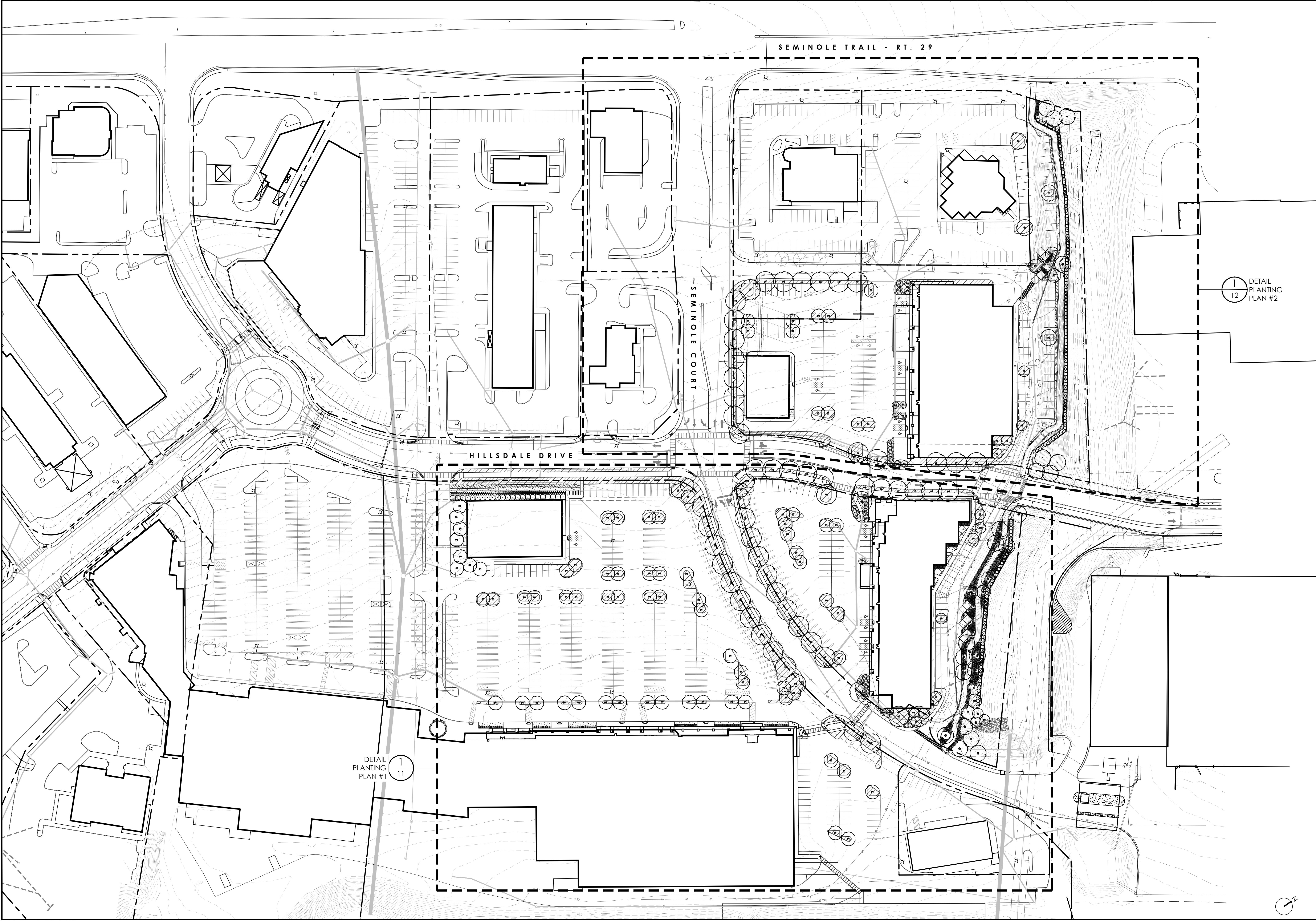
PROJECT SHEET TITLE

JOB NO. 182142

SCALE 1"=20'

SHEET NO. 9

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SEMINOLE SQUARE REDEVELOPMENT - PRELIMINARY SITE PLAN

OVERALL PLANTING PLAN

PROJECT	SEMINOLE SQUARE REDEVELOPMENT - PRELIMINARY SITE PLAN
JOB NO.	182142
SCALE	1:60
SHEET NO.	10

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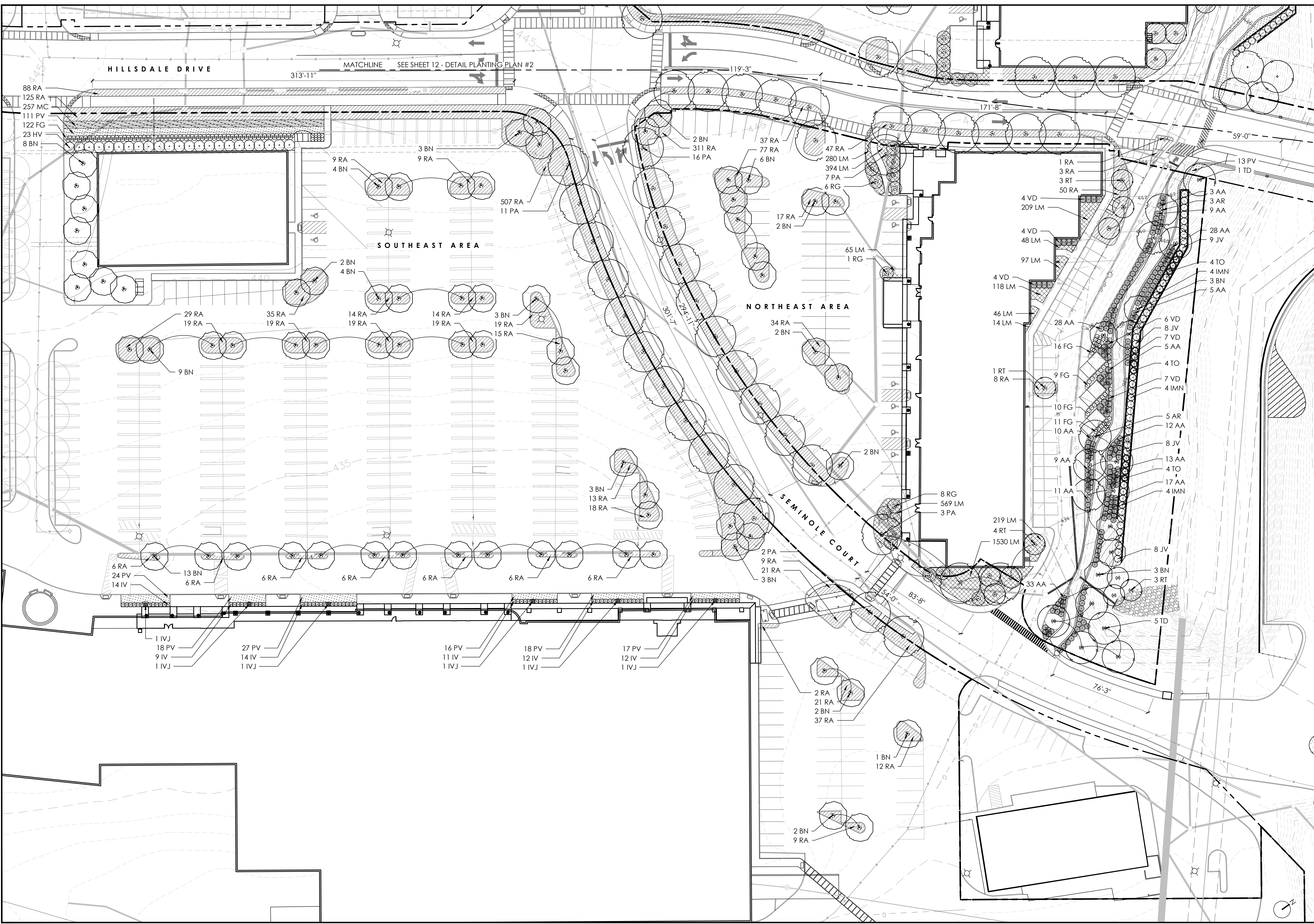
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SEMINOLE SQUARE REDEVELOPMENT - PRELIMINARY SITE PLAN

DETAIL PLANTING PLAN #1

PROJECT	182142
JOB NO.	182142
SCALE	1:30
SHEET NO.	11

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HILLSDALE DRIVE

MATCHLINE SEE SHEET 12 - DETAIL PLANTING PLAN #2

313'-11"

119'-3"

171'-8"

59'-0"

SOUTHEAST AREA

NORTHEAST AREA

SEMINOLE COURT

88 RA
125 RA
257 MC
111 PV
122 FG
23 HV
8 BN

9 RA

3 BN

9 RA

2 BN

311 RA

16 PA

37 RA

77 RA

6 BN

47 RA

280 LM

394 LM

7 PA

6 RG

1 RA

3 RA

3 RT

50 RA

13 PV

1 TD

3 AA

3 AR

9 AA

28 AA

9 JV

4 TO

4 IMN

3 BN

5 AA

4 VD

209 LM

4 VD

48 LM

97 LM

4 VD

118 LM

46 LM

14 LM

28 AA

16 FG

6 VD

8 JV

7 VD

5 AA

4 TO

7 VD

4 IMN

5 AR

12 AA

8 JV

13 AA

4 TO

17 AA

4 IMN

1 RT

8 RA

9 FG

10 FG

11 FG

10 AA

9 AA

11 AA

33 AA

8 JV

3 BN

3 RT

5 TD

219 LM

4 RT

1530 LM

8 RG

569 LM

3 PA

2 PA

9 RA

21 RA

3 BN

2 BN

83'-8"

54'-0"

76'-3"

2 RA

21 RA

2 BN

37 RA

1 BN

12 RA

2 BN

9 RA

1 IVJ

18 PV

9 IV

1 IVJ

27 PV

14 IV

1 IVJ

16 PV

11 IV

1 IVJ

18 PV

12 IV

1 IVJ

17 PV

12 IV

1 IVJ

435'

301'-7"

294'-11"

54'-0"

83'-8"

54'-0"

83'-8"

54'-0"

83'-8"

54'-0"

83'-8"

NOT FOR CONSTRUCTION

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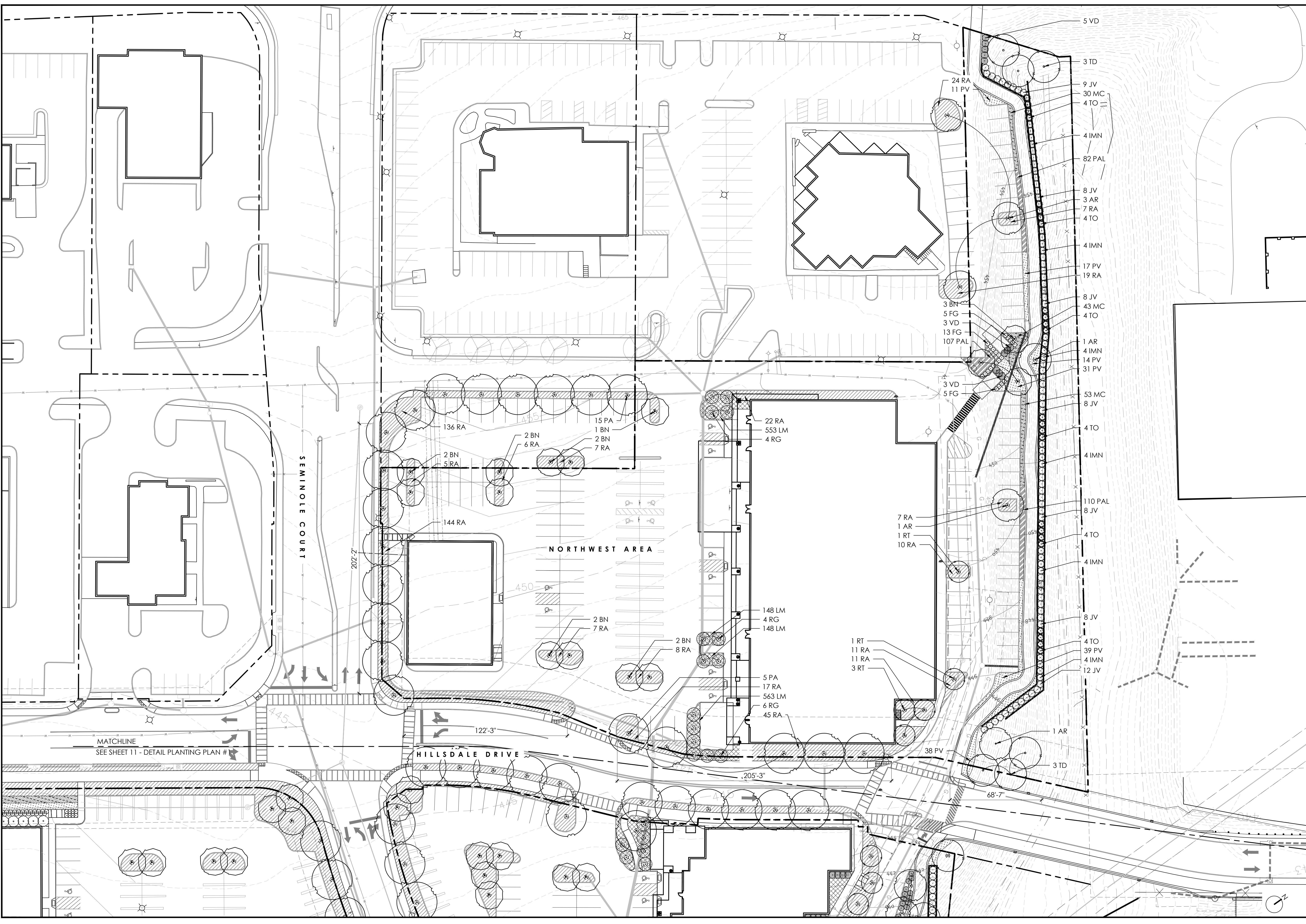
DATE	REVISION DESCRIPTION
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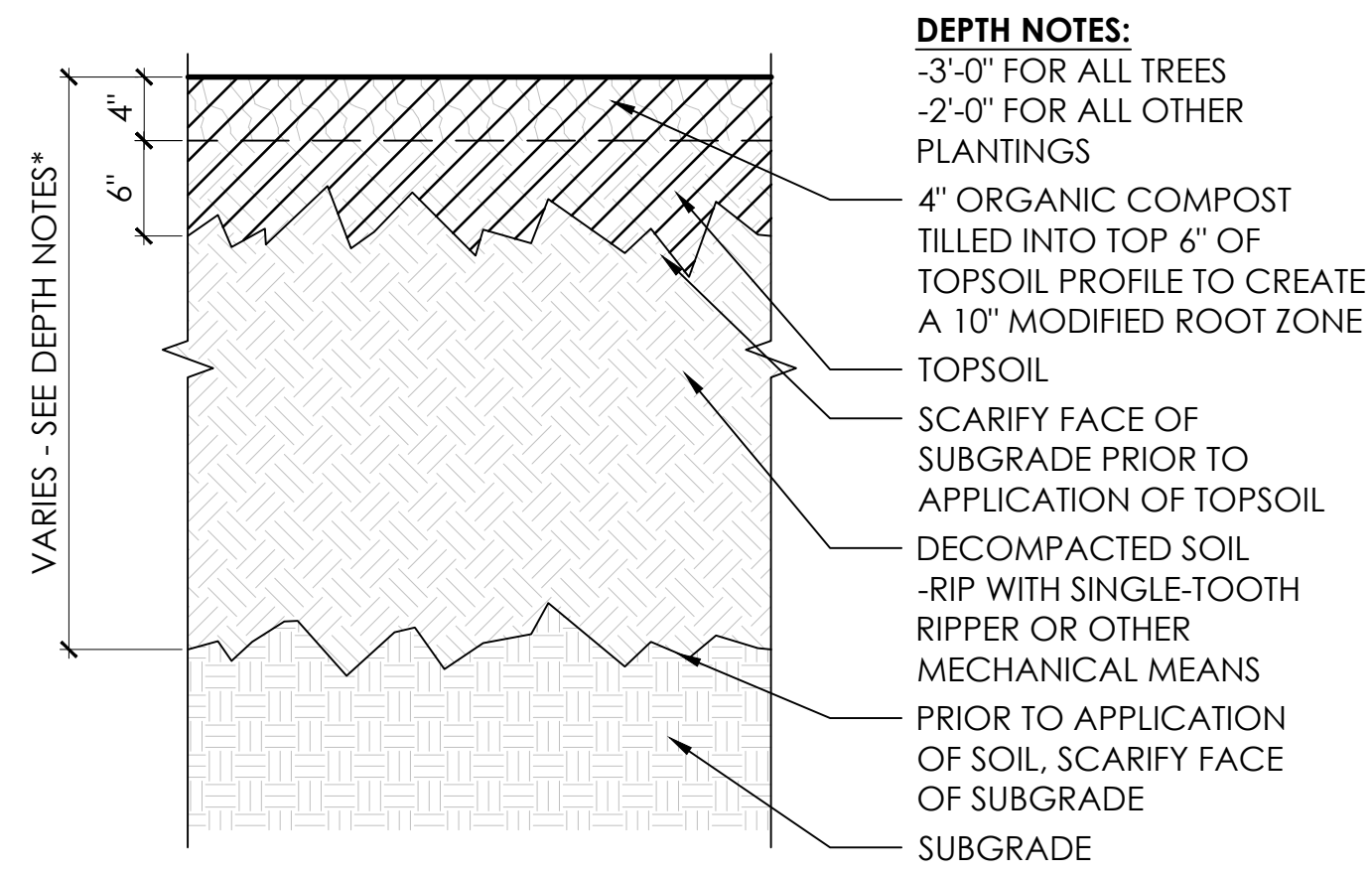
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SEMINOLE SQUARE REDEVELOPMENT - PRELIMINARY SITE PLAN
 DETAIL PLANTING PLAN #2

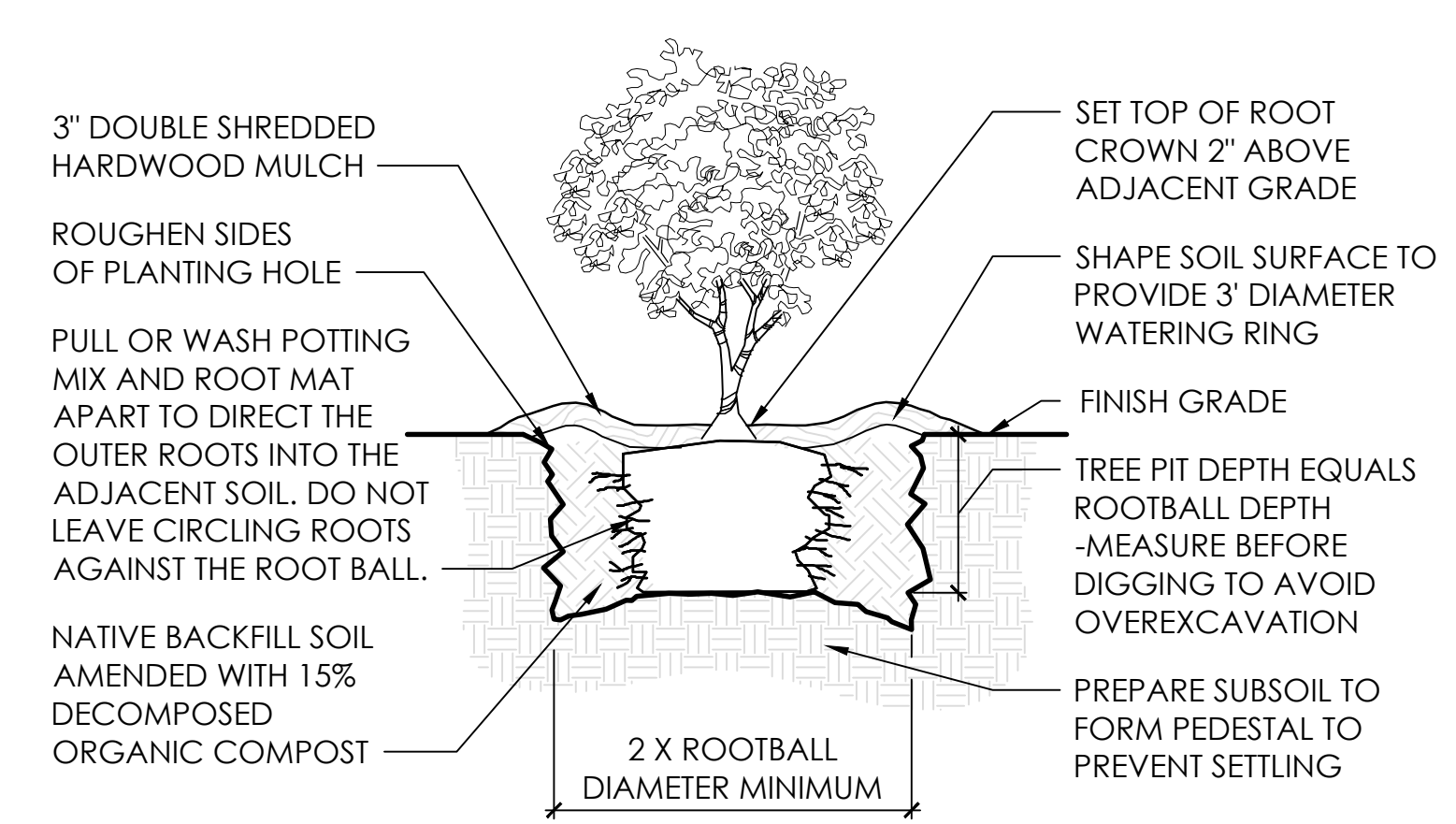
PROJECT	JOB NO.
SEMINOLE SQUARE REDEVELOPMENT - PRELIMINARY SITE PLAN	182142
SHEET TITLE	SCALE
DETAIL PLANTING PLAN #2	1:30
	SHEET NO.
	12

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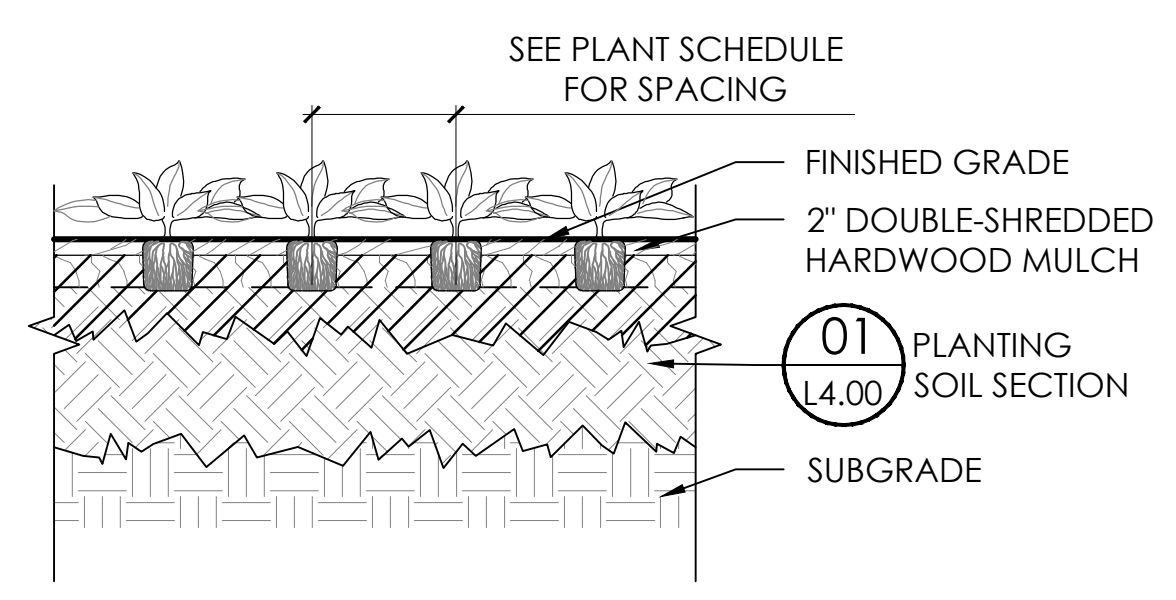




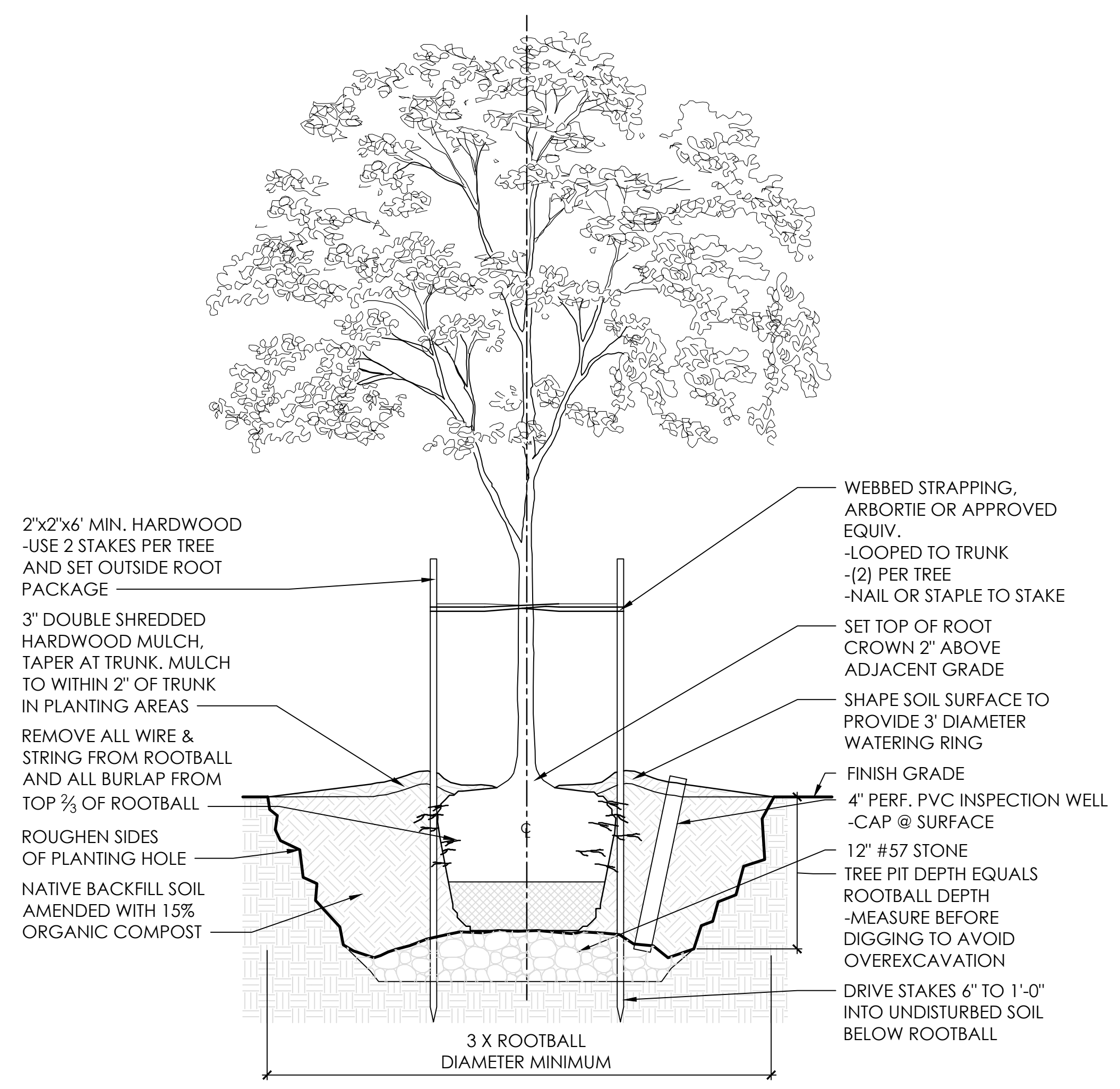
01 PLANTING SOIL SECTION
 SCALE: 1" = 1'-0"



02 SHRUB PLANTING SECTION
 SCALE: 1/2" = 1'-0"



03 PERENNIAL & GROUNDCOVER PLANTING - SECTION
 SCALE: 1/2" = 1'-0"



04 TREE PLANTING SECTION
 SCALE: 1/2" = 1'-0"

PLANT SCHEDULE

QTY.	SYMBOL	Scientific Name	Common Name	Size	Spacing	Root	Notes	20 Year Canopy
TREES								
14	AR	<i>Acer rubrum</i> 'Red Sunset'	Red Maple	2 1/2' Cal.	AS SHOWN	B&B	Well branched, straight dominant leader	707
91	BN	<i>Betula nigra</i> 'Heritage'	River Birch	2 1/2' Cal.	AS SHOWN	B&B	3-5 Stems, full	672
36	IMN	<i>Ilex x 'Mary Nell'</i>	Mary Nell Holly	4'-5' Ht.	AS SHOWN	B&B	Well branched, full to ground	90
94	JV	<i>Juniperus virginiana</i> 'Hillspire'	Eastern Red Cedar	4'-5' Ht.	AS SHOWN	B&B	Well branched, full to ground	29
59	PA	<i>Platanus x acerifolia</i> 'Bloodgood'	London Planetree	3' Cal.	AS SHOWN	B&B	Well branched, straight dominant leader	655
16	RT	<i>Rhus typhina</i>	Staghorn Sumac	1 1/2' Cal.	AS SHOWN	B&B	Well branched	547
36	TO	<i>Thuja occidentalis</i> 'Smaragd'	Arborvitae	4'-5' Ht.	AS SHOWN	B&B	Well branched, full to ground	19
12	TD	<i>Taxodium distichum</i>	Bald Cypress	7'-8' Ht.	AS SHOWN	B&B	Well branched, straight dominant leader	132
ORNAMENTAL GRASSES & SHRUBS								
183	AA	<i>Aronia arbutifolia</i> 'Brilliantissima'	Red Chokeberry	18"-24" Ht.	48" O.C.	3 Gal.		
191	FG	<i>Fothergilla gardenii</i>	Dwarf Witchhazel	18"-24" Ht.	36" O.C.	3 Gal.		
23	HV	<i>Hamamelis virginiana</i>	Witchhazel	4'-5' Ht.	AS SHOWN	B&B		
70	IV	<i>Ilex verticillata</i> 'Red Sprite'	Winterberry	24" Ht.	36" O.C.	3 Gal.		
6	IVJ	<i>Ilex verticillata</i> 'Jim Dandy'	Winterberry	24" Ht.	36" O.C.	3 Gal.	Male Species for Pollination	
383	MC	<i>Muhlenbergia capillaris</i>	Pink Muhly Grass	24" Ht.	24" O.C.	1 Gal.		
299	PAL	<i>Pennisetum alopecuroides</i> 'Little Bunny'	Fountain Grass	24" Ht.	18" O.C.	1 Gal.		
395	PV	<i>Panicum virgatum</i> 'Shenandoah'	Switchgrass	24" Ht.	36" O.C.	1 Gal.		
2375	RA	<i>Rhus aromatica</i> 'Gro-Low'	Fragrant Sumac	15" Ht.	48" O.C.	3 Gal.		
29	RG	<i>Rhus glabra</i> 'Lacinata'	Smooth Sumac	24" Ht.	AS SHOWN	3 Gal.		
43	VD	<i>Viburnum dentatum</i>	Arrowwood Viburnum	18"-24" Ht.	48" O.C.	3 Gal.		
GROUNDCOVERS & PERENNIALS								
5000	LM	<i>Liriope muscari</i> 'Big Blue'	Lilyturf		12" O.C.	3 QT.		

