#### **Agenda**

#### PLANNING COMMISSION REGULAR DOCKET TUESDAY, July 14, 2020 at 5:30 P.M. Virtual Meeting

I. Commission Pre-Meeting (Agenda discussion(s))

Beginning: 5:00 p.m.

Location: (Electronic/Virtual)

**II.** Commission Regular Meeting

Beginning: 5:30 p.m.

Location: (Electronic/Virtual)

- A. COMMISSIONERS' REPORTS
- B. UNIVERSITY REPORT
- C. CHAIR'S REPORT
- D. DEPARTMENT OF NDS
- E. MATTERS TO BE PRESENTED BY THE PUBLIC NOT ON THE FORMAL AGENDA
- F. CONSENT AGENDA

(Items removed from the consent agenda will be considered at the end of the regular agenda)

- 1. Site Plan 612 West Main Street
- 2. Site Plan 167 Chancellor

#### III. JOINT MEETING OF COMMISSION/ COUNCIL

Beginning: 6:00 p.m.

Continuing: until all public hearings are completed Format: (i) Staff Report, (ii) Applicant, (iii) Hearing

- 1. Community Development Block Grant Coronavirus (CDBG-CV) Funding, FY 20-21: The Planning Commission and City Council are considering projects to be undertaken in the amended Fiscal Year 2021 Action Plan of the multi-year Consolidated Plan utilizing CDBG-CV funds for the City of Charlottesville in response to the growing effects of the historic public health crisis. In Fiscal Year 20-21 it is expected that the City of Charlottesville will receive about \$246,699 in Community Development Block Grant Coronavirus (CDBG-CV) funds from the Department of Housing and Urban Development HUD authorized by the Coronavirus Aid, Relief, and Economic Security Act (CARES Act). CDBG-CV grants will be used to facilitate projects to prevent, prepare for, and respond to coronavirus. Information pertaining to this application may be viewed online at <a href="https://www.charlottesville.gov/agenda">www.charlottesville.gov/agenda</a>. Persons interested in this item may contact Grants Coordinator Erin Atak by e-mail (<a href="https://atake@charlottesville.gov">atake@charlottesville.gov</a>).
- **2. ZM19-00004 909 Landonia Circle** Landowner Long Street LLC, by its member Stockbridge OPCO LLC, has submitted an application seeking a rezoning for a lot, having an area of approximately 0.6790 acres, identified within City tax records as Tax Parcel Identification No. 490079000 ("Subject Property") and having an address of 909 Landonia Circle. The Subject Property has approximately 378 feet of frontage on Landonia Circle. The rezoning application proposes to change the zoning district classification of the Subject Property from B-1 Business to B-2 Business subject to a proffered development condition ("Proffer"). The Proffer states the following shall not be permitted on the Subject Property: Amusement Center; Auditoriums, Theaters; Bowling Alleys; Clubs, Private; Dry Cleaning Establishments; Movie Theaters; Dance Hall / all night; Pharmacies >1,700 SF, GFA. The Comprehensive Land Use Map for this area calls for Low Density Residential Development. Information pertaining to this application may be viewed online at <a href="https://www.charlottesville.gov/agenda">www.charlottesville.gov/agenda</a>. Persons interested in this Rezoning may contact NDS Planner Joey Winter by e-mail (winterj@charlottesville.gov)

#### IV. COMMISSION'S ACTION ITEMS

Continuing: until all action items are concluded.

#### V. FUTURE MEETING SCHEDULE/ADJOURN

Tuesday, August 11, 2020 – 5:00 PM	Pre- Meeting	
Tuesday, August 11, 2020 – 5:30 PM	Regular Meeting	Minutes – June 9, 2020 – Pre- meeting and Regular meeting Site Plan and Entrance Corridor – Chick-fil- A Barracks Rd Site Plan – Kappa Kappa Gamma (503 Rugby Rd) Cville Plans Together – Project Update and Housing Discussion. Presentation: JAUNT

#### **Anticipated Items on Future Agendas**

Zoning Text Amendments —Off-street parking facilities requirements along streets designated as "framework streets" (initiated May 8, 2018), Site Plan Requirements, Accessory Dwelling Unit, Middle Density zoning and Affordable Dwelling Unit

Comp Plan Amendment - Small Area Plan - Cherry Avenue, Community Vision Plan - Starr Hill

#### PLEASE NOTE: THIS AGENDA IS SUBJECT TO CHANGE PRIOR TO THE MEETING.

<u>PLEASE NOTE</u>: We are including suggested time frames on Agenda items. These times are subject to change at any time during the meeting.

Individuals with disabilities who require assistance or special arrangements to participate in the public meeting may call the ADA Coordinator at (434) 970-3182 or submit a request via email to <a href="mailto:ada@charlottesville.gov">ada@charlottesville.gov</a>. The City of Charlottesville requests that you provide a 48 hour notice so that proper arrangements may be made.

During the local state of emergency related to the Coronavirus (COVID19), City Hall and City Council Chambers are closed to the public and meetings are being conducted virtually via a Zoom webinar. The webinar is broadcast on Comcast Channel 10 and on all the City's streaming platforms including: Facebook, Twitter, and www.charlottesville.gov/streaming. Public hearings and other matters from the public will be heard via the Zoom webinar which requires advanced registration here: <a href="www.charlottesville.gov/zoom">www.charlottesville.gov/zoom</a>. You may also participate via telephone and a number is provided with the Zoom registration or by contacting staff at 434-970-3182 to ask for the dial in number for each meeting.

#### CITY OF CHARLOTTESVILLE





#### APPLICATION FOR APPROVAL OF A PRELIMINARY SITE PLAN

#### PLANNING COMMISSION REGULAR MEETING

DATE OF MEETING: July 14, 2020

**Project Planner:** Brian Haluska, AICP **Date of Staff Report:** June 25, 2020

**Development:** 602-616 West Main Street (Tax Map 29 Parcel 3)

**Applicant:** Heirloom West Main Street Second Phase, LLC **Applicant's Representative(s):** Craig Kotarski, Timmons Group

Current Property Owner: Heirloom West Main Street Second Phase, LLC

Applicable City Code Provisions: 34-800 – 34-827 (Site Plans)

Zoning District: West Main Street East Corridor with Architectural Design Control District and Parking

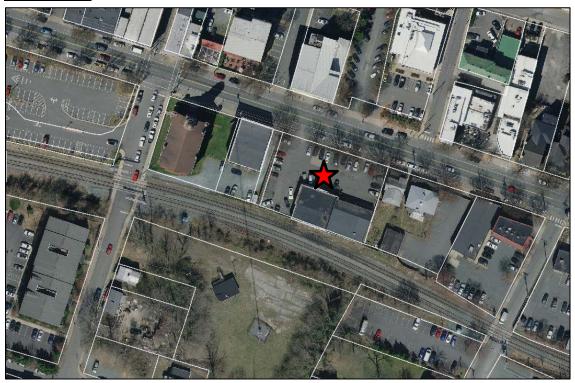
**Modified Overlay** 

**Reason for Planning Commission Review:** Preliminary site plans associated with a property which has a Special Use Permit (SUP) are subject to review by the Planning Commission.

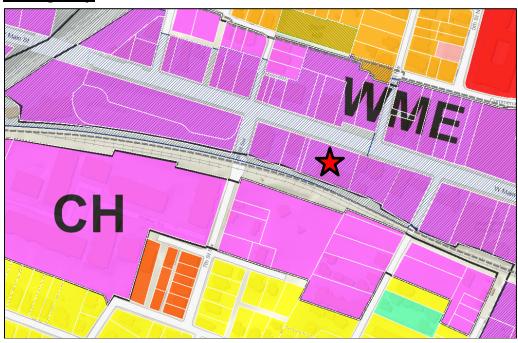
#### **Vicinity Map**



#### 2018 Aerial



#### **Zoning Map**



KEY – Magenta (WME): West Main Street East; Magenta (CH): Cherry Avenue Corridor; Yellow: R-1S – Single-Family, Low-Density Residential; Light Orange: R-2 – Two-Family, Low-Density Residential; Deep Orange: R-3 – Multi-Family, High-Density Residential; Aqua Blue: Planned Unit Development; Pink: B-1 – Commercial; Red: B-3 - Commercial

#### **Standard of Review**

Approval of a site plan is a ministerial function, as to which the Planning Commission has little or no discretion. When an applicant has submitted a site plan that complies with the requirements of the City's Site Plan Ordinance, then approval of the plan must be granted. In the event the Planning Commission determines there are grounds upon which to deny approval of a site plan, the motion must clearly identify the deficiencies in the plan, that are the basis for the denial, by reference to specific City Code sections and requirements. Further, upon disapproval of a site plan, the Planning Commission must identify the modifications or corrections that would permit approval of the plan.

#### **Summary**

Craig Kotarski of Timmons Group, acting as agent for Heirloom West Main Street Second Phase, LLC is requesting approval of a preliminary site plan to construct a mixed-use development with 45 residential dwelling units and, 6,700 square feet of retail space at 602-616 West Main Street (TMP 29-3). City Council approved a Special use Permit (SP19-00003) with conditions on October 7, 2019.

#### **Site Plan Compliance**

Site plans are reviewed for compliance with City codes and standards. An overview of site plan requirements and the location of those items on the site plan are outlined below.

#### **Site Plan Requirements**

A. Compliance with applicable zoning district regulation West Main East Corridor (per Sections 34-636 through 34-643)

The property is zoned West Main East Corridor. The project complies with all requirements of the district.

- **B.** Compliance with the City's Erosion and Sediment Control ordinance, Chapter 10

  The applicant's erosion and sediment control plan will be submitted and reviewed during final site plan submission. The applicant will be required to comply with staff comments.
- C. Compliance with General Standard for site plans (Sections 34-800 34-827)
  - General site plan information, including but not limited to project, property, zoning, site, and traffic information: Found on Sheet CO.O.
  - 2. Existing condition and adjacent property information: **Found on Sheet C2.0.**

- 3. Phasing plan: The project will be constructed in one phase.
- 4. Topography and grading: Found on Sheet C4.0.
- 5. Existing landscape and trees: **Found on Sheet C2.0.**
- 6. The name and location of all water features: **Not applicable to this site.**
- 7. One hundred-year flood plain limits: **Not applicable to this site.**
- 8. Existing and proposed streets and associated traffic information: **Found on Sheets C4.0 & C0.0.**
- 9. Location and size of existing water and sewer infrastructure: **Found on Sheet C2.0.**
- 10. Proposed layout for water and sanitary sewer facilities and storm drain facilities: **Found of Sheets C4.0.**
- 11. Location of other existing and proposed utilities and utility easements: **Found on Sheet C4.0.**
- 12. Location of existing and proposed ingress to and egress from the property, showing the distance to the centerline of the nearest existing street intersection: **Found on Sheet C4.0.**
- 13. Location and dimensions of all existing and proposed improvements: **Found on Sheet C4.0.**
- 14. All areas intended to be dedicated or reserved for public use: **Found on Sheet C4.0 (Sidewalks).**
- 15. Landscape plan: Found on Sheet L1.0.
- 16. Where deemed appropriate by the director due to intensity of development:
  - a. Estimated traffic generation figures for the site based upon current ITE rates: **Found on Sheet CO.0**
- D. Additional information to be shown on the site plan as deemed necessary by the director or Commission in order to provide sufficient information for the director or Commission to adequately review the site plan.

The Special Use Permit granted by City Council on October 7, 2019 includes the following conditions, which are provided on **Sheet C0.1** of the preliminary site plan.

- 1. The specific development being approved by this special use permit ("Project"), as described within the site plan exhibit required by City Code §34-158(a)(1), shall have the following minimum attributes/ characteristics:
  - a. Not more than one building shall be constructed on the Subject Property (the "Building"). The Building shall be a Mixed Use Building.

The site description on Page CO.0 shows one building.

b. The Building shall not exceed a height of four (4) stories.

The site description on Page C0.0 shows a four story building with a maximum height of 50 feet and 6 inches.

c. The Building shall contain no more than 55 dwelling units.

The site description on Page C0.0 shows 45 dwelling units.

d. The Building shall contain space to be occupied and used for retail uses, which shall be located on the ground floor of the Building facing West Main Street. The square footage of this retail space shall be at least the minimum required by the City's zoning ordinance.

The site description on Page C0.0 shows three commercial retail spaces totaling 6,700 square feet in space.

e. Underground parking shall be provided within a parking garage structure constructed underneath the Building serving the use and occupancy of the Building. All parking required for the Project pursuant to the City's zoning ordinance shall be located on-site. All parking required pursuant to the ordinance for the Project shall be maximized onsite to the satisfaction of the Planning Commission. No direct access shall be provided into the underground parking from the Building's street wall along West Main Street.

The plan shows a preliminary parking layout on Page C4.1, and complies with all requirements of this condition.

2. The mass of the Building shall be broken down to reflect the multi-parcel massing historically on the site, as well as the West Main Street context, using building modulation. The Building and massing refer to the historic buildings on either side.

The applicant is aware of this condition, and it will be reviewed as a part of the required Board of Architectural Review application review.

3. There shall be pedestrian engagement with the street with an active, transparent, and permeable façade at street level.

The applicant is aware of this condition, and it will be reviewed as a part of the required Board of Architectural Review application review.

4. The Landowner (including, without limitation, any person who is an agent, assignee, transferee or successor in interest to the Landowner) shall prepare a Protective Plan for the Rufus Holsinger Building located on property adjacent to the Subject Property at 620-

624 West Main Street ("Holsinger Building" or "Adjacent Property"). The Protective Plan shall provide for baseline documentation, ongoing monitoring, and specific safeguards to prevent damage to the Holsinger Building, and the Landowner shall implement the Protective Plan during all excavation, demolition and construction activities within the Subject Property ("Development Site"). At minimum, the Protective Plan shall include the following:

- a. Baseline Survey—Landowner shall document the existing condition of the Holsinger Building ("Baseline Survey"). The Baseline Survey shall take the form of written descriptions, and visual documentation which shall include color photographs and/or video recordings. The Baseline Survey shall document the existing conditions observable on the interior and exterior of the Holsinger Building, with close-up images of cracks, staining, indications of existing settlement, and other fragile conditions that are observable. The Landowner shall engage an independent third party structural engineering firm (one who has not participated in the design of the Landowner's Project or preparation of demolition or construction plans for the Landowner, and who has expertise in the impact of seismic activity on historic structures) and shall bear the cost of the Baseline Survey and preparation of a written report thereof. The Landowner and the Owner of the Holsinger Building ("Adjacent Landowner") may both have representatives present during the process of surveying and documenting the existing conditions. A copy of a completed written Baseline Survey Report shall be provided to the Adjacent Landowner, and the Adjacent Landowner shall be given fourteen (14) days to review the Baseline Survey Report and return any comments to the Landowner.
- b. Protective Plan--The Landowner shall engage the engineer who performed the Baseline Survey to prepare a Protective Plan to be followed by all persons performing work within the Development Site, that may include seismic monitoring or other specific monitoring measures of the Adjacent Property if recommended by the engineer preparing the Protective Plan, and minimally shall include installation of at least five crack monitors. Engineer shall inspect and take readings of crack monitors at least weekly during ground disturbance demolition and construction activities. Reports of monitor readings shall be submitted to the city building official and Adjacent Landowner within two days of inspection. A copy of the Protective Plan shall be provided to the Adjacent Landowner. The Adjacent Landowner shall be given fourteen (14) days to review the Report and return any comments to the Landowner.
- c. Advance notice of commencement of activity--The Adjacent Landowner shall be given 14 days' advance written notice of commencement of demolition at the Development Site, and of commencement of construction at the Development Site. This notice shall include the name, mobile phone number, and email address of the construction supervisor(s) who will be present on the Development Site and who may be contacted by the Adjacent Landowner regarding impacts of demolition or construction on the Adjacent Property. The Landowner shall also offer the Adjacent Landowner an opportunity to have meetings:
  - i. prior to commencement of demolition at the Development Site, and
  - ii. at least fourteen (14) days prior to commencement of construction at the

Development Site, on days/ times reasonably agreed to by both parties. During any such preconstruction meeting, the Adjacent Landowner will be provided information as to the nature and duration of the demolition or construction activity and the Landowner will review the Protective Plan as it will apply to the activities to be commenced.

- d. Permits--No demolition or building permit, and no land disturbing permit, shall be approved or issued to the Landowner, until the Landowner provides to the department of neighborhood development services:
  - i. copies of the Baseline Survey Report and Protective Plan, and NDS verifies that these documents satisfy the requirements of these SUP Conditions,
  - ii. documentation that the Baseline Survey Report and Protective Plan were given to the Adjacent Landowner in accordance with these SUP Conditions.

The applicant has indicated that the protective plan will be in place in accordance with the SUP condition prior to the commencement of construction activities.

E. Compliance with Additional Standards for Specific Uses (Sections 34-930 - 34-938)

Not applicable to this site.

#### **Public Comments Received**

Staff has not received any comment on the site plan during preliminary review.

The original site plan was submitted to the City on February 26, 2020. A Site Plan Conference was scheduled to be held on March 18, 2020, and the City sent notice to property owners within 500 feet of the property, and advertised the meeting. The conference was forced to be cancelled because of the COVID-19 pandemic.

As a result, the applicant will be required to follow the City's guidance for holding a public meeting to fulfill the site plan conference requirement following the submission of the final site plan.

#### **Recommendation**

Staff recommends approval of the preliminary site plan with the following condition:

1. Following the submission of the final site plan, the applicant will participate in a site plan conference that is organized in compliance with City policies governing such meetings.

#### **Attachments**

- A. Preliminary Site Plan dated February 26, 2020 and a Revision date of June 23, 2020
- B. Special Use Permit Resolution dated October 7, 2019

# 612 WEST MAIN STREET

#### LIMITS OF DISTURBANCE:

EXISTING 0.492 ACRES IMPERVIOUS AREA: PROPOSED 0.490 ACRES

SOURCE OF SURVEY, BOUNDARY, AND TOPOGRAPHY:

TIMMONS GROUP 628 IMPERIAL DRIVE STAUNTON, VA 24401 (540) 885-0920 **DATED: JUNE 13, 2019** 

NAD83, VA STATE GRID, SOUTH ZONE

DATUM REFERENCE:

MISS UTILITY TICKET NUMBER: A914903630 (TICKET SUBMITTED ON 5/29/2019)

CURRENT: SERVICE REPAIR GARAGE

14 - STUDIO UNITS, 20 - 1 BEDROOM UNITS, 9 - 2 BEDROOM UNITS, 2 - THREE BEDROOM UNITS = 45 TOTAL UNITS (58 TOTAL BEDROOMS)

(UP TO 55 UNITS ALLOWED PER SPECIAL USE PERMIT)

2 X 2,500 SF RETAIL SPACE 1 X 1,700 SF RETAIL SPACE 3,500 SF LOBBY & LOUNGE 1,500 SF PUBLIC PARK

1,800 SF AMENITY SPACE

PAVED PARKING AND VEHICULAR CIRCULATION AREA IS LOCATED UNDER THE BUILDING AND ACCESSED THROUGH THE EXISTING ADJACENT UNDERGROUND PARKING AREA AT 600 WEST MAIN STREET

WEST MAIN STREET EAST CORRIDOR

HISTORIC OVERLAY DISTRICT PARKING MODIFIED ZONE

SETBACKS: PRIMARY STREET FRONTAGE (WEST MAIN): 10' MINIMUM, 20' MAXIMUM

SIDE AND REAR (NOT ADJACENT TO LOW DENSITY RES.): NONE

STEPBACK: STREETWALL 40' MAXIMUM

STEPBACK AT HEIGHT OF STREET WALL 10' MINIMUM

ADJACENT AREAS: NORTH - COMMERCIAL/RETAIL EAST - COMMERCIAL/RETAIL

SOUTH - RAILROAD WEST - COMMERCIAL/RETAIL

ALLOWABLE BUILDING HEIGHT: 52' MAX. 35' MIN. 50'-6" PLUS 11'-0" ROOF APPURTENANCE

BUILDING AND SITE SIGNAGE: SIGNAGE PACKAGE TO BE SUBMITTED UNDER SEPARATE COVER

UTILITIES: CITY OF CHARLOTTESVILLE PUBLIC WATER, SEWER

MAXIMUM ALLOWABLE RESIDENTIAL DENSITY: 120 DUA (PER SUP)

MAXIMUM PROPOSED RESIDENTIAL DENSITY:

1 SPACE PER DWELLING UNITS (STUDIO, 1 BEDROOM & 2 BEDROOMS) 43 DWELLING UNITS X 1 SPACE/DWELLING UNIT = 43 SPACES

2 SPACES PER THREE BEDROOM DWELLING UNTI

2 THREE DWELLING UNITS X 2 SPACE/DWELLING UNIT = 4 SPACES

SEC. 34-643.2 NO PARKING IS REQUIRED FOR ANY RETAIL USE HAVING LESS THAN FIVE THOUSAND (5,000) SQUARE FEET IN FLOOR AREA RETAIL 2 X 2500 SF AND 1 X 1700 SFT = 0 SPACES

TOTAL = 47 PARKING SPACES PARKING REDUCTION

BUS STOP WITHIN 301 FT - 600 FT OF THE SITE = <1 SPACE> 46 LONG TERM BIKE SPACES - 31 LONG TERM BIKE SPACES (REQ.) = 15 SPACES AT 1:5 RATIO = 3 SPACES

TOTAL = 47 SPACES - 1 SPACE - 3 SPACES = 43 PARKING SPACES REQUIRED

43 SPACES PROVIDED (CONSISTS OF 12 COMPACT SPACES AND 2 ACCESSIBLE SPACES, 1 OF WHICH IS VAN ACCESSIBLE) ACCESSIBLE SPACES REQUIRED: FOR 26-50 TOTAL SPACES, 2 ACCESSIBLE SPACES REQUIRED, 1 OF WHICH SHALL BE VAN-ACCESSIBLE

BICYCLE PARKING REQUIRED (PER SECTION 34-882 OF THE CITY OF CHARLOTTESVILLE CITY CODE)

RETAIL: LONG TERM: 6,700 SF X 1 SPACE PER 10,000 SF FLOOR AREA = 0.7 BICYCLE SPACES (2 MIN.)