CALCULATIONS

34-869 - TREE COVER REQUIREMENTS	
REQUIREMENT: CANOPY COVER AT 20 YEARS EQUALS 10% GROSS SITE AREA	
SITE DATA: 670,190 SQUARE FEET GROSS SITE AREA	
TOTAL TREE CANOPY REQUIRED: 67,019 SQUARE FEET	
TOTAL TREE CANOPY AT 20 YEARS PROVIDED: 126,681 SQUARE FEET	
34-870 - STREETScape TREES	
REQUIREMENT: 1 TREE PER 40 FEET OF PUBLIC ROAD FRONTAGE	
Hillsdale Drive along Southeast Area	314 LINEAR FEET
TOTAL TREES REQUIRED:	8 LARGE SHADE TREES
TOTAL TREES PROVIDED:	0 LARGE SHADE TREES
Hillsdale Drive along Northeast Area	350 LINEAR FEET
TOTAL TREES REQUIRED:	9 LARGE SHADE TREES
TOTAL TREES PROVIDED:	11 LARGE SHADE TREES
Hillsdale Drive along Northwest Area	396 LINEAR FEET
TOTAL TREES REQUIRED:	10 LARGE SHADE TREES
TOTAL TREES PROVIDED:	7 LARGE SHADE TREES
Seminole Court along Southeast Area	356 LINEAR FEET
TOTAL TREES REQUIRED:	9 LARGE SHADE TREES
TOTAL TREES PROVIDED:	13 LARGE SHADE TREES
Seminole Court along Northeast Area	455 LINEAR FEET
TOTAL TREES REQUIRED:	11 LARGE SHADE TREES
TOTAL TREES PROVIDED:	15 LARGE SHADE TREES
Seminole Court along Northwest Area	202 LINEAR FEET
TOTAL TREES REQUIRED:	5 LARGE SHADE TREES
TOTAL TREES PROVIDED:	7 LARGE SHADE TREES
34-873 - PARKING LOTS - SCREENING AND INTERIOR LANDSCAPING	
REQUIREMENT: A CONTINUOUS LANDSCAPE BUFFER 10' IN WIDTH & 3 STREET PLANTINGS FOR EVERY 15 FEET OF ROAD FRONTAGE	
Hillsdale Drive along SE Area Buffer Front age	127 LINEAR FEET
BUFFER REQUIRED:	25 STREET PLANTINGS
BUFFER PROVIDED:	88 SHRUBS
Hillsdale Drive along NE Area Buffer Front age	104 LINEAR FEET
BUFFER REQUIRED:	21 STREET PLANTINGS
BUFFER PROVIDED:	12 TREES & 84 SHRUBS
Hillsdale Drive along NW Area Buffer Front age	36 LINEAR FEET
BUFFER REQUIRED:	7 STREET PLANTINGS
BUFFER PROVIDED:	7 TREES & 62 SHRUBS
Seminole Court along SE Area Buffer Front age	306 LINEAR FEET
BUFFER REQUIRED:	61 STREET PLANTINGS
BUFFER PROVIDED:	12 TREES & 280 SHRUBS
Seminole Court along NE Area Buffer Front age	284 LINEAR FEET
BUFFER REQUIRED:	57 STREET PLANTINGS
BUFFER PROVIDED:	17 TREES & 236 SHRUBS
Seminole Court along NW Area Buffer Front age	108 LINEAR FEET
BUFFER REQUIRED:	22 STREET PLANTINGS
BUFFER PROVIDED:	7 TREES & 98 SHRUBS
REQUIREMENT: 5% OF THE GROSS AREA OF A PARKING LOT SHALL BE LANDSCAPED WITH TREES OR SHRUBS	
SITE DATA: 311,580 SQUARE FEET	
TOTAL LANDSCAPED AREA REQUIRED:	15,579 SQUARE FEET
TOTAL LANDSCAPED AREA PROVIDED:	16,770 SQUARE FEET
REQUIREMENT: PER 8 PARKING SPACES	
SITE DATA: 884 PARKING SPACES	
TOTAL TREES REQUIRED:	111
TOTAL TREES PROVIDED:	119
TOTAL SHRUBS REQUIRED:	332
TOTAL SHRUBS PROVIDED:	553

PLANTING NOTES

- CONTRACTOR SHALL VERIFY PLANT MATERIAL QUANTITIES SOWN ON PLAN WITH TOTALS IN PLANTING SCHEDULE. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO FINAL BIDDING. UNITS PRICES BE SUBMITTED AS PART OF FINAL BID.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE (1) FULL YEAR AND SHALL BE IN A HEALTHY GROWING CONDITION. PLANT MATERIALS WHICH DO NOT FULFILL THIS GUARANTEE SHALL BE REPLACED AT NO COST TO THE OWNER. REPLACEMENT SHALL BE GUARANTEED THROUGHOUT THE ORIGINAL GUARANTEE PERIOD. PLANTS THAT DIE SHALL BE REPLACED IMMEDIATELY.
- CONTRACTOR IS RESPONSIBLE FOR WATERING, WEEDING, PEST CONTROL, AND FERTILIZATION OF ALL PLANT MATERIAL UNTIL, a.) UPON FINAL ACCEPTANCE IS ISSUED BY LANDSCAPE ARCHITECT AND/OR OWNER, AND b.) THE CONTRACTOR PROVIDES OWNER WRITTEN NOTIFICATION OF ALL MAINTENANCE NEEDS OF ALL SCOPE ASSOCIATED WITH THE PLANTING PLAN(S) CONTRACT DOCUMENTS. CONTRACTOR SHALL NOT ASSUME IRRIGATION SYSTEM IS FULLY OPERATIONAL AT THE COMPLETION OF THE PLANTING INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING MISS UTILITY PRIOR TO THE BEGINNING OF CONSTRUCTION FOR LOCATION OF ALL UTILITY LINES. TREES SHALL BE LOCATED A MINIMUM OF FIVE (5) FEET FROM SEWER/WATER CONNECTIONS. NOTIFY LANDSCAPE ARCHITECT OF CONFLICTS.
- THE LANDSCAPE ARCHITECT IS THE OWNER'S REPRESENTATIVE AND SHALL BE THE APPROVING AUTHORITY FOR INFORMATION PROVIDED WITHIN THESE PLANS AND SPECIFICATIONS.
- ALL PLANT MATERIALS, TOPSOIL, MULCH, FERTILIZERS, SOIL AMENDMENTS, PLANTING SUPPLIES, AND METHODS SHALL BE SUBJECT TO LANDSCAPE ARCHITECTS APPROVAL. REJECTED MATERIALS SHALL BE REMOVED FROM THE SITE WITHOUT DELAY AT NO EXPENSE TO THE OWNER.
- CONTRACTOR SHALL LAYOUT AND MARK LOCATION FOR ALL PLANT MATERIAL, AND IMPROVEMENTS SHOWN AND SHALL REQUEST IN FIELD APPROVAL FROM LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS AND PLANTING METHODS SHALL CONFORM TO A.A.N. STANDARDS.
- BEDS TO CONTAIN SHRUBS, PERENNIALS, ORNAMENTAL GRASSES, OR PERENNIALS SHALL BE TILLED TO A DEPTH OF 12" AND THE SOIL CONDITIONED BY ADDING 3" OF A U.S. COMPOSTING COUNCIL APPROVED COMPOST.
- ALL PLANTING BED AREAS SHALL BE COVERED WITH A 3" MINIMUM LAYER OF MEDIUM TEXTURED SHREDDED HARDWOOD MULCH UNLESS OTHERWISE NOTED.
- ALL SUBSTITUTIONS OF PLANT MATERIAL SHALL BE REQUESTED IN WRITING TO THE LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER OR THE OWNER'S REPRESENTATIVE.
- ALL PLANTING OPERATIONS SHALL BE UNDER THE SUPERVISION OF AN EXPERIENCED PLANTSMAN.
- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO SELECT PLANT MATERIALS IN THE NURSERY.
- FOR TREES BALLED IN WIRE BASKETS, CUT AND REMOVE TOP AND SIDES OF BASKET AFTER INSTALLATION.
- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT AND PLANTS AND MATERIALS THAT ARE IN AN UNHEALTHY OR UNSIGHTLY CONDITION, AS WELL AS PLANTS AND MATERIALS THAT DO NOT CONFORM TO A.A.N. STANDARDS.
- SOIL SHALL BE FREE OR ALL WEEDS AND ROCKS GREATER THAN 1" IN DIAMETER.
- PLANT SIZES, QUANTITIES, AND SPECIES WILL BE CHECKED BY MUNICIPALITY INSPECTION FOR COMPLIANCE WITH PLANT SCHEDULE AS APPROVED BY THE MUNICIPALITY. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR DELAY IN ISSUANCE OF CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY RESULTING FROM UNAUTHORIZED SUBSTITUTIONS OR DOWNSIZING.
- UPON COMPLETION OF LANDSCAPE INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR WHO WILL VERIFY COMPLETENESS, INCLUDING THE REPLACEMENT OF ALL DEAD PLANT MATERIAL, AND SCHEDULE A FINAL INSPECTION FOR ACCEPTANCE BY OWNER.
- CONTRACTOR SHALL REMOVE TREE STAKING AT THE END OF THE ONE YEAR WARRANTEE PERIOD.

NOT FOR CONSTRUCTION

REVISIONS

REVISION DESCRIPTION	DATE
INITIAL SUBMITTAL	2/21/18
REVISED PER CITY OF CHARLOTTEVILLE COMMENTS	5/16/18

COLLINS ENGINEERING

200 GARRETT STREET, SUITE K - CHARLOTTEVILLE, VA 22902 - 434.293.3719

SEMINOLE SQUARE REDEVELOPMENT - PRELIMINARY SITE PLAN

PLANT SCHEDULE, NOTES, DETAILS, & CALCULATIONS

JOB NO.	182142
SCALE	AS SHOWN
SHEET NO.	13

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TECHLIGHT

FEATURES & SPECIFICATIONS

APPLICATION: The high performance luminaire is developed for cut-off applications where long life, low maintenance, and consistent color-rendering are required. Ideal for limited accessibility or where glare is a concern, or where heavy pedestrian traffic makes maintenance difficult. Ideal applications include building lighting or wall-mounted security lighting. The track-tone design style of the luminaire allows it to be seamlessly integrated into existing systems when necessary.

COMPLETION: The heavy duty housing is constructed of die cast aluminum. The optical assemblies are sealed to allow for self-cleaning and weather tight protection. ETL listed for wet locations (IP65). Additional IP65 rating available upon request.

FINISH: A Super Durable Polyester powder coat finish is electrostatically applied to the outer shell of the luminaire. Standard colors available: Black, Bronze, US Green, White. Custom colors available upon request.

OPTICAL SYSTEM: Made with a series of flat or cylindrical lenses, high performance refractive optical assemblies that use high transmittance materials to achieve precise photometric distributions. Available in a Type I beam configuration.

REPLACEMENT SYSTEM: Available in a high output 2 x 4 LED system in 5000K Cool White (L1), 5000K or 4100K Neutral White (color temperatures comparable with Philips Lumina LED5000M LED), available with 50,000/50,000-Hz Driver, LED's rated for over 50,000 hours at 25°C ambient temperature. Categorized by dimming: Built-in surge protection for 10 kV Bulk Inrush PFC Function -IGBT at least LED Power Supply conforms to UL 1510 and UL 1570 standards and is 100% rated for wet locations.

INSTALLATION: Quick sheet metal mounting bracket converts to a standard 2" hole. The bracket has a unique design to allow easy installation. After connections are made, the fixture hangs up and is secured with self-locking screws at the top of the fixture. An additional back box is available for applications requiring conduit entry (See Accessories).

LIGHTING: LED Driver rated for wet locations (IP65). LED's meet ETL listed for wet locations (IP65). Meets UL and Canadian safety standards -40°C to 50°C ambient operation.

ORDERING INFORMATION

Example: **LHWP1C2T3H1-BK**

ORDERING INFORMATION

Series	Mounting Height	Length & Width
LHWP1	5.0 FT	5.17' x 1.57'

Accessories: Conduit supports, Back Box, Mounting Bracket, etc.

www.techlight.com

LHWP Small Cutoff LED Wall Pack

PHOTOMETRICS

ADDITIONAL FIXTURE ACCESSORIES

www.techlight.com

LHWP Small Cutoff LED Wall Pack

LUMINAIRE CHARACTERISTICS

Beam Angle	Beam Diameter	Beam Length	Average Beam
10°	1.57'	5.17'	2.92'
15°	2.36'	7.78'	4.38'
20°	3.14'	10.39'	5.84'
25°	3.93'	12.99'	7.30'
30°	4.71'	15.60'	8.76'
35°	5.50'	18.21'	10.22'
40°	6.28'	20.82'	11.68'
45°	7.07'	23.43'	13.14'
50°	7.85'	26.04'	14.60'
55°	8.64'	28.65'	16.06'
60°	9.42'	31.26'	17.52'

BUG RATINGS (BACKLIGHT, UPLIGHT AND GLARE)

Up Type	Backlight	Uplight	Glare
Type B FC	0	0	0

WARNING: Maintenance performed including the replacement of LED's while power is still applied to the luminaire may result in gross burns and will void the warranty.

TECHLIGHT

TruLight, Inc.
2777 Redwood Drive
Dallas, TX 75229
Phone: 972-480-0991, 800-428-0787, Fax: 972-480-4187
www.trulight.com

NOTES:

- LAMP TYPE SHALL BE A LED WHITE LIGHT TO CREATE A UNIFIED COOL WHITE LIGHTING ACROSS THE SITE.

LIGHT FIXTURE "WP1"

FC Lighting

Date: _____ Approved: _____

Type: _____

Project: _____

FCW1020

Ordering Information

Series	Voltage	Beam Angle	Temp. Rating	Beam Spread	Beam Length	Average Beam
FCW1020	120V	120°	LED 4000K	1200 Lumens	Spot Distribution	
FCW1020	120V	120°	LED 4000K	1200 Lumens	Elliptical Distribution	
FCW1020	120V	120°	LED 4000K	1200 Lumens	Axymmetrical Distribution	

SPECIFICATION

- Material: die-cast aluminum
- Finish: heavy anodized, high pressure die-cast aluminum
- Lens: 1/2" thick, clear tempered glass
- Mounting: 1/2" diameter hole in center of mounting bracket
- Extruded silicone to provide maximum protection against contaminants. Coative and recessed stainless steel, tamper resistant hex socket screws.

LED

- Rated minimum lumens are delivered out of the luminaire. LED lifetime is greater than or equal to 70,000 hours with the lumen depreciation greater than 1/2. All of our luminaires are tested to LM-80 with a minimum CRI of 80 and color consistency of step 4 MacAdam Ellipse. Integral power supply standard. Input voltage 120V or 277V. Consult factory for dimming. All PWS color changing and any single color options.

FINISH

- Six stage chemical pre-treatment process that includes iron phosphate, to prepare the substrate for a UV stable, super durable standard polyester powder coat.
- Optional e-coat process is added to the standard finish including zinc phosphate for a 5 year limited warranty.

ELECTRICAL

- Socket: PL Four pin plug-in type compact fluorescent lamp holder (lamp by others). HD: G12 single (50W/AR), pulse rates 40V porcelain socket.
- Ballast: PL Fluorescent high power factor electronic, UL listed ballast standard. Ballast has a manufacturer issued 5 year warranty. Electronic inrush voltage 120V or 277V is standard. Phase correct factory for other voltage options.

LISTING

- UL, cUL, listed for wet location in up or down position, IP65 rating.

FC Lighting, Inc. reserves the right to change details or specifications without notice. Product use or misuse is prohibited. Product use or misuse is prohibited. Product use or misuse is prohibited.

© 2012 FC Lighting, Inc. 3030 S. Eastern Ave., St. Charles, MO 63073 | 800-800-1788 | 630-800-0100 | www.fc-lighting.com | J.C. - Rev. 10/12

PHOTOMETRY

DIMENSIONS

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LIGHT FIXTURES "W"

NOTES:

- LAMP TYPE SHALL BE LED WHITE LIGHT TO CREATE A UNIFIED COOL WHITE LIGHTING ACROSS THE SITE.
- FIXTURES SHALL BE BRONZE IN COLOR.

POLE LIGHT FIXTURE "SA"

SiteLyer Series
Direct Pole-Mounted Luminaire
Horizontal Lamp

Type No. _____
Catalog No. _____
Job Name _____

APPLICATIONS

- Parking Lots, Roadways, Walkways, Commercial Walks, Tennis Courts, Auto Lots and other outdoor environments.

CONSTRUCTION

- Formed heavy-gauge aluminum housing.
- Extruded aluminum frame.
- Tempered and gasketed glass lens.
- High-pole mount.

OPTICS

- Fixed or adjustable optic tray.
- Choice of LED: 3000K, 3500K, 4000K.
- High-pole lamp orientation.
- All luminaire optics are tested for RCU type.

ELECTRICAL

- High power factor ballast.
- Temperature protected with integral heat sink.
- UL, cUL, listed for wet locations.
- All luminaire fixtures are pulse start.

MOUNTING

- Direct luminaire mount.
- 3" arm with direct luminaire mount (optional).
- Adjustable luminaire mount for 12" or 18" luminaire arm (optional).
- Adjustable luminaire mount for square pole (optional).
- 3" luminaire arm (optional).

WARRANTY/LISTINGS

- UL, cUL, listed for wet locations.
- 5-year limited warranty.

Ordering Guide Example: SLMH02RAC04-0

Series	Lamp Orientation	Height	Beam Angle	Beam Length	Average Beam	Mounting	Options	Voltage
SLM	Horizontal Lamp	32-107 (20' to 35')	20°	2.92'	2.92'	PSA Pole Mount	DR Direct Mount	120V
SLM	Horizontal Lamp	32-107 (20' to 35')	20°	2.92'	2.92'	PSA Pole Mount	DR Direct Mount	277V
SLM	Horizontal Lamp	32-107 (20' to 35')	20°	2.92'	2.92'	PSA Pole Mount	DR Direct Mount	48-150 (120V to 277V)
SLM	Horizontal Lamp	32-107 (20' to 35')	20°	2.92'	2.92'	PSA Pole Mount	DR Direct Mount	75-107 (277V to 347V)

NOTE:

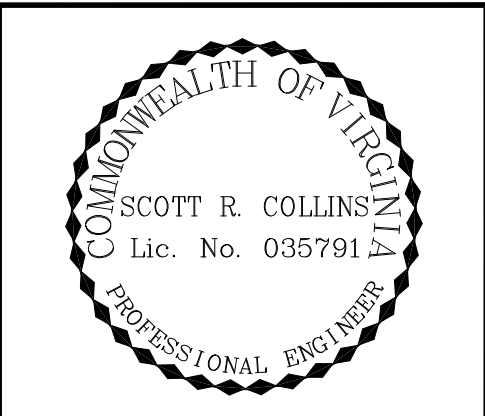
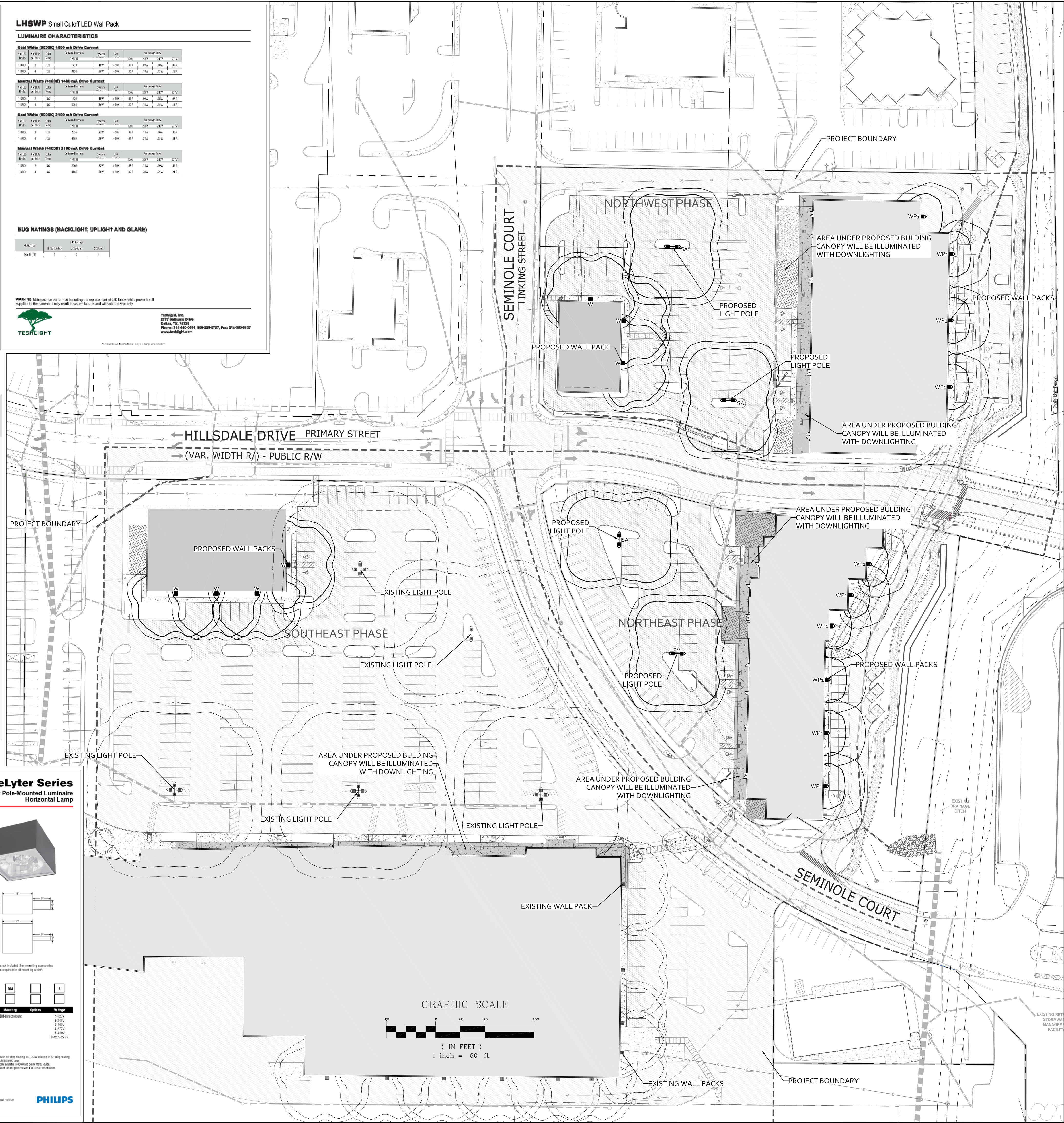
- Each outdoor luminaire equipped with a lamp that emits 3,000 or more initial lumens shall be a full cutoff luminaire and shall be arranged or shielded to reflect light away from adjoining residential districts and away from adjacent roads. The spillover of lighting from luminaires onto public roads and property in residential or rural areas zoning districts shall not exceed one-half footcandle.

Philips

2000 Vantage Road, P.O. Box 150
St. Charles, MO 63073
800-334-2112
www.site.lyer.com

ExcelLine is a Philips group brand

Product information is subject to change without notice.