SHORT TERM: 6,700 SF X 1 SPACE PER 5,000 SF FLOOR AREA = 1.3 BICYCLE SPACES (2 MIN.) MULTI-FAMILY DWELLING: LONG: 58 BEDROOMS X 0.5 SPACE / BEDROOM = 29.0 BICYCLE SPACES

SHORT: 58 BEDROOMS X 0.1 SPACE / BEDROOM = 5.8 BICYCLE SPACES

TOTAL LONG TERM = 31 BICYCLE SPACES REQUIRED TOTAL SHORT TERM = 8 BICYCLE SPACES REQUIRED

BICYCLE PARKING PROVIDED: 32 LONG TERM SPACES (ONE SPACE WITH EACH 1, 2 & 3-BEDROOM UNIT - "TALIC WALL MOUNT") 14 LONG TERM SPACES (WITHIN THE PARKING GARAGE - "SARIS STACK RACK")

8 SHORT TERM SPACES (4 EXTERIOR BIKE RACKS, 2 SPACES PER RACK -" DURA OMEGA CIRCULAR STYLE RACK")

TOTAL = 54 BICYCLE SPACES PROVIDED

LOCATION OF NEARBY FIRE HYDRANTS: ALONG WEST MAIN STREET AT THE FRONT OF THE PROJECT SITE. (APPROX. 18' FROM NEW BUILDING)

PROJECT TIMING: THE ANTICIPATED START DATE FOR THE PROJECT IS FALL 2020. CONSTRUCTION ACTIVITIES ARE ANTICIPATED TO LAST APPROXIMATELY 12-18 MONTHS.

NO WETLANDS ARE IMPACTED AS PART OF THIS PROJECT.

BUILDING AND SITE SIGNAGE: SIGNAGE PACKAGE TO BE SUBMITTED UNDER SEPARATE COVER

THIS SITE IS NOT WITHIN A 100-YEAR FLOODPLAIN.

#### TRIP GENERATION

FLOODPLAIN:

Trip Generation for 612 W. Main St.										
				WEEKDAY						
					IA AI	M PEAK HO	UR	PI	1 PEAK HO	JR
LAND USE	ITE CODE	AMOUNT	UNITS	ADT	IN	ОИТ	TOTAL	IN	ОИТ	TOTAL
Retail Store	876	1,700	SF (GFA)	113	4	4	8	4	4	7
Restaurant	932	5,000	SF (GFA)	561	40	30	70	45	42	87
Apartment (Multi-Family)	221	46	DU	250	4	11	15	11	8	19
			Total	924	48	45	93	60	53	113

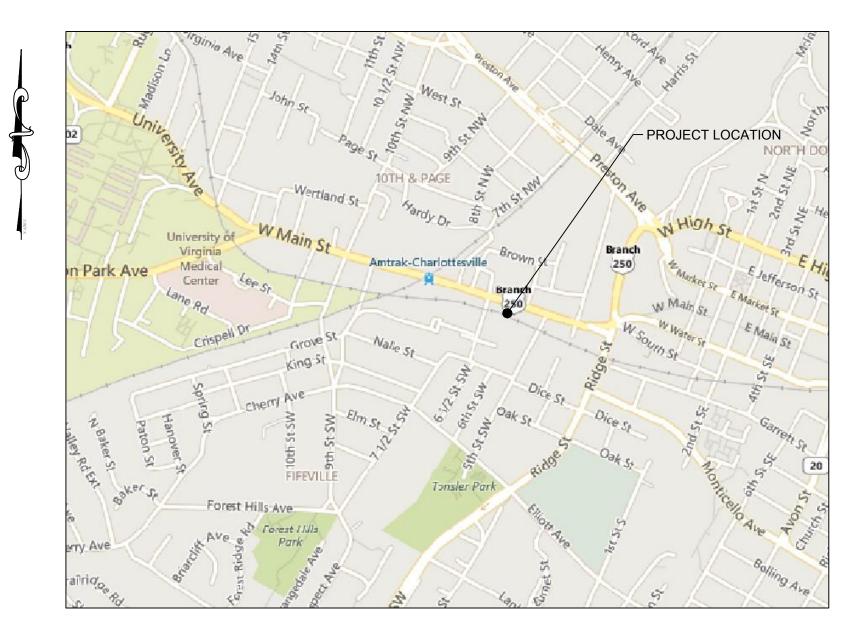
#### FINAL SITE PLAN APPROVAL:

PER SEC. 34-828, FINAL SITE PLAN APPROVAL IS CONTINGENT ON THE PLAN BEING CONSISTENT WITH WHAT WAS A) REVIEWED BY THE BOARD OF ARCHITECTURAL REVIEW; AND B) THE ASSOCIATED CERTIFICATE OF APPROPRIATENESS FOR NEW CONSTRUCTION WITHIN THE WEST MAIN STREET ADC DISTRICT

# PRELIMINARY SITE PLAN

# CITY OF CHARLOTTESVILLE, VIRGINIA

2/26/2020



# **VICINITY MAP**

SCALE: 1" = 500'

## OWNER:

HEIRLOOM WEST MAIN STREET SECOND PHASE LLC 178 COLUMBUS AVE #231409 NEW YORK, NY 10023

# ENGINEER OF RECORD:

TIMMONS GROUP 608 PRESTON AVENUE SUITE 200 CHARLOTTESVILLE, VA 22902 CONTACT: CRAIG KOTARSKI, P.E.

TELEPHONE: 434-327-1688

#### **Sheet List Table**

Sheet Number	Sheet Title		
C0.0	COVER		
C0.1	SPECIAL USE PERMIT CONDITIONS OF APPROVAL		
C1.0	NOTES & DETAILS		
C1.1	NOTES & DETAILS		
C1.2	NOTES & DETAILS		
C2.0	EXISTING CONDITIONS		
C2.1	DEMOLITION PLAN		
C3.0	EROSION & SEDIMENT CONTROL NOTES & DETAILS		
C3.1	EROSION & SEDIMENT CONTROL - PHASE I		
C4.0	LAYOUT & UTILITIES PLAN		
C4.1	PRELIMINARY PARKING LAYOUT		
C5.0	GRADING & DRAINAGE PLAN		
C6.0	STORMWATER MANAGEMENT PLAN		
C6.1	STORMWATER NARRATIVE & CALCULATIONS		
L1.0	LANDSCAPE PLAN		

#### UTILITY DEMANDS

WATER FLOW (AVERAGE DAILY DEMAND) SEE SHEET C1.2 FOR AWWA M2 WATER CUSTOMER DATA SHEET

AVERAGE FLOW RATES (FROM TABLE 9-1 & 9-2, CHARLOTTESVILLE STANDARDS & DESIGN MANUAL):

APARTMENTS/CONDOMINIUMS: 300 GPD X 45 UNITS = 13,500 GPD

RETAIL: 2000 GPD/AC X 0.154 AC = 308 GPD

TOTAL: 13,808 GPD

TOTAL: 13,808 GPD

AVERAGE HOUR: 13,808 GPD/24 = 575.3 GALLONS PER HOUR

MAX HOUR = 300% OF AVERAGE HOUR = 575.3 X 3 = 1,726 GALLONS

PEAK HOUR = MAX HOUR X 1.5 = 1,7256 X 1.5 = 2,589 GALLONS

2,589 GPH = 43.15 GPM

WATER METER SIZING SAFE MAXIMUM OPERATING CAPACITY (GPM) FOR A 1.5" METER = 100 GPM

SEWER FLOW (AVERAGE DAILY FLOW) - PHASE 1

AVERAGE FLOW RATES (FROM TABLE 9-1 & 9-2, CHARLOTTESVILLE STANDARDS & DESIGN MANUAL):

APARTMENTS/CONDOMINIUMS: 300 GPD X 45 UNITS = 13,500 GPD RETAIL: 2000 GPD/AC X 0.15 AC = 308 GPD

#### **PUBLIC UTILITY NOTES:**

- A. PER THE VIRGINIA DEPARTMENT OF HEALTH WATERWORKS REGULATIONS (PART II, ARTICLE 3, SECTION 12 VAC 5-590 THROUGH 630), ALL BUILDINGS THAT HAVE THE POSSIBILITY OF CONTAMINATING THE POTABLE WATER DISTRIBUTION SYSTEM (HOSPITALS, INDUSTRIAL SITES, BREWERIES, ETC.) SHALL HAVE A BACKFLOW PREVENTION DEVICE INSTALLED WITHIN THE FACILITY. THIS DEVICE SHALL MEET SPECIFICATIONS OF THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE, SHALL BE TESTED IN REGULAR INTERVALS AS REQUIRED, AND TEST RESULTS SHALL BE SUBMITTED TO THE REGULATORY COMPLIANCE ADMINISTRATOR IN THE DEPARTMENT OF UTILITIES.
- B. ALL BUILDINGS THAT MAY PRODUCE WASTES CONTAINING MORE THAN ONE HUNDRED (100) PARTS PER MILLION OF FATS, OIL, OR GREASE SHALL INSTALL A GREASE TRAP. THE GREASE TRAP SHALL MEET SPECIFICATIONS OF THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE, MAINTAIN RECORDS OF CLEANING AND MAINTENANCE, AND BE INSPECTED ON REGULAR INTERVALS BY THE REGULATORY COMPLIANCE ADMINISTRATOR IN
- C. PLEASE CONTACT THE REGULATORY COMPLIANCE ADMINISTRATOR AT 970-3032 WITH ANY QUESTIONS REGARDING THE GREASE TRAP OR

**APPROVALS** 

DIRECTOR OF NEIGHBORHOOD DEVELOPMENT SERVICES

PRELIMINARY SITE PLAN DATE 2/26/2020

A.FONTAINE DESIGNED BY A. ALLISON CHECKED BY . KOTARSKI SCALE

43751

SHEET NO. C0.0

#### RESOLUTION APPROVING A SPECIAL USE PERMIT TO ALLOW HIGH DENSITY RESIDENTIAL DEVELOPMENT FOR PROPERTY LOCATED AT **602-616 WEST MAIN STREET**

WHEREAS, landowner Heirloom West Main Street Second Phase, LLC is the current owner of a lot identified on 2019 City Tax Map 29 as Parcel 3 (City Parcel Identification No. (290003000) (the "Subject Property"), and pursuant to City Code §34-641, the landowner proposes to redevelop the Subject Property by constructing a mixed use building on the Subject Property ("Project"), containing residential dwelling units at a density of up to 120 dwelling units per acre ("DUA"); and

WHEREAS, the Project is described within the Applicant's application materials dated May 14, 2019 submitted in connection with SP19-00003, including, without limitation, a narrative statement dated May 14, 2019, and a preliminary site plan dated May 13, 2019, as required by City Code §34-158 (collectively, the "Application Materials"); and

WHEREAS, the Planning Commission reviewed the Application Materials, and the City's Staff Report, and subsequent to a joint public hearing, duly advertised and conducted by the Planning Commission and City Council on August 13, 2019, the Planning Commission voted to recommend that the City Council should approve the requested special use permit, to allow residential density up to 120 dwelling units per acre (DUA), subject to certain suitable conditions and safeguards recommended by the Planning Commission; and

WHEREAS, upon consideration of the comments received during the joint public hearing, the Planning Commission's recommendation, and the Staff Reports discussing this application, as well as the factors set forth within Sec. 34-157 of the City's Zoning Ordinance, this Council finds and determines that granting the proposed Special Use subject to suitable conditions would serve the public necessity, convenience, general welfare or good zoning practice; now, therefore,

**BE IT RESOLVED** by the Council of the City of Charlottesville, Virginia that, pursuant to City Code §§ 34-641, a special use permit is hereby approved and granted, subject to the following conditions:

- 1. The specific development being approved by this special use permit ("Project"), as described within the site plan exhibit required by City Code §34-158(a)(1), shall have the following minimum attributes/ characteristics:
  - a. Not more than one building shall be constructed on the Subject Property (the "Building"). The Building shall be a Mixed Use Building.
  - b. The Building shall not exceed a height of four (4) stories.
  - c. The Building shall contain no more than 55 dwelling units.
  - preparation of demolition or construction plans for the Landowner, and who has expertise in the impact of seismic activity on historic structures) and shall bear the cost of the Baseline Survey and preparation of a written report thereof. The Landowner and the Owner of the Holsinger Building ("Adjacent Landowner") may both have representatives present during the process of surveying and documenting the existing conditions. A copy of a completed written Baseline Survey Report shall be provided to the Adjacent Landowner, and the Adjacent Landowner shall be given fourteen (14) days to review the Baseline Survey Report and return any comments to the Landowner.
  - b. Protective Plan--The Landowner shall engage the engineer who performed the Baseline Survey to prepare a Protective Plan to be followed by all persons performing work within the Development Site, that may include seismic monitoring or other specific monitoring measures of the Adjacent Property if recommended by the engineer preparing the Protective Plan, and minimally shall include installation of at least five crack monitors. Engineer shall inspect and take readings of crack monitors at least weekly during ground disturbance demolition and construction activities. Reports of monitor readings shall be submitted to the city building official and Adjacent Landowner within two days of inspection. A copy of the Protective Plan shall be provided to the Adjacent Landowner. The Adjacent Landowner shall be given fourteen (14) days to review the Report and return any comments to the Landowner.
  - c. Advance notice of commencement of activity--The Adjacent Landowner shall be given 14 days' advance written notice of commencement of demolition at the Development Site, and of commencement of construction at the Development Site. This notice shall include the name, mobile phone number, and email address of the construction supervisor(s) who will be present on the Development Site and who may be contacted by the Adjacent Landowner regarding impacts of demolition or construction on the Adjacent Property.

The Landowner shall also offer the Adjacent Landowner an opportunity to have meetings: (i) prior to commencement of demolition at the Development Site, and (ii) at least fourteen (14) days prior to commencement of construction at the Development Site, on days/ times reasonably agreed to by both parties. During any such preconstruction meeting, the Adjacent Landowner will be provided information as to the nature and duration of the demolition or construction activity and the Landowner will review the Protective Plan as it will apply to the activities to be commenced.

d. Permits--No demolition or building permit, and no land disturbing permit, shall be approved or issued to the Landowner, until the Landowner provides to the department of neighborhood development services: (i) copies of the Baseline Survey Report and Protective Plan, and NDS verifies that these documents satisfy

- d. The Building shall contain space to be occupied and used for retail uses, which shall be located on the ground floor of the Building facing West Main Street. The square footage of this retail space shall be at least the minimum required by the City's zoning ordinance.
- e. Underground parking shall be provided within a parking garage structure constructed underneath the Building, which shall provide at least 53 parking spaces serving the use and occupancy of the Building. All parking required for the Project pursuant to the City's zoning ordinance shall be located on-site. All parking required pursuant to the ordinance for the Project shall be maximized onsite to the satisfaction of the Planning Commission. No direct access shall be provided into the underground parking from the Building's street wall along West Main Street.
- 2. The mass of the Building shall be broken down to reflect the multi-parcel massing historically on the site, as well as the West Main Street context, using building modulation. The Building and massing refer to the historic buildings on either side.
- 3. There shall be pedestrian engagement with the street with an active, transparent, and permeable façade at street level.
- 4. The Landowner (including, without limitation, any person who is an agent, assignee, transferee or successor in interest to the Landowner) shall prepare a Protective Plan for the Rufus Holsinger Building located on property adjacent to the Subject Property at 620-624 West Main Street ("Holsinger Building" or "Adjacent Property"). The Protective Plan shall provide for baseline documentation, ongoing monitoring, and specific safeguards to prevent damage to the Holsinger Building, and the Landowner shall implement the Protective Plan during all excavation, demolition and construction activities within the Subject Property ("Development Site"). At minimum, the Protective Plan shall include the following:
  - a. Baseline Survey—Landowner shall document the existing condition of the Holsinger Building ("Baseline Survey"). The Baseline Survey shall take the form of written descriptions, and visual documentation which shall include color photographs and/or video recordings. The Baseline Survey shall document the existing conditions observable on the interior and exterior of the Holsinger Building, with close-up images of cracks, staining, indications of existing settlement, and other fragile conditions that are observable.

The Landowner shall engage an independent third party structural engineering firm (one who has not participated in the design of the Landowner's Project or

the requirements of these SUP Conditions, (ii) documentation that the Baseline Survey Report and Protective Plan were given to the Adjacent Landowner in accordance with these SUP Conditions.

> Approved by Council October 7, 2019 Kyna Thomas Kyna Thomas, CMC Clerk of Council



THIS DRAWING PREPARED AT THE

CHARLOTTESVILLE OFFICE
Avenue, Suite 200 | Charlottesvill
5.5624 FAX 434.295.8317 www.t 608 TEL

PRELIMINARY SITE PLAN

2/26/2020 DRAWN BY A.FONTAINE

**DESIGNED BY** A. ALLISON CHECKED BY C. KOTARSKI

9

*43751* SHEET NO. C0.1

#### **GENERAL NOTES:**

#### UTILITIES

- 1. ANY DAMAGE TO EXISTING UTILITIES CAUSED BY CONTRACTOR OR ITS SUBCONTRACTORS SHALL BE
- CONTRACTOR'S SOLE RESPONSIBILITY AND REPAIRED AT CONTRACTOR'S EXPENSE. 2. THE CONTRACT DOCUMENTS DO NOT GUARANTEE THE EXISTENCE, NON-EXISTENCE OR LOCATION OF UTILITIES. CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OR THE NON-EXISTENCE OF UTILITIES. AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION, CONTRACTOR SHALL NOTIFY MISS UTILITY (1-800-552-7001) AND/OR THE RESPECTIVE UTILITY COMPANIES FOR GAS, WATER, SEWER, POWER, PHONE AND CABLE. CONTRACTOR SHALL TIMELY ARRANGE TO HAVE THE VARIOUS UTILITIES LOCATED, AND TO HAVE THEM REMOVED OR RELOCATED, OR TO DETERMINE THE METHOD OF PROTECTION ACCEPTABLE TO THE RESPECTIVE OWNER, IF THE METHOD OF PROTECTION IS NOT OTHERWISE SPECIFIED. CONTRACTOR SHALL CONDUCT ITS WORK IN THE VICINITY OF EXISTING UTILITIES IN ACCORDANCE WITH THE RESPECTIVE UTILITY'S RULES AND REGULATIONS. ANY COST INCURRED FOR REMOVING, RELOCATING OR PROTECTING UTILITIES SHALL BE BORNE BY CONTRACTOR UNLESS INDICATED OTHERWISE. CONTRACTOR SHALL EXCAVATE TO LOCATE BURIED UTILITIES FAR ENOUGH IN ADVANCE OF ITS WORK TO ALLOW FOR HORIZONTAL AND /OR VERTICAL ADJUSTMENTS TO ITS WORK AND/OR THE UTILITIES. NO ADJUSTMENT IN COMPENSATION OR SCHEDULE WILL BE ALLOWED FOR DELAYS RESULTING FROM CONTRACTOR'S FAILURE TO CONTACT AND COORDINATE WITH UTILITIES.
- WHEN THE WORK CROSSES EXISTING UTILITIES, THE EXISTING UTILITIES SHALL BE ADEQUATELY SUPPORTED AND PROTECTED FROM DAMAGE DUE TO THE WORK. ALL METHODS FOR SUPPORTING AND MAINTAINING THE EXISTING UTILITIES SHALL BE APPROVED BY THE RESPECTIVE UTILITY COMPANY AND/OR THE ENGINEER. CONTRACTOR SHALL EXERCISE CARE TO INSURE THAT THE GRADE AND ALIGNMENT OF EXISTING UTILITIES ARE MAINTAINED AND THAT NO JOINTS OR CONNECTIONS ARE DISPLACED. BACKFILL SHALL BE CAREFULLY PLACED AND COMPACTED TO PREVENT FUTURE DAMAGE OR SETTLEMENT TO EXISTING UTILITIES. ANY UTILITIES REMOVED AS PART OF THE WORK, AND NOT INDICATED TO BE REMOVED OR ABANDONED, SHALL BE RESTORED USING MATERIALS AND INSTALLATION EQUAL TO THE UTILITY'S STANDARDS.
- 4. CONTRACTOR SHALL NOTIFY LANDOWNERS, TENANTS AND THE ENGINEER PRIOR TO THE INTERRUPTION OF ANY SERVICES. SERVICE INTERRUPTIONS SHALL BE KEPT TO A MINIMUM.
- 5. ALL RECTANGULAR WATER METER BOXES LOCATED IN SIDEWALKS SHALL BE REPLACED WITH ROUND ONES. THE ADJUSTMENT OF ALL MANHOLE TOPS, WATER VALVE BOXES, GAS VALVE BOXES AND WATER METER BOXES SHALL BE THE RESPONSIBILITY OF CONTRACTOR.
- 6. THE CONTRACTOR SHALL NOTIFY THE CITY UTILITIES DIVISION AT LEAST TWO FULL WORKING DAYS IN ADVANCE TO ARRANGE GAS SERVICE LINE ADJUSTMENTS TO BE PERFORMED BY THE CITY.
- ALL WATER METER, VALVES AND FIRE HYDRANT ADJUSTMENTS/RELOCATIONS SHALL BE COORDINATED OR PERFORMED BY THE CONTRACTOR IN ACCORDANCE WITH THE CITY OF CHARLOTTESVILLE PUBLIC WORKS REQUIREMENTS.

#### EROSION CONTROL & WORK AREA PROTECTION AND MAINTENANCE

- 1. ALL FENCES REQUIRED TO BE REMOVED OR DISTURBED BY CONSTRUCTION SHALL BE SALVAGED, STORED, PROTECTED AND RE-INSTALLED BY CONTRACTOR. IF SUCH FENCE MATERIAL CANNOT BE REUSED DUE TO DAMAGE CAUSED BY CONTRACTOR, CONTRACTOR SHALL INSTALL NEW FENCE OF THE SAME TYPE OF MATERIAL. TEMPORARY FENCING REQUIRED BY PRIVATE PROPERTY OWNERS SHALL BE PROVIDED BY CONTRACTOR. CONTRACTOR IS ADVISED TO CONTACT PROPERTY OWNERS AT LEAST FORTY-EIGHT (48) HOURS IN ADVANCE OF REMOVING ANY FENCE IN ORDER TO COORDINATE RELOCATION AND TO ESTABLISH AND CONFIRM WITH THE OWNER THE PRE-CONSTRUCTION CONDITION OF ANY FENCE TO BE REMOVED, DISTURBED OR REPLACED.
- 2. CONTRACTOR IS PERMITTED TO WORK IN THE PUBLIC RIGHT-OF-WAY AND ANY TEMPORARY OR PERMANENT EASEMENT SHOWN ON THE PLANS. HOWEVER, CONTRACTOR SHALL NOTIFY PROPERTY OWNER(S) FORTY-EIGHT (48) HOURS PRIOR TO WORKING ON ANY PRIVATE PROPERTY TO COORDINATE ACCESS AND TO DETERMINE A STORAGE AREA FOR MATERIALS IF NEEDED. COORDINATION OF ACCESS TO PUBLIC RIGHT-OF-WAY AND STORAGE OF MATERIALS THEREON SHALL BE COORDINATED WITH THE ENGINEER. CONTRACTOR'S FAILURE TO SO NOTIFY AND COORDINATE WITH PROPERTY OWNERS AND/OR THE ENGINEER MAY RESULT IN DELAYS. NO ADDITIONAL COMPENSATION OR TIME FOR PERFORMANCE WILL BE GIVEN FOR ANY SUCH DELAYS.
- 3. CONTRACTOR SHALL, AT HIS EXPENSE, MAINTAIN THE WORK SITE IN A CLEAN AND ORDERLY APPEARANCE AT ALL TIMES. ALL DEBRIS AND SURPLUS MATERIAL COLLECTED SHALL BE DISPOSED OF OFF THE WORK SITE BY CONTRACTOR, AT HIS EXPENSE.
- 4. EXISTING LAWNS, TREES, SHRUBS, FENCES, UTILITIES, CULVERTS, WALLS, WALKS, DRIVEWAYS, POLES, SIGNS, RIGHT-OF-WAY MONUMENTS, MAILBOXES AND THE LIKE SHALL BE PROTECTED FROM DAMAGE DURING THE WORK. ANY DAMAGE CAUSED TO SUCH ITEMS SHALL BE REPAIRED OR REPLACED BY CONTRACTOR AT NO ADDITIONAL COST. PROPERTY PINS DISTURBED BY CONTRACTOR THAT ARE NOT SHOWN ON THE PLANS TO BE DISTURBED SHALL BE RESTORED BY A LICENSED SURVEYOR AT CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL EMPLOY EROSION CONTROL DEVICES AND METHODS AS REQUIRED TO MEET THE REQUIREMENTS AND INTENT OF THE CITY EROSION CONTROL ORDINANCE, CONTRACTOR SHALL PROVIDE THE NECESSARY DIVERSION DITCHES, DIKES OR TEMPORARY CULVERTS REQUIRED TO PREVENT MUD AND DEBRIS FROM BEING WASHED ONTO THE STREETS OR PROPERTY. CONTRACTOR'S VEHICLES SHALL BE KEPT CLEAN TO PREVENT MUD OR DUST FROM BEING DEPOSITED ON STREETS. NO AREA SHALL BE LEFT DENUDED FOR MORE THAN SEVEN (7) CALENDAR DAYS.
- 6. CONTRACTOR SHALL CLEAN UP, RESTORE, PERMANENTLY SEED AND MAINTAIN ALL DISTURBED AREAS IMMEDIATELY UPON COMPLETION OF WORK ON EACH SITE. TOPSOIL, SEED, FERTILIZER AND MULCH SHALL BE PLACED IN ACCORDANCE WITH CITY STANDARDS ON ALL DISTURBED AREAS. A PERMANENT STAND OF GRASS
- ADEQUATE TO PREVENT EROSION SHALL BE ESTABLISHED PRIOR TO FINAL ACCEPTANCE. 7. AS DETERMINED BY THE ENGINEER, ANY DEFECTIVE, FAULTY, CRACKED, BROKEN OR GRAFFITIED SIDEWALKS, DRIVEWAYS, HANDICAP RAMPS OR CURB & GUTTER SHALL BE REMOVED AND REPLACED PRIOR TO FINAL ACCEPTANCE. NO ADDITIONAL PAYMENT WILL BE MADE FOR SUCH WORK.
- 8. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ADHERE TO REQUESTS FROM THE CITY'S E&S INSPECTOR TO ADD OR MODIFY E&S MEASURES DURING CONSTRUCTION.

#### EARTHWORK AND SITE CONDITIONS

- 1. EXCEPT AS OTHERWISE SHOWN ON THE PLANS, ALL CUTS AND FILLS SHALL MATCH EXISTING SLOPES OR BE NO
- 2. NO NEW SIDEWALK SHALL EXCEED 2.0% CROSS-SLOPE (PERPENDICULAR TO THE DIRECTION OF PEDESTRIAN
- 3. ALL GRADING AND IMPROVEMENTS TO BE CONFINED TO THE PROJECT AREA UNLESS OTHERWISE INDICATED. 4. ALL MATERIALS AND INSTALLATION DETAILS SHALL CONFORM TO THE CITY OF CHARLOTTESVILLE ENGINEERING DIVISION STANDARDS AND ALL OTHER APPLICABLE CITY ORDINANCES.
- 5. ANY UNUSUAL OR UNANTICIPATED SUBSURFACE CONDITIONS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER.
- 6. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND LOCATIONS PRIOR TO BEGINNING WORK, AND IMMEDIATELY NOTIFY THE ENGINEER IN THE EVENT THERE ARE ANY DISCREPANCIES BETWEEN SUCH CONDITIONS AND THOSE SHOWN ON THE PLANS AND SPECIFICATIONS.

#### CONCRETE AND ASPHALT

- 1. ALL FORMS SHALL BE INSPECTED BY THE ENGINEERING INSPECTOR BEFORE ANY CONCRETE IS PLACED. THE ENGINEER INSPECTOR MAY REQUIRE CONTRACTOR, AT NO ADDITIONAL COST, TO REMOVE AND REPLACE
- CONCRETE PLACED PRIOR TO OR WITHOUT SUCH INSPECTION. 2. ALL MATERIAL INSIDE FORMS SHALL BE CLEAN AND FREE OF ALL ROCKS AND OTHER LOOSE DEBRIS. SUB-BASE
- MATERIAL SHALL BE COMPACTED BY MECHANICAL MEANS. 3. CONCRETE SHALL NOT BE PLACED UNLESS THE AIR TEMPERATURE IS AT LEAST 40 DEGREES FAHRENHEIT (F) IN
- THE SHADE AND RISING. 4. CONCRETE SHALL NOT BE PLACED UNTIL STEEL DOWELS HAVE BEEN INSTALLED IN EXISTING CONCRETE IN
- ACCORDANCE WITH CITY STANDARDS. 5. 1/2" PREMOLDED EXPANSION JOINT MATERIAL SHALL BE PLACED AT A MAXIMUM OF 30' INTERVALS ON NEW SIDEWALK, CURB, CURB & GUTTER, AT EACH END OF DRIVEWAY ENTRANCES, AT EACH END OF HANDICAP RAMPS, SOME POINT ON ENTRANCE WALKS AND STEPS ADJUSTMENTS, AND ALONG BUILDINGS AND WALLS WHERE NEW
- 6. ALL EXISTING CURBS, CURB & GUTTER, SIDEWALK AND STEPS TO BE REMOVED SHALL BE TAKEN OUT TO THE NEAREST JOINT. DEMOLITION AND DISPOSAL COST TO BE INCLUDED IN OTHER UNIT BID ITEMS. NO SEPARATE PAYMENT WILL BE MADE FOR THIS WORK.
- 7. DRIVEWAY ADJUSTMENTS ARE TO BE DONE IN GENTLE TRANSITIONS RATHER THAN ABRUPT BREAKS AT THE BACK OF WALKS. GRAVEL DRIVEWAYS ABOVE STREET GRADE SHALL BE PAVED FOR A MINIMUM DISTANCE OF 20' BEYOND THE BACK OF THE SIDEWALK OR CURB & GUTTER APRON WHERE APPLICABLE.
- 8. EXISTING ASPHALT PAVEMENT SHALL BE SAW CUT AND REMOVED AS PER THE SPECIFICATIONS. REMOVAL SHALL BE DONE IN SUCH A MANNER AS TO NOT TEAR, BULGE OR DISPLACE ADJACENT PAVEMENT. EDGES SHALL BE CLEAN AND VERTICAL, ALL CUTS SHALL BE PARALLEL OR PERPENDICULAR TO THE DIRECTION OF TRAFFIC.
- DISPOSAL OF ALL EXCESS MATERIAL IS THE RESPONSIBILITY OF CONTRACTOR.

CONCRETE SIDEWALKS ARE PLACED AGAINST THEM.

#### **DRAINAGE**

- 1. CONTRACTOR SHALL EXERCISE CARE, ESPECIALLY AT INTERSECTIONS AND GUTTER LINES, TO PROVIDE POSITIVE DRAINAGE. ANY AREAS WHERE WATER IS IMPOUNDED SHALL BE CORRECTED BY CONTRACTOR AT NO ADDITIONAL COST. POSITIVE DRAINAGE OF ALL ROADWAY AREAS TO THE STORM DRAIN INLETS OR OTHER ACCEPTABLE DRAINAGE CHANNELS AS NOTED ON THE PLANS IS REQUIRED
- CONTRACTOR SHALL MAINTAIN EXISTING STREAMS, DITCHES, DRAINAGE STRUCTURES, CULVERTS AND FLOWS AT ALL TIMES DURING THE WORK. CONTRACTOR SHALL PAY FOR ALL PERSONAL INJURY AND PROPERTY DAMAGE WHICH MAY OCCUR AS A RESULT OF FAILING TO MAINTAIN ADEQUATE DRAINAGE.
- ALL PIPES, DI'S AND OTHER STRUCTURES SHALL BE INSPECTED BY THE ENGINEERING INSPECTOR BEFORE BEING BACKFILLED OR BURIED. THE ENGINEERING INSPECTOR MAY REQUIRE CONTRACTOR, AT NO ADDITIONAL COST, TO UNCOVER AND RE-COVER SUCH STRUCTURES IF THEY HAVE BEEN BACKFILLED OR BURIED WITHOUT SUCH INSPECTION.
- 4. REMOVED PIPE SHALL BE THE PROPERTY OF CONTRACTOR AND IF NOT SALVAGED FOR RE-USE, SHALL BE DISPOSED OF LAWFULLY.
- 5. ALL STORM SEWER PIPE AND DROP INLETS SHALL BE CLEARED OF DEBRIS AND ERODED MATERIAL PRIOR TO FINAL ACCEPTANCE.
- 6. ALL STORM SEWER PIPE JOINTS SHALL BE SEATED AND SEALED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- ALL EXISTING ROOF DRAINS AND OTHER DRAINAGE CONDUIT TIED INTO EXISTING PIPE SHALL BE TIED INTO NEW PIPE. ALL EXISTING ROOF DRAINS AND OTHER DRAINAGE CONDUIT BLOCKED OR DISRUPTED FROM THEIR PRE-CONSTRUCTION DRAINAGE PATTERNS SHALL BE SHORTENED, EXTENDED OR OTHERWISE CONNECTED TO THE NEW WORK USING MATERIALS APPROVED BY THE ENGINEERING INSPECTOR, AND IN SUCH A WAY THAT THE NEW DRAINAGE PATTERNS ARE ACCEPTABLE TO ENGINEER.

#### VEGETATION

- PRIOR TO REMOVING ANY VEGETATION, CONTRACTOR SHALL MEET WITH THE PROPERTY OWNERS AND THE ENGINEER TO REVIEW THE LIMITS OF CONSTRUCTION AND OBTAIN PERMISSION TO REMOVE VEGETATION REQUIRED TO DO THE WORK.
- TREE AND PLANT ROOTS OR BRANCHES THAT MAY INTERFERE WITH THE WORK SHALL BE TRIMMED OR CUT ONLY WITH THE APPROVAL OF THE OWNER AND ENGINEER. ANY TREES OR PLANTS WHICH ARE SHOWN TO REMAIN THAT DO NOT INTERFERE WITH THE WORK, BUT ARE DAMAGED BY CONTRACTOR OR HIS SUBCONTRACTORS, SHALL BE REPAIRED OR REPLACED BY CONTRACTOR AT NO ADDITIONAL COST.

#### TRAFFIC AND SIGNAGE

- 1. ALL TEMPORARY NO PARKING REQUIREMENTS SHALL BE PROVIDED BY CONTRACTOR WITH APPROVAL OF THE TRAFFIC ENGINEER.
- 2. CONTRACTOR SHALL PROVIDE NECESSARY REFLECTORS, BARRICADES, TRAFFIC CONTROL DEVICES AND/OR FLAG PERSONS TO INSURE THE SAFETY OF ITS WORKERS AND THE PUBLIC.
- CONTRACTOR SHALL MAINTAIN SAFE AND PASSABLE PUBLIC ACCESS TO PROPERTIES AND THE PUBLIC RIGHT-OF-WAY DURING CONSTRUCTION. EXCEPT AS APPROVED IN ADVANCE IN WRITING BY THE ENGINEER, TWO WAY TRAFFIC SHALL BE MAINTAINED AT ALL TIMES THROUGH WORK AREAS WITHIN THE PUBLIC RIGHT-OF-WAY. THESE TRAFFIC CONTROLS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT MUTCD MANUAL. ACCESS FOR EMERGENCY VEHICLES SHALL BE MAINTAINED AT ALL TIMES. ADDITIONALLY CONTRACTOR SHALL PROVIDE ADEQUATE PEDESTRIAN BARRIERS AND MAINTAIN PEDESTRIAN CIRCULATION DURING CONSTRUCTION.
- 4. EXCEPT AS OTHERWISE AUTHORIZED IN WRITING BY THE ENGINEER, THE WORK SHALL BE COORDINATED AND PERFORMED IN A MANNER SO THAT ALL EXISTING FIRE HYDRANTS SHALL BE ACCESSIBLE AT ALL TIMES DURING
- CONTRACTOR SHALL NOTIFY PROPERTY OWNER(S) TWELVE (12) HOURS IN ADVANCE OF BLOCKING ANY ENTRANCE. NO ENTRANCE SHALL BE BLOCKED FOR MORE THAN TWELVE (12) HOURS IN ANY 24 HOUR PERIOD WITHOUT APPROVAL OF THE PROPERTY OWNER, EXCEPT WHERE NEW ENTRANCES ARE CONSTRUCTED.
- WITHIN 24 HOURS OF THEIR REMOVAL, CONTRACTOR SHALL REPLACE MAILBOXES, STREET SIGNS, TRAFFIC SIGNS, AND THE LIKE THAT ARE REMOVED FOR CONSTRUCTION. PERMANENT OR SUITABLE TEMPORARY ITEMS WILL BE USED AS THE STATUS OF WORK PERMITS. PERMANENT OR TEMPORARY STOP SIGNS MUST BE IN PLACE
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE CITY TRAFFIC DIVISION ONE FULL WORKING DAY PRIOR TO ANY CONCRETE POUR WHERE TRAFFIC AND STREET SIGNS ARE TO BE REPLACED. UPON SUCH NOTIFICATION, THE CITY WILL PROVIDE SIGN POST SLEEVES, WHEN NEEDED, AND IDENTIFY THE LOCATION WHERE SIGNS ARE TO BE PLACED.
- 8. ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE SHOWN ON PLANS AND SHALL BE CONSISTENT WITH THE
- 9. A TEMPORARY STREET CLOSURE PERMIT IS REQUIRED FOR CLOSURE OF SIDEWALKS, PARKING PACES, AND ROADWAYS AND IS SUBJECT TO APPROVAL BY THE CITY TRAFFIC ENGINEER.

#### MISCELLANEOUS

- 1. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS, INSPECTIONS, BONDS, AND OTHER APPROVAL RELATED ITEMS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, LOCAL, STATE, AND FEDERAL POLICIES. CONTACT FOR CITY STREET/SIDEWALK CUT PERMITS, PLEASE CALL (434) 970-3361.
- 2. THE CONTRACTOR WILL BE REQUIRED TO PLACE "DEAR NEIGHBOR" DOOR HANGER NOTIFICATIONS ON THE FRONT DOOR OF ALL RESIDENCES AFFECTED BY THE CONSTRUCTION AND "SIDEWALK" SAFETY SIGNS AT EACH LOCATION WITH WORKING CREWS. THIS SHALL BE DONE PRIOR TO ANY WORK STARTING.
- 3. WATER METERS THAT ARE TO BE MOVED SHALL BE MOVED COMPLETELY IN THE SIDEWALK OR COMPLETELY OUT
- OF THE SIDEWALK. WATER METERS MOVED IN THE SIDEWALK SHALL BE LOCATED WITHIN 18" OF THE EDGE. 4. RETAINING WALLS WITH A MAX HEIGHT OF 12" OR LESS SHALL BE POURED IN CONTINUITY WITH THE SIDEWALK. WALLS WITH A MAX HEIGHT GREATER THAN 12" SHALL BE SEGMENTAL BLOCK WALLS.
- 5. ALL SIGNS TO BE RELOCATED SHALL BE LOCATED WITHIN 6 INCHES BEHIND THE BACK EDGE OF THE SIDEWALK.
- 6. MAILBOXES SHALL BE RELOCATED TO THE FRONT OF THE SIDEWALK BUT SHALL ALSO PROVIDE A MINIMUM OF 3 FEET OF CLEARANCE BEHIND THE MAILBOX TO MEET ADA REQUIREMENTS.
- 7. EXISTING ROOF DRAINS SHALL BE ROUTED THROUGH SIDEWALK. ROOF DRAINS LARGER THAN 4" WILL REQUIRE A TROUGH DRAIN

#### FIRE DEPARTMENT

WEIGHING 85,000LBS.

- BUILDING STREET NUMBERS SHALL BE PLAINLY VISIBLE FROM STREET.
- . A KNOXBOX KEY BOX SHALL BE MOUNTED TO THE SIDE OF THE FRONT OR MAIN ENTRANCE. AN ELEVATOR KEYBOX WILL BE REQUIRED.
- OVERHEAD WIRING OR OTHER OBSTRUCTIONS SHALL BE HIGHER THAN 13.5'.
- . AN APPROVED WATER SUPPLY DURING CONSTRUCTION SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON SITE.
- 6. IF THE FLOOR LEVEL OF THE HIGHEST STORY IS MORE THAN 30' ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS, THEN A CLASS I STANDPIPE SYSTEM MUST BE INSTALLED IN ADDITION TO THE SPRINKLER SYSTEM.
- 7. WHERE A BUILDING HAS BEEN CONSTRUCTED TO A HEIGHT GREATER THAN 50' OR FOUR STORIES, AT LEAST ONE TEMPORARY LIGHTED STAIRWELL SHALL BE PROVIDED UNLESS OR MORE PERMANENT STAIR ARE ERECTED AS THE CONSTRUCTION PROGRESSES.
- 8. BUILDINGS FOUR OR MORE STORIES IN HEIGHT SHALL BE PROVIDED WITH NOT LESS THAN ONE STANDPIPE OR USE DURING CONSTRUCTION. SUCH STANDPIPES SHALL BE INSTALLED WHEN THE PROGRESS OF CONSTRUCTION IS NOT MORE THAN 40' IN HEIGHT ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT ACCESS. SUCH STANDPIPE SHALL BE PROVIDED WITH FIRE DEPARTMENT HOSE CONNECTIONS AT ACCESSIBLE LOCATIONS ADJACENT TO USABLE STAIRS. SUCH STANDPIPES SHALL BE EXTENDED AS CONSTRUCTION PROGRESSES TO WITHIN ONE FLOOR OF THE HIGHEST POINT OF CONSTRUCTION HAVING SECURED DECKING OR FLOORING.
- SMOKING TO BE ALLOWED IN ONLY DESIGNATED SPACES WITH PROPER RECEPTACLES. "NO SMOKING" SIGNS SHALL BE POSTED AT EACH BUILDING SITE AND WITHIN EACH BUILDING DURING CONSTRUCTION.
- 10. WASTE DISPOSAL OF COMBUSTIBLE DEBRIS SHALL BE REMOVED FROM THE BUILDING AT THE END OF EACH WORKDAY. 11. CUTTING AND WELDING. OPERATIONS INVOLVING THE USE OF CUTTING AND WELDING SHALL BE DONE IN ACCORDANCE WITH CHAPTER 35, OF THE VIRGINIA STATEWIDE FIRE PREVENTION CODE, ADDRESSING WELDING AND
- HOTWORK OPERATIONS. 12. FIRE EXINGUISHERS SHALL BE PROVIDED WITH NOT LESS THAN ONE APPROVED PORTABLE FIRE EXTINGUISHER AT EACH
- STAIRWAY ON ALL FLOOR LEVELS WHERE COMBUSTIBLE MATERIALS HAVE BEEN ACCUMULATED. 13. REQUIRED VEHICLE ACCESS FOR FIRE FIGHTING SHALL BE PROVIDED TO ALL CONSTRUCTION OR DEMOLITION SITES. VEHICLE ACCESS SHALL BE PROVIDED WITHIN 100' OF TEMPORARY OR PERMANENT FIRE DEPARTMENT CONNECTIONS. VEHICLE ACCESS SHALL BE PROVIDED BY EITHER TEMPORARY OR PERMANENT ROADS, CAPABLE OF SUPPORTING VEHICLE LOADING UNDER ALL WEATHER CONDITIONS. VEHICLE ACCESS SHALL BE MAINTAINED UNTIL PERMANENT FIRE APPARATUS ACCESS ROADS ARE AVAILABLE. ALL PAVEMENT SHALL BE CAPABLE OF SUPPORTING FIRE APPARATUS
- 14. A PERMIT IS REQUIRED FOR FIRE LINE INSTALLATION. A DETAILED DRAWING (2 SETS) SHOWING FITTINGS AND THRUST BLOCKS MUST BE SUBMITTED WITH THE PERMIT APPLICATION. ONCE INSTALLED, THE FIRE LINE REQUIRES A VISUAL INSPECTION AND A PRESSURE TEST INSPECTION BY THE FIRE MARSHALL'S OFFICE.
- 15. FIRE HYDRANTS, FIRE PUMP TEST HEADER, FIRE DEPARTMENT CONNECTIONS OR FIRE SUPPRESSION SYSTEM CONTROL VALVES SHALL REMAIN CLEAR AND UNOBSTRUCTED BY LANDSCAPING, PARKING OR OTHER OBJECTS. LANDSCAPING IN THE AREA OF THESE ITEMS SHALL BE OF THE TYPE THAT WILL NOT ENCROACH ON THE REQUIRED FIVE FOOT RADIUS ON MATURITY OF THE LANDSCAPING.
- 16. NO VEHICLE/MACHINERY OF ANY TYPE, CONSTRUCTION MATERIALS OR CONSTRUCTION DEBRIS IS TO BE PARKED WITHIN 15 FT OF EITHER SIDE OR IN FRONT OF A FIRE HYDRANT.