REVISIONS

REVISION DESCRIPTION	DATE
INITIAL SUBMITTAL	2/21/18
REVISED PER CITY OF CHARLOTTESVILLE COMMENTS	5/22/18

COLLINS ENGINEERING

200 GARRETT STREET, SUITE K - CHARLOTTESVILLE, VA 22902 - 434.293.3719

SEMINOLE SQUARE REDEVELOPMENT - PRELIMINARY SITE PLAN

LIGHTING PLAN

PROJECT

JOB NO.
182142

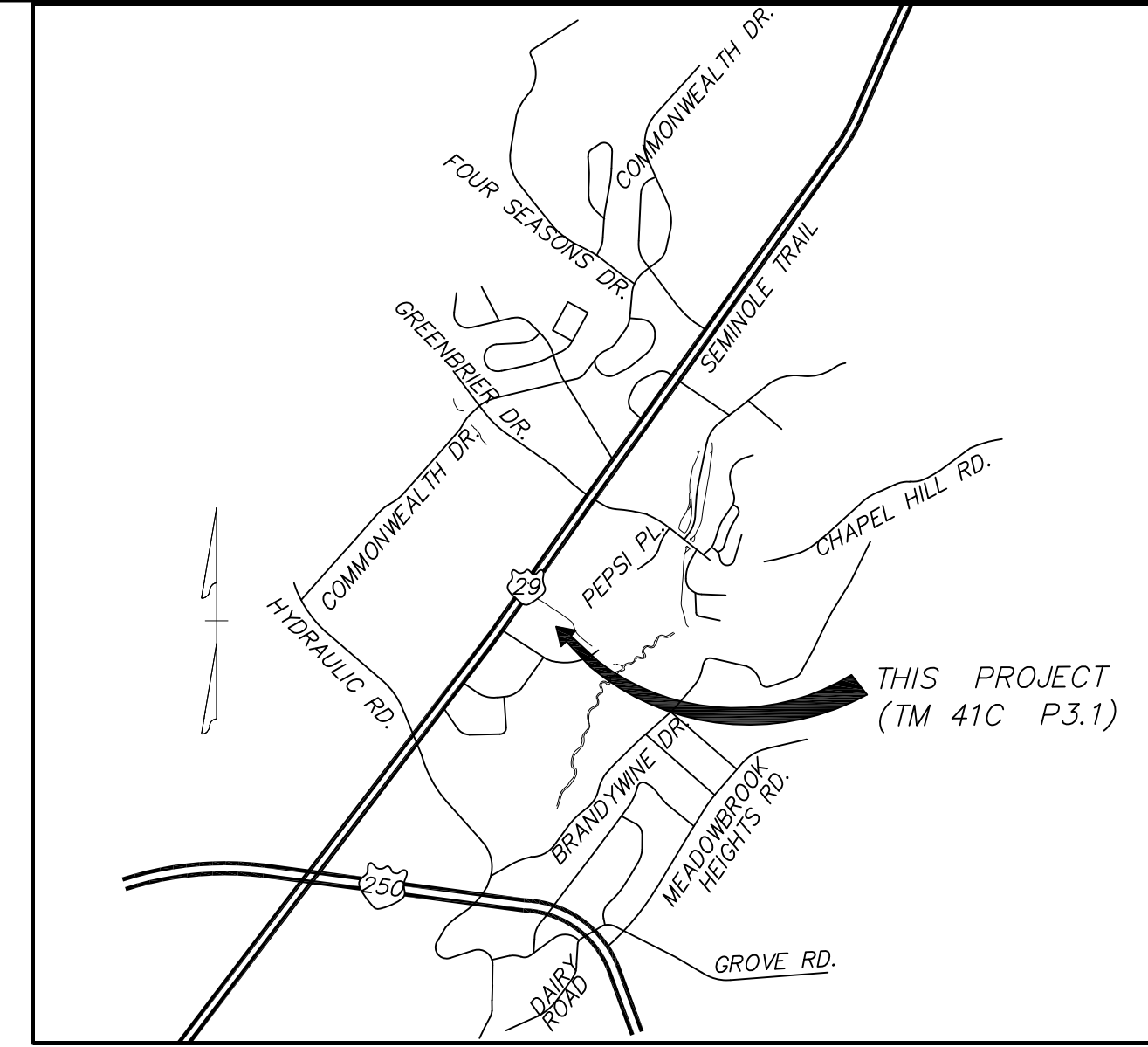
SCALE
1"=50'

SHEET NO.
14

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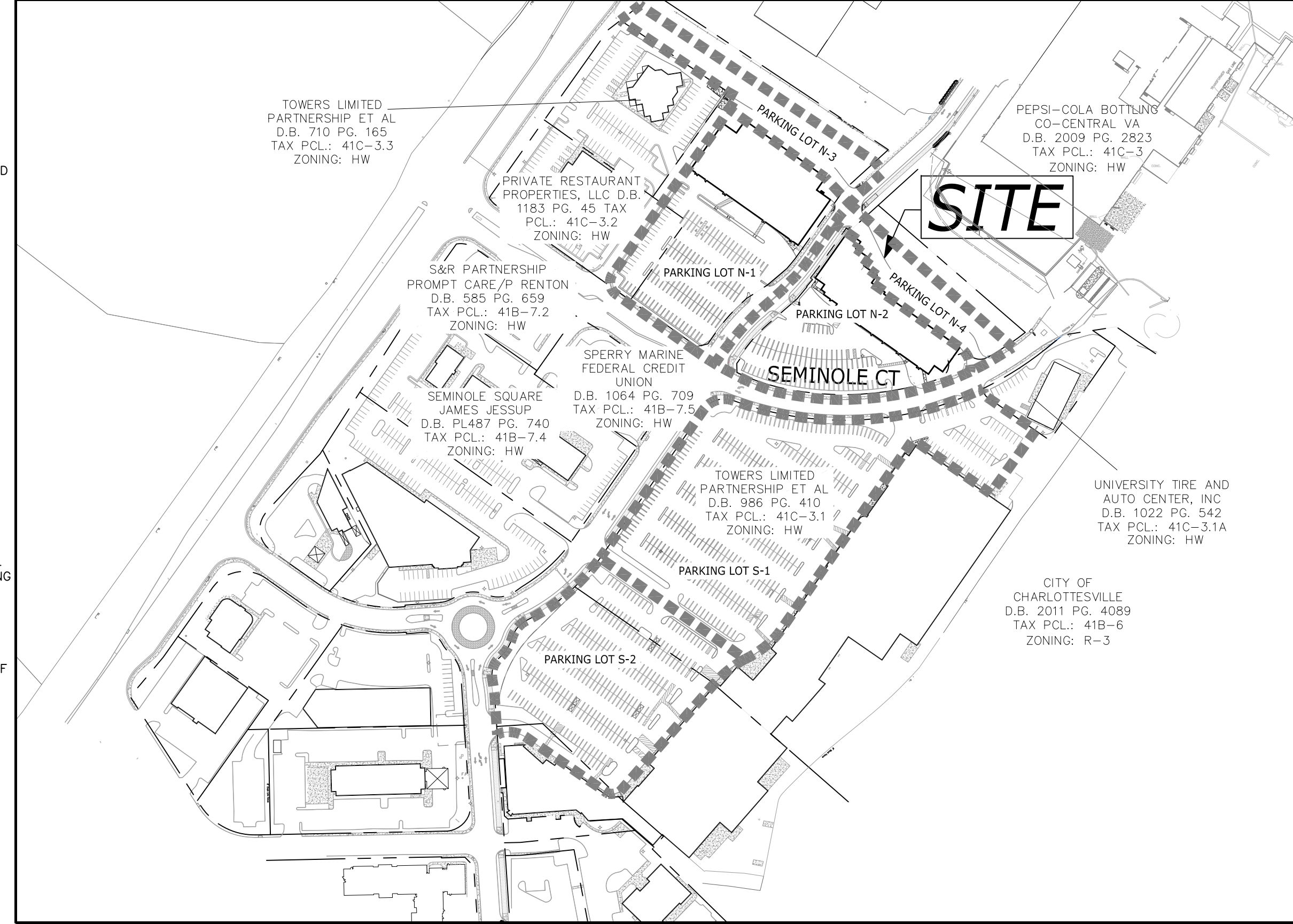
SEMINOLE SQUARE EXPANSION

ENTRANCE CORRIDOR REVIEW PLAN



VICINITY MAP
SCALE: 1" = 2,000'

CITY OF CHARLOTTESVILLE, VIRGINIA



SHEET LAYOUT
SCALE: 1" = 200'

OWNER & DEVELOPER
TOWERS LIMITED PARTNERSHIP ET. AL.
GREAT EASTERN MANAGEMENT
P.O. BOX 5526
CHARLOTTESVILLE, VA 22905

BMP DATA FOR THIS PROJECT:	
BMP OWNERSHIP INFORMATION:	TOWERS LIMITED PARTNERSHIP ET. AL. GREAT EASTERN MANAGEMENT PO BOX 5526 CHARLOTTESVILLE, VA 22905
TYPE/DESCRIPTION OF BMP INSTALLED:	AN EXISTING, ONSITE SWM FACILITY IS PROPOSED TO PROVIDE QUANTITY TREATMENT. WATER QUALITY CREDITS ARE PROPOSED TO BE PURCHASED FOR QUALITY COMPLIANCE.
GEOGRAPHIC LOCATION & HYDROLOGIC UNIT CODE:	BEHIND EXISTING SEMINOLE SQUARE SHOPPING CENTER, 135 SEMINOLE CT., CHARLOTTESVILLE, VA 22901, LATITUDE 38.065176°, LONGITUDE -78.484748°, HUC 12 8020802040001, H14; HYDROLOGIC SOIL GROUP TYPE 8B - F11
WATERBODY THE BMP IS ULTIMATELY DISCHARGING INTO:	MEADOW CREEK; PART OF THE SOUTH FORK RIVANNA RIVER RESERVOIR
# OF ACRES TREATED BY BMPs:	SUBAREA A IS TREATED VIA THE EXISTING STORMWATER MANAGEMENT BASIN (QUANTITY) AND CONSISTS OF 4.39 ac., OF WHICH 1.50 ac. ARE IMPERVIOUS. ALSO, 1.84 BODY OF NUTRIENT CREDITS IS REQUIRED (QUALITY) TO BE PURCHASED FOR COMPLIANCE.
DESCRIPTION OF REQUIRED MAINTENANCE & OPERATION:	EXISTING STORMWATER MANAGEMENT BASIN: THE MAINTENANCE PROGRAM FOR THE WATER QUANTITY SHALL BE CLEANING OUT THE BASIN ANNUALLY, OR AS NECESSARY, AND ENSURING THE FACILITY IS FREE OF TRASH AND DEBRIS. MAINTENANCE TO ALSO INCLUDE INSPECTION, AND REPAIR AS NECESSARY, OF ALL PIPES, JOINTS, TRASHRACKS AND OUTLET STRUCTURES.
OWNER'S SIGNATURE AGREEING TO MAINTAIN FACILITY:	

SIGNATURE PANEL
DIRECTOR, NEIGHBORHOOD DEVELOPMENT

- PROJECT DATA:**
- THE OWNER/CLIENT OF THIS PROPERTY IS: TOWERS LIMITED PARTNERSHIP ET. AL. GREAT EASTERN MANAGEMENT PO BOX 5526 CHARLOTTESVILLE, VA 22905 THESE PLANS HAVE BEEN PREPARED BY: COLLINS ENGINEERING, INC 200 GARRETT STREET SUITE K CHARLOTTESVILLE, VA 22902 TELEPHONE: (434) 293-3719 FACSIMILE: (434) 293-2813
 - SOURCE OF SURVEY/INFORMATION: SURVEY FOR THIS SITE PLAN AMENDMENT IS FROM THE FIELD SURVEY CONDUCTED BY COMMONWEALTH LAND SURVEYING, LLC DATED AUGUST 4, 2011 AND UPDATED OCTOBER, 2012. ADDITIONAL OFFSITE SURVEYED INFORMATION IN THE PROXIMITY OF THE PEPSI PLANT IS BASED OFF A SURVEY BY JENNINGS STEPHENSON, P.C. IN JANUARY OF 2007. THE BUILDING LOCATION AND ITS ADJACENT CURB, SIDEWALK AND PAVEMENT WERE PROVIDED BY TOWNES ENGINEERING IN 2015. STORM SEWER RIM & INVERT ELEVATIONS LOCATED IN SEMINOLE SQUARE IS PROVIDED BY A LICENSED LAND SURVEYOR AT MERIDIAN PLANNING GROUP IN JANUARY OF 2012. THE MISS UTILITY TICKET NUMBER IS B227901423-00B AND THE SITE WAS FIELD VERIFIED ON JULY 8, 2016.
 - ZONING: TMP 41C-3.1; HW-HIGHWAY CORRIDOR ZONING (NO DISTURBANCE TO ENTRANCE CORRIDOR - UNAFFECTED WESTERN PORTION OF PARCEL UNDER ENTRANCE CORRIDOR DESIGNATION)
 - USGS DATUM: NAD 83 (1994)
 - LOCATION/ADDRESS OF PROJECT: 129 SEMINOLE COURT, CHARLOTTESVILLE, VA 22901 151 SEMINOLE COURT, CHARLOTTESVILLE, VA 22901 159 SEMINOLE COURT, CHARLOTTESVILLE, VA 22901 167 SEMINOLE COURT, CHARLOTTESVILLE, VA 22901 123 SEMINOLE COURT, CHARLOTTESVILLE, VA 22901 175 SEMINOLE COURT, CHARLOTTESVILLE, VA 22901 185 SEMINOLE COURT, CHARLOTTESVILLE, VA 22901
 - FLOODPLAIN: THERE IS NO FLOODPLAIN ON THE SUBJECT PARCEL PER THE FEMA FLOOD INSURANCE RATE MAP NUMBER 51003C, PANEL 0278D, DATED FEBRUARY 4, 2005.
 - STREAM BUFFER: THE PROPOSED IMPROVEMENTS OF THIS PROPERTY AS SHOWN ON THE PLAN SHALL NOT IMPACT THE STREAM BUFFER LOCATED ON THE ADJACENT PROPERTY.
 - BUILDING HEIGHT: EXISTING BUILDING HEIGHT TO REMAIN UNCHANGED
 - PROPOSED USE: THE CONSTRUCTION OF A RETAINING WALL SYSTEM BEHIND SEMINOLE SQUARE SHOPPING CENTER FOR THE INSTALLATION OF PARKING AREAS.
 - TOTAL ACREAGE OF SITE: 18.806 ACRES PER CITY GIS
 - TOTAL LAND DISTURBED: 2.22 ACRES
 - SITE PHASING: PROJECT CONSTRUCTION AND E&S TO OCCUR IN ONE PHASE.
 - CRITICAL SLOPES: THERE ARE EXISTING MAN-MADE CRITICAL SLOPES ON THE SUBJECT PROPERTY TOTALING 1.56 ac. OF THIS 1.56 ac., 0.86 ac. ARE PROPOSED TO BE IMPACTED WITH THIS PLAN. A CRITICAL SLOPE WAIVER REQUEST WAS APPROVED BY THE CITY COUNCIL ON OCTOBER 2, 2017 TO IMPACT THESE AREAS. SEE SHEET 2 FOR WAIVER APPROVAL.
 - PARKING SUMMARY: PROPOSED PARKING SHALL BE IN ACCORDANCE WITH CITY CODE OF ORDINANCES, SECTION 34-984 AND SHALL ACCOMMODATE THE EXISTING & PROPOSED DEVELOPMENT NEEDS. PLEASE SEE BELOW FOR A COMPLETE ANALYSIS OF THE SHOPPING CENTER'S PARKING PLAN:
REQUIRED PARKING:
BUILDING FRONTING PARKING LOTS S-1 & S-2 (RETAIL FLOOR AREA = 191,971 x 0.90): 172,774 SF
BUILDING FRONTING PARKING LOT N-1 (RETAIL FLOOR AREA = 34,013 x 0.90): 30,612 SF
BUILDING FRONTING PARKING LOT N-2 (RETAIL FLOOR AREA = 26,887 x 0.90): 24,198 SF
PROPOSED RETAIL IN SEMINOLE SQUARE REDEVELOPMENT PLAN (RETAIL FLOOR AREA = (12,000 + 6,000) x 0.90): 16,200 SF
TOTAL PARKING REQUIRED = 3.5 SPACES PER 1,000 SF x 243,784 SF = 853 SPACES
EXISTING PARKING PROVIDED:
EXISTING PARKING LOT S-1: 474 SPACES (INCLUDES 12 HC SPACES)
EXISTING PARKING LOT S-2: 262 SPACES (INCLUDES 16 HC SPACES)
EXISTING PARKING LOT N-1: 161 SPACES (INCLUDES 5 HC SPACES)
EXISTING PARKING LOT N-2: 81 SPACES (INCLUDES 4 HC SPACES)
EXISTING PARKING LOT N-3: 0 SPACES
EXISTING PARKING LOT N-4: 0 SPACES
TOTAL EXISTING PARKING PROVIDED = 978 SPACES (INCLUDES 37 HC SPACES)
PROPOSED PARKING PROVIDED:
PARKING LOT S-1, MODIFIED WITH SEMINOLE SQUARE REDEVELOPMENT PLAN: 351 SPACES (INCLUDES 12 HC SPACES)
PARKING LOT S-2, NOT MODIFIED: 262 SPACES (INCLUDES 16 HC SPACES)
PARKING LOT N-1, MODIFIED WITH SEMINOLE SQUARE REDEVELOPMENT PLAN: 112 SPACES (INCLUDES 12 HC SPACES)
PARKING LOT N-2, MODIFIED WITH SEMINOLE SQUARE REDEVELOPMENT PLAN: 86 SPACES (INCLUDES 6 HC SPACES)
PARKING LOT N-3, MODIFIED WITH THIS PLAN: 52 SPACES
(PARKING LOT N-3 SPACES DO NOT INCLUDE THIS PLAN'S 13 PROPOSED SPACES LOCATED ON TMP 41C-3.3)
PARKING LOT N-4, MODIFIED WITH THIS PLAN: 23 SPACES
TOTAL PROVIDED PARKING = 886 SPACES (INCLUDES 46 HC SPACES)
 - BICYCLE PARKING: 1 SPACE PER 1,000sf OF PROPOSED PUBLIC SPACE IS REQUIRED. THIS PLAN DOES NOT PROPOSE PUBLIC BUILDING SQUARE FOOTAGE, IT REDUCES BUILDING AREAS. DESPITE THIS, 6 BICYCLE PARKING SPACES ARE PROPOSED WITH THIS PLAN.
 - PUBLIC UTILITIES: THE SITE WILL BE SERVED BY EXISTING PUBLIC WATER AND SEWER.
 - STORMWATER MANAGEMENT AND STORM DRAINAGE: THE PROPOSED EXPANSION HONORS THE EXISTING DRAINAGE PATTERNS. AN EXISTING SWM FACILITY (LAT. 38.065079, LONG. -78.484650) WILL CONTINUE TO ATTENUATE AND DETAIN FLOWS FROM THE SEMINOLE SQUARE SHOPPING CENTER FOR STORMWATER QUANTITY COMPLIANCE. THIS PLAN PROPOSES TO MODIFY THE EXISTING OUTLET STRUCTURE TO ENSURE MINIMUM REQUIREMENTS ARE MET. PLEASE SEE THE ATTACHED STORMWATER MANAGEMENT CALCULATIONS BY TOWNES ENGINEERING FOR EVIDENCE OF THIS COMPLIANCE. STORMWATER QUALITY REQUIREMENTS WILL BE MET THROUGH THE PURCHASING OF WATER QUALITY CREDITS. COMPLIANCE WITH PART IIB WILL BE ACHIEVED WITH THIS PLAN.
 - AREAS DEDICATED FOR PUBLIC USE: CURRENTLY, THERE IS NO LAND ON THIS PROPERTY THAT IS PROPOSED TO BE RESERVED OR DEDICATED FOR PUBLIC USE.
 - SUBJECT PARCEL 41C-3.1 LOT COVERAGE AND PROPOSED USES:
TOTAL LOT AREA = 18.806 ACRES
EXISTING LOT COVERAGE = UNCHANGED, WITH THE EXCEPTION OF A 6,360 sf REDUCTION IN A BUILDING FOOTPRINT TO ALLOW ACCESS FOR THE HILLSDALE DRIVE ALIGNMENT.
PROPOSED IMPERVIOUS AREAS = 21,965 sf
OPEN SPACE AREA TOTAL: UNCHANGED AT THIS TIME
 - WATER DEMAND: EXISTING WATER DEMAND UNCHANGED.
 - SIGNAGE: THE CURRENT SIGNAGE FOR THE PROPERTY IS EXISTING AND SHALL REMAIN, AND NO CHANGES TO THE CURRENT SIGNAGE IS PROPOSED WITH THIS PLAN.
 - INGRESS AND EGRESS: UNCHANGED - FUTURE DEVELOPMENT WILL INCLUDE THE HILLSDALE DRIVE EXTENSION PER APPROVED MASTER PLAN.
 - BUILDING/LOT SETBACKS:
HW-HIGHWAY CORRIDOR ZONING:
PRIMARY STREET: 5' MIN. AND 30' MAXIMUM SIDE/REAR
20' ADJACENT TO LOW DENSITY RESIDENTIAL DISTRICT
NO SETBACK ADJACENT TO SIMILAR DENSITY DISTRICT
LINKING STREET: 5' MIN., 20' MAX.
SITE TRIP GENERATION: UNCHANGED
 - NO FIRE HYDRANTS ARE PROPOSED, HOWEVER THERE ARE THREE EXISTING FIRE HYDRANTS THAT SURROUND THE EXISTING BUILDING. ALSO, THE ADJACENT PROPERTY CONTAINS TWO FIRE HYDRANTS. FIRE HYDRANT #08250 MAINTAINED A STATIC PRESSURE OF 90 PSI WHILE FIRE HYDRANT #08255 WAS OPENED AND RELEASED A FLOW OF 1,275 GPM.
 - CONTRACTOR SHALL BE REQUIRED TO PROVIDE ADEQUATE PEDESTRIAN BARRIERS AND PEDESTRIAN CIRCULATION DURING CONSTRUCTION SHOULD CONSTRUCTION OCCUR AFTER HILLSDALE DRIVE EXTENSION'S COMPLETION.

COLLINS ENGINEERING SHALL NOT HAVE AUTHORITY OVER CONTRACTOR'S WORK, SAFETY PRECAUTIONS, SCHEDULES, OR COMPLIANCE WITH LAWS AND REGULATIONS. WE SHALL NOT ASSUME RESPONSIBILITY FOR ANY CONSTRUCTION BEGUN PRIOR TO PLAN APPROVAL.

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SHEET INDEX

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LIGHTING PLAN	14
TOTAL SHEETS:	8

NOTE: THE LANDSCAPING AND LIGHTING PLAN SHOW THE PROPOSED INFORMATION FOR BOTH THE SITE PLAN AMENDMENTS, INCLUDING THE REDEVELOPMENT OF THE FACADE AND PARKING AREAS, AND THE ADDITIONAL PARKING AREA FOR THE NORTHERN SITE EXPANSION.

- NOTES:**
- ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE CONSISTENT WITH THE MUTCD.
 - IFC 505-THE BUILDING STREET NUMBER TO BE PLAINLY VISIBLE FROM THE STREET FOR EMERGENCY RESPONDERS.
 - IFC 508-1-AN APPROVED KEY BOX SHALL BE MOUNTED TO THE SIDE OF THE FRONT OR MAIN ENTRANCE. THE CHARLOTTESVILLE FIRE DEPARTMENT CARRIES THE KNOX BOX MASTER KEY. A KNOX BOX KEY BOX CAN BE ORDERED BY GOING ONLINE TO WWW.KNOXBOX.COM. THE KNOX BOX ALLOWS ENTRY TO THE BUILDING WITHOUT DAMAGING THE LOCK AND DOOR SYSTEM.
 - FIRE HYDRANTS, FIRE PUMP TEST HEADER, FIRE DEPARTMENT CONNECTIONS OR FIRE SUPPRESSION SYSTEM CONTROL VALVES SHALL REMAIN CLEAR AND UNOBSTRUCTED BY LANDSCAPING, PARKING OR OTHER OBJECTS. THE FIRE MARSHAL'S OFFICE NO LONGER ALLOWS ANY TYPE OF LANDSCAPING TO BE PLACED IN FRONT OF AND WITHIN 5 FEET OF FIRE HYDRANTS, FIRE PUMP TEST HEADERS, FIRE DEPARTMENT CONNECTIONS OR FIRE SUPPRESSION SYSTEM CONTROL VALVES.
 - AN APPROVED WATER SUPPLY FOR FIRE PROTECTION SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE.
 - ALL PAVEMENT SHALL BE CAPABLE OF SUPPORTING FIRE APPARATUS WEIGHING 75,000 LBS.
 - IFC 1404.1-SMOKING TO BE ALLOWED IN ONLY DESIGNATED SPACES WITH PROPER RECEPTACLES.
 - IFC 1404.2-WASTE DISPOSAL OF COMBUSTIBLE DEBRIS SHALL BE REMOVED FROM THE BUILDING AT THE END OF EACH WORKDAY.
 - IFC 1410.1-ACCESS TO THE BUILDING DURING DEMOLITION AND CONSTRUCTION SHALL BE MAINTAINED.
 - IFC 1404.6-CUTTING AND WELDING. OPERATIONS INVOLVING THE USE OF CUTTING AND WELDING SHALL BE DONE IN ACCORDANCE WITH CHAPTER 26, OF THE INTERNATIONAL FIRE CODE. ADDRESSING WELDING AND HOTWORK OPERATIONS.
 - IFC 1414.1-FIRE EXTINGUISHERS SHALL BE PROVIDED WITH NOT LESS THAN ONE APPROVED PORTABLE FIRE EXTINGUISHER AT EACH STAIRWAY ON ALL FLOOR LEVELS WHERE COMBUSTIBLE MATERIALS HAVE ACCUMULATED.
 - REQUIRED VEHICLE ACCESS FOR FIRE FIGHTING SHALL BE PROVIDED TO ALL CONSTRUCTION OR DEMOLITION SITES. VEHICLE ACCESS SHALL BE PROVIDED TO WITHIN 100 FEET OF TEMPORARY OR PERMANENT FIRE DEPARTMENT CONNECTIONS. VEHICLE ACCESS SHALL BE PROVIDED BY EITHER TEMPORARY OR PERMANENT ROADS, CAPABLE OF SUPPORTING VEHICLE LOADING UNDER ALL WEATHER CONDITIONS. VEHICLE ACCESS SHALL BE MAINTAINED UNTIL PERMANENT FIRE APPARATUS ACCESS ROADS ARE AVAILABLE.
 - OVERHEAD WIRING OR OTHER OBSTRUCTIONS SHALL BE HIGHER THAN 13 FEET 6 INCHES.
 - ALL SIGNS SHALL BE IN ACCORDANCE WITH ARTICLE IX, SECTION 34-1020 CITY CODE.

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200 GARRETT STREET SUITE K- CHARLOTTESVILLE, VA 22902 - 434-293.3719

PROJECT: SEMINOLE SQUARE EXPANSION SITE PLAN AMENDMENT
JOB NO. 112070
SCALE N/A
SHEET NO. 1

COVER SHEET

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RESOLUTION APPROVING A REQUEST FOR WAIVER OF CRITICAL SLOPE PROVISIONS PURSUANT TO CITY CODE SECTION 34-1120(B)(6) FOR SEMINOLE SQUARE SHOPPING CENTER

WHEREAS, Towns Limited Partnership, owner of property designated on City Tax Map 41C, Parcel 3.1, consisting of approximately 18.81 acres of land, and known as Seminole Square Shopping Center (the "Property"), seeks a waiver of the critical slopes requirements of City Code Sec. 34-1120(B)(6) in connection with the construction of two (2) segmented retaining walls, totaling 1,180' in length, along the northern portion of the Property (the "Project"); and

WHEREAS, the Planning Commission considered this request at their regular meeting on September 12, 2017, and recommended approval of the request, with conditions, to waive the critical slopes requirements, pursuant to City Code Sec. 34-1120(B)(6); and

WHEREAS, upon consideration of the information and materials provided by the applicant, and the recommendation of the Planning Commission, the City Council finds and determines pursuant to City Code Sec. 34-1120(B)(6)(i) that due to unusual size, topography, slope, location, or other unusual physical conditions, or existing development of the Project, one (1) or more of these critical slopes provisions would effectively prohibit or unreasonably restrict the use, reuse or redevelopment of such property; now, therefore,

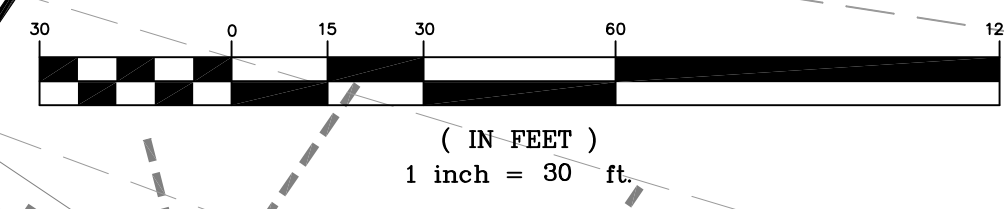
BE IT RESOLVED by the Council for the City of Charlottesville, Virginia that the request by Towns Limited Partnership for a waiver of the critical slopes requirements for the above-described Project on the Property, is hereby granted, conditioned upon the following:

- The Applicant shall petition City Council to vacate the existing 1985 stormwater easement, in order to transfer the burden of maintenance of the stormwater facility from the City to the owner of the Property.
- A detailed survey by a licensed professional should be provided following construction of the retaining wall to capture any deviation from the approved plans. Upon completion of the as-built survey, the stormwater routing analysis should be verified using the as-built data.
- The improvements depicted in the Concept Plan Exhibit Series attached to the critical slopes waiver request shall be incorporated in any site plan amendment for future redevelopment of the Property, including the following modifications recommended by staff:
 - Elimination of the proposed pedestrian crossing along Hilldale Drive given its proximity to the signalized intersection;
 - Proposed pedestrian areas shall meet ADA standards (including curb ramp, minimum width and cross-slope); and

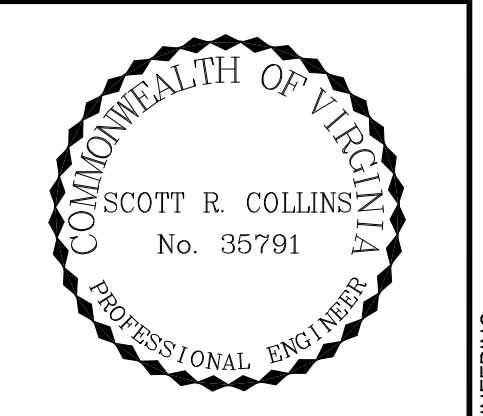
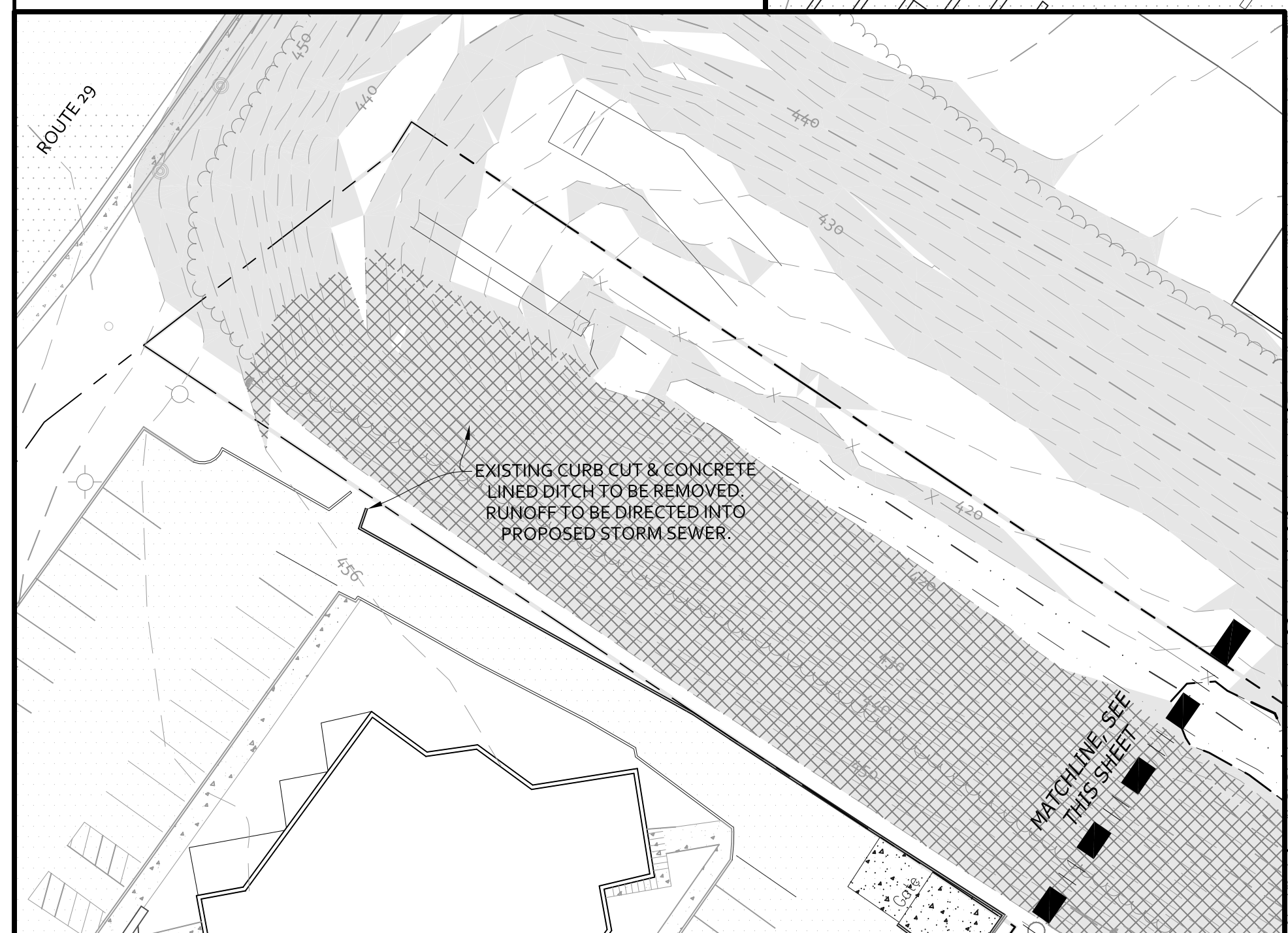
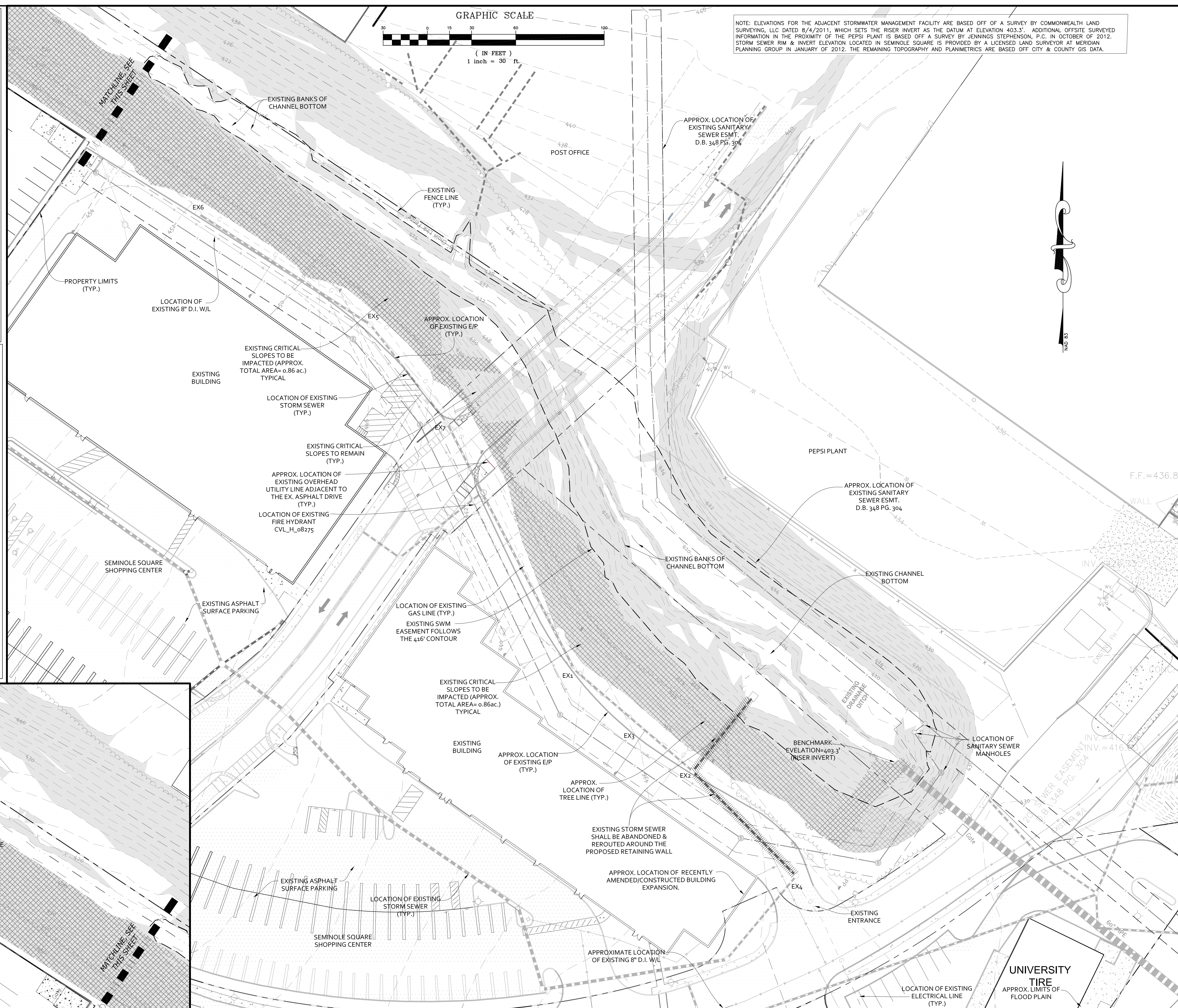
- Proposed bicycle racks shall be located close to the building entrance, visible from the multi-use trail, and the number of bicycle racks shall meet the standards outlined in City Code Sec. 34-881 (in effect on the date of this SUP approval).
- Construction shall not begin until after the Hilldale Road extension project is complete.
- The proposed 8' wide greenbelt trail shall be asphalt, and include a buffer no less than three (3) feet from the parking lot, and the proposed type and height of the fence will be determined by Parks & Recreation staff prior to site plan approval.
- Proposed 10' wide easement encompassing the 8' wide greenbelt trail shall be for maintenance of the trail itself and not for any improvements placed within the easement by the Property Owner (i.e. the retaining wall), which shall be maintained by the Property owner. A deed of easement from the Property owner to the City, in form approved by the City Attorney, for the greenbelt trail shall be signed prior to site plan approval.
- The previously submitted routing analysis for the existing stormwater basin between Seminole Square and Pepsi shall be revised and resubmitted to Engineering staff should the retaining wall located on the Seminole Square site require adjustment due to the development activities on either the adjoining Pepsi property or the Seminole Square property.

Approved by Council
October 2, 2017
[Signature]
Clark of Council

GRAPHIC SCALE



NOTE: ELEVATIONS FOR THE ADJACENT STORMWATER MANAGEMENT FACILITY ARE BASED OFF OF A SURVEY BY COMMONWEALTH LAND SURVEYING, LLC DATED 8/4/2011, WHICH SETS THE RISER INVERT AS THE DATUM AT ELEVATION 403.3'. ADDITIONAL OFFSITE SURVEYED INFORMATION IN THE PROXIMITY OF THE PEPSI PLANT IS BASED OFF A SURVEY BY JENNINGS STEPHENSON, P.C. IN OCTOBER OF 2012. STORM SEWER RIM & INVERT ELEVATION LOCATED IN SEMINOLE SQUARE IS PROVIDED BY A LICENSED LAND SURVEYOR AT MERIDIAN PLANNING GROUP IN JANUARY OF 2012. THE REMAINING TOPOGRAPHY AND PLANIMETRICS ARE BASED OFF CITY & COUNTY GIS DATA.



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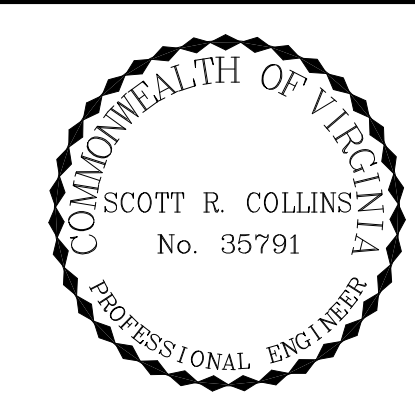
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SEMINOLE SQUARE EXPANSION SITE PLAN AMENDMENT

EXISTING CONDITIONS

PROJECT: 112070
SCALE: 1" = 30'
SHEET NO.: 2

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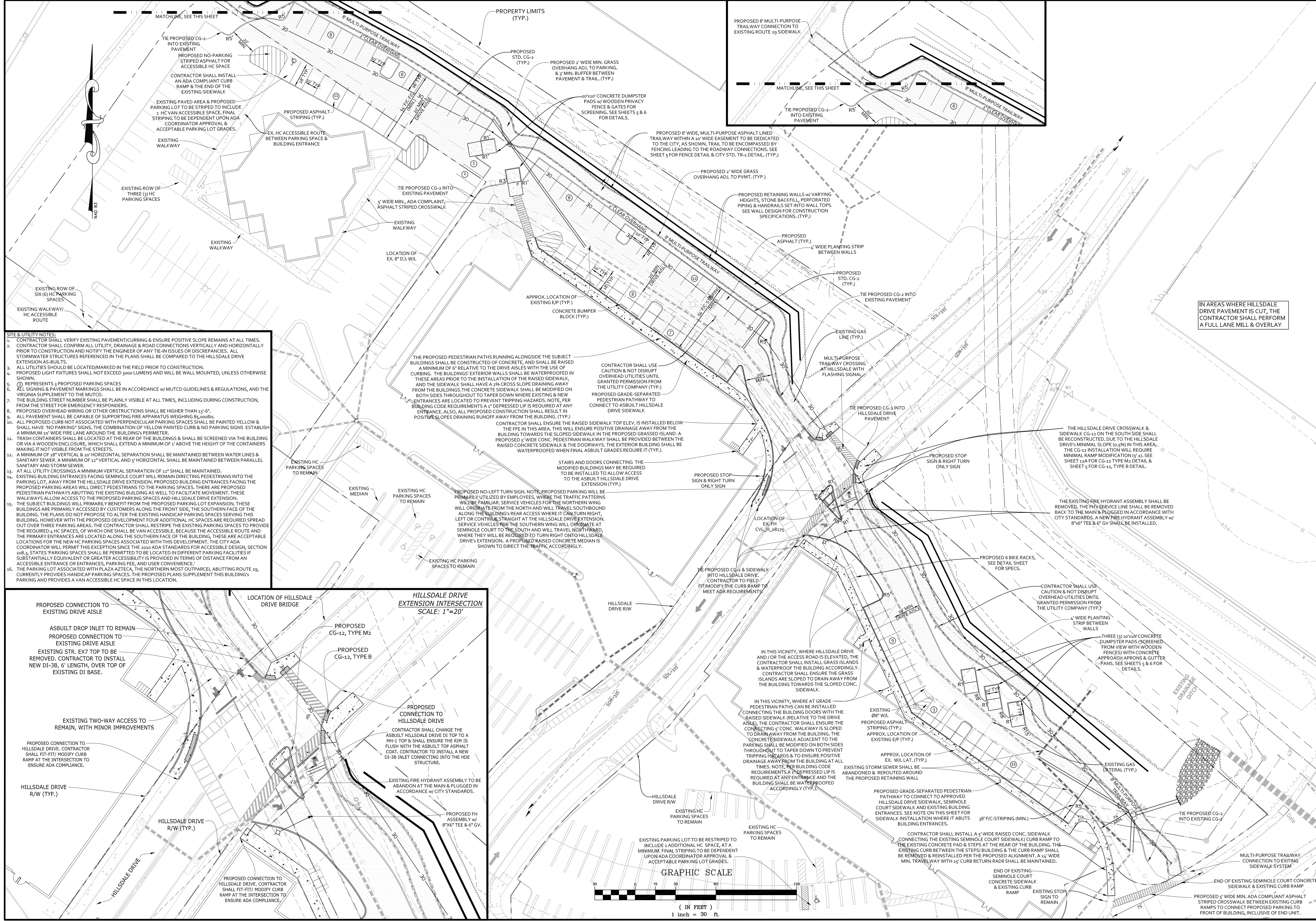
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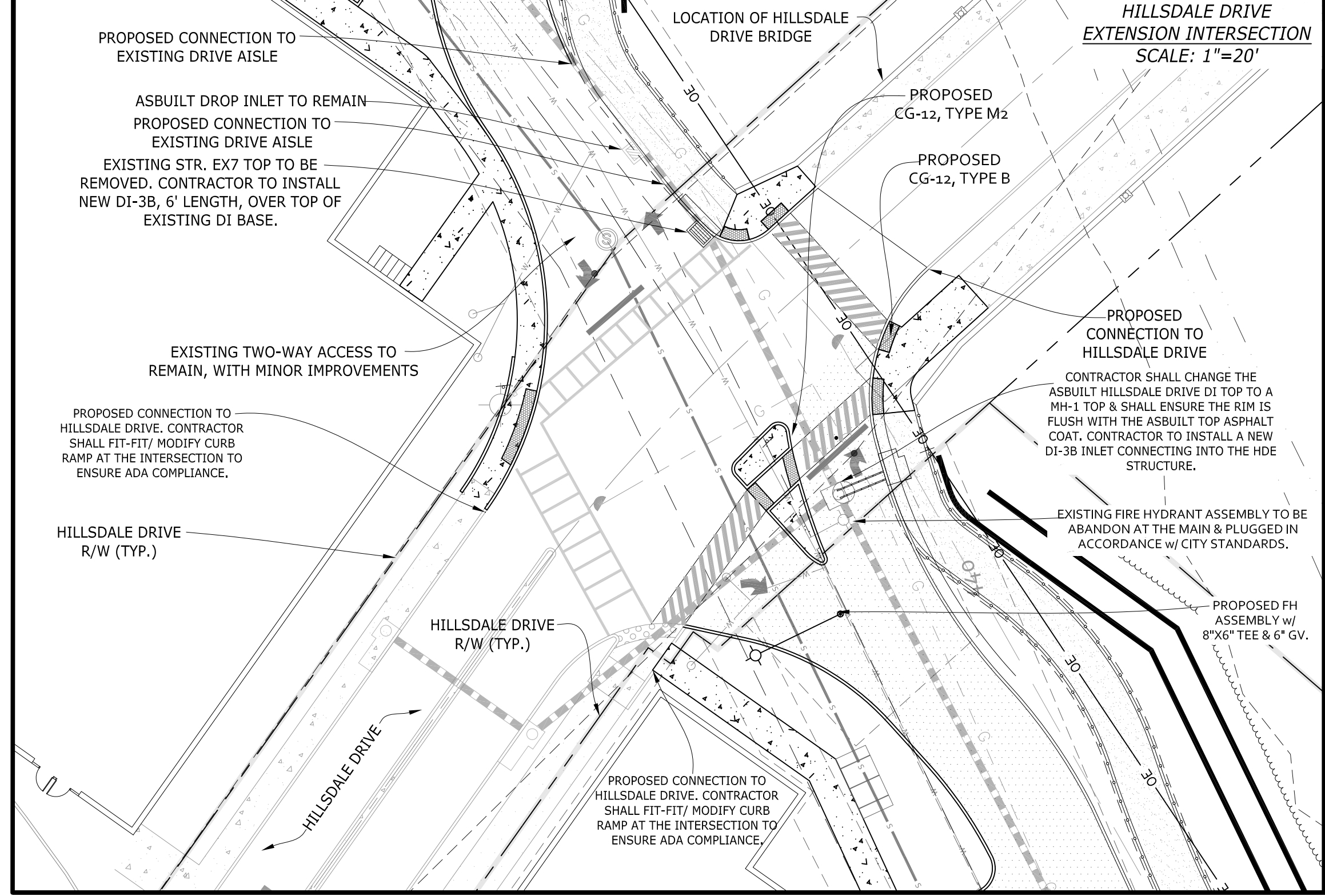
SEMINOLE SQUARE EXPANSION SITE PLAN AMENDMENT

SITE & UTILITY PLAN

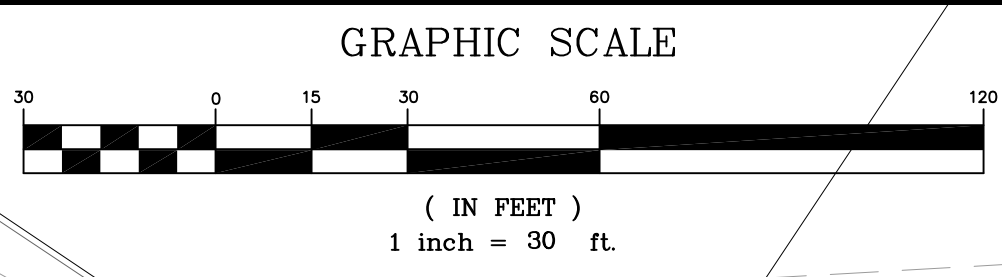
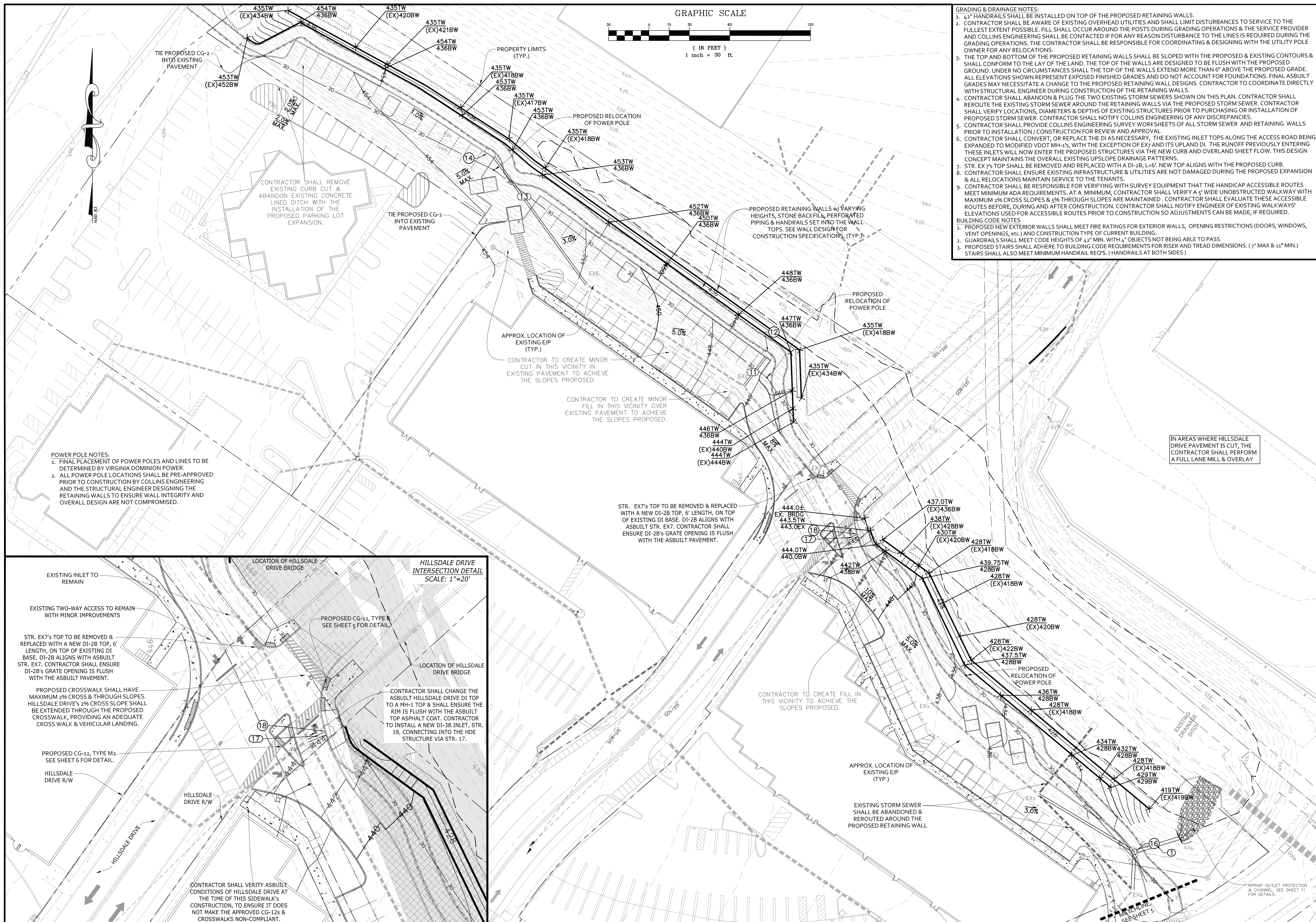
PROJECT: 112070
 SCALE: AS SHOWN
 SHEET NO.: 3



- SITE & UTILITY NOTES:**
- CONTRACTOR SHALL VERIFY EXISTING PAVEMENT/CURBING & ENSURE POSITIVE SLOPE REMAINS AT ALL TIMES. CONTRACTOR SHALL CONFIRM ALL UTILITY, DRAINAGE & ROAD CONNECTIONS VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY TIE-IN ISSUES OR DISCREPANCIES. ALL STORMWATER STRUCTURES REFERENCED IN THE PLANS SHALL BE COMPARED TO THE HILLSDALE DRIVE EXTENSION AS-BUILTS.
 - ALL UTILITIES SHOULD BE LOCATED/MARKED IN THE FIELD PRIOR TO CONSTRUCTION.
 - PROPOSED LIGHT FIXTURES SHALL NOT EXCEED 3000 LUMENS AND WILL BE WALL MOUNTED, UNLESS OTHERWISE SHOWN.
 - REPRESENTS 3 PROPOSED PARKING SPACES
 - ALL SIGNING & PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH MUTCD GUIDELINES & REGULATIONS, AND THE VIRGINIA SUPPLEMENT TO THE MUTCD.
 - THE BUILDING STREET NUMBER SHALL BE PLAINLY VISIBLE AT ALL TIMES, INCLUDING DURING CONSTRUCTION, FROM THE STREET FOR EMERGENCY RESPONDERS.
 - PROPOSED OVERHEAD WIRING OR OTHER OBSTRUCTIONS SHALL BE HIGHER THAN 13'-6".
 - ALL PAVEMENT SHALL BE CAPABLE OF SUPPORTING FIRE APPARATUS WEIGHING 85,000 LBS.
 - TRASH CONTAINERS SHALL BE LOCATED AT THE REAR OF THE BUILDINGS & SHALL BE SCREENED VIA THE BUILDING OR VIA A WOODEN ENCLOSURE, WHICH SHALL EXTEND A MINIMUM OF 1' ABOVE THE HEIGHT OF THE CONTAINERS MAKING IT NOT VISIBLE FROM THE STREETS.
 - A MINIMUM OF 18" VERTICAL & 10" HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER LINES & SANITARY SEWER. A MINIMUM OF 12" VERTICAL AND 5" HORIZONTAL SHALL BE MAINTAINED BETWEEN PARALLEL SANITARY AND STORM SEWER.
 - AT ALL UTILITY CROSSINGS A MINIMUM VERTICAL SEPARATION OF 12" SHALL BE MAINTAINED.
 - EXISTING BUILDING ENTRANCES FACING SEMINOLE COURT WILL REMAIN DIRECTING PEDESTRIANS INTO THE PARKING LOT, AWAY FROM THE HILLSDALE DRIVE EXTENSION. PROPOSED BUILDING ENTRANCES FACING THE PROPOSED PARKING AREAS WILL DIRECT PEDESTRIANS TO THE PARKING SPACES. THERE ARE PROPOSED PEDESTRIAN PATHWAYS ABUTTING THE EXISTING BUILDING AS WELL TO FACILITATE MOVEMENT. THESE WALKWAYS ALLOW ACCESS TO THE PROPOSED PARKING SPACES AND HILLSDALE DRIVE EXTENSION.
 - THE SUBJECT BUILDINGS WILL PRIMARILY BENEFIT FROM THE PROPOSED PARKING LOT EXPANSION. THESE BUILDINGS ARE PRIMARILY ACCESSED BY CUSTOMERS ALONG THE FRONT SIDE, THE SOUTHERN FACE OF THE BUILDING. THE PLANS DO NOT PROPOSE TO ALTER THE EXISTING HANDICAP PARKING SPACES SERVING THIS BUILDING. HOWEVER WITH THE PROPOSED DEVELOPMENT FOUR ADDITIONAL HC SPACES ARE REQUIRED SPREAD OUT OVER THREE PARKING AREAS. THE CONTRACTOR SHALL RESTRIPE THE EXISTING PARKING SPACES TO PROVIDE THE REQUIRED 4 HC SPACES, OF WHICH ONE SHALL BE VAN ACCESSIBLE. BECAUSE THE ACCESSIBLE ROUTE AND THE PRIMARY ENTRANCES ARE LOCATED ALONG THE SOUTHERN FACE OF THE BUILDING, THESE ARE ACCEPTABLE LOCATIONS FOR THE NEW HC PARKING SPACES ASSOCIATED WITH THIS DEVELOPMENT. THE CITY ADA COORDINATOR WILL PERMIT THIS EXCEPTION SINCE THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN, SECTION 208.3, STATES PARKING SPACES SHALL BE PERMITTED TO BE LOCATED IN DIFFERENT PARKING FACILITIES IF SUBSTANTIALLY EQUIVALENT OR GREATER ACCESSIBILITY IS PROVIDED IN TERMS OF DISTANCE FROM AN ACCESSIBLE ENTRANCE OR ENTRANCES, PARKING FEE, AND USER CONVENIENCE.
 - THE PARKING LOT ASSOCIATED WITH PLAZA AZTECA, THE NORTHERN MOST OUTPARCEL ABUTTING ROUTE 29, CURRENTLY PROVIDES HANDICAP PARKING SPACES. THE PROPOSED PLANS SUPPLEMENT THIS BUILDING'S PARKING AND PROVIDES A VAN ACCESSIBLE HC SPACE IN THIS LOCATION.