#### SITE PLAN LEGEND

EXIS	TING		
	PROPERTY LINE	X	FENCE
•	POST/BOLLARD	— — xxx— —	MAJOR CONTOUR
<del></del>	SIGN	xxx	MINOR CONTOUR
	BUMPER BLOCK	<b>*</b>	SURVEY CONTROL MONUME
	TRAFFIC CONTROL BOX	Δ	SURVEY CONTROL POINT
0	UNKNOWN MANHOLE		
	- STORM SEWER	PROPOSI	=D
0	STORM SEWER MANHOLE	1110100	
	CATCH BASIN		- WATER
— — SAN— —	- SANITARY SEWER	G	- GAS
©	SANITARY SEWER MANHOLE		■ STORM
	— WATER LINE	SAN-	- SANITARY
<b>∞</b>	WATER MANHOLE		CATCH BASIN
⊗	WATER VALVE	10	STORM MANHOLE
	FIRE HYDRANT	⟨E⟩ <sub>•</sub>	SANITARY MANHOLE
G	— GAS LINE		SANITARY CLEAN OUT
•	GAS METER	<del>I</del> •∞ <del>-</del> ♦	FIRE HYDRANT
<del>- 0 -</del>	GAS MARKER	<	FDC
— — UGT— —	COMMUNICATIONS/TELEPHONE LINE	———	METER
©	TELEPHONE/COMMUNICATIONS MANHOLE		SETBACK
	COMMUNICATIONS VAULT	8	WATER VALVE
	ELECTRIC LINE	•	BOLLARD
— — UGP— —		<del>- o -</del>	STREET SIGN
<b>©</b>	ELECTRIC MANHOLE	X	- FENCE
<b>1</b>	ELECTRIC PULLBOX	xxx	<ul> <li>MAJOR CONTOUR</li> </ul>
<b>①</b>	ELECTRIC METER	XXX	- MINOR CONTOUR
Ø	UTILITY POLE	••	SITE LIGHT
	DECIDUOUS TREE	$\otimes$	PARKING SPACE COUNT
_ 0 0 0 0	— GUARDRAIL	TC	TOP OF CURB

#### GENERAL NOTES

- ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT VIRGINIA DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS AND STANDARDS.
- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CONSULT THE ENGINEER AND VERIFY THE APPROVAL OF THE PLANS BY ALL FEDERAL, STATE AND LOCAL AGENCIES.
- THE CONTRACTOR SHALL VERIFY THE ELEVATIONS OF ALL POINTS OF CONNECTION OR PROPOSED WORK TO
- EXISTING CURBS, SANITARY LINES, WATERLINES, ETC, PRIOR TO CONSTRUCTION. UPON DISCOVERY OF SOILS THAT ARE UNSUITABLE FOR FOUNDATIONS, SUBGRADES, OR OTHER ROADWAY CONSTRUCTION PURPOSES, THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE OWNER. THESE AREAS SHALL BE EXCAVATED BELOW PLAN GRADE AS DIRECTED BY THE OWNER, BACKFILLED WITH SUITABLE MATERIAL AND
- COMPACTED IN ACCORDANCE WITH CURRENT. ALL STORM SEWER DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH VDOT I AND I LD-94 (D) 121.13. ALL RCP STORM SEWER PIPE SHALL BE REINFORCED TONGUE AND GROVE CONCRETE PIPE IN ACCORDANCE WITH ASTM-C-76. PIPE SHALL BE MINIMUM CLASS III OR GREATER IN ACCORDANCE WITH CURRENT VDOT STANDARDS
- AND SPECIFICATIONS. 7. IF PRE-CAST UNITS ARE TO BE USED CERTIFICATION AND VDOT STAMP WILL BE REQUIRED ON ALL UNITS.
- 8. ALL CONCRETE SHALL BE A3-AE (AIR ENTRAINED 3,000 PSI), UNLESS

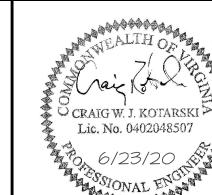
AND APPROVED BY THE ENGINEER.

APPLICATION OF THE SURFACE COURSE(S).

- OTHERWISE NOTED. 9. DESIGN CHANGES, SPECIFIED MATERIALS CHANGES AND/OR FIELD CHANGES FROM THE APPROVED PLANS NEED TO BE RESUBMITTED TO THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK. A LETTER OF EXPLANATION SHALL ACCOMPANY THE REVISED PLANS AND/OR THE DRAINAGE CALCULATIONS, WHICH MUST BE SUBMITTED
- 10. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHOWN ON PLANS IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTACT ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON PLAN. IF THERE APPEARS TO BE A CONFLICT, AND/OR UPON DISCOVERY OF ANY UTILITY NOT SHOWN ON THIS PLAN, CALL MISS UTILITY OF CENTRAL VIRGINIA AT 1-800-552-7001.
- 11. THE INSTALLATION OF SEWER, WATER, AND GAS MAINS (INCLUDING SERVICE LATERALS AND SLEEVES) SHALL BE COMPLETED PRIOR TO THE PLACEMENT OF AGGREGATE BASE COURSE.
- 12. A PRIME COAT SEAL BETWEEN THE AGGREGATE BASE AND BITUMINOUS CONCRETE WILL BE REQUIRED AT THE
- RATE OF 0.30 GALLONS PER SQUARE YARD (REC-250 PRIME COAT) PER VDOT STANDARDS AND SPECIFICATIONS.

13. THE SCHEDULING OF AGGREGATE BASE INSTALLATION AND SUBSEQUENT PAVING ACTIVITIES SHALL

- ACCOMMODATE FORECAST WEATHER CONDITIONS PER SECTION 315 OF THE ROAD AND BRIDGE SPECIFICATIONS. 14. THE OWNERS REPRESENTATIVE SHALL HAVE APPROVED THE AGGREGATE BASE COURSE(S) FOR DEPTH, TEMPLATE AND PERFORMED THE REQUIRED FIELD INSPECTION (PROOF ROLL) PRIOR TO PLACEMENT OF ANY SURFACE COURSE(S). CONTACT THE OWNER FOR INSPECTION FOR THE AGGREGATE BASE COURSE(S) 48 HOURS PRIOR TO
- 15. ALL VEGETATION AND ORGANIC MATERIAL MATERIAL IS TO BE REMOVED FROM THE PROPOSED PAVEMENT LIMITS PRIOR TO CONDITIONING OF THE SUBGRADE.
- 16. CERTIFICATION AND SOURCE OF MATERIALS ARE TO BE SUBMITTED TO THE OWNER FOR ALL MATERIALS AND BE IN ACCORDANCE WITH THE ROAD AND BRIDGE SPECIFICATIONS, AND ROAD AND BRIDGE STANDARDS.
- 17. ALL NEW HANDICAP ACCESSIBLE REQUIREMENTS ON-SITE AND WITHIN ALL NEW STRUCTURES SHALL COMPLY WITH THE 2006 UNIFORM STATEWIDE BUILDING CODE, 2006 VIRGINIA CONSTRUCTION CODE, AND ICC/ANSI
- 18. HORIZONTAL AND VERTICAL SIGHT DISTANCES SHALL BE FREE OF PARKED VEHICLES.



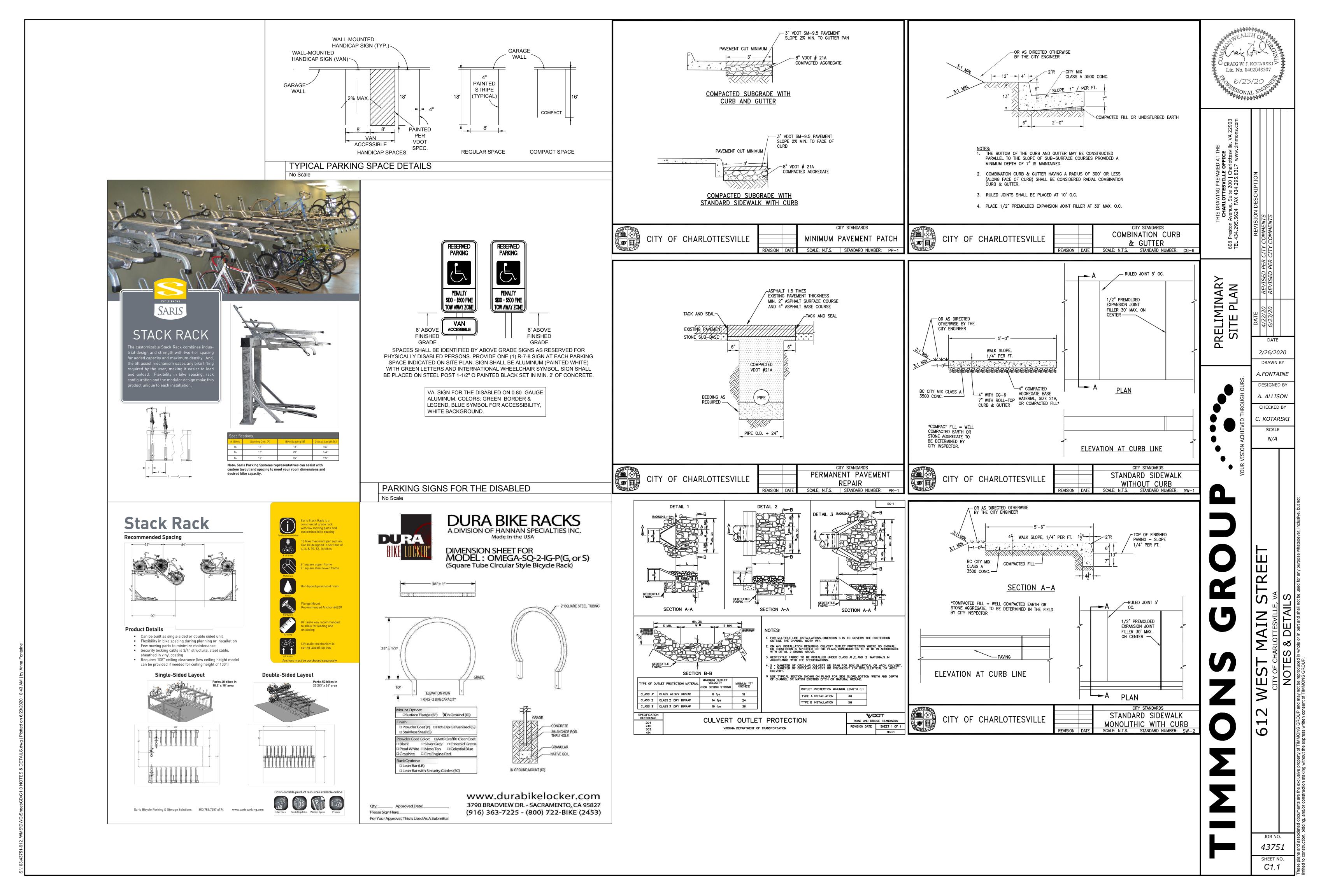
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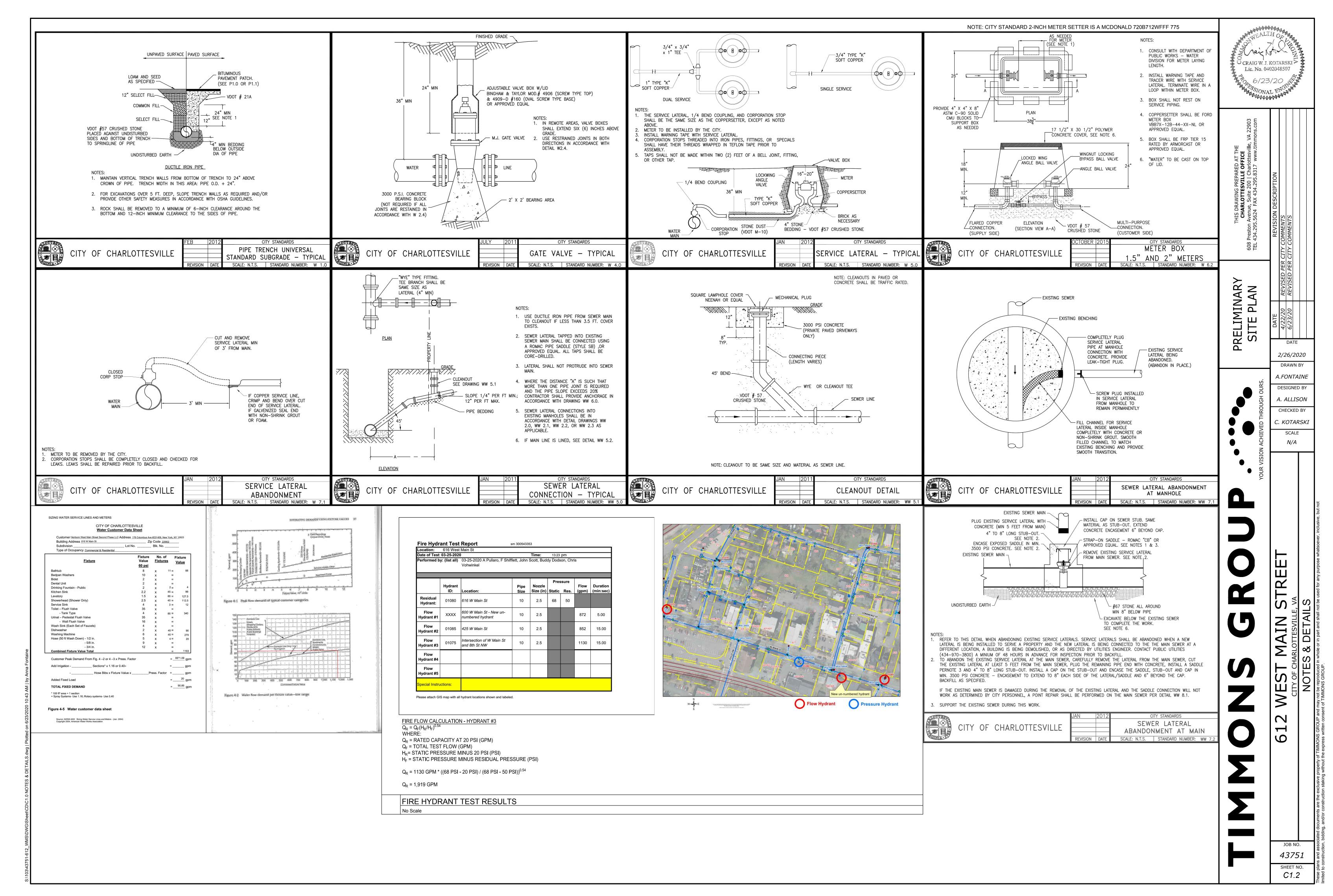
2/26/2020 DRAWN BY A.FONTAINE DESIGNED BY A. ALLISON CHECKED BY

. KOTARSKI SCALE

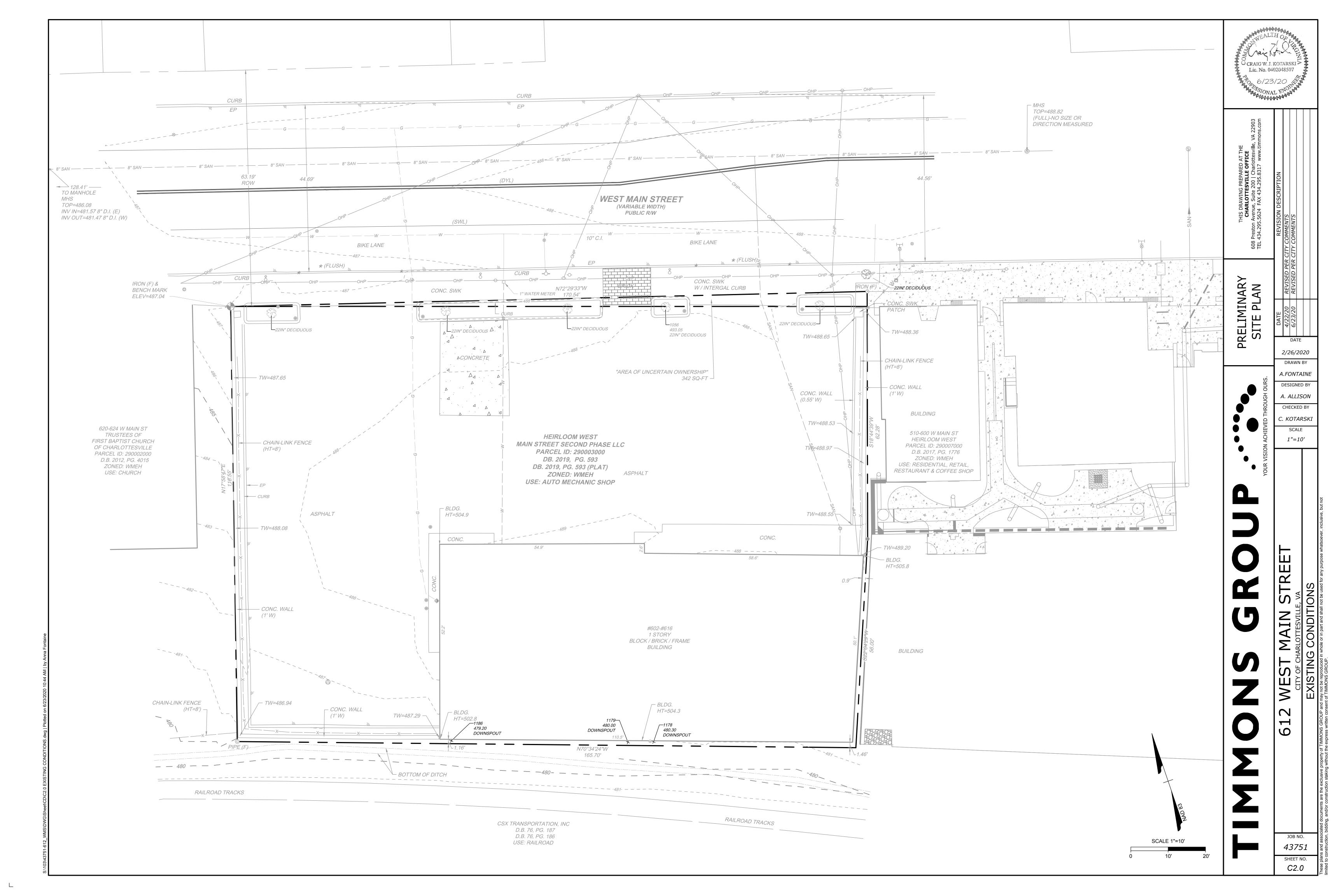
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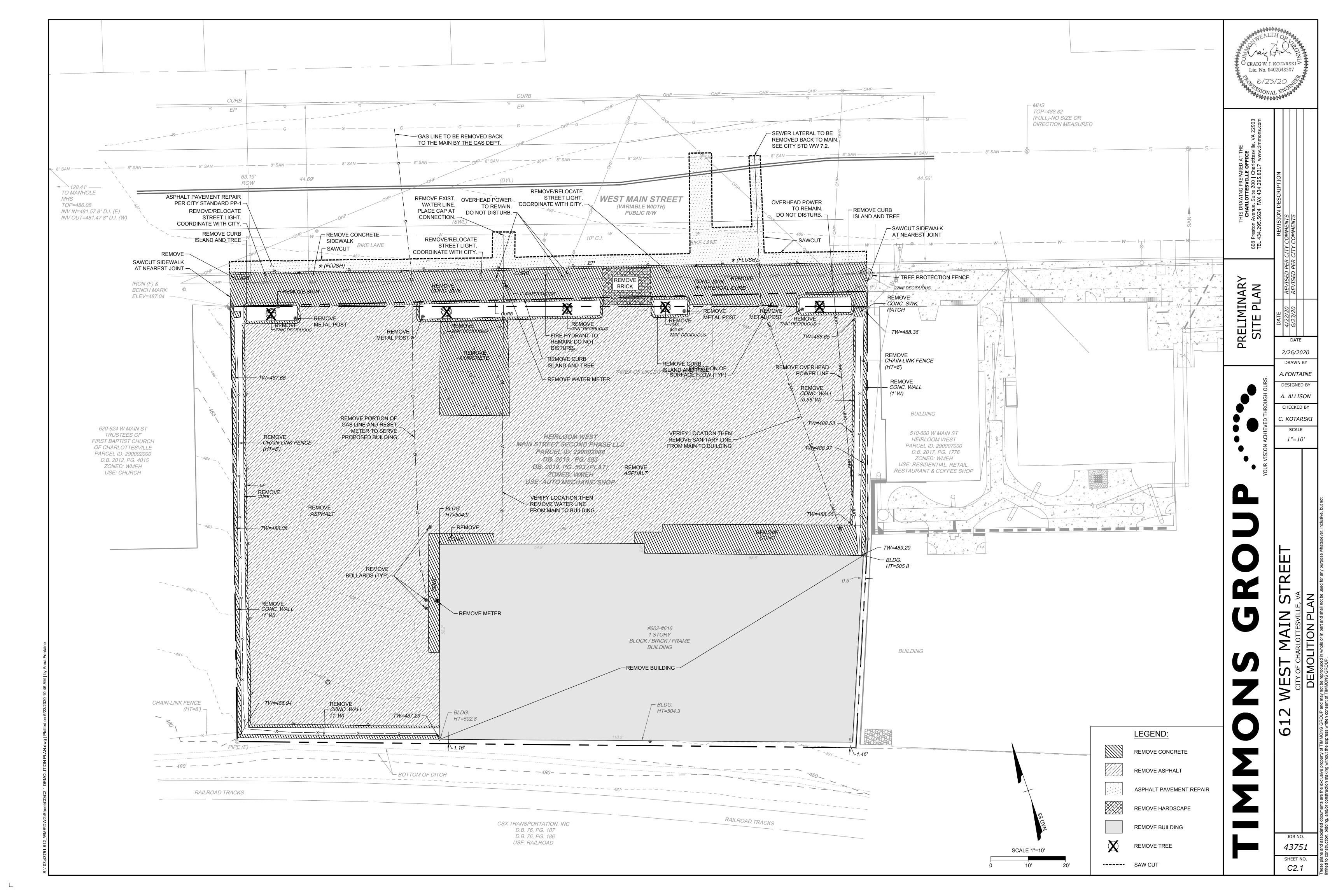


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THIS PROJECT INCLUDES THE DEMOLITION OF AN EXISTING STRUCTURE AND PARKING LOT, AS WELL AS THE CONSTRUCTION OF A MULTISTORY BUILDING WITH A BELOW GROUND PARKING GARAGE AND OTHER ASSOCIATED SITE WORK. THE LIMITS OF DISTURBANCE IS 0.516 ACRES.

THE PROJECT SITE IS BOUND BY WEST MAIN STREET TO THE NORTH, AN OFFICE BUILDING TO THE WEST, A MIXED USE BUILDING TO THE EAST, AND TRAIN TRACKS TO THE SOUTH.

THE SITE CURRENTLY CONTAINS AN AUTO REPAIR BUILDING AND A PARKING AREA.

NO OFFSITE AREAS WILL BE DISTURBED

CRITICAL EROSION AREAS THERE ARE NO CRITICAL EROSION AREAS ON THIS SITE.

#### **EROSION AND SEDIMENT CONTROL MEASURES**

UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE CURRENT ADDITION OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK. THE MINIMUM STANDARDS OF THE VESCH SHALL BE ADHERED TO UNLESS OTHERWISE WAIVED OR APPROVED BY A VARIANCE BY LOCAL AUTHORITIES HAVING JURISDICTION.

STORMWATER RUNOFF WILL BE DETAINED IN STORAGE PIPES AND OFFSITE CREDITS WILL BE PURCHASED.

- 1. TEMPORARY CONSTRUCTION ENTRANCE 3.02 A TEMPORARY CONSTRUCTION ENTRANCE SHALL BE PROVIDED AT THE LOCATION INDICATED ON THE PLANS. IT IS IMPERATIVE THAT THIS MEASURE BE MAINTAINED THROUGHOUT CONSTRUCTION. ITS PURPOSE IS TO REDUCE THE AMOUNT OF MUD TRANSPORTED ONTO PAVED PUBLIC ROADS BY
- 2. STORM DRAIN INLET PROTECTION 3.07 STONE FILTERS SHALL BE PLACED AT THE INLET OF ALL DRAINAGE STRUCTURES AS INDICATED ON PLANS. ITS PURPOSE IS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAINAGE SYSTEM PRIOR TO PERMANENT STABILIZATION.
- 3. <u>DUST CONTROL</u> 3.39 DUST CONTROL IS TO BE USED THROUGH THE SITE IN AREAS SUBJECT TO SURFACE AND AIR

- 1. TOPSOIL (TEMPORARY STOCKPILE) 3.30 TOPSOIL SHALL BE STRIPPED FROM AREAS TO BE GRADED AND STOCKPILED FOR LATER SPREADING. STOCKPILE LOCATIONS SHALL BE LOCATED ONSITE AND SHALL BE STABILIZED WITH TEMPORARY SILT FENCE AND VEGETATION.
- 2. <u>TEMPORARY SEEDING</u> 3.31 ALL DENUDED AREAS WHICH WILL BE LEFT DORMANT FOR MORE THAN 30 DAYS SHALL BE SEEDED WITH FAST GERMINATING TEMPORARY VEGETATION IMMEDIATELY FOLLOWING GRADING OF THOSE AREAS. SELECTION OF THE SEED MIXTURE SHALL DEPEND ON THE TIME OF YEAR IT IS APPLIED.
- 3. PERMANENT SEEDING 3.32 FOLLOWING GRADING ACTIVITIES, ESTABLISH PERENNIAL VEGETATIVE COVER BY PLANTING SEED TO REDUCE EROSION, STABILIZE DISTURBED AREAS, AND ENHANCE NATURAL BEAUTY.
- 4. SOIL STABILIZATION BLANKETS & MATTING 3.36 A PROTECTIVE COVERING BLANKET OR SOIL STABILIZATION MAT SHALL BE INSTALLED ON PREPARED PLANTING AREAS OF CHANNELS TO PROTECT AND PROMOTE VEGETATION ESTABLISHMENT AND REINFORCE ESTABLISHED TURF.

- 1. PROVIDE SEDIMENT TRAPPING MEASURES AS A FIRST STEP IN GRADING, SEED AND MULCH IMMEDIATELY
- PROVIDE TEMPORARY SEEDING OR OTHER STABILIZATION IMMEDIATELY AFTER GRADING
- 3. ISOLATE TRENCHING FOR UTILITIES AND DRAINAGE FROM DOWNSTREAM CONVEYANCES IN ORDER TO MINIMIZE
- 4. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE MAINTAINED UNTIL THEY ARE NO LONGER REQUIRED TO COMPLY WITH THE CONTRACT DOCUMENTS OR STATE LAW.

ALL NON-PAVED AREAS DISTURBED BY CONSTRUCTION SHALL BE STABILIZED WITH PERMANENT SEEDING IMMEDIATELY FOLLOWING FINISHED GRADING. SEEDING SHALL BE IN ACCORDANCE WITH STD. & SPEC. 3.32, PERMANENT SEEDING. SEED TYPE SHALL BE AS SPECIFIED FOR "MINIMUM CARE LAWNS" AND "GENERAL SLOPES" IN THE HANDBOOK FOR SLOPES LESS THAN 3:1. FOR SLOPES GREATER THAN 3:1, SEED TYPE SHALL BE AS SPECIFIED FOR "LOW MAINTENANCE SLOPES" IN TABLE 3.32-D OF THE HANDBOOK. FOR MULCH (STRAW OR FIBER) SHALL BE USED ON ALL SEEDED SURFACES. IN ALL SEEDING OPERATIONS SEED, FERTILIZER AND LIME SHALL BE APPLIED PRIOR TO MULCHING.

#### SEQUENCE OF INSTALLATION

- 1. A PRE-CONSTRUCTION MEETING IS REQUIRED WITH THE CITY OF CHARLOTTESVILLE E&S INSPECTOR, CONTRACTOR,
- OWNER, AND ENGINEER. THIS MEETING SHALL TAKE PLACE ON SITE.
- 2. PRIOR TO DEMOLITION BEGINNING, THE CONTRACTOR SHALL INSTALL ALL INLET PROTECTION, CONSTRUCTION ENTRANCE, SAFETY FENCE AND SILT FENCE.
- CONSTRUCT SEDIMENT TRAP
- 4. AFTER ALL ESC ITEMS SHOWN ON THE PHASE 1 E&S PLAN ON SHEET C3.1. CONTRACTOR CAN BEGIN DEMOLITION. 5. TEMPORARILY SEED DENUDED AREAS PER VESCH STANDARDS.

1. BEGIN STRUCTURE EXCAVATION. INSTALL AND MAINTAIN SHEETING & SHORING AS DESIGNED BY OTHERS. 2. CONSTRUCT WALLS AS ALLOWED AND LOWER SEDIMENT TRAP AS EXCAVATION OCCURS.

- PHASE III
- 1. INSTALL ADDITIONAL INLET PROTECTION WHERE SHOWN ON THE PHASE III E&S PLAN ON SHEET C3.3, AS THE STORM SYSTEM IS CONSTRUCTED AND BECOMES OPERATIONAL
- 2. FINE GRADE PROJECT AREA. APPLY PERMANENT SOIL STABILIZATION WITHIN SEVEN DAYS AFTER FINAL GRADE IS ACHIEVED.
- 3. ALL STORMWATER PIPING AND STRUCTURES SHALL BE INSPECTED FOR SILT/SEDIMENT. IF PRESENT
- SILT/SEDIMENT SHALL BE CLEANED OUT FOR THE SYSTEM TO THE SATISFACTION OF THE E&S INSPECTOR. 4. MULCH AND SEED ALL AREAS TO BE GRASS IN FINAL CONDITION AS SOON AS FINAL GRADE IS ACHIEVED.
- PREVIOUSLY PAVED AREAS SHALL BE ROTOTILLED WITH 6" OF AMENDED TOP SOIL PRIOR TO PERMANENT SEEDING **BEING APPLIED**
- 5. ONCE CONSTRUCTION IS COMPLETE AND ALL CONTRIBUTING AREAS ARE STABILIZED, EROSION CONTROL MEASURES CAN BE REMOVED UPON APPROVAL FROM THE E&S INSPECTOR

#### GENERAL EROSION AND SEDIMENT CONTROL NOTES:

- UNLESS OTHERWISE INDICATED, CONSTRUCT AND MAINTAIN ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE LATEST EDITION OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK AND VIRGINIA REGULATIONS VR 625-02-00 EROSION AND SEDIMENT CONTROL REGULATIONS.
- THE CONTROLLING EROSION AND SEDIMENT CONTROL AUTHORITY WILL MAKE A CONTINUING REVIEW AND EVALUATION OF THE METHODS AND EFFECTIVENESS OF THE EROSION CONTROL PLAN.
- ES-3: PLACE ALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO OR AS THE FIRST STEP IN CLEARING, GRADING, OR LAND DISTURBANCE.
- MAINTAIN A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN ON THE SITE AT ALL TIMES. ES-4:
- PRIOR TO COMMENCING LAND-DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS ES-5: (INCLUDING, BUT NOT LIMITED TO, OFFSITE BORROW OR WASTE AREA), SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE ARCHITECT/ENGINEER AND THE CONTROLLING EROSION AND SEDIMENT CONTROL AUTHORITY FOR REVIEW AND ACCEPTANCE.
- ES-6: PROVIDE ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE RESPONSIBLE LAND DISTURBER. (MODIFIED NOTE)
- ALL DISTURBED AREAS SHALL DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND-DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT.
- DURING DEWATERING OPERATIONS, PUMP WATER INTO AN APPROVED FILTERING DEVICE, ENSURE THAT ES-8: PUMP INLET IS KEPT ABOVE SETTLED SEDIMENT.
- INSPECT ALL EROSION CONTROL MEASURES DAILY AND AFTER EACH RUNOFF- PRODUCING RAINFALL EVENT. MAKE ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES IMMEDIATELY.

#### MINIMUM STANDARDS:

- AN EROSION AND SEDIMENT CONTROL PROGRAM ADOPTED BY A DISTRICT OR LOCALITY MUST BE CONSISTENT WITH THE FOLLOWING CRITERIA TECHNIQUES AND METHODS:
- MS-1. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 14 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT DORMANT FOR MORE THAN ONE YEAR.
- MS-2. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES AND BORROW AREAS SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS BORROW AREAS AND SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
- MS-3. A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED. PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL A GROUND COVER IS ACHIEVED THAT IS UNIFORM, MATURE ENOUGH TO SURVIVE AND WILL INHIBIT EROSION.
- MS-4. SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCE TAKES PLACE.
- MS-5. STABILIZATION MEASURES SHALL BE APPLIED TO EARTHEN STRUCTURES SUCH AS DAMS, DIKES AND DIVERSIONS IMMEDIATELY AFTER INSTALLATION.

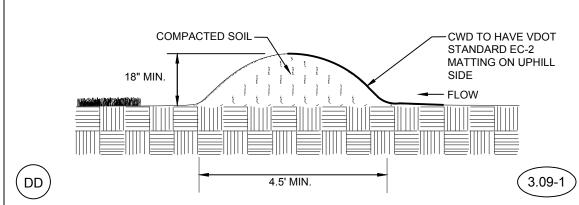
MS-6. SEDIMENT TRAPS AND SEDIMENT BASINS SHALL BE DESIGNED AND CONSTRUCTED BASED UPON THE TOTAL DRAINAGE AREA TO BE SERVED BY THE TRAP OR BASIN.

- A. THE MINIMUM STORAGE CAPACITY OF A SEDIMENT TRAP SHALL BE 134 CUBIC YARDS PER ACRE OF DRAINAGE AREA AND THE TRAP SHALL ONLY CONTROL DRAINAGE AREAS LESS THAN THREE ACRES.
- B. SURFACE RUNOFF FROM DISTURBED AREAS THAT IS COMPRISED OF FLOW FROM DRAINAGE AREAS GREATER THAN OR EQUAL TO THREE ACRES SHALL BE CONTROLLED BY A SEDIMENT BASIN. THE MINIMUM STORAGE CAPACITY OF A SEDIMENT BASIN SHALL BE 134 CUBIC YARDS PER ACRE OF DRAINAGE AREA. THE OUTFALL SYSTEM SHALL, AT A MINIMUM, MAINTAIN THE STRUCTURAL INTEGRITY OF THE BASIN DURING A 25-YEAR STORM OF 24-HOUR DURATION. RUNOFF COEFFICIENTS USED IN RUNOFF CALCULATIONS SHALL CORRESPOND TO A BARE EARTH CONDITION OR THOSE CONDITIONS EXPECTED TO EXIST WHILE THE SEDIMENT BASIN IS UTILIZED.
- MS-7. CUT AND FILL SLOPES SHALL BE DESIGNED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. SLOPES THAT ARE FOUND TO BE ERODING EXCESSIVELY WITHIN ONE YEAR OF PERMANENT STABILIZATION SHALL BE PROVIDED WITH ADDITIONAL SLOPE STABILIZING MEASURES UNTIL THE PROBLEM IS CORRECTED.
- MS-8. CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME OR SLOPE DRAIN STRUCTURE.
- MS-9. WHENEVER WATER SEEPS FROM A SLOPE FACE, ADEQUATE DRAINAGE OR OTHER PROTECTION SHALL BE PROVIDED.
- MS-10. ALL STORM SEWER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
- MS-11. BEFORE NEWLY CONSTRUCTED STORMWATER CONVEYANCE CHANNELS OR PIPES ARE MADE OPERATIONAL, ADEQUATE OUTLET PROTECTION AND ANY REQUIRED TEMPORARY OR PERMANENT CHANNEL LINING SHALL BE INSTALLED IN BOTH THE CONVEYANCE CHANNEL AND RECEIVING CHANNEL.
- MS-12. WHEN WORK IN A LIVE WATERCOURSE IS PERFORMED, PRECAUTIONS SHALL BE TAKEN TO MINIMIZE ENCROACHMENT, CONTROL SEDIMENT TRANSPORT AND STABILIZE THE WORK AREA TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION. NONERODIBLE MATERIAL SHALL BE USED FOR THE CONSTRUCTION OF CAUSEWAYS AND COFFERDAMS. EARTHEN FILL MAY BE USED FOR THESE STRUCTURES IF ARMORED BY NONERODIBLE COVER MATERIALS.
- MS-13. WHEN A LIVE WATERCOURSE MUST BE CROSSED BY CONSTRUCTION VEHICLES MORE THAN TWICE IN ANY SIX-MONTH PERIOD, A TEMPORARY VEHICULAR STREAM CROSSING CONSTRUCTED OF NONERODIBLE MATERIAL SHALL BE PROVIDED.
- MS-14. ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS PERTAINING TO WORKING IN OR CROSSING LIVE WATERCOURSES SHALL BE
- MS-15. THE BED AND BANKS OF A WATERCOURSE SHALL BE STABILIZED IMMEDIATELY AFTER WORK IN THE WATERCOURSE IS COMPLETED
- MS-16. UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA:
  - A. NO MORE THAN 500 LINEAR FEET OF TRENCH MAY BE OPENED AT ONE TIME
  - B. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
  - C. EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.
  - D. MATERIAL USED FOR BACKFILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE
  - E. RESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THESE REGULATIONS.
  - F. APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.
- MS-17. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED OR PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY VEHICULAR TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PAVED OR PUBLIC ROAD SURFACE, THE ROAD SURFACE SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL DEVELOPMENT LOTS AS WELL AS TO LARGER LAND-DISTURBING ACTIVITIES.
- MS-18. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED, UNLESS OTHERWISE AUTHORIZED BY THE LOCAL PROGRAM AUTHORITY. TRAPPED SEDIMENT AND THE DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENTATION.
- MS-19. PROPERTIES AND WATERWAYS DOWNSTREAM FROM DEVELOPMENT SITES SHALL BE PROTECTED FROM SEDIMENT DEPOSITION, EROSION AND DAMAGE DUE TO INCREASES IN VOLUME, VELOCITY AND PEAK FLOW RATE OF STORMWATER RUNOFF FOR THE STATED FREQUENCY STORM OF 24-HOUR DURATION IN ACCORDANCE WITH THE STANDARDS AND CRITERIA LISTED IN THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, CHAPTER 8 PAGES 20-24.

#### SOILS INFORMATION

ENTIRE SITE IS CLASSIFIED AS 91 - URBAN LAND - 0 TO 25 PERCENT SLOPES, 10 INCHES PLUS TO RESTRICTIVE FEATURES. HYDROLOGIC SOIL GROUP D.

> PLACEHOLDER TO MEET REQUIREMENTS. PLEASE DO NOT REVIEW.



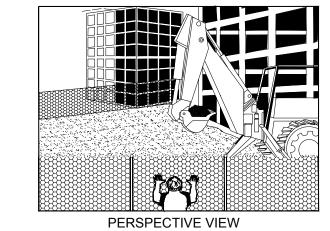
# TEMPORARY DIVERSION DIKE

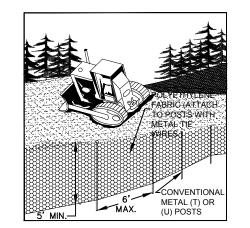
STANDARD ORANGE VINYL OR PLASTIC CONSTRUCTION FENCE ATTACHED TO POSTS (PRE-WEATHERED WOOD, GALVANIZED STEEL, IRON OR THICK PVC PLASTIC), AT LEAST 40" ABOVE FINISH GRADE WITH SPAN BETWEEN POSTS NO GREATER THAN 6' ON CENTER. EVERY NINTH POST SHALL CONTAIN A WARNING SIGN THAT CLEARLY IDENTIFIES THE FENCE AS A TREE PROTECTION

# TREE PROTECTION

FENCE.

(TP)





PERSPECTIVE VIEW

METAL FENCE

60-100

TOTAL LBS. PER ACRE

3.31

3.32

#### PLASTIC FENCE SAFETY FENCE

No Scale

**TABLE 3.31-B** ACCEPTABLE TEMPORARY SEEDING PLANT MATERIALS "QUICK REFERENCE FOR ALL REGIONS"

PLANTING DATES <u>SPECIES</u> RATE (LBS./ACRE) SEPT. 1 - FEB. 15 50/50 MIX OF ANNUAL RYEGRASS (LOLIUM MULTI-FLORUM) 50-100

CEREAL (WINTER) RYE (SECALE CEREALE) FEB. 16 - APR. 30 ANNUAL RYEGRASS

(LOLIUM MULTI-FLORUM)

MAY 1 - AUG. 31 GERMAN MILLET (SETARIA ITALICA)

#### TEMPORARY SEEDING PLANT MATERIALS No Scale

GENERAL SLOPE (3:1 OR LESS)

\* SEE SLOPE STABILIZATION SEED MIX

#### TABLE 3.32-D SITE SPECIFIC SEEDING MIXTURES FOR PIEDMONT AREA

IINIMUM CARE LAWN	
OMMERCIAL OR RESIDENTIAL	175-200 LBS
KENTUCKY 31 OR TURF-TYPE TALL FESCUE	90-100%
IMPROVED PERENNIAL RYEGRASS	0-5%
KENTUCKY BLUEGRASS	0-5%

**KENTUCKY 31 FESCUE** 128 LBS. **RED TOP GRASS** 2 LBS. SEASONAL NURSE CROP \* 20 LBS. 150 LBS. LOW-MAINTENANCE SLOPE (STEEPER THAN 3:1)

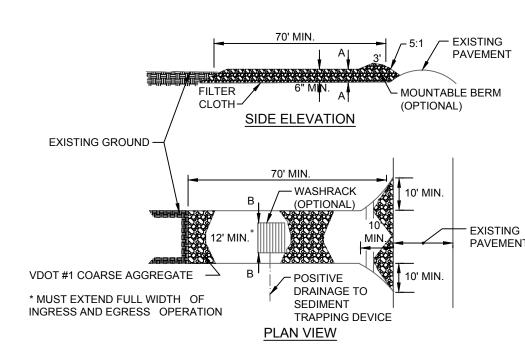
#### \* USE SEASONAL NURSE CROP IN ACCORDANCE WITH SEEDING DATES AS STATED BELOW:

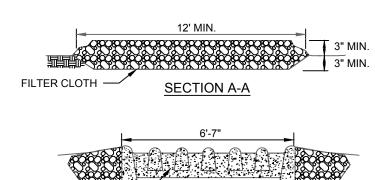
FEBRUARY 16TH THROUGH APRIL. ANNUAL RYE MAY 1ST THROUGH AUGUST 15TH . FOXTAIL MILLET AUGUST 16TH THROUGH OCTOBER. . ANNUAL RYE NOVEMBER THROUGH FEBRUARY 15TH... . WINTER RYE

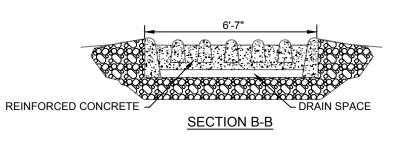
\*\* SUBSTITUTE SERICEA LESPEDEZA FOR CROWNVETCH EAST OF FARMVILLE, VA (MAY THROUGH SEPTEMBER USE HULLED SERICEA, ALL OTHER PERIODS, USE UNHULLED SERICEA). IF FLATPEA IS USED IN LIEU OF CROWNVETCH, INCREASE RATE TO 30 LBS./ACRE. ALL LEGUME SEED MUST BE PROPERLY INOCULATED. WEEPING LOVEGRASS MAY BE ADDED TO ANY SLOPE OR LOW-MAINTENANCE MIX DURING WARMER

PERMANENT SEEDING MIX FOR PIEDMONT AREA

SEEDING PERIODS; ADD 10-20 LBS./ACRE IN MIXES.

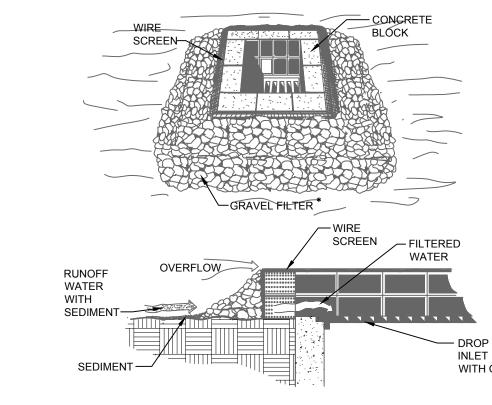




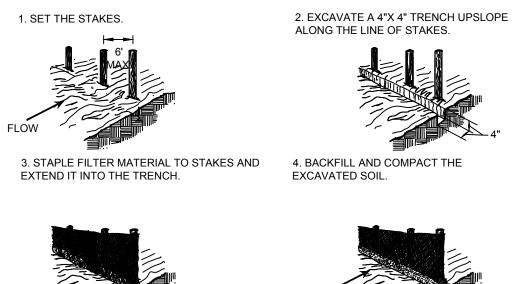


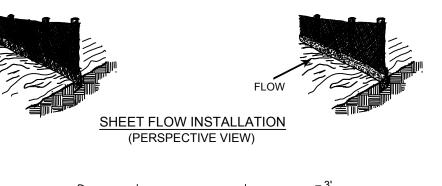


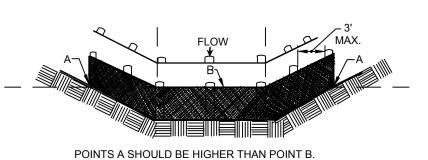
BLOCK AND GRAVEL DROP INLET SEDIMENT FILTER



SPECIFIC APPLICATION: THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE HEAVY FLOWS ARE EXPECTED AND WHERE AN OVERFLOW CAPACITY IS NECESSARY TO PREVENT EXCESSIVE PONDING AROUND THE STRUCTURE.