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- GRADING & DRAINAGE NOTES:**
- 42" HANDRAILS SHALL BE INSTALLED ON TOP OF THE PROPOSED RETAINING WALLS.
 - CONTRACTOR SHALL BE AWARE OF EXISTING OVERHEAD UTILITIES AND SHALL LIMIT DISTURBANCES TO SERVICE TO THE FULLEST EXTENT POSSIBLE. FILL SHALL OCCUR AROUND THE POSTS DURING GRADING OPERATIONS & THE SERVICE PROVIDER AND COLLINS ENGINEERING SHALL BE CONTACTED IF FOR ANY REASON DISTURBANCE TO THE LINES IS REQUIRED DURING THE GRADING OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING & DESIGNING WITH THE UTILITY POLE OWNER FOR ANY RELOCATIONS.
 - THE TOP AND BOTTOM OF THE PROPOSED RETAINING WALLS SHALL BE SLOPED WITH THE PROPOSED & EXISTING CONTOURS & SHALL CONFORM TO THE LAY OF THE LAND. THE TOP OF THE WALLS ARE DESIGNED TO BE FLUSH WITH THE PROPOSED GROUND. UNDER NO CIRCUMSTANCES SHALL THE TOP OF THE WALLS EXTEND MORE THAN 6" ABOVE THE PROPOSED GRADE. ALL ELEVATIONS SHOWN REPRESENT EXPOSED FINISHED GRADES AND DO NOT ACCOUNT FOR FOUNDATIONS. FINAL ASBUILT GRADES MAY NECESSITATE A CHANGE TO THE PROPOSED RETAINING WALL DESIGNS. CONTRACTOR TO COORDINATE DIRECTLY WITH STRUCTURAL ENGINEER DURING CONSTRUCTION OF THE RETAINING WALLS.
 - CONTRACTOR SHALL ABANDON & PLUG THE TWO EXISTING STORM SEWERS SHOWN ON THIS PLAN. CONTRACTOR SHALL REROUTE THE EXISTING STORM SEWER AROUND THE RETAINING WALLS VIA THE PROPOSED STORM SEWER. CONTRACTOR SHALL VERIFY LOCATIONS, DIAMETERS & DEPTHS OF EXISTING STRUCTURES PRIOR TO PURCHASING OR INSTALLATION OF PROPOSED STORM SEWER. CONTRACTOR SHALL NOTIFY COLLINS ENGINEERING OF ANY DISCREPANCIES.
 - CONTRACTOR SHALL PROVIDE COLLINS ENGINEERING SURVEY WORKSHEETS OF ALL STORM SEWER AND RETAINING WALLS PRIOR TO INSTALLATION/CONSTRUCTION FOR REVIEW AND APPROVAL.
 - CONTRACTOR SHALL CONVERT OR REPLACE THE DI AS NECESSARY, THE EXISTING INLET TOPS ALONG THE ACCESS ROAD BEING EXPANDED TO MODIFIED VDOT MH-1's, WITH THE EXCEPTION OF EX7 AND ITS UPLAND DI. THE RUNOFF PREVIOUSLY ENTERING THESE INLETS WILL NOW ENTER THE PROPOSED STRUCTURES VIA THE NEW CURB AND OVERLAND SHEET FLOW. THIS DESIGN CONCEPT MAINTAINS THE OVERALL EXISTING UPSLOPE DRAINAGE PATTERNS.
 - STR. EX 7's TOP SHALL BE REMOVED AND REPLACED WITH A DI-2B, L=6'. NEW TOP ALIGNS WITH THE PROPOSED CURB.
 - CONTRACTOR SHALL ENSURE EXISTING INFRASTRUCTURE & UTILITIES ARE NOT DAMAGED DURING THE PROPOSED EXPANSION & ALL RELOCATIONS MAINTAIN SERVICE TO THE TENANTS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING WITH SURVEY EQUIPMENT THAT THE HANDICAP ACCESSIBLE ROUTES MEET MINIMUM ADA REQUIREMENTS. AT A MINIMUM, CONTRACTOR SHALL VERIFY A 5' WIDE UNOBSTRUCTED WALKWAY WITH MAXIMUM 2% CROSS SLOPES & 3% THROUGH SLOPES ARE MAINTAINED. CONTRACTOR SHALL EVALUATE THESE ACCESSIBLE ROUTES BEFORE, DURING AND AFTER CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF EXISTING WALKWAYS' ELEVATIONS USED FOR ACCESSIBLE ROUTES PRIOR TO CONSTRUCTION SO ADJUSTMENTS CAN BE MADE, IF REQUIRED.
- BUILDING CODE NOTES**
- PROPOSED NEW EXTERIOR WALLS SHALL MEET FIRE RATINGS FOR EXTERIOR WALLS, OPENING RESTRICTIONS (DOORS, WINDOWS, VENT OPENINGS, etc.) AND CONSTRUCTION TYPE OF CURRENT BUILDING.
 - GUARDRAILS SHALL MEET CODE HEIGHTS OF 42" MIN. WITH 4" OBJECTS NOT BEING ABLE TO PASS.
 - PROPOSED STAIRS SHALL ADHERE TO BUILDING CODE REQUIREMENTS FOR RISER AND TREAD DIMENSIONS. (7" MAX & 11" MIN.) STAIRS SHALL ALSO MEET MINIMUM HANDRAIL REQ'S. (HANDRAILS AT BOTH SIDES)

- POWER POLE NOTES:**
- FINAL PLACEMENT OF POWER POLES AND LINES TO BE DETERMINED BY VIRGINIA DOMINION POWER.
 - ALL POWER POLE LOCATIONS SHALL BE PRE-APPROVED PRIOR TO CONSTRUCTION BY COLLINS ENGINEERING AND THE STRUCTURAL ENGINEER DESIGNING THE RETAINING WALLS TO ENSURE WALL INTEGRITY AND OVERALL DESIGN ARE NOT COMPROMISED.

CONTRACTOR SHALL REMOVE EXISTING CURB CUT & ABANDON EXISTING CONCRETE LINED DITCH WITH THE INSTALLATION OF THE PROPOSED PARKING LOT EXPANSION.

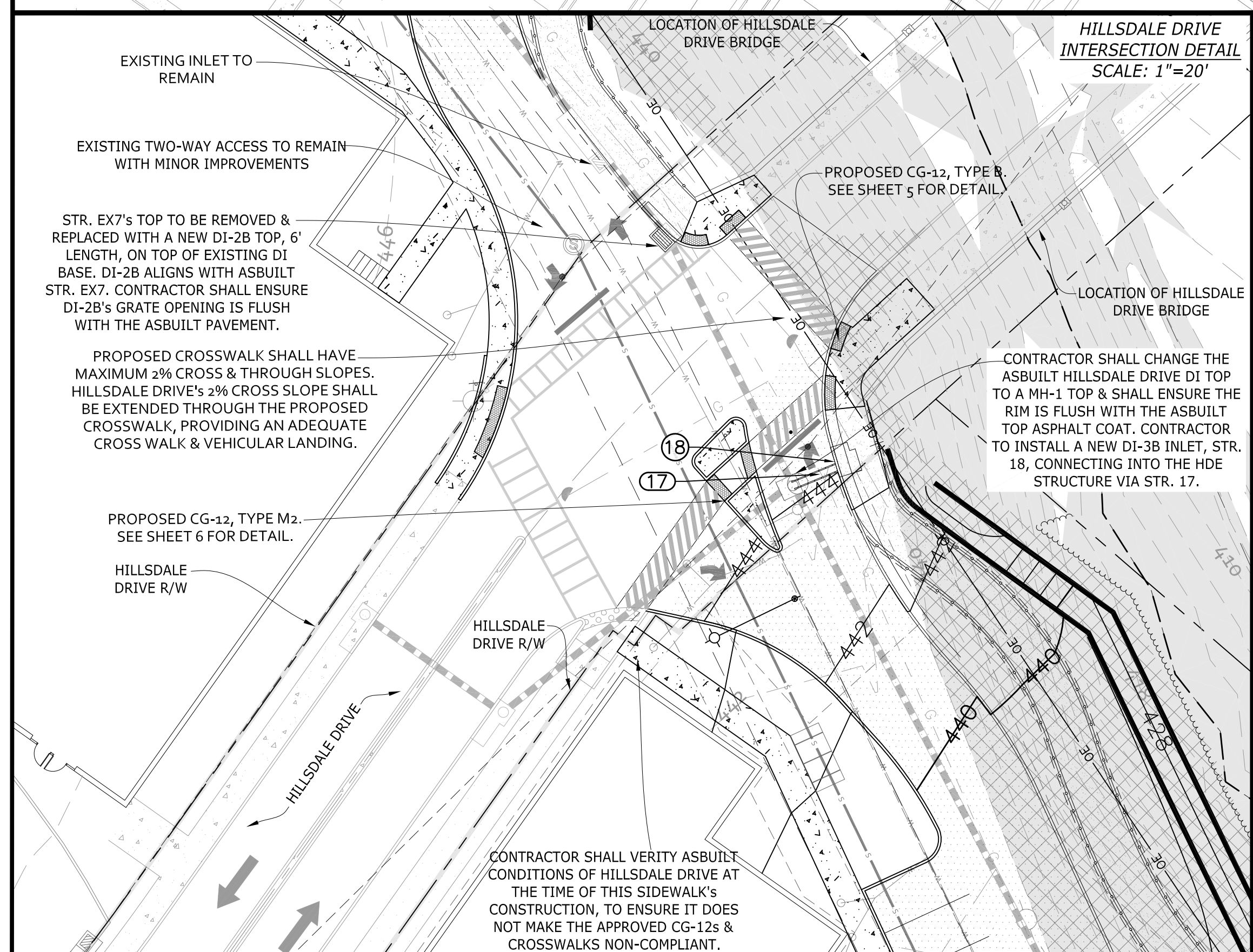
CONTRACTOR TO CREATE MINOR CUT IN THIS VICINITY IN EXISTING PAVEMENT TO ACHIEVE THE SLOPES PROPOSED.

CONTRACTOR TO CREATE MINOR FILL IN THIS VICINITY OVER EXISTING PAVEMENT TO ACHIEVE THE SLOPES PROPOSED.

STR. EX 7's TOP TO BE REMOVED & REPLACED WITH A NEW DI-2B TOP, 6' LENGTH, ON TOP OF EXISTING DI BASE. DI-2B ALIGNS WITH ASBUILT STR. EX 7. CONTRACTOR SHALL ENSURE DI-2B'S GRATE OPENING IS FLUSH WITH THE ASBUILT PAVEMENT.

CONTRACTOR TO CREATE FILL IN THIS VICINITY TO ACHIEVE THE SLOPES PROPOSED.

IN AREAS WHERE HILLSDALE DRIVE PAVEMENT IS CUT, THE CONTRACTOR SHALL PERFORM A FULL LANE MILL & OVERLAY



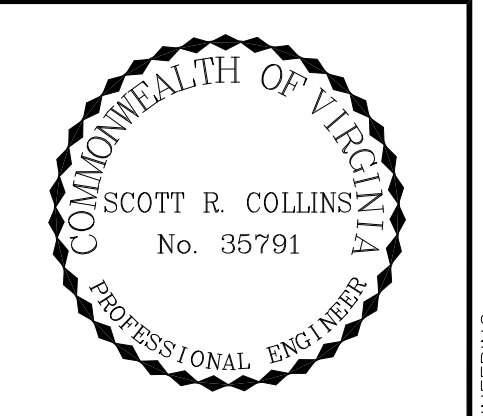
HILLSDALE DRIVE INTERSECTION DETAIL
SCALE: 1"=20'

STR. EX 7's TOP TO BE REMOVED & REPLACED WITH A NEW DI-2B TOP, 6' LENGTH, ON TOP OF EXISTING DI BASE. DI-2B ALIGNS WITH ASBUILT STR. EX 7. CONTRACTOR SHALL ENSURE DI-2B'S GRATE OPENING IS FLUSH WITH THE ASBUILT PAVEMENT.

PROPOSED CROSSWALK SHALL HAVE MAXIMUM 2% CROSS & THROUGH SLOPES. HILLSDALE DRIVE'S 2% CROSS SLOPE SHALL BE EXTENDED THROUGH THE PROPOSED CROSSWALK, PROVIDING AN ADEQUATE CROSS WALK & VEHICULAR LANDING.

CONTRACTOR SHALL CHANGE THE ASBUILT HILLSDALE DRIVE DI TOP TO AN MH-1 TOP & SHALL ENSURE THE RIM IS FLUSH WITH THE ASBUILT TOP ASPHALT COAT. CONTRACTOR TO INSTALL A NEW DI-2B INLET, STR. 18, CONNECTING INTO THE HDE STRUCTURE VIA STR. 17.

CONTRACTOR SHALL VERIFY ASBUILT CONDITIONS OF HILLSDALE DRIVE AT THE TIME OF THIS SIDEWALK'S CONSTRUCTION, TO ENSURE IT DOES NOT MAKE THE APPROVED CG-12s & CROSSWALKS NON-COMPLIANT.



REVISIONS

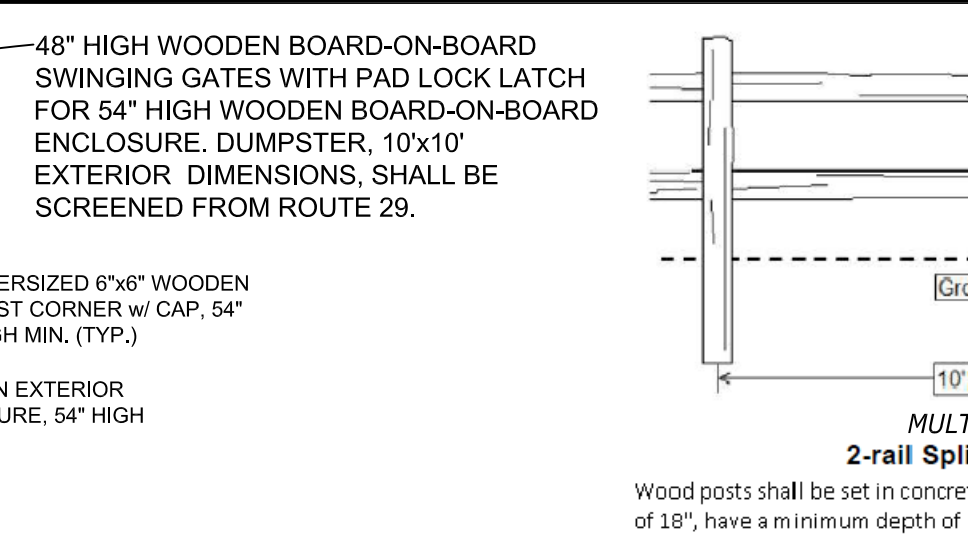
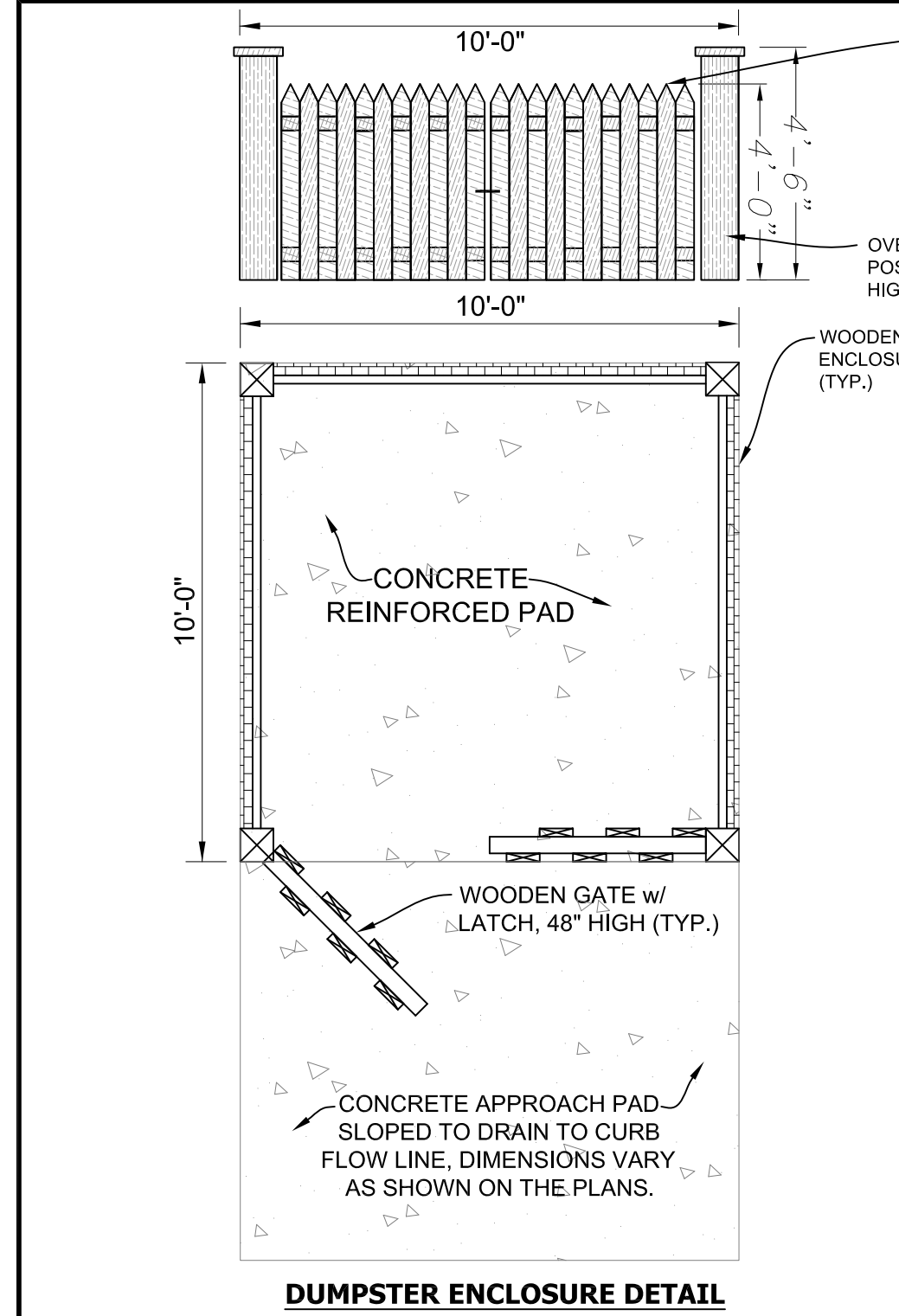
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INITIAL SUBMITTAL	3/15/16
REVISED PLANS PER COMMENTS DATED 5/25/16	7/22/16
REVISED PLANS PER COMMENTS DATED 9/2/16	10/14/16
REVISED PLANS PER COMMENTS DATED 12/1/16	1/16/17
REVISED PLANS PER COMMENTS DATED 2/27/17	1/13/17
REVISED PLANS PER COMMENTS DATED 12/22/17	3/6/18

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SEMINOLE SQUARE EXPANSION SITE PLAN AMENDMENT

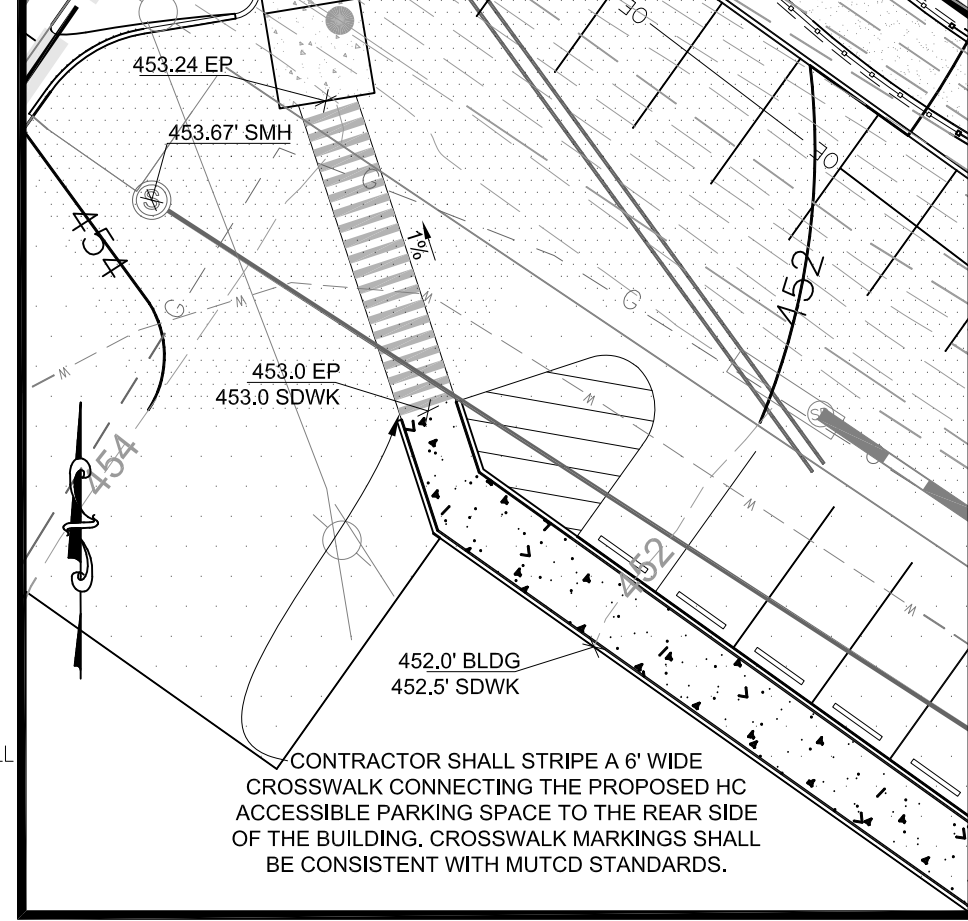
PROJECT: 112070
SCALE: AS SHOWN
SHEET NO.: 4

GRADING PLAN

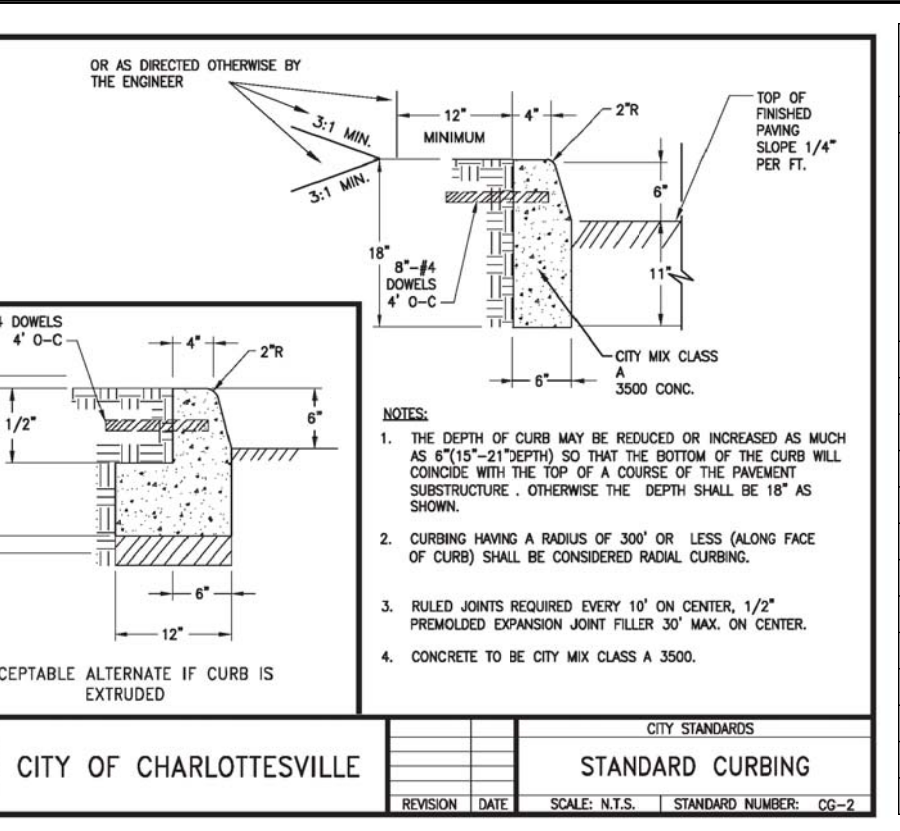
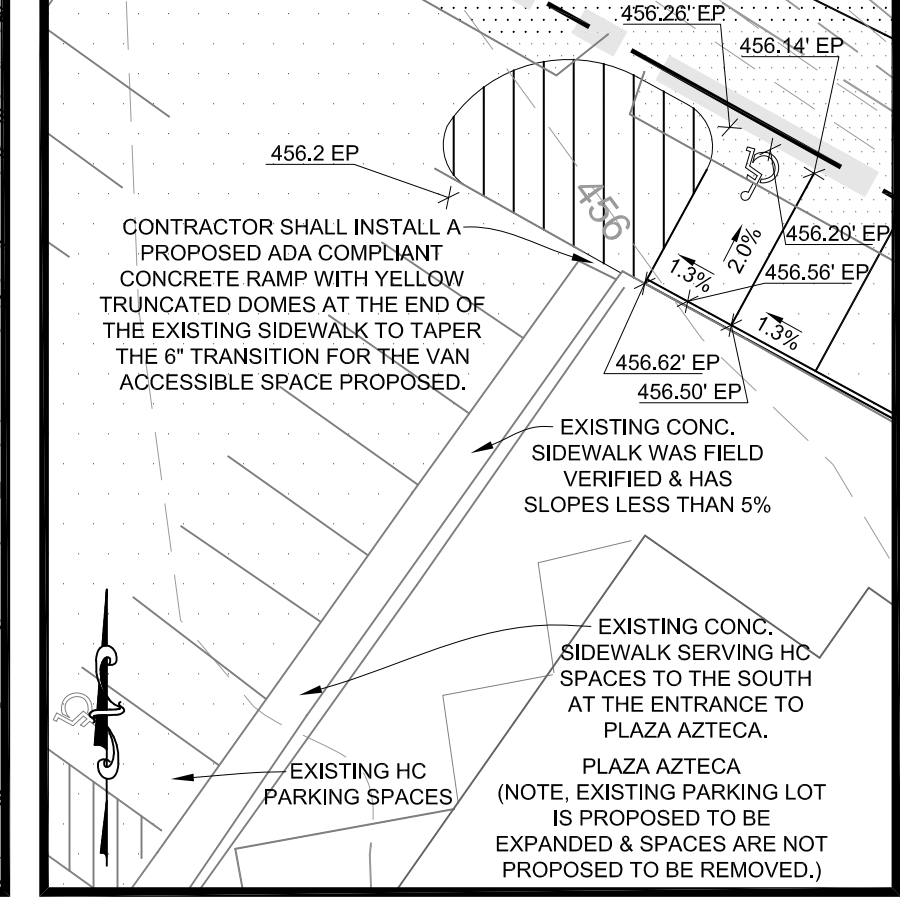


MULTI-PURPOSE TRAIL 2-rail Split Rail Fence Detail. (Source: CFC Fences & Decks)

ADA ACCESSIBLE RAMP & ROUTE DETAIL- PROPOSED NORTHERN PARKING AREA, SCALE 1"=20'



ADA ACCESSIBLE RAMP & ROUTE DETAIL- EXISTING PLAZA AZTECA PARKING AREA, SCALE 1"=20'



CITY OF CHARLOTTEVILLE STANDARD CURBING

PIPE DESIGN

Pipe	Hydrology										Pipe							
	Shading Structure	Erasing Structure	A. Change area (acres)	C. Rational coeff.	CA. Intercept	CA sum accumulated	Tc. Time of conc. (min)	I. Infiltr. Intensity	Q. flow inc. (cfs)	Qc. total flow	n = 0.013 for RCP	n = 0.01 for HDPE						
12	EXS	0.94	0.75	0.705	0.705	5.00	6.67	4.70	4.70	441.92	441.71	29.4	0.013	0.0070	15	5.40	4.96	0.10

DUMPSTER ENCLOSURE DETAIL N.T.S.