DRAINAGEWAY INSTALLATION (FRONT ELEVATION)



| SILT FENCE (W/O WIRE SUPPORT)

CRAIG W. J. KOTARSKI Lic. No. 0402048507

 $\Delta \geq$ Ž

3.02

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DATE 2/26/2020

DRAWN BY A.FONTAINE DESIGNED BY A. ALLISON CHECKED BY KOTARSK

SCALE 1"=10'

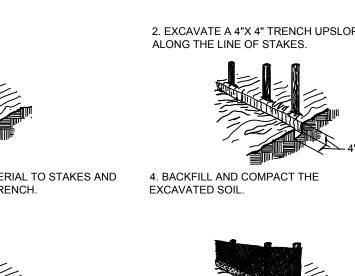
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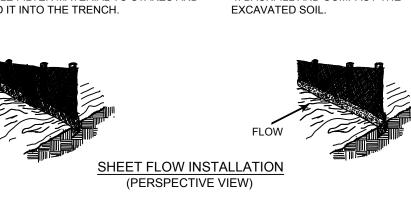
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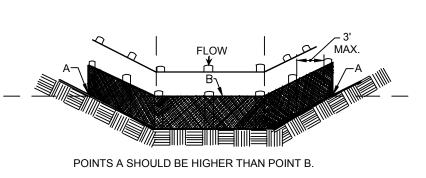
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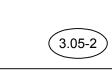
\* GRAVEL SHALL BE VDOT #3, #357 OR #5 COARSE AGGREGATE.

STORM DRAIN INLET PROTECTION

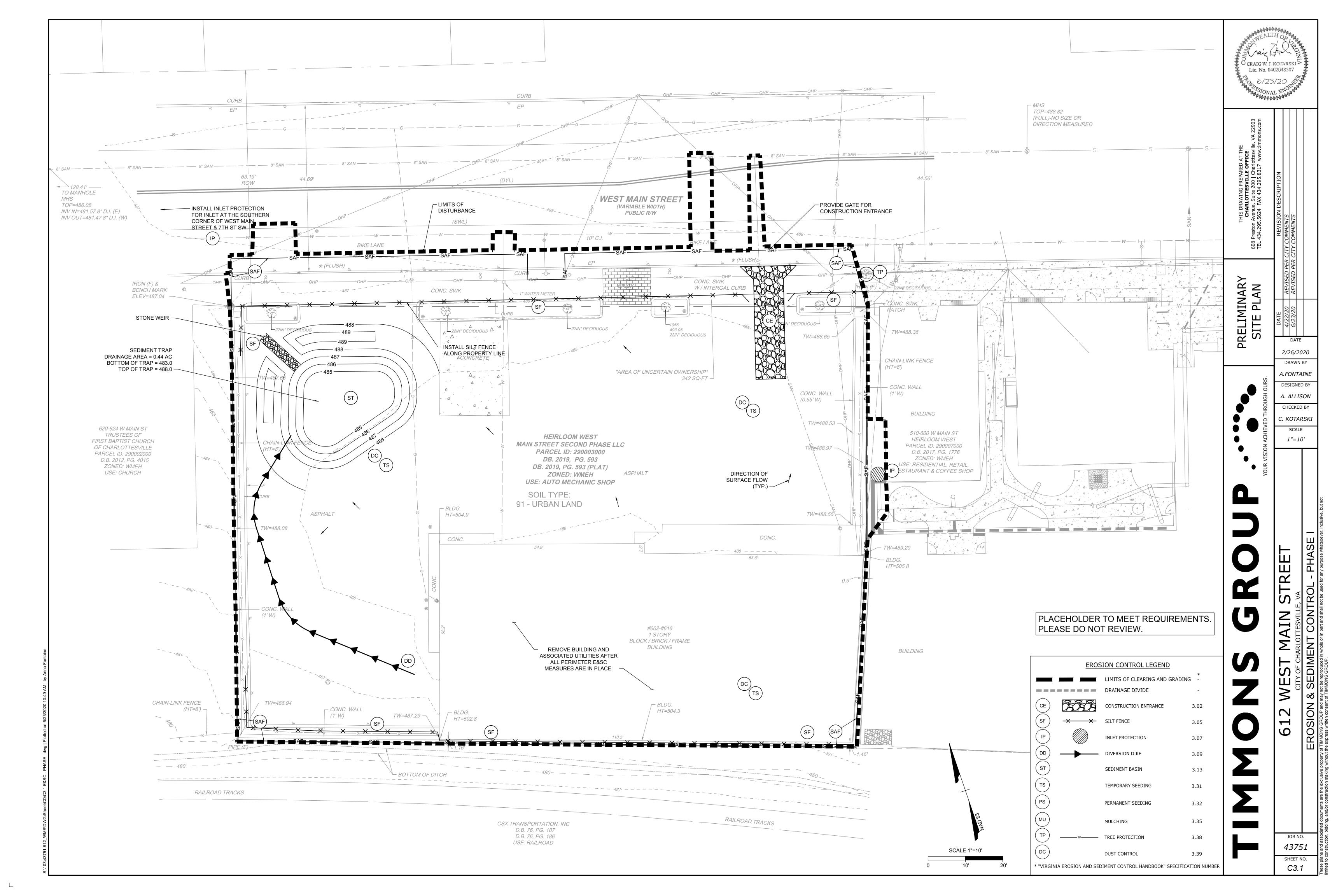


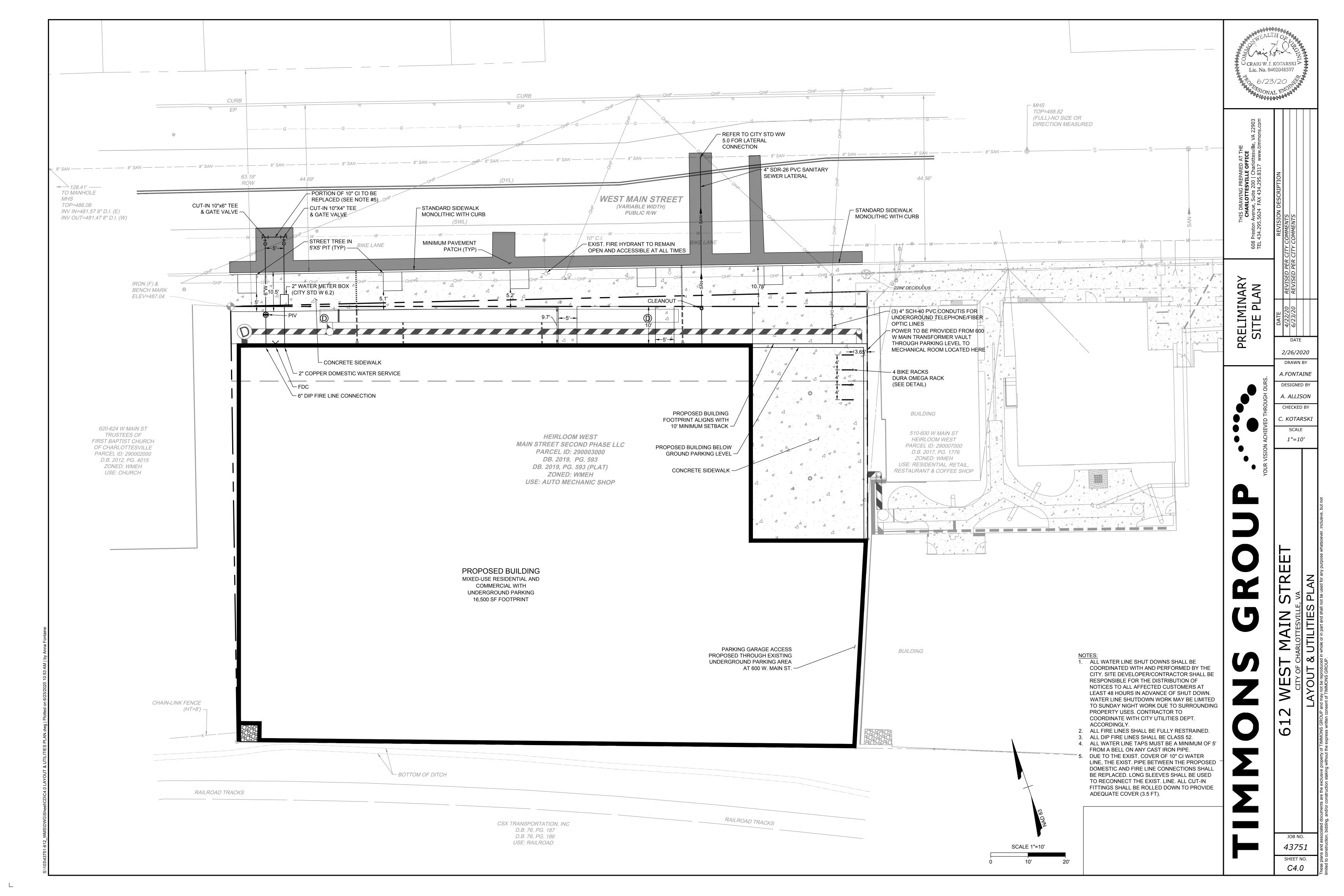


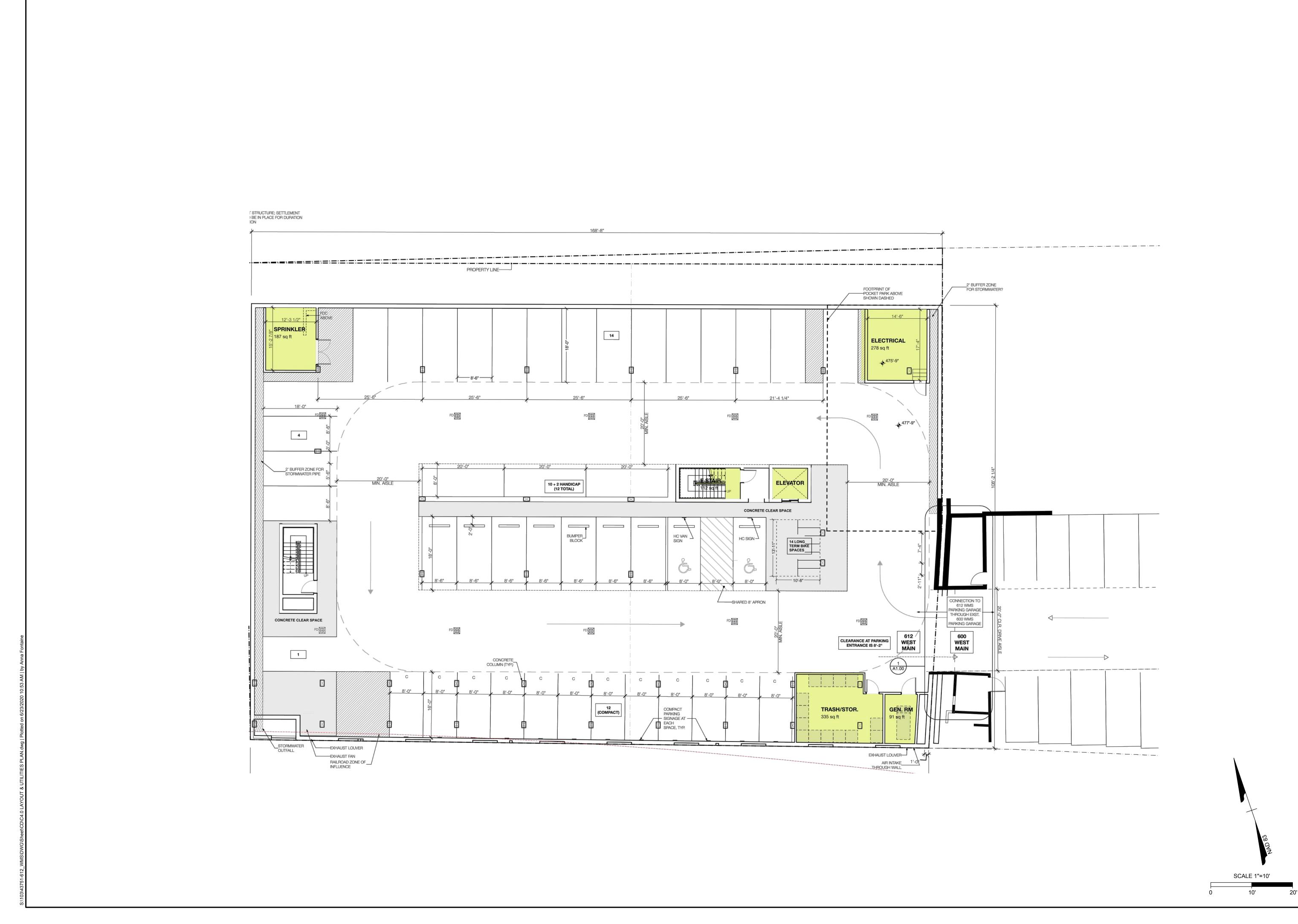


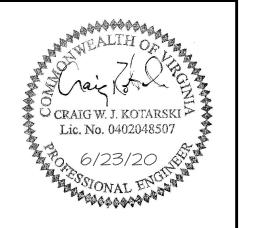


JOB NO. 43751 SHEET NO. C3.0









THIS DRAWING PREPARED AT THE CHARLOTTESVILLE OFFICE
n Avenue, Suite 200 | Charlottesvill 15.5624 FAX 434.295.8317 www.ti

PRELIMINARY SITE PLAN

DATE

2/26/2020

DRAWN BY

A.FONTAINE

DESIGNED BY

A. ALLISON

CHECKED BY

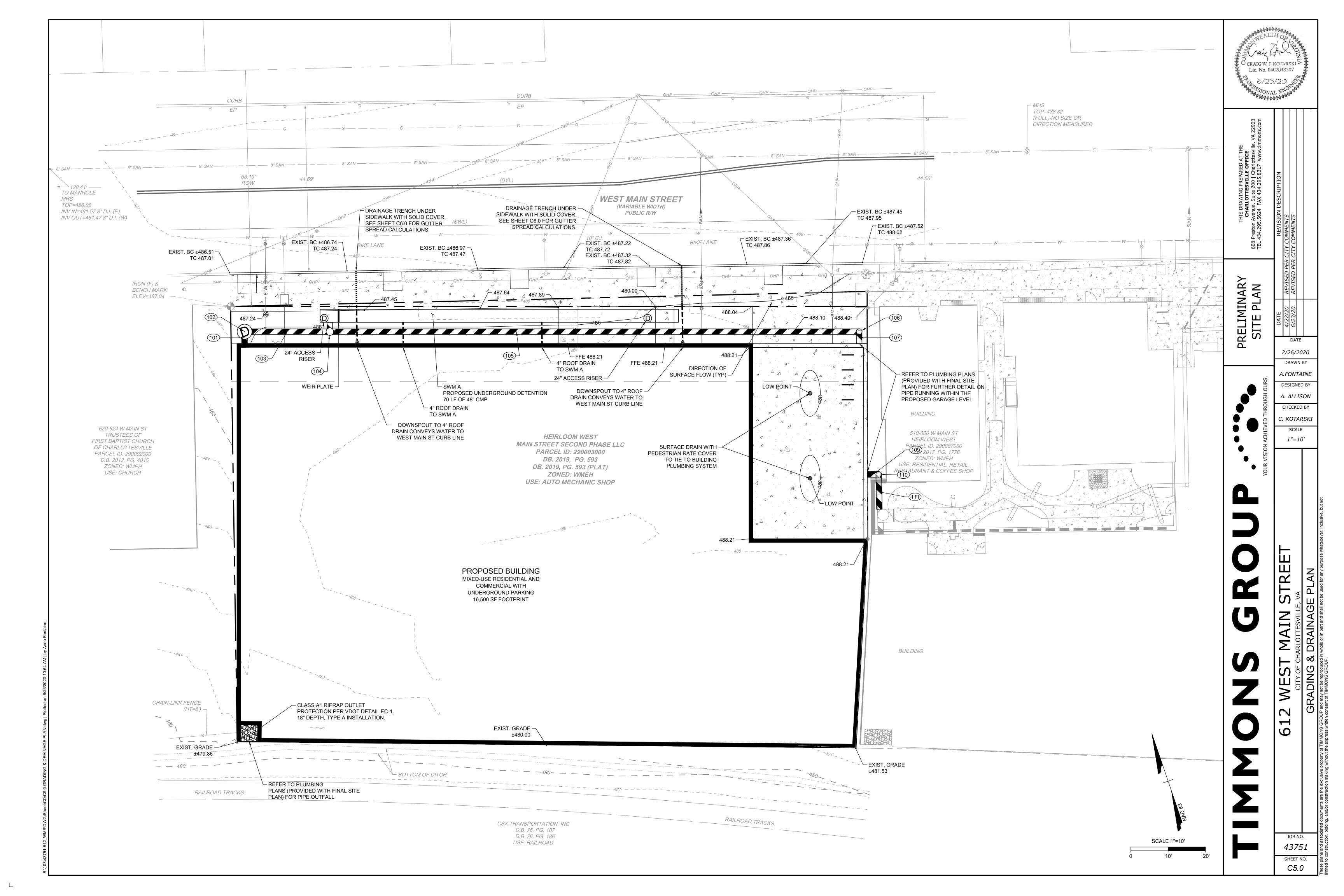
C. KOTARSKI

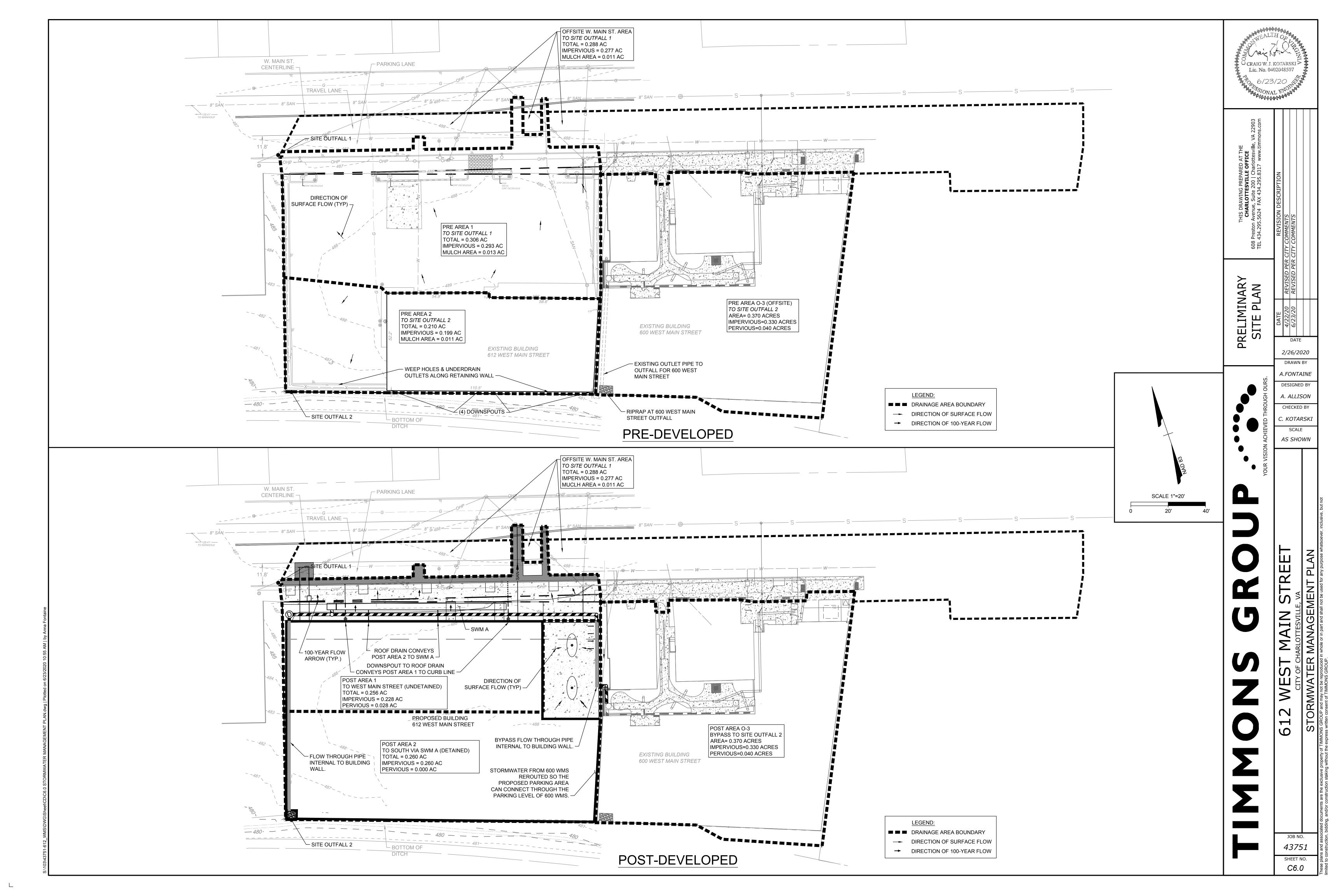
SCALE 1"=10'

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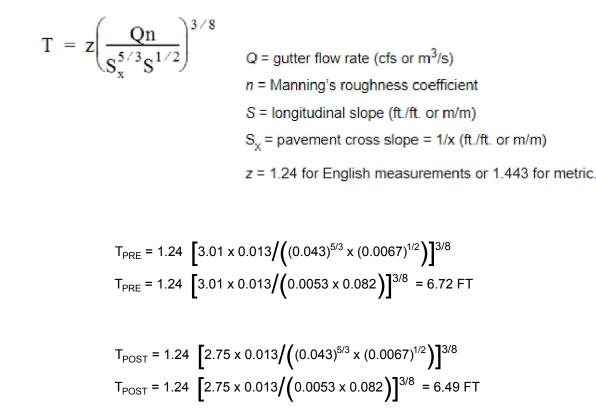
JOB NO. 43751 SHEET NO.