UTILITIES

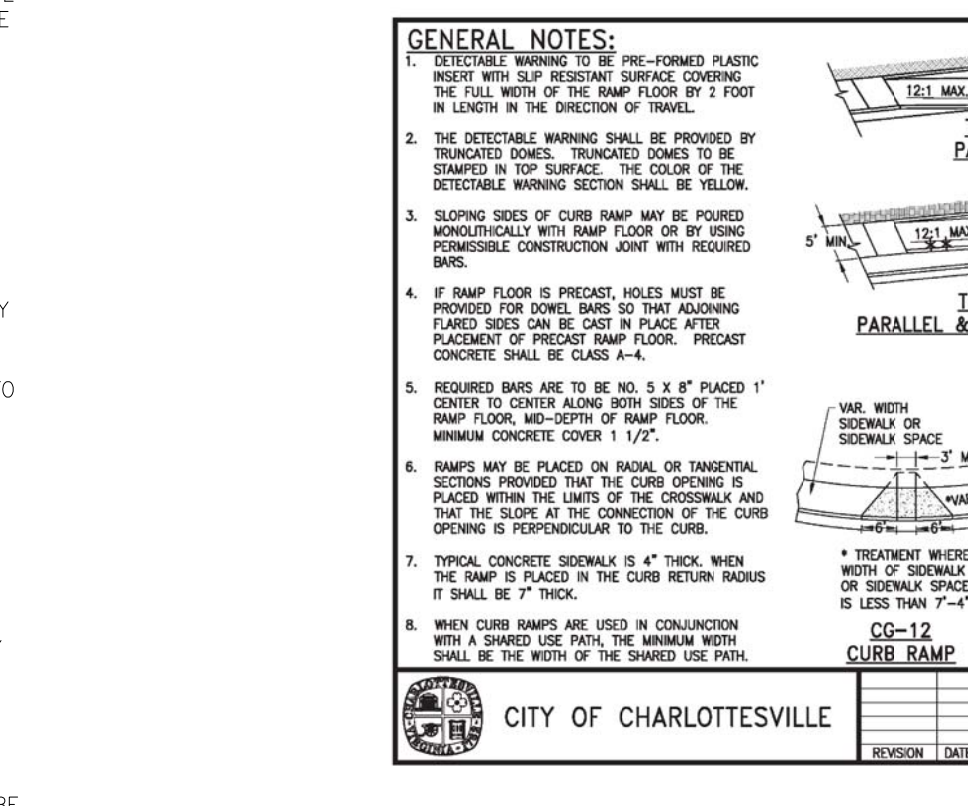
- ANY DAMAGE TO EXISTING UTILITIES CAUSED BY CONTRACTOR OR ITS SUBCONTRACTORS SHALL BE CONTRACTOR'S SOLE RESPONSIBILITY AND REPAIRED AT CONTRACTOR'S EXPENSE.
- THE CONTRACT DOCUMENTS DO NOT GUARANTEE THE EXISTENCE, NON-EXISTENCE OR LOCATION OF UTILITIES. CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OR NON-EXISTENCE OF UTILITIES. AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION, CONTRACTOR SHALL NOTIFY MISS UTILITY (1-800-452-7001) AND/OR THE RESPECTIVE UTILITY COMPANIES FOR GAS, WATER, SEWER, POWER, PHONE AND CABLE. CONTRACTOR SHALL TWICE ARRANGE TO HAVE THE VARIOUS UTILITIES LOCATED, AND TO HAVE THEM REMOVED OR RELOCATED, OR TO DETERMINE THE METHOD OF PROTECTION ACCEPTABLE TO THE RESPECTIVE OWNER, IF THE METHOD OF PROTECTION IS NOT OTHERWISE SPECIFIED. CONTRACTOR SHALL CONDUCT ITS WORK IN THE VICINITY OF EXISTING UTILITIES IN ACCORDANCE WITH THE RESPECTIVE UTILITY'S RULES AND REGULATIONS. NO BUILDING OR WALL FOUNDATION SHALL BE CONSTRUCTED WITHIN 10 FEET OF ANY SANITARY, WATER, OR GAS LINE, ANY COST INCURRED FOR REMOVING, RELOCATIONS OR PROTECTING UTILITIES SHALL BE BORNE BY CONTRACTOR UNLESS INDICATED OTHERWISE. CONTRACTOR SHALL EXCAVATE TO LOCATE BURIED UTILITIES FAR ENOUGH IN ADVANCE OF ITS WORK TO ALLOW FOR HORIZONTAL AND/OR VERTICAL ADJUSTMENTS TO ITS WORK AND/OR THE UTILITIES. NO ADJUSTMENT IN COMPENSATION OR SCHEDULE WILL BE ALLOWED FOR DELAYS RESULTING FROM CONTRACTOR'S FAILURE TO CONTACT AND COORDINATE WITH UTILITIES.
- WHEN THE WORK CROSSES EXISTING UTILITIES, THE EXISTING UTILITIES SHALL BE ADEQUATELY SUPPORTED AND PROTECTED FROM DAMAGE TO THE WORK. THE METHOD OF SUPPORTING AND MAINTAINING THE EXISTING UTILITIES SHALL BE APPROVED BY THE RESPECTIVE UTILITY COMPANY AND/OR THE ENGINEER. CONTRACTOR SHALL EXERCISE CARE TO INSURE THAT THE GRADE AND ALIGNMENT OF EXISTING UTILITIES ARE MAINTAINED AND THAT NO JOINTS OR CONNECTIONS ARE DISPLACED. BACKFILL SHALL BE CAREFULLY PLACED AND COMPACTED TO PREVENT FUTURE DAMAGE OR SETTLEMENT TO EXISTING UTILITIES. ANY UTILITIES REMOVED AS PART OF THE WORK, AND NOT INDICATED TO BE REMOVED OR ABANDONED, SHALL BE RESTORED USING MATERIALS AND INSTALLATION EQUAL TO THE UTILITY'S STANDARDS.
- CONTRACTOR SHALL NOTIFY LANDOWNERS, TENANTS AND THE ENGINEER PRIOR TO THE INTERRUPTION OF ANY SERVICES. SERVICE INTERRUPTIONS SHALL BE KEPT TO A MINIMUM. CONTRACTOR SHALL COORDINATE WITH THE CITY TO LOCATE SIGNAL LOOP DETECTORS AND CONDUITS IN ORDER TO AVOID DAMAGE TO THEM. CONTRACTOR SHALL REIMBURSE THE CITY FOR REPAIRING ANY DAMAGE TO SIGNAL LOOP DETECTORS AND CONDUITS CAUSED BY CONTRACTOR'S FAILURE TO SO COORDINATE.
- ALL RECTANGULAR WATER METER BOXES LOCATED IN SIDEWALKS SHALL BE REPLACED WITH ROUND ONES. THE ADJUSTMENT OF ALL MANHOLE TOPS, WATER VALVE BOXES, GAS VALVE BOXES AND WATER METER BOXES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. COSTS ARE TO BE INCLUDED UNDER THE VARIOUS UNIT BID ITEMS. NO SEPARATE PAYMENT WILL BE MADE.
- THE CONTRACTOR SHALL NOTIFY THE CITY UTILITIES DIVISION AT LEAST TWO FULL WORKING DAYS IN ADVANCE TO ARRANGE GAS SERVICE LINE ADJUSTMENTS TO BE PERFORMED BY THE CITY.
- ALL WATER METER, VALVES AND FIRE HYDRANT ADJUSTMENTS/RELOCATIONS SHALL BE PERFORMED BY THE CONTRACTOR.

CONCRETE AND ASPHALT

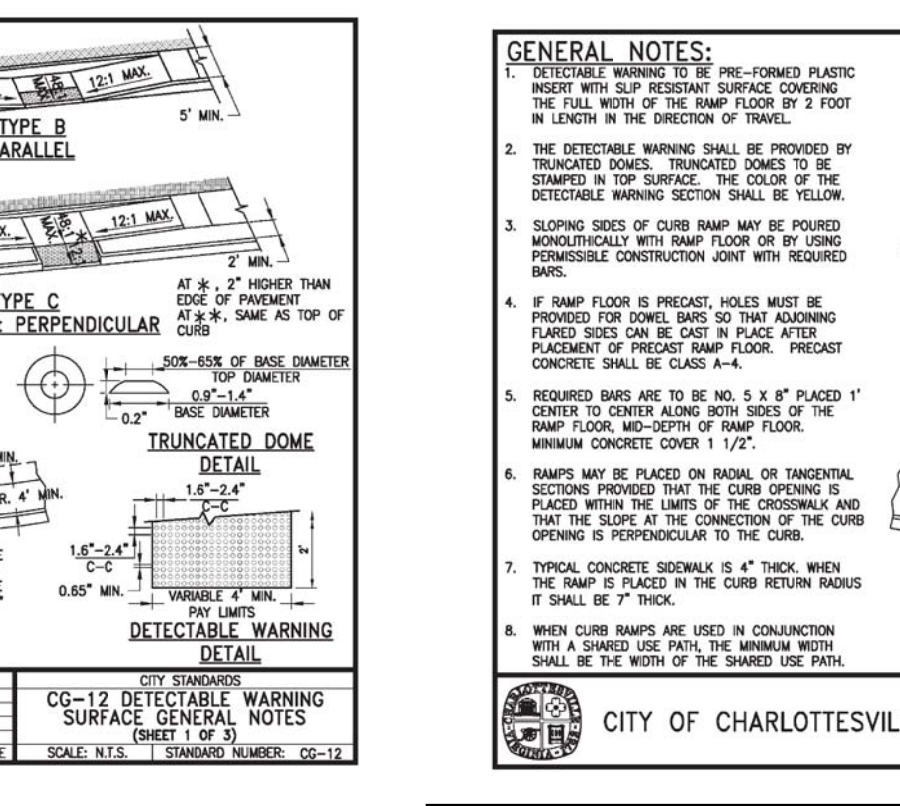
- ALL FORMS SHALL BE INSPECTED BY THE ENGINEER BEFORE ANY CONCRETE IS PLACED. THE ENGINEER MAY REQUIRE CONTRACTOR, AT NO ADDITIONAL COST, TO REMOVE AND REPLACE CONCRETE PLACED PRIOR TO OR WITHOUT SUCH INSPECTION.
- ALL MATERIAL INSIDE FORMS SHALL BE CLEAN AND FREE OF ALL ROCKS AND OTHER LOOSE DEBRIS. SUB-BASE MATERIAL SHALL BE COMPACTED BY MECHANICAL MEANS.
- CONCRETE SHALL NOT BE PLACED UNLESS THE AIR TEMPERATURE IS AT LEAST 40 DEGREES FAHRENHEIT (F) IN THE SHADE AND RISING.
- CONCRETE SHALL NOT BE PLACED UNTIL STEEL DOWELS HAVE BEEN INSTALLED IN EXISTING CONCRETE IN ACCORDANCE WITH CITY STANDARDS.
- 1/2" PREMOLDED EXPANSION JOINT MATERIAL SHALL BE PLACED AT A MAXIMUM OF 30' INTERVALS ON NEW SIDEWALK, CURB & GUTTER, AT EACH END OF DRIVEWAY ENTRANCES, AT EACH END OF HANDICAP RAMPS, SOME POINT ON ENTRANCE WALKS AND STEPS ADJUSTMENTS, AND ALONG BUILDINGS AND WALLS WHERE NEW CONCRETE SIDEWALKS ARE PLACED AGAINST THEM.
- ALL EXISTING CURBS, CURB & GUTTER, SIDEWALK AND STEPS TO BE REMOVED SHALL BE TAKEN OUT TO THE NEAREST JOINT. DEMOLITION AND DISPOSAL COST TO BE INCLUDED IN OTHER UNIT BID ITEMS. NO SEPARATE PAYMENT WILL BE MADE FOR THIS WORK.
- ALL EXISTING GRANITE CURB SHALL REMAIN THE PROPERTY OF THE CITY OF CHARLOTTEVILLE. IT SHALL BE REMOVED AND DELIVERED BY THE CONTRACTOR TO THE CITY'S PUBLIC WORKS COMPLEX. COST TO BE INCLUDED UNDER THE VARIOUS UNIT BID ITEMS. NO SEPARATE PAYMENT WILL BE MADE FOR THIS WORK.
- STREET PAVEMENT STRUCTURE AND PATCHING SHALL BE EXTENDED FROM THE FRONT OF NEW CONCRETE TO THE EXISTING PROJECTION OF THE SOUND STREET EDGE AS DIRECTED BY THE ENGINEER.
- DRIVEWAY ADJUSTMENTS ARE TO BE DONE IN GENTLE TRENCHES RATHER THAN ABRUPT BREAKS AT THE BACK OF WALKS. GRAVEL DRIVEWAYS ABOVE STREET GRADE SHALL BE PAVED FOR A MINIMUM DISTANCE OF 20' BEYOND THE BACK OF THE SIDEWALK OR CURB & GUTTER APRON WHERE APPLICABLE AFTER PERMISSION IS GRANTED BY THE OWNER.
- EXISTING ASPHALT CONCRETE PAVEMENT SHALL BE SAW CUT AND REMOVED AS PER THE SPECIFICATIONS. REMOVAL SHALL BE DONE IN SUCH A MANNER AS TO NOT TEAR, BULGE OR DISPLACE ADJACENT PAVEMENT. EDGES SHALL BE CLEAN AND VERTICAL. ALL CUTS SHALL BE PARALLEL OR PERPENDICULAR TO THE DIRECTION OF TRAFFIC.
- DISPOSAL OF ALL EXCESS MATERIAL IS THE RESPONSIBILITY OF CONTRACTOR.

DRAINAGE

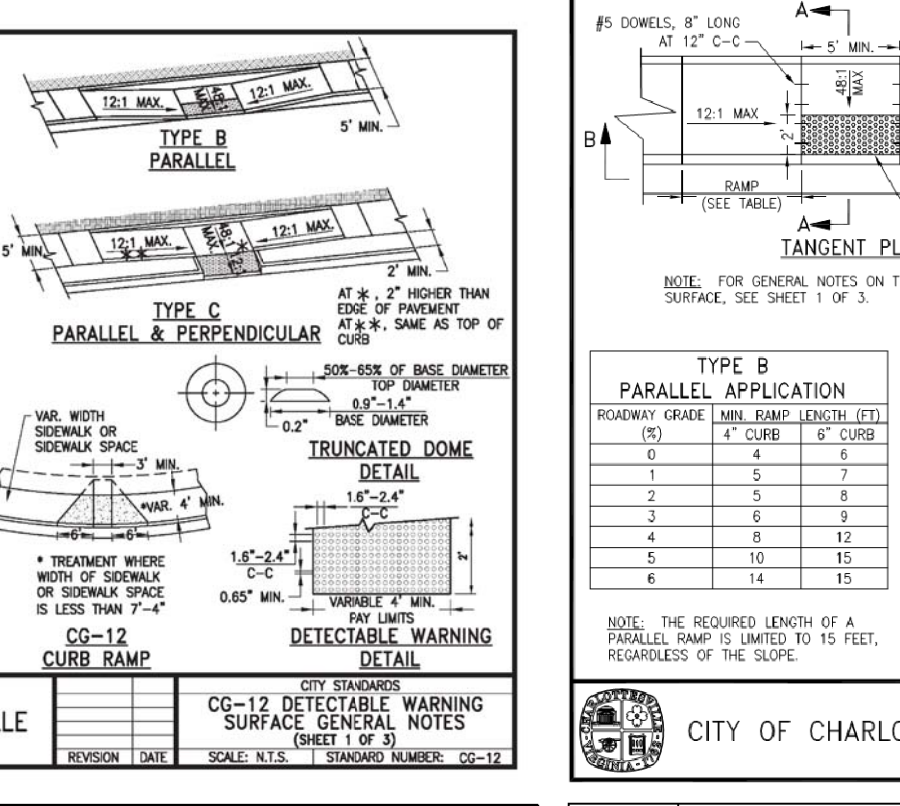
- CONTRACTOR SHALL EXERCISE CARE, ESPECIALLY AT INTERSECTIONS AND GUTTER LINES, TO PROVIDE POSITIVE DRAINAGE. ANY AREAS WHERE WATER IS IMPOUNDED SHALL BE CORRECTED BY CONTRACTOR AT NO ADDITIONAL COST. POSITIVE DRAINAGE OF ALL ROADWAY AREAS TO THE STORM DRAIN INLETS OR OTHER ACCEPTABLE DRAINAGE CHANNELS AS NOTED ON THE PLANS IS REQUIRED.
- CONTRACTOR SHALL MAINTAIN EXISTING STREAMS, DITCHES, DRAINAGE STRUCTURES, CULVERTS AND FLOWS AT ALL TIMES DURING THE WORK. CONTRACTOR SHALL PAY FOR ALL PERSONAL INJURY AND PROPERTY DAMAGE WHICH MAY OCCUR AS A RESULT OF FAILING TO MAINTAIN ADEQUATE DRAINAGE.
- ALL PIPES, D'S AND OTHER STRUCTURES SHALL BE INSPECTED BY THE ENGINEER BEFORE BEING BACKFILLED OR BURIED. THE ENGINEER MAY REQUIRE CONTRACTOR, AT NO ADDITIONAL COST, TO UNCOVER AND RE-COVER SUCH STRUCTURES IF THEY HAVE BEEN BACKFILLED OR BURIED WITHOUT SUCH INSPECTION.
- ALL CATCH BASINS ENCOMPASSED WITHIN NEW CONSTRUCTION SHALL BE CONVERTED TO DROP INLETS.
- CLASS 1 RIP RAP MODIFICATIONS ALLOWS FOR A REDUCTION IN STONE DEPTH FROM 2.0' TO A MINIMUM OF 1.0' AS DIRECTED BY THE ENGINEER.
- REMOVED PIPE SHALL BE THE PROPERTY OF CONTRACTOR AND IF NOT SALVAGED FOR RE-USE, SHALL BE DISPOSED OF LAWFULLY.
- ALL STORM SEWER PIPE AND DROP INLETS SHALL BE CLEARED OF DEBRIS AND ERODED MATERIAL PRIOR TO FINAL ACCEPTANCE.
- ALL STORM SEWER PIPE JOINTS SHALL BE SEATED AND SEALED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- ALL EXISTING ROOF DRAINS AND OTHER DRAINAGE CONDUIT TIED INTO EXISTING PIPE SHALL BE TIED INTO NEW PIPE WHERE MODIFICATIONS ARE PROPOSED.



CITY OF CHARLOTTEVILLE

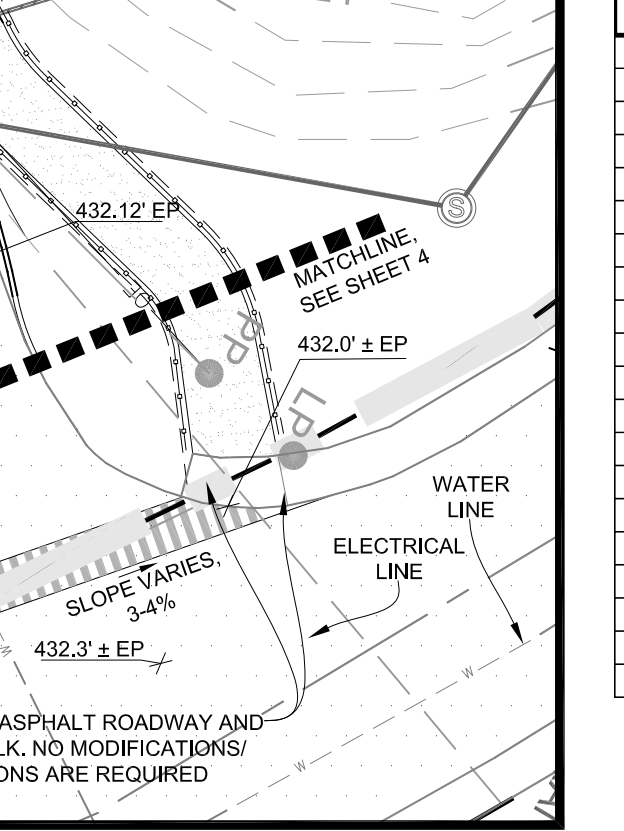


CITY OF CHARLOTTEVILLE



CITY OF CHARLOTTEVILLE

ADA ACCESSIBLE RAMP & ROUTE DETAIL- PROPOSED SOUTHERN PARKING AREA, SCALE 1"=20'



ADA ACCESSIBLE RAMP & ROUTE DETAIL- PROPOSED SOUTHERN PARKING AREA, SCALE 1"=20'

Design Year	10	Project	Seminole Sq.	Job #:	112070	Prepared by:	FGM, PE										
18	440.00	11.96	15	0.06	0.000	0.0	1.5	0.0	0.00	0	0	0.01	0.01	N/A	0.01	440.01	444.70

DRAINAGE DESCRIPTIONS

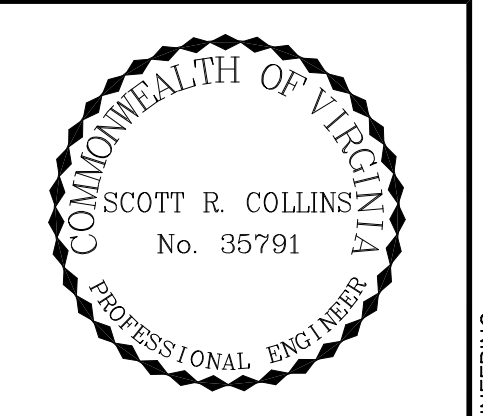
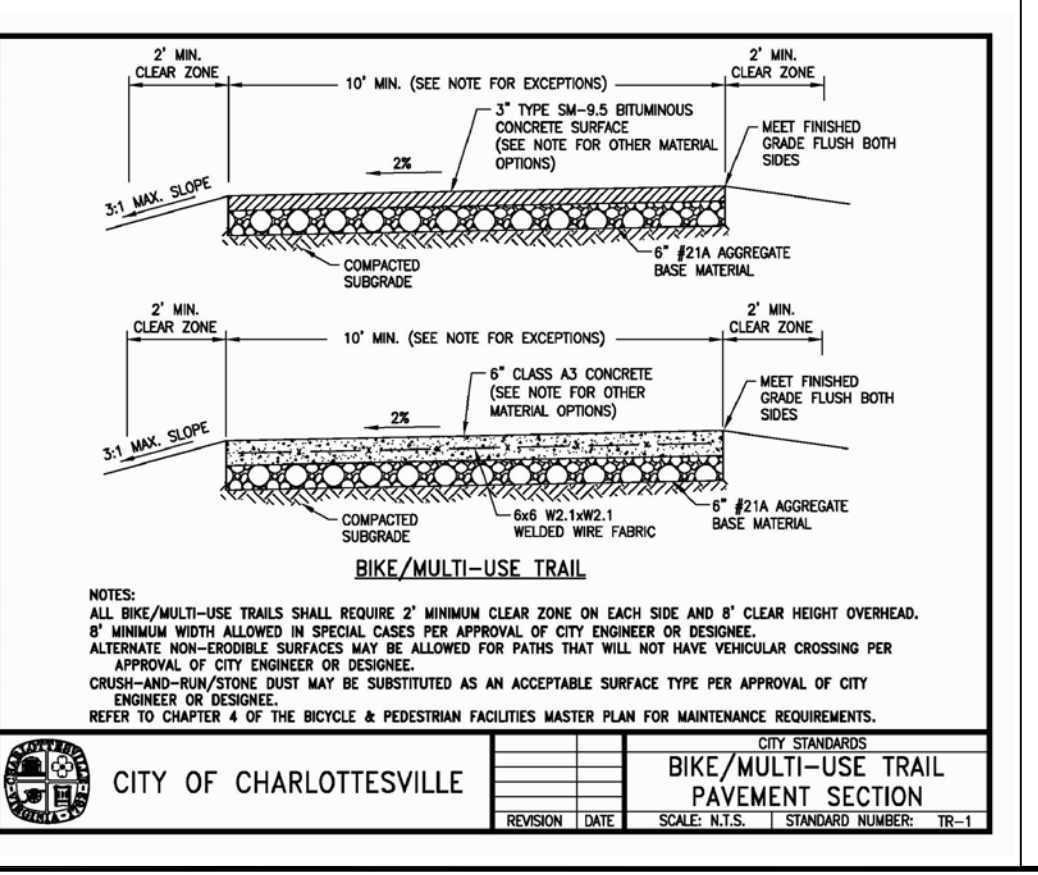
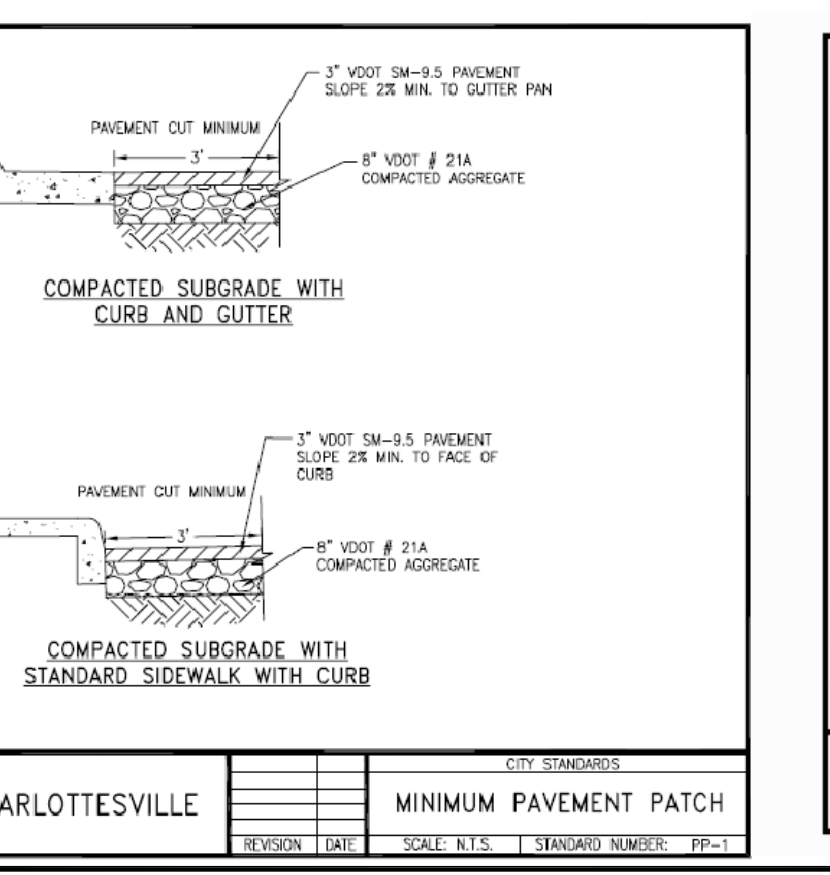
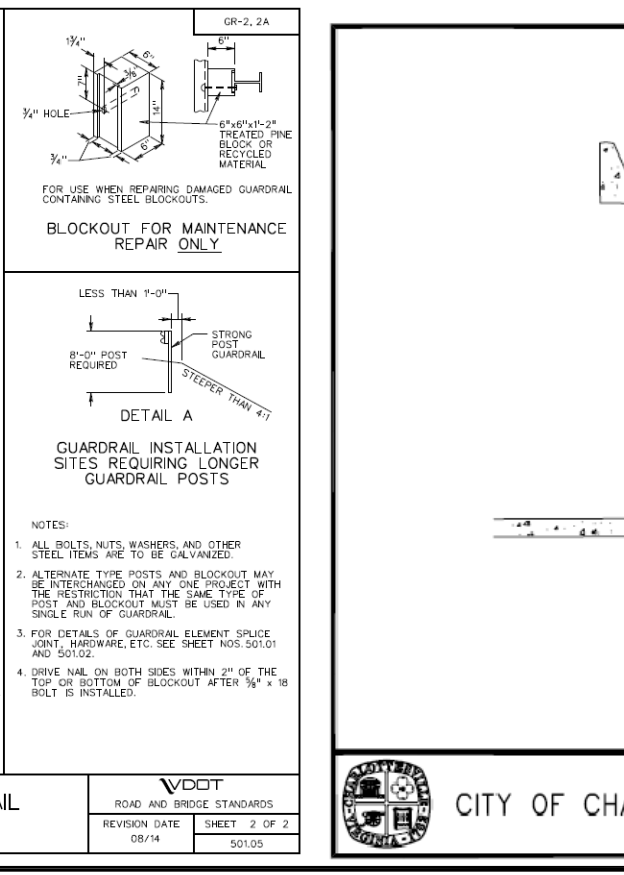
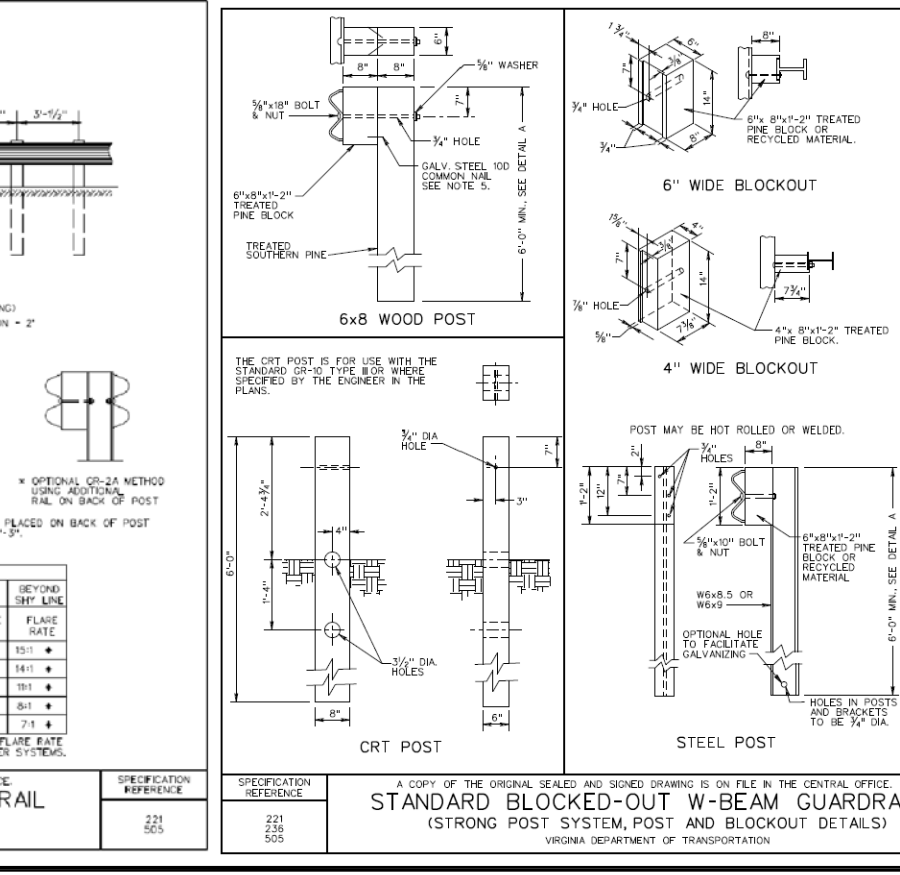
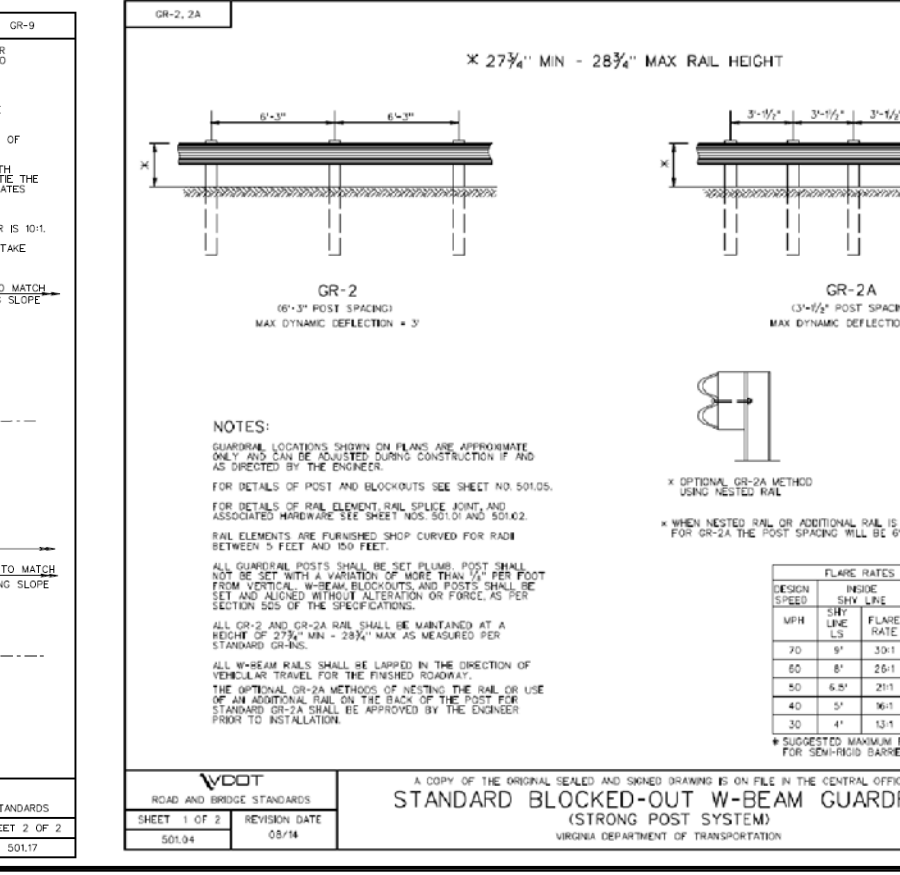
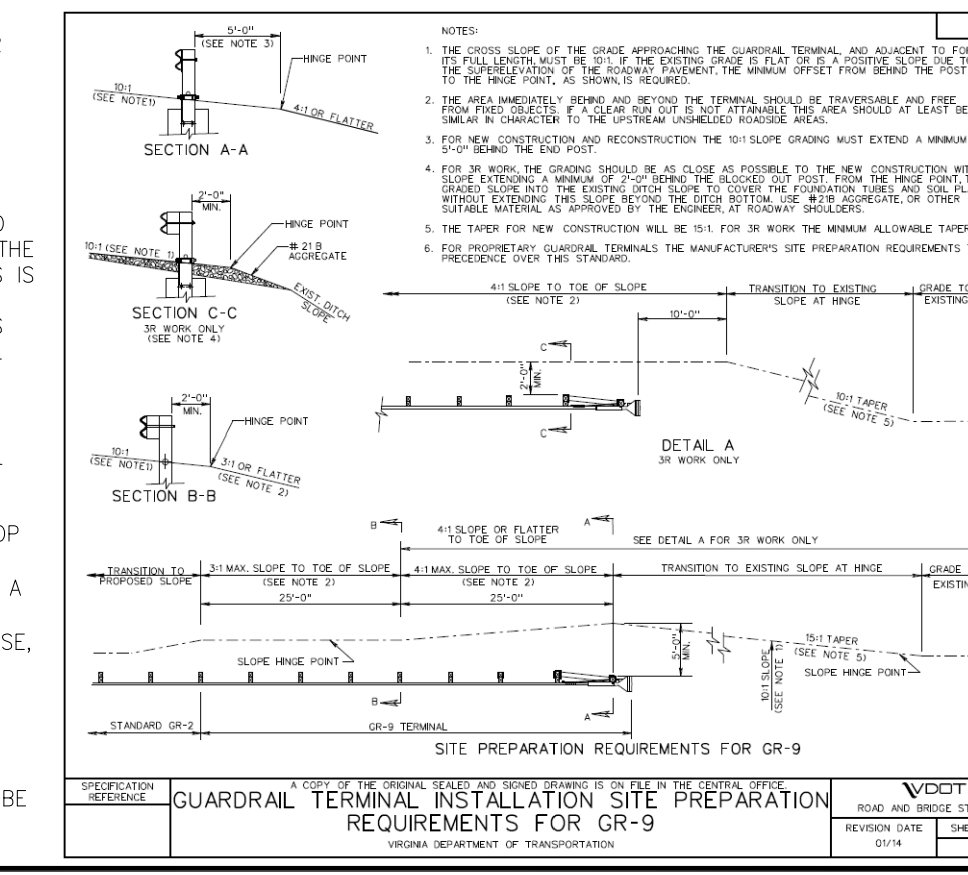
STR. NO.	PIPE INFORMATION				INLET INFORMATION		COMMENTS	
	DIA. (in.)	LENGTH (ft)	SLOPE (%)	INVERT IN	INVERT OUT	MATERIAL		
12	15	29.37	0.70	441.92	441.71	RCP3	VDOT STD. IS-1 REQ'D	
11	15	11.51	1.28%	449.35	447.83	RCP3	VDOT STD. IS-1 REQ'D	
14	18	83.32	6.63%	429.27	423.75	RCP3	VDOT STD. IS-1 REQ'D	
EX2-16	18	83.32	6.63%	429.27	423.75	RCP3	VDOT STD. IS-1 REQ'D	
16	15	24	34.96	3.58%	418.00	416.75	RCP3	VDOT STD. IS-1 REQ'D
EXA-16	24	28.23	8.78%	424.23	421.75	RCP3	VDOT STD. IS-1 REQ'D	
18	17	15	11.96	1.00%	439.12	439.00	RCP3	VDOT STD. IS-1 REQ'D