C4.1





#### PRELIMINARY WATER QUANTITY ANALYSIS TO SITE OUTFALL 1 DRAINAGE AREA ANALYSIS (PRE-DEVELOPED) DRAINAGE AREA ANALYSIS (POST-DEVELOPED) POST AREA 1 (UNDETAINED) TO SITE OUTFALL 1 TO SITE OUTFALL 1 AREA = 0.306 ACAREA = 0.256 AC 0.293 AC (IMPERVIOUS) 0.228 AC (IMPERVIOUS) 0.013 AC (MULCH AREA) 0.028 AC (MANAGED TURF) Tc = 6 MINTc = 6 MIN0.072 1.28 1 YEAR 1.05 2 YEAR 1.55 2 YEAR 1.28 10 YEAR 2.36 10 YEAR 1.97 OFFSITE W. MAIN ST. AREA (UNDETAINED) TO SITE OUTFALL 1 AREA = 0.288 AC 0.277 AC (IMPERVIOUS) 0.011 AC (MULCH AREA) Tc = 6 MIN1 YEAR 2 YEAR 1.46 10 YEAR 2.22 CHANNEL PROTECTION (ENERGY BALANCE): $Q_{DEVELOPED} \le 0.90*(Q_{PRE-DEVELOPED}*RV_{PRE-DEVELOPED})/RV_{DEVELOPED}$ $1.05 \text{ CFS} \le 0.90*(1.28 \text{ CFS}*0.072 \text{ AC-FT})/(0.058 \text{ AC-FT}) = 1.43 \text{ CFS}$



95 LF OF 42" CMP - SEE WEIR PLATE DETAIL

Q (CFS) 0.62

0.70

1.59

Q (CFS) 1.62

1.86

4.20

COMBINED FLOW TO SITE OUTFALL 2

1 YEAR 2 YEAR

10 YEAR

1 YEAR

2 YEAR

10 YEAR

Ponded Width of Flow (T)

Transverse slope,  $S_x$ , = 1/z

Depth of flow (y)

**GUTTER SPREAD CALCULATIONS** 

AT W. MAIN ST. CURB

FLOW FROM OFFSITE

TO SITE OUTFALL 1

2 YEAR

THE AREA OF SITE PROPOSED TO BE ROUTED TO SITE OUTFALL 1, COMBINED WITH THE EXISTING STREET STORMWATER FLOW TO SITE OUTFALL 1, PRODUCES A SPREAD OF 6.49 FT INTO THE PARKING LANE WITH THE 2-YEAR STORM.

# PRELIMINARY WATER QUANTITY ANALYSIS TO SITE OUTFALL 2

POST-DEVELOPED Q<sub>10</sub> ≤ PRE-DEVELOPED Q<sub>10</sub>

1.97 CFS (POST-DEVELOPED  $Q_{10}$ )  $\leq$  2.36 CFS (PRE-DEVELOPED  $Q_{10}$ )

DRAINAGE AREA ANALYSIS (POST-DEVELOPED) DRAINAGE AREA ANALYSIS (PRE-DEVELOPED) TO SITE OUTFALL 2 TO UNDERGROUND STORAGE PIPE SWM A AREA = 0.210 AC AREA = 0.26 AC 0.199 AC (IMPERVIOUS) 0.26 AC (IMPERVIOUS) 0.011 AC (MULCH AREA) 0.00 AC (MANAGED TURF) Tc = 6 MINTc = 6 MINV (AC-FT) 1 YEAR 1 YEAR 0.88 0.049 2 YEAR 1.32 2 YEAR 1.07 0.060 0.075 10 YEAR 10 YEAR 1.62 2.01 DRAINAGE FROM 600 W. MAIN ST. DRAINAGE FROM 600 W. MAIN ST.

PRE AREA O-3 (OFFSITE) POST AREA O-3 (OFFSITE) ROUTED THROUGH 612 PIPES TO SITE OUTFALL 2 TO SITE OUTFALL 2 AREA = 0.37 ACAREA = 0.37 AC0.33 AC (IMPERVIOUS) 0.33 AC (IMPERVIOUS) 0.04 AC (MANAGED TURF) 0.04 AC (MANAGED TURF) Tc = 6 MINTc = 6 MINV (AC-FT) V (AC-FT) <u>Q (CFS)</u>

1 YEAR 1 YEAR 0.080 1.49 1.49 2 YEAR 0.099 2 YEAR 1.83 0.099 1.83 10 YEAR 2.82 10 YEAR 2.82 FLOW FROM EXISTING CMP STORAGE PIPE FLOW FROM EXISTING CMP STORAGE PIPE

1 YEAR 1.00 1 YEAR 2 YEAR 1.16 2 YEAR 1.16 10 YEAR 2.76 10 YEAR 2.76

COMBINED FLOW TO SITE OUTFALL 2 1 YEAR 1.80 2 YEAR 2.13

4.26

FLOOD PROTECTION:

CHANNEL PROTECTION (ENERGY BALANCE):

 $Q_{DEVELOPED} \le 0.90*(Q_{PRE-DEVELOPED}*RV_{PRE-DEVELOPED})/RV_{DEVELOPED} + Q_{OFFSITE}$  $1.62 \text{ CFS} \le 0.90*(0.88 \text{ CFS}*0.049 \text{ AC-FT})/(0.061 \text{ AC-FT}) + 1.00 \text{ CFS}$ = 1.63 CFS

FLOOD PROTECTION:

10 YEAR

POST-DEVELOPED Q<sub>10</sub> ≤ PRE-DEVELOPED Q<sub>10</sub>

4.20 CFS (POST-DEVELOPED  $Q_{10}$ )  $\leq$  4.26 CFS (PRE-DEVELOPED  $Q_{10}$ )

THIS PROJECT PROPOSES THE DEMOLITION OF AN EXISTING AUTO REPAIR BUILDING, PARKING AREA, AND ASSOCIATED UTILITIES, FOLLOWED BY THE CONSTRUCTION OF A NEW MIXED USE BUILDING WITH UNDERGROUND PARKING, UTILITY CONNECTIONS, AND ASSOCIATED SITE WORK. THE LIMITS OF DISTURBANCE IS 0.516 ACRES.

THE UNDERGROUND PARKING LEVEL FOR 612 WEST MAIN STREET IS PROPOSED TO BE ACCESSED FROM THE EXISTING UNDERGROUND PARKING LEVEL OF 600 WEST MAIN STREET. TO ACCOMMODATE THIS CONNECTION, THE STORMWATER FROM 600 WEST MAIN STREET WILL BE RE-ROUTED AROUND THE PROPOSED NEW BUILDING AND WILL DISCHARGE AT SITE OUTFALL 2, DOWNSTREAM OF ITS EXISTING OUTFALL.

TO MEET WATER QUANTITY REQUIREMENTS, THE SITE HAS BEEN ANALYZED CONSIDERING TWO OUTFALLS TO WHICH STORMWATER IS DISCHARGING.

IN THE PRE-DEVELOPED CONDITION, THE FRONT OF THE SITE (PRE AREA 1) SHEET FLOWS ACROSS THE IMPERVIOUS DRIVE AREA AND SIDEWALK THROUGH THE 3 EXISTING CURB CUTS ON WEST MAIN STREET. THE CURB ON WEST MAIN STREET ACTS AS A MANMADE CHANNEL CONVEYING WATER TO SITE OUTFALL 1

IN THE POST-DEVELOPED CONDITION, THE AREA DRAINING TO SITE OUTFALL 1 (POST AREA 1) HAS BEEN REDUCED SO THAT THE DISCHARGE AT SITE OUTFALL 1 MEETS ENERGY BALANCE EQUATION REQUIREMENTS. ADDITIONALLY, THE VDOT GUTTER SPREAD CALCULATIONS ARE INCLUDED ON THIS SHEET AND SHOW THAT, WITH THE REDUCTION IN AREA TO SITE OUTFALL 1, THE GUTTER SPREAD AT SITE OUTFALL 1 REDUCES TO 6.49 FEET DURING THE 2-YEAR STORM. THIS IS A REDUCTION FROM THE PRE-DEVELOPED GUTTER SPREAD OF 6.72 FEET. IT IS IMPORTANT TO NOTE THAT THIS GUTTER SPREAD IS IN THE WEST MAIN STREET PARKING LANE, NOT THE TRAVEL LANE.

#### **SITE OUTFALL 2**

PRELIMINARY STORMWATER NARRATIVE

IN THE PRE-DEVELOPED CONDITION, THE REMAINING PROJECT SITE AREA (PRE AREA 2) DRAINS TO SITE OUTFALL 2, AT THE SOUTHWEST CORNER OF THE SITE. THIS OUTFALL IS LOCATED WITHIN A ROCKY, SHALLOW, ROUNDED-BOTTOM DITCH. THERE ARE 4 DOWNSPOUTS ON THE SOUTH SIDE OF THE EXISTING BUILDING DISCHARGING ROOF RUNOFF, AND AT LEAST 10 OUTLETS AT THE BOTTOM OF THE EXISTING RETAINING WALL, PRESUMABLY DISCHARGING WATER FROM UNDERDRAINS ASSOCIATED WITH THE WALL. ADDITIONALLY, WATER SHEET FLOWS ACROSS THE PARKING LOT TO A GRASS STRIP ALONG THE SOUTHWEST CORNER OF THE LOT. FROM THERE, SOME WATER LIKELY INFILTRATES, BUT BASED ON THE PROMINENT WATER STAINS ON THE RETAINING WALL, A SIGNIFICANT AMOUNT FLOWS OVER THE TOP OF THE WALL. THE DOWNSPOUTS, OUTLETS AND OVERFLOW ALL DISCHARGE TOWARDS THE AFOREMENTIONED DITCH. NOTE THAT THERE IS CURRENTLY NO TYPE OF OUTFALL PROTECTION TO SLOW VELOCITY OF THIS DISCHARGE INTO THE DITCH.

THE ADJACENT PROPERTY, 600 WEST MAIN STREET, CONTAINS AN UNDERGROUND DETENTION PIPE WHICH RECEIVES DRAINAGE FROM AREA O-3 (OFFSITE). THIS SYSTEM CURRENTLY FLOWS THROUGH A PIPE INSTALLED ALONG THE INSIDE OF THE WESTERN WALL OF THE EXISTING UNDERGROUND PARKING GARAGE, AND OUTFALLS TO A RIPRAP AREA AT THE SOUTHWEST CORNER OF THE PROPERTY.

IN THE POST-DEVELOPED CONDITION, THIS PLAN PROPOSES AN UNDERGROUND DETENTION FACILITY TO HANDLE STORMWATER FROM POST AREA 2, AND AN 18" HDPE BYPASS PIPE TO RE-ROUTE STORMWATER FROM AREA O-3 (OFFSITE). THE BYPASS PIPE CONNECTS TO THE 612 WEST MAIN STREET PIPE NETWORK AFTER THE DETENTION PIPE, AND STORMWATER FROM THERE, FLOWS THROUGH A PIPE INSTALLED ON THE INSIDE WALL OF THE UNDERGROUND PARKING LEVEL, DISCHARGING TO A RIPRAP AREA, TO SITE OUTFALL 2. THIS PROPOSED OUTFALL FOR 612 WEST MAIN STREET IS BEING DESIGNED SIMILARLY TO THAT OF THE EXISTING 600 WEST MAIN STREET PIPE. ALSO, BASED ON THE DIRECTION OF THE DITCH FROM THE SURVEY, THE PROPOSED OUTLET PIPE WILL OUTFALL WITHIN THE DITCH, AT SITE OUTFALL 2.

THE PROPOSED UNDERGROUND DETENTION FACILITY (SWM A) CONSISTS OF 95 LF OF 42" CMP DETENTION PIPE AND A WEIR PLATE (DETAIL ON THIS SHEET). THE OFFSITE FLOW FROM POST AREA O-3 (OFFSITE) IS ADDED TO THE ENERGY BALANCE EQUATION AND DEMONSTRATES THAT THE RESULT OF THIS PROPOSED SITE STORMWATER MANAGEMENT CONFIGURATION REDUCES THE 1-YEAR, 24-HOUR STORM TO MEET THE REQUIREMENTS OF THE ENERGY BALANCE EQUATION AT SITE OUTFALL 2. REFER TO CALCULATIONS ON THIS SHEET FOR DETAILED DISCHARGE VALUES.

IN ADDITION TO MEETING ENERGY BALANCE/CHANNEL PROTECTION REQUIREMENTS, MANNING'S EQUATION HAS BEEN UTILIZED IN THE PROGRAM FLOWMASTER TO DETERMINE THE VELOCITY AT THE PIPE OUTFALL DURING THE 2-YEAR STORM. WITH THE FOLLOWING INPUTS, THE VELOCITY AT THE END OF THE PIPE, NOT CONSIDERING THE RIPRAP AREA, IS 4.40 FPS.

FLOWMASTER INPUTS: ROUGHNESS COEFFICIENT = 0.013 CHANNEL SLOPE = 0.0095 FT/FT DIAMETER = 1.50 FT DISCHARGE = 1.86 CFS (FROM HYDROCAD) VELOCITY = 4.40 FPS

THIS FURTHER DEMONSTRATES THAT A 2-YEAR STORM WILL NOT CAUSE EROSION OF THE DITCH BED OR BANKS, ESPECIALLY WITH THE OUTLET PROTECTION OF RIPRAP.

#### FLOOD PROTECTION

WHEN COMPARED TO THE PRE-DEVELOPED CONDITION. THE POST-DEVELOPED CONDITION IN A 10-YEAR, 24-HOUR STORM WILL RESULT IN A REDUCTION OF DISCHARGE AT BOTH SITE OUTFALL 1 AND 2. THE FLOOD PROTECTION CALCULATIONS ON THIS SHEET DEMONSTRATE THIS, INDICATING THAT THIS DESIGN MEETS FLOOD PROTECTION REQUIREMENTS. ADDITIONALLY, TO ENSURE THE BUILDING IS PROTECTED IN MORE SEVERE STORM EVENTS, THE DETENTION PIPE HAS BEEN DESIGNED TO HANDLE THE 100-YEAR, 24-HOUR STORM.

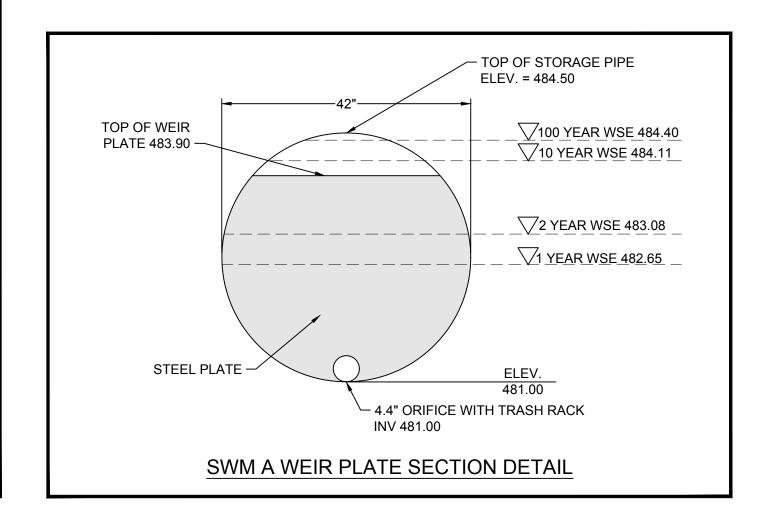
FINALLY. TO MEET WATER QUALITY REQUIREMENTS. 0.10 LB/YR OF OFFSITE NUTRIENT CREDITS WILL BE PURCHASED. THE SUMMARY PER THE VIRGINIA RUNOFF REDUCTION SPREADSHEET IS PRESENTED IN THE "PRELIMINARY WATER QUALITY ANALYSIS" BOX. BELOW

#### PRELIMINARY WATER QUALITY ANALYSIS SITE DATA PRE DEVELOPED AREA

MANAGED TURF = 0.024 ACRES IMPERVIOUS = 0.492 ACRES PRE DEVELOPMENT LOAD (TP) (LB/YR) = 1.08 POST DEVELOPED AREA

MANAGED TURF = 0.026 ACRES IMPERVIOUS = 0.490 ACRES POST DEVELOPMENT LOAD (TP) (LB/YR) = 1.08 MAXIMUM PERCENT REDUCTION REQUIRED FOR REDEVELOPMENT = 10%

TOTAL LOAD REDUCTION REQUIRED (LB/YR) = 0.10 LB/YR.





THIS DRAWING PREPARED AT THI

CHARLOTTESVILLE OFFICE
Avenue, Suite 200 | Charlottesvil
5.5624 FAX 434.295.8317 www.t

PRELIMINARY SITE PLAN

DATE

2/26/2020 DRAWN BY A.FONTAINE **DESIGNED BY** 

A. ALLISON CHECKED BY . KOTARSKI SCALE

AS SHOWN

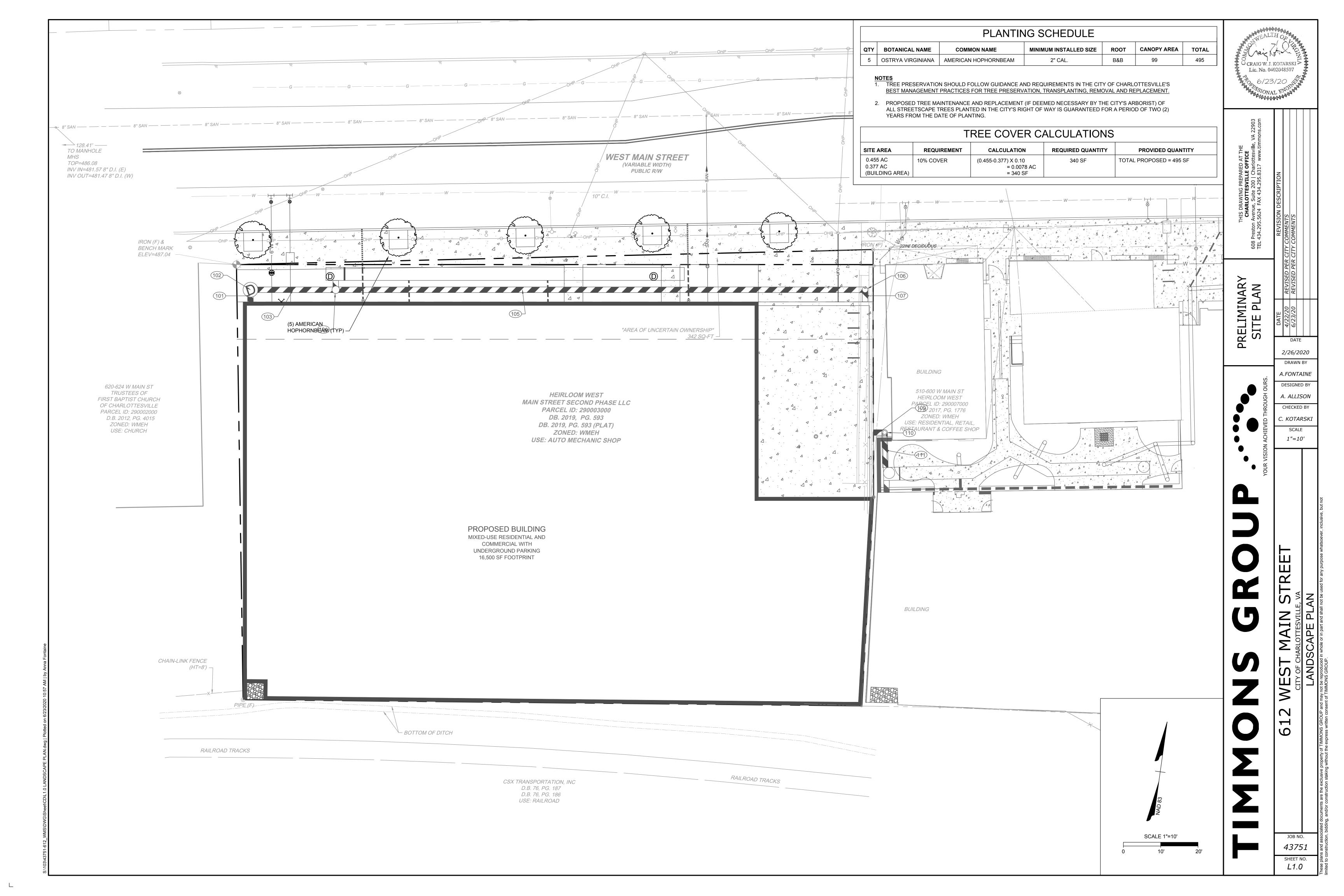
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JOB NO. 43751

SHEET NO. C6.1



# RESOLUTION APPROVING A SPECIAL USE PERMIT TO ALLOW HIGH DENSITY RESIDENTIAL DEVELOPMENT FOR PROPERTY LOCATED AT 602-616 WEST MAIN STREET

WHEREAS, landowner Heirloom West Main Street Second Phase, LLC is the current owner of a lot identified on 2019 City Tax Map 29 as Parcel 3 (City Parcel Identification No. (290003000) (the "Subject Property"), and pursuant to City Code §34-641, the landowner proposes to redevelop the Subject Property by constructing a mixed use building on the Subject Property ("Project"), containing residential dwelling units at a density of up to 120 dwelling units per acre ("DUA"); and

**WHEREAS,** the Project is described within the Applicant's application materials dated May 14, 2019 submitted in connection with SP19-00003, including, without limitation, a narrative statement dated May 14, 2019, and a preliminary site plan dated May 13, 2019, as required by City Code §34-158 (collectively, the "Application Materials"); and

WHEREAS, the Planning Commission reviewed the Application Materials, and the City's Staff Report, and subsequent to a joint public hearing, duly advertised and conducted by the Planning Commission and City Council on August 13, 2019, the Planning Commission voted to recommend that the City Council should approve the requested special use permit, to allow residential density up to 120 dwelling units per acre (DUA), subject to certain suitable conditions and safeguards recommended by the Planning Commission; and

**WHEREAS**, upon consideration of the comments received during the joint public hearing, the Planning Commission's recommendation, and the Staff Reports discussing this application, as well as the factors set forth within Sec. 34-157 of the City's Zoning Ordinance, this Council finds and determines that granting the proposed Special Use subject to suitable conditions would serve the public necessity, convenience, general welfare or good zoning practice; now, therefore,

**BE IT RESOLVED** by the Council of the City of Charlottesville, Virginia that, pursuant to City Code §§ 34-641, a special use permit is hereby approved and granted, subject to the following conditions:

- 1. The specific development being approved by this special use permit ("Project"), as described within the site plan exhibit required by City Code §34-158(a)(1), shall have the following minimum attributes/ characteristics:
  - a. Not more than one building shall be constructed on the Subject Property (the "Building"). The Building shall be a Mixed Use Building.
  - b. The Building shall not exceed a height of four (4) stories.
  - c. The Building shall contain no more than 55 dwelling units.