INLETS IN SUMP, DESIGN (CURB SPREAD AND INLET SPREAD AND DEPTH)

Plan Label	VDOT ID Type	L. Inlet Length (ft)	Hydrology		Curb and Gutter		Inlet	
			Flow (cfs)	Velocity (ft/s)	Flow (cfs)	Velocity (ft/s)	Flow (cfs)	Velocity (ft/s)
STR 12	DI-3C	10.0	2.8	0.77	0.04	1.0000	4.81	0.77

INLETS IN SUMP, DESIGN (CURB SPREAD AND INLET SPREAD AND DEPTH)

Plan Label	VDOT ID Type	L. Inlet Length (ft)	Hydrology		Curb and Gutter		Inlet	
			Flow (cfs)	Velocity (ft/s)	Flow (cfs)	Velocity (ft/s)	Flow (cfs)	Velocity (ft/s)
STR 12	DI-3C	10.0	4.6	0.69	0.04	1.0000	5.77	0.69



REVISIONS

REVISION SUBMITTAL	DATE	DESCRIPTION
INITIAL SUBMITTAL	3/15/16	REVISIONS PER COMMENTS DATED 5/25/16
1	7/22/16	REVISED PLANS PER COMMENTS DATED 9/2/16
2	10/14/16	REVISED PLANS PER COMMENTS DATED 12/17/16
3	1/16/17	REVISED PLANS PER COMMENTS DATED 12/21/17
4	3/6/18	REVISED PLANS PER COMMENTS DATED 12/22/17

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SEMINOLE SQUARE EXPANSION SITE PLAN AMENDMENT

NOTES, DETAILS & CALCULATIONS

PROJECT: 112070

SCALE: AS SHOWN

SHEET NO.: 5

NOT FOR CONSTRUCTION

REVISIONS

REVISION DESCRIPTION	DATE
INITIAL SUBMITTAL	2/21/18
REVISED PER CITY OF CHARLOTTEVILLE COMMENTS	5/16/18

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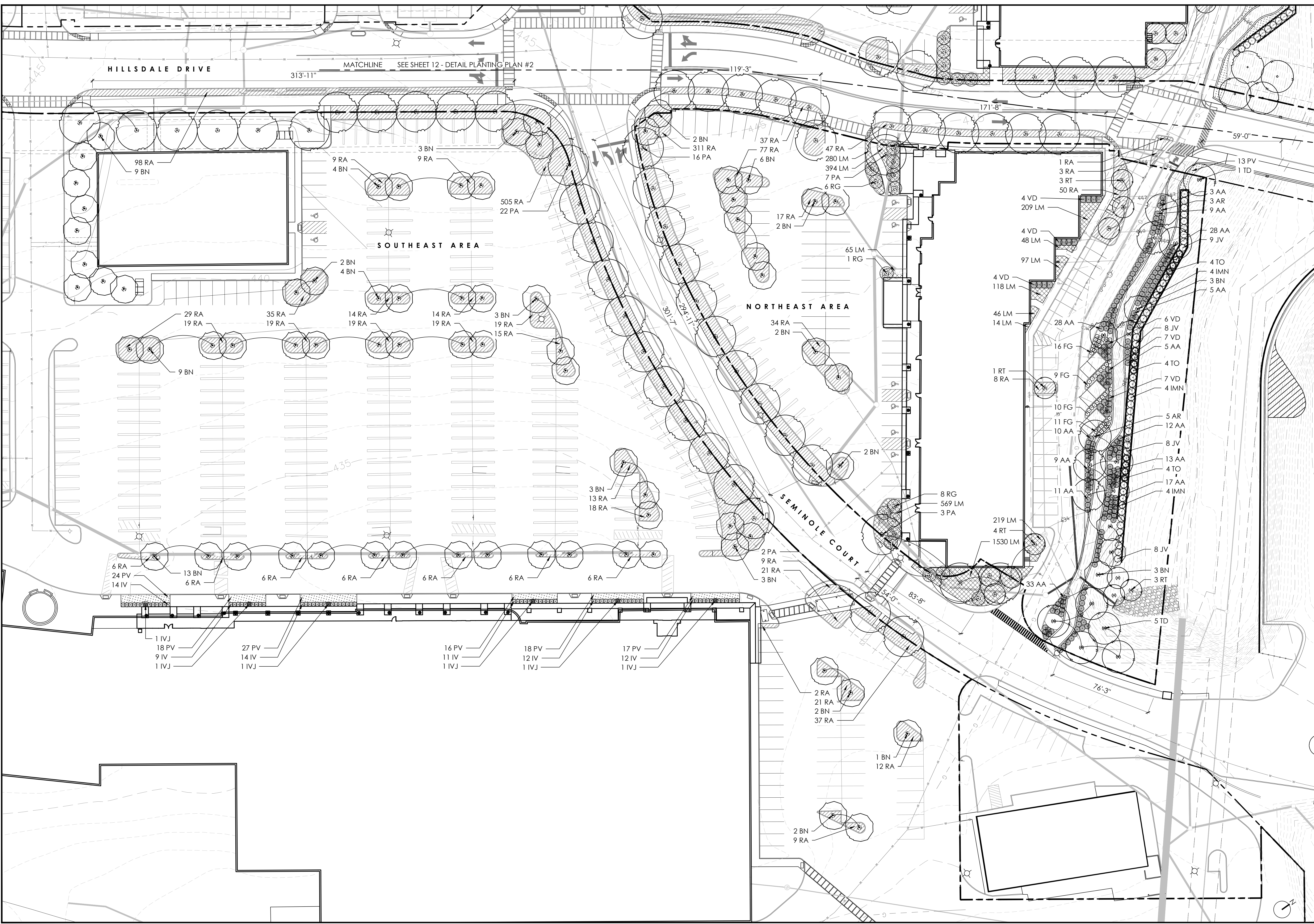
200 GARRETT STREET, SUITE K - CHARLOTTEVILLE, VA 22902 - 434.293.3719

SEMINOLE SQUARE REDEVELOPMENT - PRELIMINARY SITE PLAN

DETAIL PLANTING PLAN #1

PROJECT	182142
JOB NO.	182142
SCALE	1:30
SHEET NO.	11

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NOT FOR CONSTRUCTION

REVISIONS

DATE	REVISION DESCRIPTION
2/21/18	INITIAL SUBMITTAL
5/16/18	REVISED PER CITY OF CHARLOTTEVILLE COMMENTS

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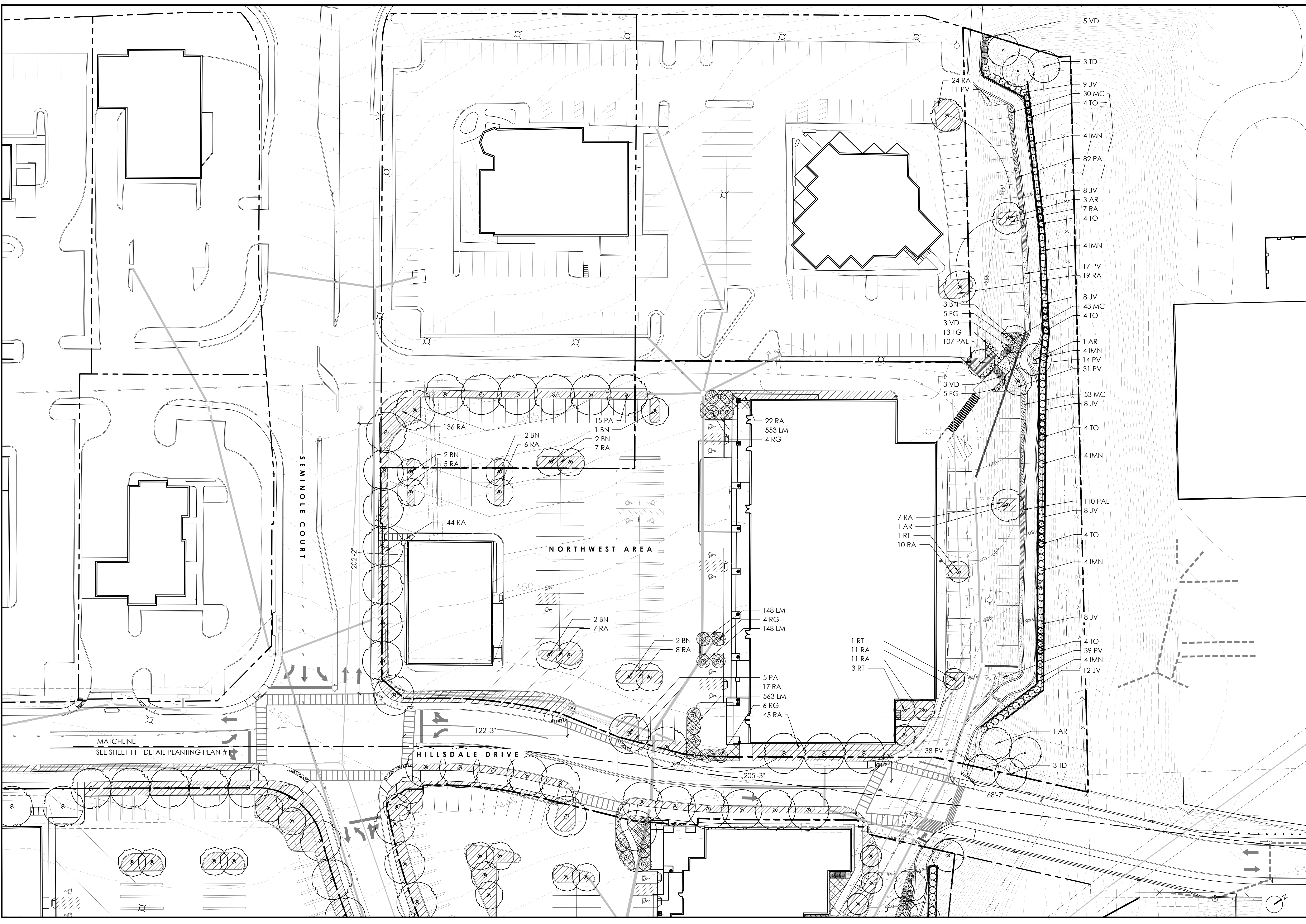
200 GARRETT STREET, SUITE K - CHARLOTTEVILLE, VA 22902 - 434.293.3719

SEMINOLE SQUARE REDEVELOPMENT - PRELIMINARY SITE PLAN

DETAIL PLANTING PLAN #2

PROJECT	182142
JOB NO.	182142
SCALE	1:30
SHEET NO.	12

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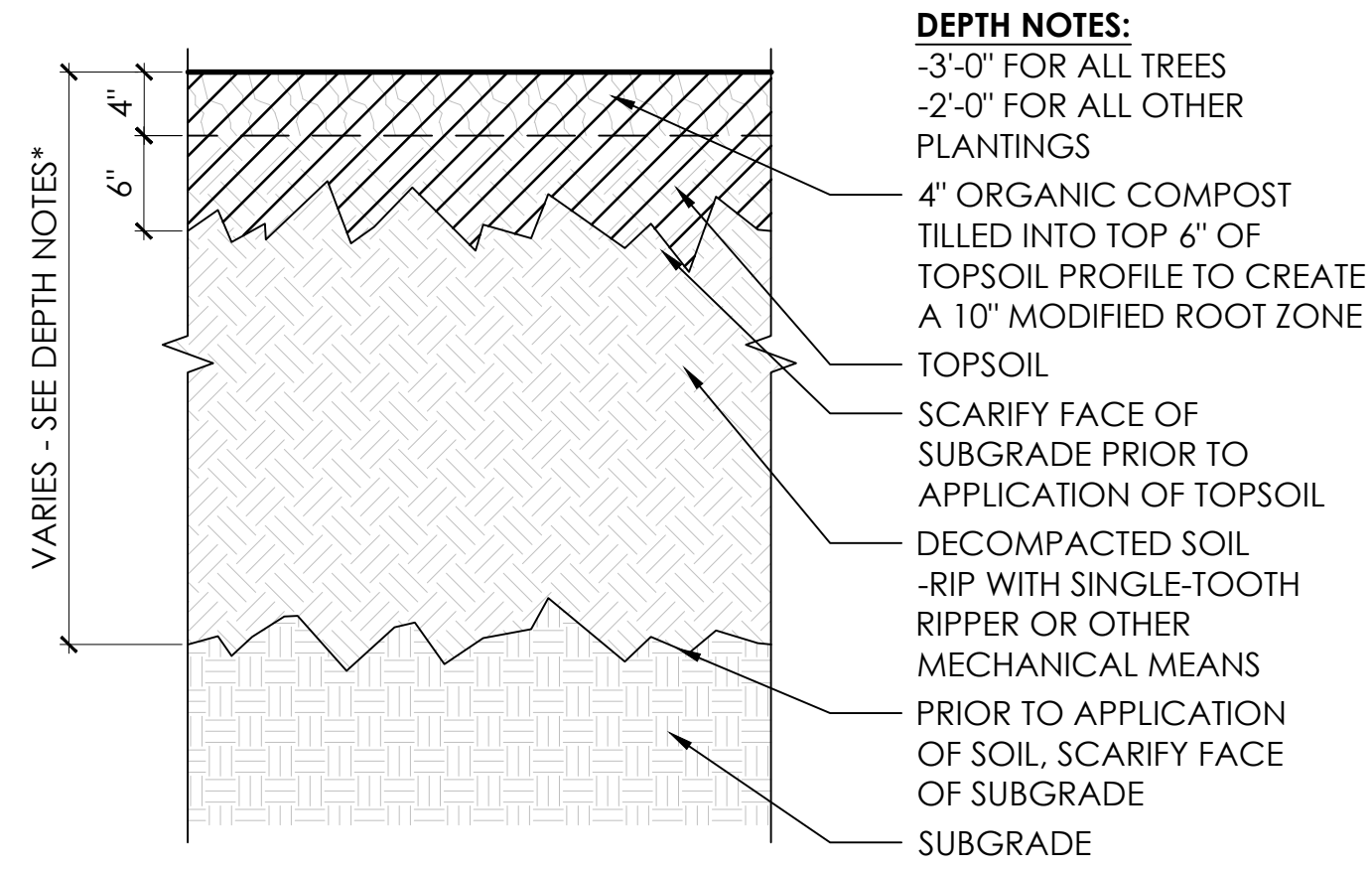


MATCHLINE
SEE SHEET 11 - DETAIL PLANTING PLAN #

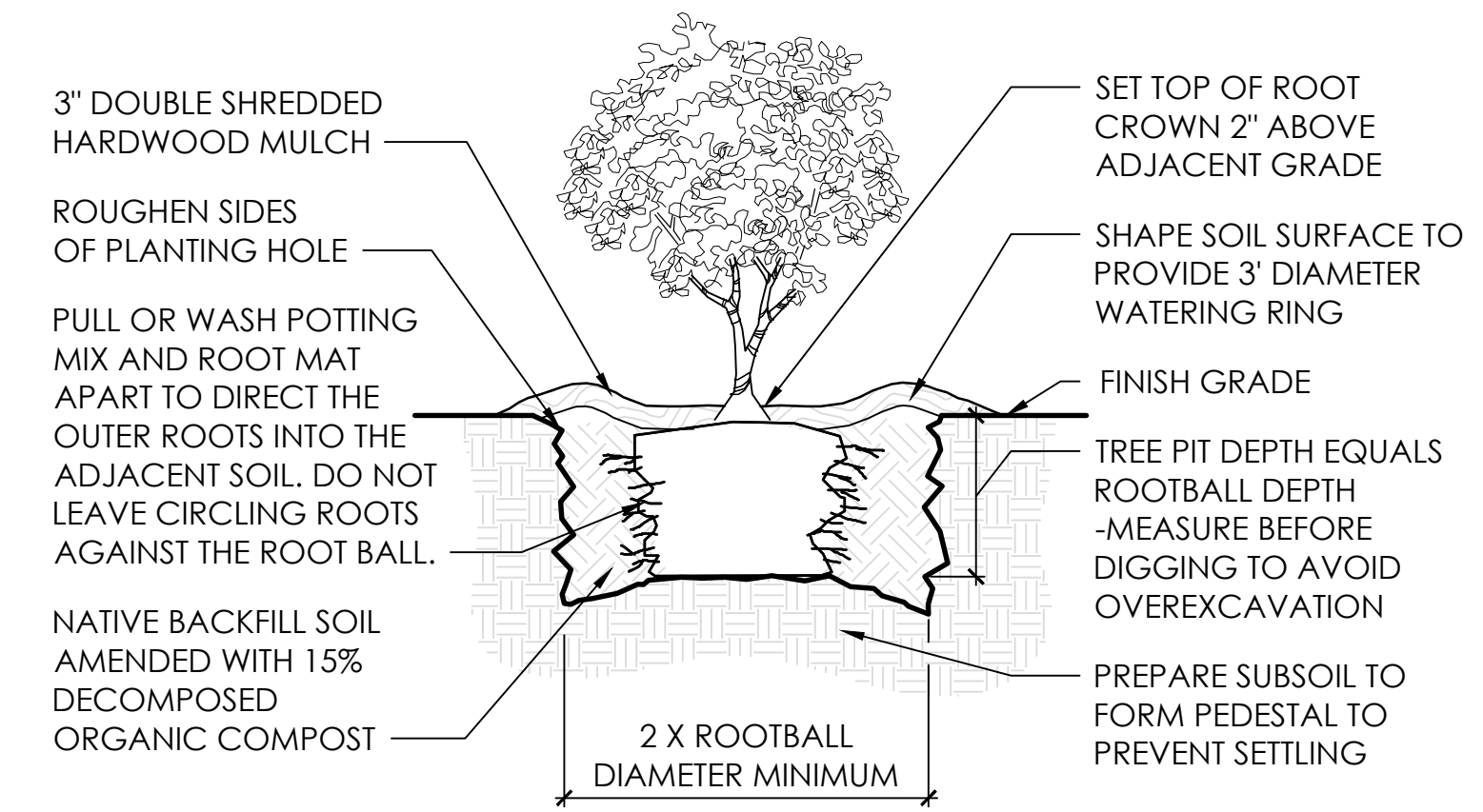
SEMINOLE COURT

NORTHWEST AREA

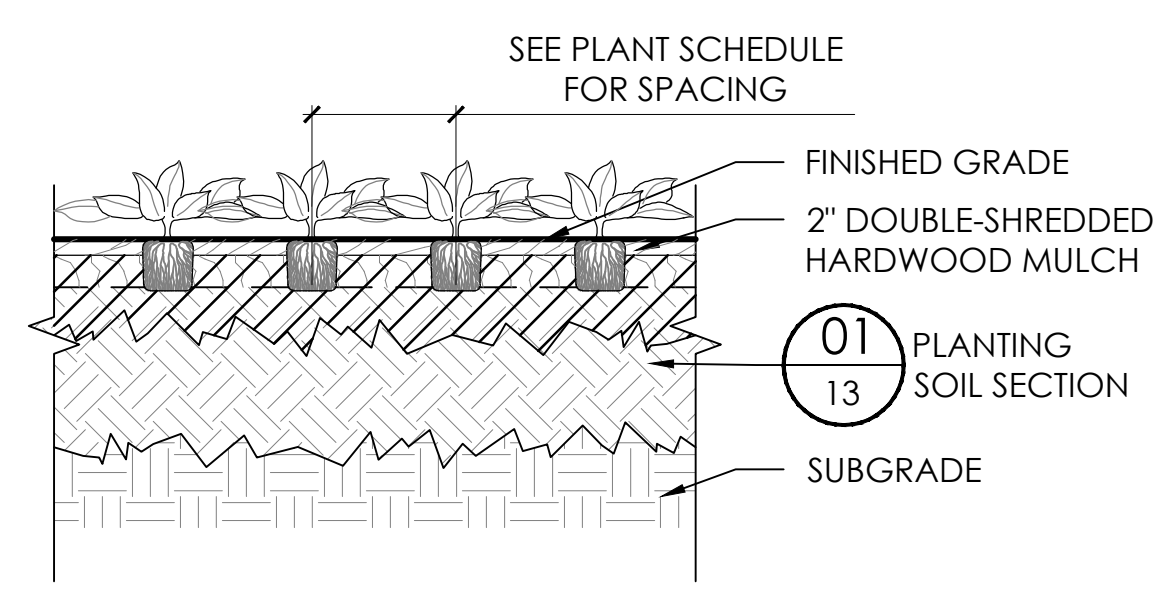
HILLSDALE DRIVE



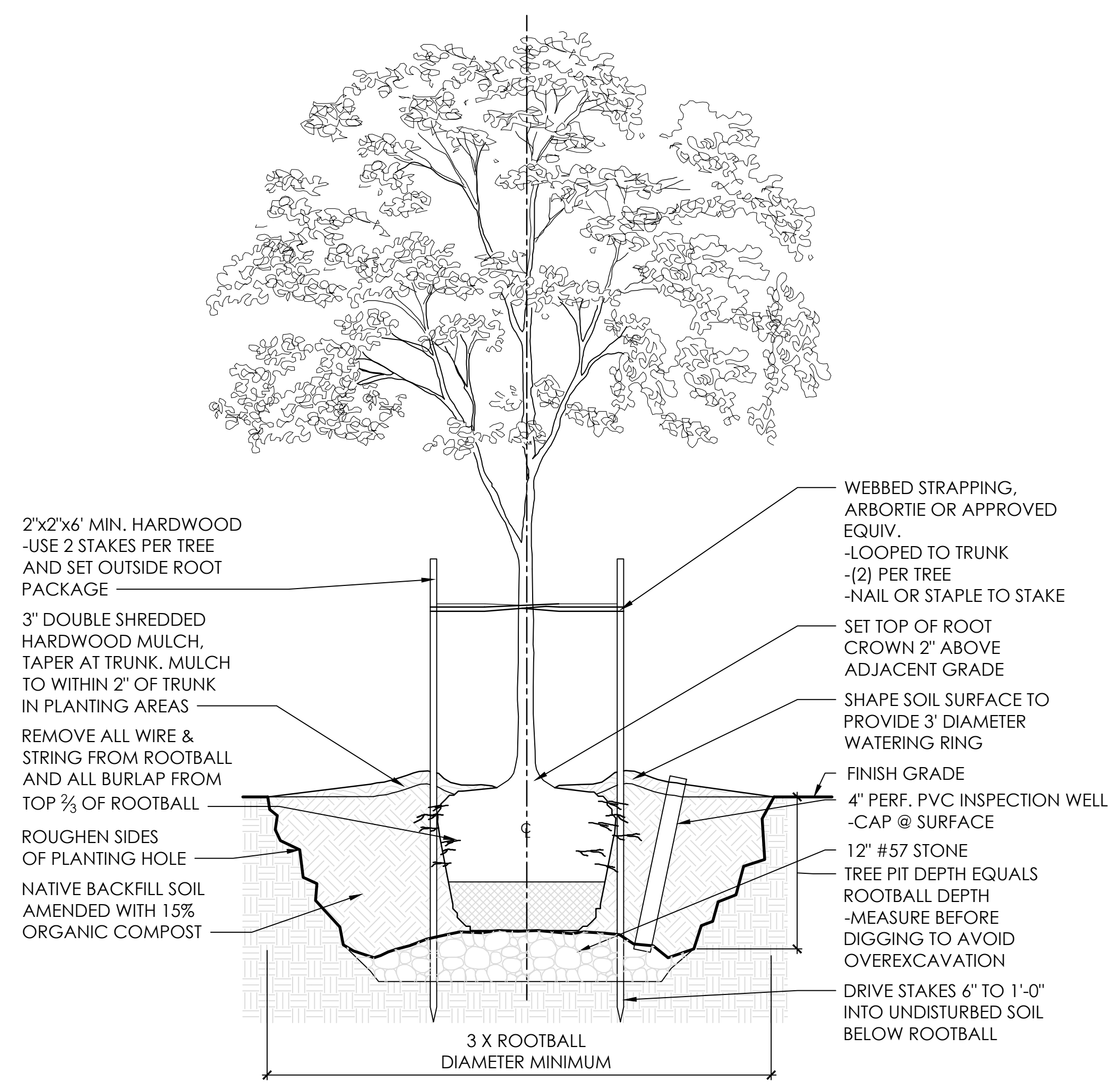
01 PLANTING SOIL SECTION
 SCALE: 1" = 1'-0"



02 SHRUB PLANTING SECTION
 SCALE: 1/2" = 1'-0"



03 PERENNIAL & GROUND COVER PLANTING - SECTION
 SCALE: 1/2" = 1'-0"



04 TREE PLANTING SECTION
 SCALE: 1/2" = 1'-0"

PLANT SCHEDULE

QTY.	SYMBOL	Scientific Name	Common Name	Size	Spacing	Root	Notes	20 Year Canopy
TREES								
14	AR	<i>Acer rubrum</i> 'Red Sunset'	Red Maple	2 1/2' Cal.	AS SHOWN	B&B	Well branched, straight dominant leader	707
92	BN	<i>Betula nigra</i> 'Heritage'	River Birch	2 1/2' Cal.	AS SHOWN	B&B	3-5 Stems, full	672
36	IMN	<i>Ilex x 'Mary Nell'</i>	Mary Nell Holly	4'-5' Ht.	AS SHOWN	B&B	Well branched, full to ground	90
94	JV	<i>Juniperus virginiana</i> 'Hillspire'	Eastern Red Cedar	4'-5' Ht.	AS SHOWN	B&B	Well branched, full to ground	29
70	PA	<i>Platanus x acerifolia</i> 'Bloodgood'	London Planetree	3' Cal.	AS SHOWN	B&B	Well branched, straight dominant leader	655
16	RT	<i>Rhus typhina</i>	Staghorn Sumac	1 1/2' Cal.	AS SHOWN	B&B	Well branched	547
36	TO	<i>Thuja occidentalis</i> 'Smaragd'	Arborvitae	4'-5' Ht.	AS SHOWN	B&B	Well branched, full to ground	19
12	TD	<i>Taxodium distichum</i>	Bald Cypress	7'-8' Ht.	AS SHOWN	B&B	Well branched, straight dominant leader	132
ORNAMENTAL GRASSES & SHRUBS								
183	AA	<i>Aronia arbutifolia</i> 'Brilliantissima'	Red Chokeberry	18"-24" Ht.	48" O.C.	3 Gal.		
69	FG	<i>Fothergilla gardenii</i>	Dwarf Witchhazel	18"-24" Ht.	36" O.C.	3 Gal.		
70	IV	<i>Ilex verticillata</i> 'Red Sprite'	Winterberry	24" Ht.	36" O.C.	3 Gal.		
6	IVJ	<i>Ilex verticillata</i> 'Jim Dandy'	Winterberry	24" Ht.	36" O.C.	3 Gal.	Male Species for Pollination	
125	MC	<i>Muhlenbergia capillaris</i>	Pink Muhly Grass	24" Ht.	24" O.C.	1 Gal.		
299	PAL	<i>Pennisetum alopecuroides</i> 'Little Bunny'	Fountain Grass	24" Ht.	18" O.C.	1 Gal.		
284	PV	<i>Panicum virgatum</i> 'Shenandoah'	Switchgrass	24" Ht.	36" O.C.	1 Gal.		
2218	RA	<i>Rhus aromatica</i> 'Gro-Low'	Fragrant Sumac	15" Ht.	48" O.C.	3 Gal.		
29	RG	<i>Rhus glabra</i> 'Lacinata'	Smooth Sumac	24" Ht.	AS SHOWN	3 Gal.		
43	VD	<i>Viburnum dentatum</i>	Arrowwood Viburnum	18"-24" Ht.	48" O.C.	3 Gal.		
GROUNDCOVERS & PERENNIALS								
5000	LM	<i>Liriope muscari</i> 'Big Blue'	Lilyturf		12" O.C.	3 QT.		

PLANTING NOTES

- CONTRACTOR SHALL VERIFY PLANT MATERIAL QUANTITIES SOWN ON PLAN WITH TOTALS IN PLANTING SCHEDULE. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO FINAL BIDDING. UNITS PRICES BE SUBMITTED AS PART OF FINAL BID.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE (1) FULL YEAR AND SHALL BE IN A HEALTHY GROWING CONDITION. PLANT MATERIALS WHICH DO NOT FULFILL THIS GUARANTEE SHALL BE REPLACED AT NO COST TO THE OWNER. REPLACEMENT SHALL BE GUARANTEED THROUGHOUT THE ORIGINAL GUARANTEE PERIOD. PLANTS THAT DIE SHALL BE REPLACED IMMEDIATELY.
- CONTRACTOR IS RESPONSIBLE FOR WATERING, WEEDING, PEST CONTROL, AND FERTILIZATION OF ALL PLANT MATERIAL UNTIL, a.) UPON FINAL ACCEPTANCE IS ISSUED BY LANDSCAPE ARCHITECT AND/OR OWNER, AND b.) THE CONTRACTOR PROVIDES OWNER WRITTEN NOTIFICATION OF ALL MAINTENANCE NEEDS OF ALL SCOPE ASSOCIATED WITH THE PLANTING PLAN(S) CONTRACT DOCUMENTS. CONTRACTOR SHALL NOT ASSUME IRRIGATION SYSTEM IS FULLY OPERATIONAL AT THE COMPLETION OF THE PLANTING INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING MISS UTILITY PRIOR TO THE BEGINNING OF CONSTRUCTION FOR LOCATION OF ALL UTILITY LINES. TREES SHALL BE LOCATED A MINIMUM OF FIVE (5) FEET FROM SEWER/WATER CONNECTIONS. NOTIFY LANDSCAPE ARCHITECT OF CONFLICTS.
- THE LANDSCAPE ARCHITECT IS THE OWNER'S REPRESENTATIVE AND SHALL BE THE APPROVING AUTHORITY FOR INFORMATION PROVIDED WITHIN THESE PLANS AND SPECIFICATIONS.
- ALL PLANT MATERIALS, TOPSOIL, MULCH, FERTILIZERS, SOIL AMENDMENTS, PLANTING SUPPLIES, AND METHODS SHALL BE SUBJECT TO LANDSCAPE ARCHITECTS APPROVAL. REJECTED MATERIALS SHALL BE REMOVED FROM THE SITE WITHOUT DELAY AT NO EXPENSE TO THE OWNER.
- CONTRACTOR SHALL LAYOUT AND MARK LOCATION FOR ALL PLANT MATERIAL, AND IMPROVEMENTS SHOWN AND SHALL REQUEST IN FIELD APPROVAL FROM LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS AND PLANTING METHODS SHALL CONFORM TO A.A.N. STANDARDS.
- BEDS TO CONTAIN SHRUBS, PERENNIALS, ORNAMENTAL GRASSES, OR PERENNIALS SHALL BE TILLED TO A DEPTH OF 12" AND THE SOIL CONDITIONED BY ADDING 3" OF A U.S. COMPOSTING COUNCIL APPROVED COMPOST.
- ALL PLANTING BED AREAS SHALL BE COVERED WITH A 3" MINIMUM LAYER OF MEDIUM TEXTURED SHREDDED HARDWOOD MULCH UNLESS OTHERWISE NOTED.
- ALL SUBSTITUTIONS OF PLANT MATERIAL SHALL BE REQUESTED IN WRITING TO THE LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER OR THE OWNER'S REPRESENTATIVE.
- ALL PLANTING OPERATIONS SHALL BE UNDER THE SUPERVISION OF AN EXPERIENCED PLANTSMAN.
- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO SELECT PLANT MATERIALS IN THE NURSERY.
- FOR TREES BALLED IN WIRE BASKETS, CUT AND REMOVE TOP AND SIDES OF BASKET AFTER INSTALLATION.
- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT AND PLANTS AND MATERIALS THAT ARE IN AN UNHEALTHY OR UNSIGHTLY CONDITION, AS WELL AS PLANTS AND MATERIALS THAT DO NOT CONFORM TO A.A.N. STANDARDS.
- SOIL SHALL BE FREE OF ALL WEEDS AND ROCKS GREATER THAN 1" IN DIAMETER.
- PLANT SIZES, QUANTITIES, AND SPECIES WILL BE CHECKED BY MUNICIPALITY INSPECTION FOR COMPLIANCE WITH PLANT SCHEDULE AS APPROVED BY THE MUNICIPALITY. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR DELAY IN ISSUANCE OF CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY RESULTING FROM UNAUTHORIZED SUBSTITUTIONS OR DOWNSIZING.
- UPON COMPLETION OF LANDSCAPE INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR WHO WILL VERIFY COMPLETENESS, INCLUDING THE REPLACEMENT OF ALL DEAD PLANT MATERIAL, AND SCHEDULE A FINAL INSPECTION FOR ACCEPTANCE BY OWNER.
- CONTRACTOR SHALL REMOVE TREE STAKING AT THE END OF THE ONE YEAR WARRANTEE PERIOD.

CALCULATIONS

34-869 - TREE COVER REQUIREMENTS	
REQUIREMENT:	CANOPY COVER AT 20 YEARS EQUALS 10% GROSS SITE AREA
SITE DATA:	670,190 SQUARE FEET GROSS SITE AREA
TOTAL TREE CANOPY REQUIRED:	67,019 SQUARE FEET
TOTAL TREE CANOPY AT 20 YEARS PROVIDED:	134,558 SQUARE FEET
34-870 - STREETScape TREES	
REQUIREMENT:	1 TREE PER 40 FEET OF PUBLIC ROAD FRONTAGE
Hillsdale Drive along Southeast Area	314 LINEAR FEET
TOTAL TREES REQUIRED:	8 LARGE SHADE TREES
TOTAL TREES PROVIDED:	11 LARGE SHADE TREES
Hillsdale Drive along Northeast Area	350 LINEAR FEET
TOTAL TREES REQUIRED:	9 LARGE SHADE TREES
TOTAL TREES PROVIDED:	11 LARGE SHADE TREES
Hillsdale Drive along Northwest Area	398 LINEAR FEET
TOTAL TREES REQUIRED:	10 LARGE SHADE TREES
TOTAL TREES PROVIDED:	7 LARGE SHADE TREES
Seminole Court along Southeast Area	356 LINEAR FEET
TOTAL TREES REQUIRED:	9 LARGE SHADE TREES
TOTAL TREES PROVIDED:	13 LARGE SHADE TREES
Seminole Court along Northeast Area	455 LINEAR FEET
TOTAL TREES REQUIRED:	11 LARGE SHADE TREES
TOTAL TREES PROVIDED:	15 LARGE SHADE TREES
Seminole Court along Northwest Area	202 LINEAR FEET
TOTAL TREES REQUIRED:	5 LARGE SHADE TREES
TOTAL TREES PROVIDED:	7 LARGE SHADE TREES
34-873 - PARKING LOTS - SCREENING AND INTERIOR LANDSCAPING	
REQUIREMENT:	A CONTINUOUS LANDSCAPE BUFFER 10' IN WIDTH & 3 STREET PLANTINGS FOR EVERY 15 FEET OF ROAD FRONTAGE
Hillsdale Drive along SE Area Buffer Front age	127 LINEAR FEET
BUFFER REQUIRED:	25 STREET PLANTINGS
BUFFER PROVIDED:	12 TREES & 98 SHRUBS
Hillsdale Drive along NE Area Buffer Front age	104 LINEAR FEET
BUFFER REQUIRED:	21 STREET PLANTINGS
BUFFER PROVIDED:	12 TREES & 84 SHRUBS
Hillsdale Drive along NW Area Buffer Front age	36 LINEAR FEET
BUFFER REQUIRED:	7 STREET PLANTINGS
BUFFER PROVIDED:	7 TREES & 62 SHRUBS
Seminole Court along SE Area Buffer Front age	306 LINEAR FEET
BUFFER REQUIRED:	61 STREET PLANTINGS
BUFFER PROVIDED:	12 TREES & 280 SHRUBS
Seminole Court along NE Area Buffer Front age	284 LINEAR FEET
BUFFER REQUIRED:	57 STREET PLANTINGS
BUFFER PROVIDED:	17 TREES & 236 SHRUBS
Seminole Court along NW Area Buffer Front age	108 LINEAR FEET
BUFFER REQUIRED:	22 STREET PLANTINGS
BUFFER PROVIDED:	7 TREES & 98 SHRUBS
REQUIREMENT:	5% OF THE GROSS AREA OF A PARKING LOT SHALL BE LANDSCAPED WITH TREES OR SHRUBS
SITE DATA:	311,580 SQUARE FEET
TOTAL LANDSCAPED AREA REQUIRED:	15,579 SQUARE FEET
TOTAL LANDSCAPED AREA PROVIDED:	16,770 SQUARE FEET
REQUIREMENT:	PER 8 PARKING SPACES
SITE DATA:	884 PARKING SPACES
TOTAL TREES REQUIRED:	111
TOTAL TREES PROVIDED:	119
TOTAL SHRUBS REQUIRED:	332
TOTAL SHRUBS PROVIDED:	553

NOT FOR CONSTRUCTION

REVISIONS

REVISION DESCRIPTION	DATE
INITIAL SUBMITTAL	2/21/18
REVISED PER CITY OF CHARLOTTEVILLE COMMENTS	5/16/18

COLLINS ENGINEERING

200 GARRETT STREET, SUITE K - CHARLOTTEVILLE, VA 22902 - 434.293.3719

SEMINOLE SQUARE REDEVELOPMENT - PRELIMINARY SITE PLAN

PLANT SCHEDULE, NOTES, DETAILS, & CALCULATIONS

JOB NO.	182142
SCALE	AS SHOWN
SHEET NO.	13

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TECHLIGHT

LHSWP Small Cutoff LED Wall Pack

PHOTOMETRICS

LUMINAIRE CHARACTERISTICS

BUG RATINGS (BACKLIGHT, UPLIGHT AND GLARE)

ORDERING INFORMATION

Series	Mounting Height	Length & Width
LHSWP	5.67'	6.17' x 5.57'

NOTES:

- LAMP TYPE SHALL BE A LED WHITE LIGHT TO CREATE A UNIFIED COOL WHITE LIGHTING ACROSS THE SITE.

LHSWP Small Cutoff LED Wall Pack

PHOTOMETRICS

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LIGHT FIXTURE "WP1"

NOTES:

- LAMP TYPE SHALL BE A LED WHITE LIGHT TO CREATE A UNIFIED COOL WHITE LIGHTING ACROSS THE SITE.

FC Lighting

FCW1020

ORDERING

Series	Voltage	Mounting Height	Length & Width	Beam Spread	Optics	Drive Current	Voltage	Finish
FCW1020	120V	120"	18" x 18"	30°	IC	1.0A	120V	Black

SPECIFICATION

NOTES:

- LAMP TYPE SHALL BE LED WHITE LIGHT TO CREATE A UNIFIED COOL WHITE LIGHTING ACROSS THE SITE.
- FIXTURES SHALL BE BRONZE IN COLOR.

POLE LIGHT FIXTURE "SA"

NOTES:

- LAMP TYPE SHALL BE LED WHITE LIGHT TO CREATE A UNIFIED COOL WHITE LIGHTING ACROSS THE SITE.
- FIXTURES SHALL BE BRONZE IN COLOR.

NOTES:

- ALL POLE LIGHTS SHALL BE 20' FROM THE GROUND TO THE PROPOSED LIGHT FIXTURE. THE 20' HEIGHT SHALL INCLUDE THE BASE OF THE POLE.
- ALL LIGHT FIXTURES SHALL HAVE A FLAT LENS.
- LAMP TYPE SHALL BE LED WHITE LIGHT TO CREATE A UNIFIED COOL WHITE LIGHTING ACROSS THE SITE.
- FIXTURES SHALL BE BRONZE IN COLOR.

SiteLyte Series

Direct Pole-Mounted Luminaire

Applications

Construction

Optics

Electrical

Mounting

Warranty/Listing

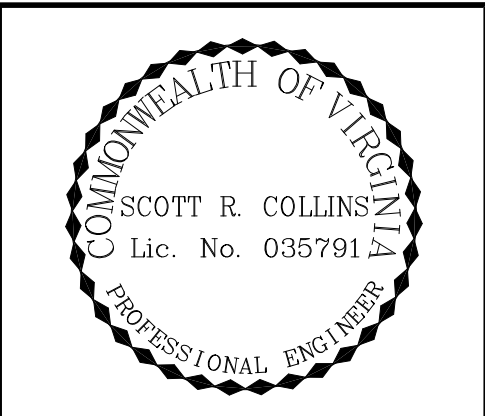
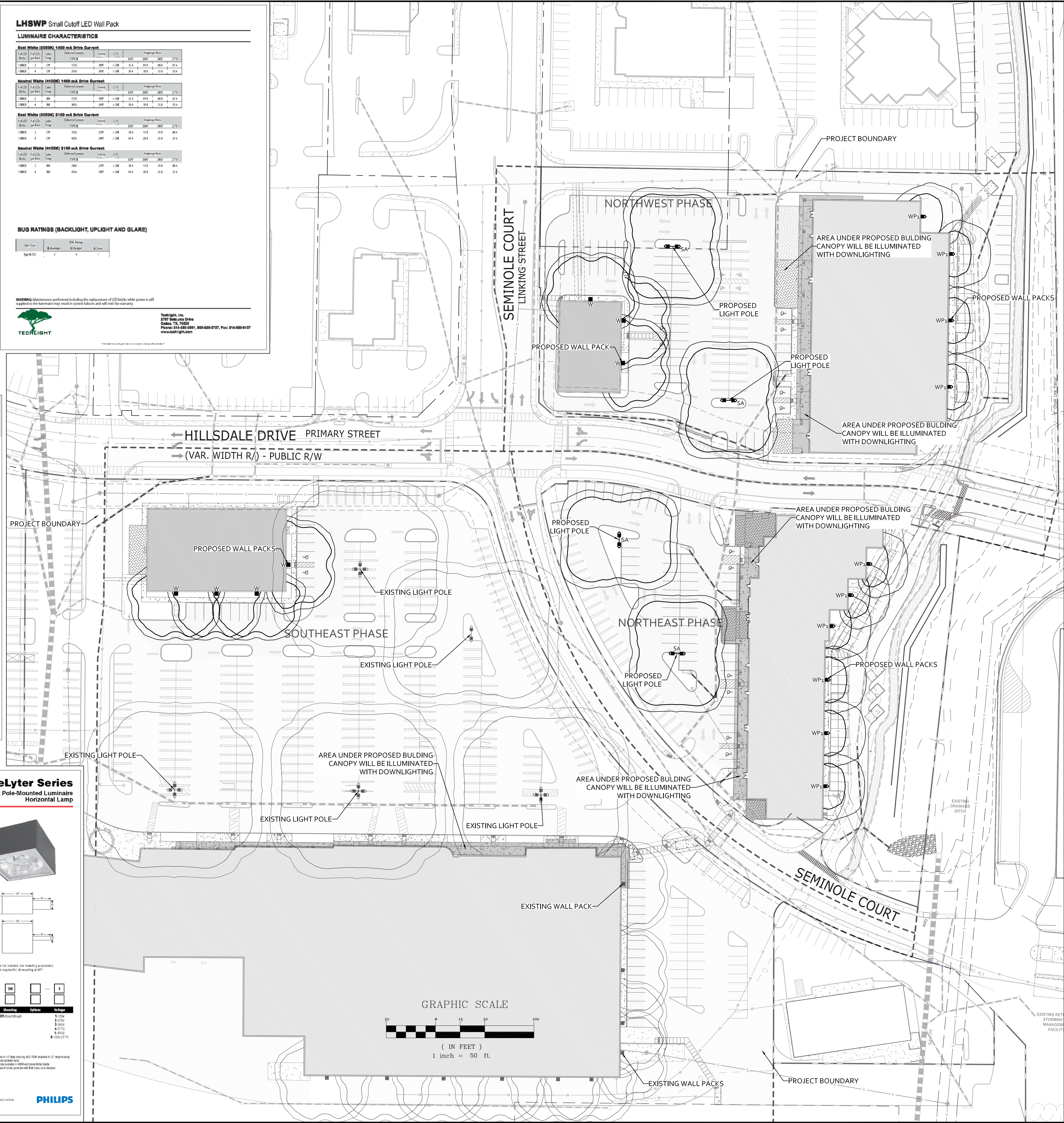
Ordering Guide Example: S1402R3AC24-8

Series	Lamp Configuration	Mounting	Beam Spread	Optics	Mounting	Optics	Voltage
S1402R	Rectangular Lamp	2-1/2" x 1-1/2"	30°	IC	DR	Direct Mount	120V

PHILIPS

NOTE:

- EACH OUTDOOR LUMINAIRE EQUIPPED WITH A LAMP THAT EMITS 3,000 OR MORE INITIAL LUMENS SHALL BE A FULL CUTOFF LUMINAIRE AND SHALL BE ARRANGED OR SHIELDED TO REFLECT LIGHT AWAY FROM ADJOINING RESIDENTIAL DISTRICTS AND AWAY FROM ADJACENT ROADS. THE SPILLOVER OF LIGHTING FROM LUMINARIES ONTO PUBLIC ROADS AND PROPERTY IN RESIDENTIAL OR RURAL AREAS ZONING DISTRICTS SHALL NOT EXCEED ONE-HALF FOOTCANDLE.



REVISIONS

REVISION DESCRIPTION	DATE
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COLLINS ENGINEERING

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SEMIMOLE SQUARE REDEVELOPMENT - PRELIMINARY SITE PLAN

LIGHTING PLAN

PROJECT

JOB NO.

182142

SCALE

1"=50'

SHEET NO.

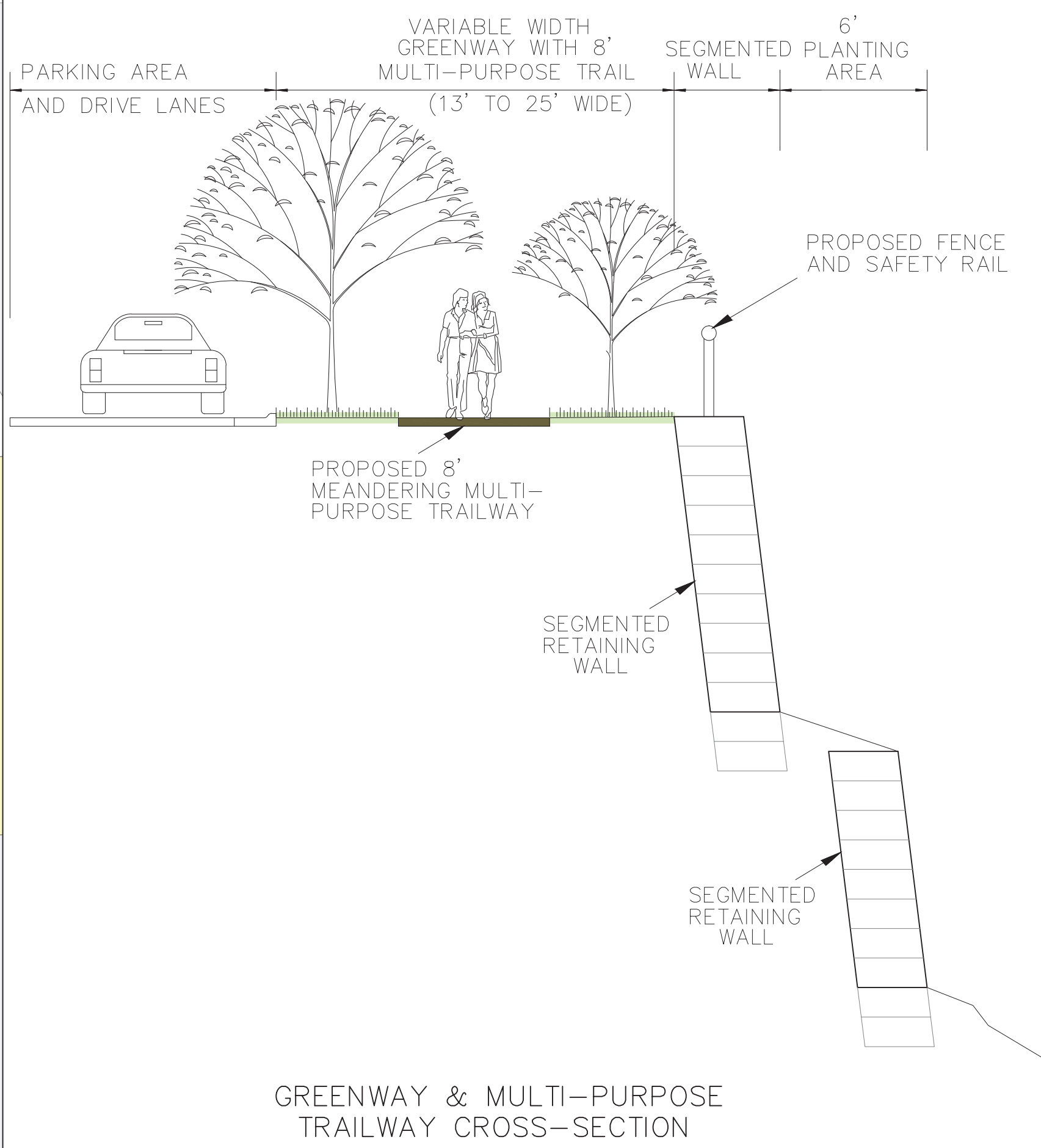
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PROPOSED SEMINOLE SQUARE & PEPSI TRAILWAY EXHIBIT

COLLINS ENGINEERING
200 GARRETT STREET, SUITE K, CHARLOTTEVILLE, VIRGINIA 22902 OFFICE: 434-293-3729

PROPOSED 8' MULTI-PURPOSE TRAILWAY CONNECTION TO ROUTE 29 SIDEWALK

ROUTE 29



SEMINOLE SQUARE SHOPPING CENTER

POST OFFICE

MULTI-PURPOSE TRAILWAY CROSSING AT HILLSDALE WITH FLASHING SIGNAL

PROPOSED 8' MULTI-PURPOSE TRAILWAY AND GREENWAY SYSTEM

HILLSDALE DRIVE

PROPOSED PEPSI EXPANSION

PEPSI BOTTLING COMPANY

MULTI-USE TRAILWAY CONNECTION TO SIDEWALK SYSTEM

PROPOSED PEDESTRIAN PATHWAY AND CROSSINGS

PROPOSED VARIABLE WITH ACCESS AND CONSTRUCTION EASEMENT - DEDICATED TO CITY OF CHARLOTTEVILLE

PROPOSED CHARLOTTEVILLE MULTI-USE PATHWAY ALONG MEADOW CREEK

CITY OF CHARLOTTEVILLE PROPERTY

MEADOW CREEK

LIMITS OF PROPERTY DONATED TO THE CITY OF CHARLOTTEVILLE BY PEPSI BOTTLING COMPANY IN 2009

GRAPHIC SCALE