- d. The Building shall contain space to be occupied and used for retail uses, which shall be located on the ground floor of the Building facing West Main Street. The square footage of this retail space shall be at least the minimum required by the City's zoning ordinance.
- e. Underground parking shall be provided within a parking garage structure constructed underneath the Building, which shall provide at least 53 parking spaces serving the use and occupancy of the Building. All parking required for the Project pursuant to the City's zoning ordinance shall be located on-site. All parking required pursuant to the ordinance for the Project shall be maximized on-site to the satisfaction of the Planning Commission. No direct access shall be provided into the underground parking from the Building's street wall along West Main Street.
- 2. The mass of the Building shall be broken down to reflect the multi-parcel massing historically on the site, as well as the West Main Street context, using building modulation. The Building and massing refer to the historic buildings on either side.
- 3. There shall be pedestrian engagement with the street with an active, transparent, and permeable façade at street level.
- 4. The Landowner (including, without limitation, any person who is an agent, assignee, transferee or successor in interest to the Landowner) shall prepare a Protective Plan for the Rufus Holsinger Building located on property adjacent to the Subject Property at 620-624 West Main Street ("Holsinger Building" or "Adjacent Property"). The Protective Plan shall provide for baseline documentation, ongoing monitoring, and specific safeguards to prevent damage to the Holsinger Building, and the Landowner shall implement the Protective Plan during all excavation, demolition and construction activities within the Subject Property ("Development Site"). At minimum, the Protective Plan shall include the following:
  - a. *Baseline Survey*—Landowner shall document the existing condition of the Holsinger Building ("Baseline Survey"). The Baseline Survey shall take the form of written descriptions, and visual documentation which shall include color photographs and/or video recordings. The Baseline Survey shall document the existing conditions observable on the interior and exterior of the Holsinger Building, with close-up images of cracks, staining, indications of existing settlement, and other fragile conditions that are observable.

The Landowner shall engage an independent third party structural engineering firm (one who has not participated in the design of the Landowner's Project or

preparation of demolition or construction plans for the Landowner, and who has expertise in the impact of seismic activity on historic structures) and shall bear the cost of the Baseline Survey and preparation of a written report thereof. The Landowner and the Owner of the Holsinger Building ("Adjacent Landowner") may both have representatives present during the process of surveying and documenting the existing conditions. A copy of a completed written Baseline Survey Report shall be provided to the Adjacent Landowner, and the Adjacent Landowner shall be given fourteen (14) days to review the Baseline Survey Report and return any comments to the Landowner.

- b. *Protective Plan--*The Landowner shall engage the engineer who performed the Baseline Survey to prepare a Protective Plan to be followed by all persons performing work within the Development Site, that may include seismic monitoring or other specific monitoring measures of the Adjacent Property if recommended by the engineer preparing the Protective Plan, and minimally shall include installation of at least five crack monitors. Engineer shall inspect and take readings of crack monitors at least weekly during ground disturbance demolition and construction activities. Reports of monitor readings shall be submitted to the city building official and Adjacent Landowner within two days of inspection. A copy of the Protective Plan shall be provided to the Adjacent Landowner. The Adjacent Landowner shall be given fourteen (14) days to review the Report and return any comments to the Landowner.
- c. Advance notice of commencement of activity--The Adjacent Landowner shall be given 14 days' advance written notice of commencement of demolition at the Development Site, and of commencement of construction at the Development Site. This notice shall include the name, mobile phone number, and email address of the construction supervisor(s) who will be present on the Development Site and who may be contacted by the Adjacent Landowner regarding impacts of demolition or construction on the Adjacent Property.

The Landowner shall also offer the Adjacent Landowner an opportunity to have meetings: (i) prior to commencement of demolition at the Development Site, and (ii) at least fourteen (14) days prior to commencement of construction at the Development Site, on days/ times reasonably agreed to by both parties. During any such preconstruction meeting, the Adjacent Landowner will be provided information as to the nature and duration of the demolition or construction activity and the Landowner will review the Protective Plan as it will apply to the activities to be commenced.

d. *Permits*--No demolition or building permit, and no land disturbing permit, shall be approved or issued to the Landowner, until the Landowner provides to the department of neighborhood development services: (i) copies of the Baseline Survey Report and Protective Plan, and NDS verifies that these documents satisfy

the requirements of these SUP Conditions, (ii) documentation that the Baseline Survey Report and Protective Plan were given to the Adjacent Landowner in accordance with these SUP Conditions.

Approved by Council October 7, 2019

Lyna Ihomas

Kyna Thomas, CMC Clerk of Council

#### CITY OF CHARLOTTESVILLE





# APPLICATION FOR APPROVAL OF A PRELIMINARY SITE PLAN

PLANNING COMMISSION REGULAR MEETING			
MEETING DATE:	Tuesday, July 14, 2020		
DEVELOPMENT NAME:	167 Chancellor St. (Chi Psi Fraternity) Prelim. Site Plan		
APPLICATION NUMBER:	P19-0132		
Reason for Planning Commission Review:	Preliminary site plan reflects the proposed development of a property that is the subject of an existing or proposed special permit		
Planner:	Joey Winter		
Date of Staff Report:	June 29, 2020		
Applicant:	Design Develop LLC		
Applicant's Representative:	Mr. Kevin Schafer		
Owner of Record:	Alpha Omicron of Chi Psi Corporation		
<b>Application Information</b>			
Property Street Address:	167 Chancellor Street ("Subject Property")		
Tax Map   Parcel Number:	TM 9-126   090126000		
Site Area (per GIS):	0.1380 acres (6,011 ft <sup>2</sup> )		
Comprehensive Plan (Land Use Plan):	High Density Residential		
Zoning District:	R-3H		
Overlay District(s):	Corner Architectural Design Control District		

#### **Applicant's Request**

Mr. Kevin Schafer of Design Develop LLC, on behalf of Alpha Omicron of Chi Psi Corporation, is seeking Planning Commission approval for the 167 Chancellor St. (Chi Psi Fraternity) Preliminary Site Plan. This preliminary site plan proposes renovations and upgrades to the existing fraternity house on the Subject Property. On December 2, 2019, City Council approved Special Use Permit SP19-00007 authorizing a fraternity house at 167 Chancellor Street for up to 16 occupants. As per the City's Zoning Ordinance, Planning Commission shall review this preliminary site plan because it reflects the proposed development of property that is subject to a Special Use Permit.

#### **Vicinity Map**



#### **Zoning Map**



#### **Standard of Review**

Site plan approval is a ministerial function of Planning Commission in which no discretion is involved. If this final site plan contains all required information then it must be granted approval. If Planning Commission disapproves this plan, it shall set forth in writing the specific reasons therefor. The reasons for disapproval shall identify deficiencies in this plan which cause the disapproval, by reference to specific ordinances, laws or regulations. If this plan is disapproved, Planning Commission must also generally identify modifications or corrections that will permit approval of this plan.

#### **Site Plan Requirements**

- A. Compliance with applicable zoning district regulations [City Code Chapter 34]

  Staff has determined that this site plan complies with requirements of the R-3H Zoning District.
- **B.** Compliance with the City's Erosion and Sediment Control ordinance [City Code Chapter 10] Staff has determined that this final site plan complies with the City's Erosion and Sediment Control ordinance. A full Erosion and Sediment Control Plan is not required since disturbed area is under 6,000 ft<sup>2</sup>.
- C. Compliance with the City's site plan requirements [City Code Sec. 34-827]

  Staff has determined that this site plan contains the following information as required:

PRELIMINARY SITE PLAN REQUIREMENTS [Sec. 34-827(d)]	SHEET(S)
1. General site plan information	1
2. Existing condition and adjacent property information	2
3. Phasing plan	N/A
4. Topography and grading	3
5. Existing landscape and trees	2
6. Name and location of all water features	N/A
7. One hundred-year flood plain limits	N/A
8. Existing and proposed streets and associated traffic information	1, 2
9. Location and size of existing water and sewer infrastructure	2
10. Proposed layout for water/sanitary sewer facilities & storm drain facilities	4, 5
11. Location of other existing and proposed utilities and utility easements	4
12. Location of existing and proposed ingress to and egress from the property	4
13. Location and dimensions of all existing and proposed improvements	4
14. All areas intended to be dedicated or reserved for public use	N/A
15. Landscape plan (if subject to entrance corridor review)	N/A
16. Where deemed appropriate due to intensity of development:	
a. Estimated traffic generation figures based upon current ITE rates	1
b. Estimated vehicles per day	1

Page 3 of 6

D. Additional information to be shown on the site plan as deemed necessary by the director or Commission in order to provide sufficient information for the director or Commission to adequately review the site plan.

The Special Use Permit approved by City Council on December 2, 2019 includes the following conditions for the 167 Chancellor St. (Chi Psi Fraternity) Preliminary Site Plan:

1. The fraternity house located at 167 Chancellor Street shall have a maximum of sixteen (16) residents. Any expansion of the fraternity house beyond sixteen (16) residents will require an amendment to this Special Use Permit.

**COMPLIES – SEE SITE PLAN SHEET 1** 

- 2. <u>165 Chancellor Street</u>: Special Use Permit approval for the land, buildings and structures located at 165 Chancellor Street to be used for a "boarding, fraternity and sorority house", as that term is defined in City Code §34-1200 is expired and no longer valid. However, yard regulations for this lot will remain modified as follows:
  - a. <u>Building setback (front)</u>, <u>adjacent to Madison Lane</u>: the required building setback along Madison Lane shall remain modified as shown on the site plan for 165 and 167 Chancellor Street approved on November 4, 1985.

NOT APPLICABLE TO THIS SITE PLAN

- 3. <u>167 Chancellor Street</u>: The land, buildings and structures located at 167 Chancellor Street may be used for a "boarding, fraternity and sorority house", as that term is defined in City Code §34-1200. The number of residents shall not exceed 16 at 167 Chancellor Street.
  - a. <u>Building setback (front), adjacent to Madison Lane</u>: the required building setback along Madison Lane shall be 8 feet.

**COMPLIES – SEE SITE PLAN SHEET 4** 

b. <u>Building setback (corner side)</u>, <u>adjacent to Chancellor Street</u>: the required building setback along Chancellor Street shall be 4 feet.

**COMPLIES - SEE SITE PLAN SHEET 4** 

c. <u>Building setback (side)</u>, <u>adjacent to 165 Chancellor Street</u>: the required building setback along the property line shared with 165 Chancellor Street shall be 4 feet.

**COMPLIES - SEE SITE PLAN SHEET 4** 

d. <u>Building setback (rear)</u>, <u>property corner adjacent to Chancellor Street and 165 Chancellor Street</u>: the required building setback from property corner adjacent to Chancellor Street and 165 Chancellor Street shall be 25 feet.

**COMPLIES – SEE SITE PLAN SHEET 4** 

4. The "boarding, fraternity or sorority house" use approved by this special use permit, and (except as specifically modified within condition (2) and condition (3), above), all buildings and structures located on the Subject Property, shall comply with the provisions of City Code Sec. 34-353 and all other applicable provisions of Chapter 34 (Zoning) of the Code of the City of Charlottesville.

**COMPLIES – SEE SITE PLAN SHEET 1** 

5. Bicycle storage facilities shall be provided at 167 Chancellor Street at a rate of one (1) bicycle storage facility per resident, and all such facilities shall be a type permitted by the zoning ordinance.

**COMPLIES – SEE SITE PLAN SHEETS 1 & 4** 

6. Sidewalk shall be extended along the frontage of Madison Lane as shown on the proposed preliminary site plan for 167 Chancellor Street dated September 17, 2019.

**COMPLIES – SEE SITE PLAN SHEETS 4 & 5** 

7. Curb ramps shall be installed at the end of any proposed sidewalk on Madison Lane to align with the existing curb ramp on the east side of Chancellor Street.

**COMPLIES – SEE SITE PLAN SHEET 5** 

8. The elevated sidewalk to the south on Chancellor Street must be repaired and vegetation cleared to remove obstructions. If this work is not done prior to requesting an updated Certificate of Occupancy for 167 Chancellor Street then the landowner shall provide a development agreement specifying the timing for completion of sidewalk work.

**COMPLIES – SEE SITE PLAN SHEET 4** 

9. An accessible route from the public sidewalk to 167 Chancellor Street shall be required.

**COMPLIES – SEE SITE PLAN SHEET 4** 

#### **PUBLIC COMMENTS RECEIVED**

No public comment was received during the preliminary site plan review process. A public site plan conference was held on October 23, 2019.

#### **STAFF'S RECOMMENDATION**

Staff recommends that the 167 Chancellor St. (Chi Psi Fraternity) Preliminary Site Plan be approved.

#### **ATTACHMENTS**

- 1) 167 CHANCELLOR ST. (CHI PSI FRATERNITY) PRELIMINARY SITE PLAN for approval
- 2) SP19-00007 RESOLUTION AUTHORIZING A FRATERNITY HOUSE AT 167 CHANCELLOR STREET FOR UP TO 16 OCCUPANTS approved by City Council on December 3, 2019
- 3) **CITY CODE SECTION 34-827** Preliminary site plan contents

T.M.P. 9-126

# 167 CHANCELLOR STREET

PROJECT DATA: PRELIMINARY SITE PLAN

CHARLOTTESVILLE, VIRGINIA SEPTEMBER 17, 2019 (REV. 02.27.20)

THE DIRECTOR OF NEIGHBORHOOD DEVELOPMENT SERVICES

### STANDARDS AND SPECIFICATIONS:

- VIRGINIA DEPARTMENT OF TRANSPORTATION (V.D.O.T.) ROAD AND BRIDGE SPECIFICATIONS, DATED 2016.
- 2. VIRGINIA DEPARTMENT OF TRANSPORTATION (V.D.O.T.) ROAD AND BRIDGE STANDARDS, DATED 2016.
- 3. VIRGINIA DEPARTMENT OF CONSERVATION AND RECREATION, DIVISION OF SOIL AND WATER CONSERVATION, VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK,
- 4. INSTITUTE OF TRANSPORTATION ENGINEERS (ITE MANUAL), TRIP GENERATION, 10TH
- 5. VIRGINIA MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS, DATED 2009 (REVISIONS 1 & 2, MAY 2012).
- VIRGINIA UNIFORM STATEWIDE BUILDING CODE CURRENT EDITION.
- CITY OF CHARLOTTES VILLE CONSTRUCTION STANARDS AND SPECIFICATIONS.

## LEGEND:

----- W------ WATER LINE (EX. / PROP.) WVS WMO WATER VALVE / METER YH-O- YARD HYDRANT BOA® BLOW-OFF ASSEMBLY --- S --- SANITARY SEWER LINE (EX. / PROP. COO CLEANOUT MH- MANHOLE = = = STORM LINE (EX. / PROP.) DI C STORM INLET DSo DOWNSPOLIT -----G------ GAS LINE (EX. / PROP.) GV69 GMO GAS VALVE / METER --- OHE ---- OVERHEAD ELECTRIC (EX. / PROP.) --- UGE----- UNDERGROUND ELECTRIC (EX. / PROP.) PPØ POWER POLE LP C LIGHT POLE GUY GUY WIRE EM CELECTRIC METER TRANSFORMER --- OHT----- OVERHEAD COMM. (EX. / PROP.) PEDID UTILITY PEDESTAL SWM / DWM 9/63 SINGLE / DOUBLE WATER METER

GV M GATE VALVE

BOA o BLOW OFF ASSEMBLY

BOUNDARY / R.O.W. LINE I.F. IRON PIN FOUND I.S. IRON PIN SET — — — CONTOUR LINE (EX. / PROP.) ←3:1— ←2.50%— DEGREE / SLOPE DIRECTION 479.70 + SPOT ELEVATION LP LOW POINT - · · · - DITCH / SWALE = ::: = ::: = WATER COURSE BM \* BENCHMARK CG-2 CITY STD. HEADER CURB CG-6 CITY STD. CURB & GUTTER CG-12 CITY STD. HANDICAP RAMP HC HANDICAP PARKING SYMBOI DIP DUCTILE IRON PIPE RCP REINFORCED CONCRETE PIPE CMP CORRUGATED METAL PIPE

PVC POLYVINYLCHLORIDE PIPE

FFE FINISHED FLOOR ELEVATION

HDPE HIGH-DENSITY POLY, PIPE

VC VITRIFIED CLAY PIPE

TBT TO BE TRANSPLANTED

TBR TO BE REMOVED

TBS TO BE SAVED

# FIRE DEPT. CONSTR. & DEMO NOTES:

- VSFPC 503,2,1 OVERHEAD WIRING OR OTHER OBSTRUCTIONS SHALL BE HIGHER THAN 13 FEET 6 INCHES.
- 2. VSFPC 3312.1 AN APPROVED WATER SUPPLY FOR FIRE PROTECTION SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON SITE.
- 3. VSFPC 505.1 THE BUILDING STREET NUMBER SHALL BE PLAINLY VISIBLE FROM THE STREET FOR 20. 42" SAFETY/GUARD RAILING TO BE PROVIDED FOR ALL WALLS HIGHER THAN 30". EMERGENCY RESPONDERS. PLEASE PROVIDE, AND POST ON-SITE, A 911 ADDRESS FOR EMERGENCY RESPONDERS ONCE CONSTRUCTION BEGINS.
- VSFPC 506.1 AN APPROVED KEY BOX SHALL BE MOUNTED TO THE SIDE OF THE FRONT OR MAIN ENTRANCE. THE CHARLOTTESVILLE FIRE DEPARTMENT CARRIES THE KNOX BOX MASTER KEY. A KNOX BOX CAN BE ORDERED BY GOING ON-LINE TO WWW,KNOXBOX,COM, THE KNOX BOX ALLOWS ENTRY TO THE BUILDING WITHOUT DAMAGING THE LOCK AND DOOR
- VSFPC 3304.2 WASTE DISPOSAL OF ALL COMBUSTIBLE DEBRIS SHALL BE REMOVED FROM THE BUILDING AT THE END OF EACH WORKING DAY (IFC 1404.2).
- IFC 1410.1 ACCESS TO ALL BUILDINGS ON-SITE DURING DEMOLITION AND CONSTRUCTION SHALL BE MAINTAINED (IFC 1410.1).
- VSFPC 3304.6 CUTTING AND WELDING OPERATIONS SHALL BE DONE IN ACCORDANCE WITH CHAPTER 26 OF THE INTERNATIONAL FIRE CODE, ADDRESSING WELDING AND HOT WORK OPERATIONS (IFC 1404.6).
- VSFPC 3315.1 FIRE EXTINGUISHERS SHALL BE PROVIDED WITH NOT LESS THAN ONE APPROVED PORTABLE FIRE EXTINGUISHER AT EACH STAIRWAY ON ALL FLOOR LEVELS WHERE COMBUSTIBLE MATERIALS HAVE ACCUMULATED (IFC 1414.1).
- VSFPC 3310.1- REQUIRED VEHICLE ACCESS FOR FIRE FIGHTING SHALL BE PROVIDED TO ALL CONSTRUCTION OR DEMOLITION SITES. VEHICLE ACCESS SHALL BE PROVIDED TO WITHIN ONE HUNDRED (100) FEET OF TEMPORARY OR PERMANENT FIRE DEPARTMENT CONNECTIONS. VEHICLE ACCESS SHALL BE PROVIDED BY EITHER TEMPORARY OR PERMANENT ROADS, CAPABLE OF SUPPORTING VEHICLE LOADING AND MAINTAINED UNDER ALL WEATHER CONDITIONS. VEHICLE ACCESS SHALL BE MAINTAINED UNTIL PERMANENT FIRE APPARATUS ACCESS ARE AVAILABLE.
- 10. VSFPC 310.3; 310.5 SMOKING TO BE ALLOWED IN ONLY DESIGNATED SPACES WITH PROPER RECEPTACLES. "NO SMOKING" SIGNS SHALL BE POSTED AT EACH BUILDING SITE AND WITHIN EACH BUILDING DURING CONSTRUCTION, SPECIFICALLY, SMOKING WILL ONLY BE ALLOWED OUTSIDE THE CONSTRUCTION SITE'S SAFETY FENCE.

# **GENERAL NOTES:**

- ALL SITE WORK AND ALL IMPROVEMENTS SHOWN ON THESE PLANS ARE REQUIRED TO BE PERFORMED AND / OR INSTALLED UNLESS SPECIFICALLY ITEMIZED AS "NOT INCLUDED IN CONTRACT" IN THE OWNER / CONTRACTOR AGREEMENT. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND / OR INSTALLING ALL SITE WORK AND IMPROVEMENTS SHOWN ON THESE DRAWINGS, INCLUDING ANCILLARY EFFORTS AND WORK NORMALLY ASSOCIATED WITH SPECIFIED IMPROVEMENTS.
- CALL MISS UTILITY (1-800-552-7001) PRIOR TO ANY LAND DISTURBING ACTIVITY. EXPLORATORY EXCAVATIONS MAY BE NECESSARY TO CONFIRM THE EXISTENCE OR NON-EXISTENCE OF CERTAIN UNDERGROUND
- THE CONTRACTOR SHALL COORDINATE WITH ALL LOCAL AUTHORITIES PRIOR TO COMMENCING THE WORK AND SCHEDULE / ATTEND ALL REQUIRED PRE-CONSTRUCTION MEETINGS. THE CONTRACTOR SHALL CONFIRM THAT ALL BONDS HAVE BEEN POSTED AND PULL ALL PERMITS. THE CONTRACTOR SHALL MAINTAIN THE PERMITS AND AN APPROVED SET OF THESE WORKINGDRAWINGS AND PROJECT SPECIFICATIONS ON-SITE AT ALL TIMES.
- THE CONTRACTOR SHALL ENSURE THAT HIS / HER WORK IS PROPERLY COORDINATED WITH THAT OF THE OTHER TRADES ON-SITE.
- UNEXPECTED SITE CONDITIONS MAY ARISE DURING CONSTRUCTION THAT REQUIRE A DEVIATION FROM THESE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY CONDITIONS THAT CONFLICT WITH THE PROPER EXECUTION OF THESE PLANS. THE ENGINEER SHALL DETERMINE THE NATURE AND DEGREE OF CHANGES NECESSARY, AND THE CONTRACTOR SHALL PROVIDE A COST FOR SAID CHANGES, NO CHANGES ARE TO BE MADE WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.
- CONTACT ENGINEER IF THERE ARE QUESTIONS REGARDING THE LAYOUT OF THE WORK. BECAUSE ARCHITECTURAL DESIGN MANY TIMES CONTINUES AFTER SITE PLAN APPROVAL, STRUCTURAL INFORMATION REFLECTED ON THESE DRAWINGS MAY NOT REPRESENT FINAL ARCHITECTURAL DIMENSIONS. PRIOR TO STAKEOUT OF ANY STRUCTURES, SURVEYOR AND / OR CONTRACTOR SHALL OBTAIN FINAL ARCHITECTURAL DRAWINGS AND CONSULT WITH ENGINEER REGARDING EXACT PLACEMENT OF BUILDINGS ON SITE.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS AND FEATURES REPRESENTED ON THESE PLANS TO THE BEST OF HIS / HER ABILITY. THE CONTRACTOR SHALL ALSO VERIFY, BY STAKEOUT, THE RELATIONSHIP OF ALL MAJOR SITE IMPROVEMENTS TO EXISTING SITE CONDITIONS AND FEATURES AND NOTIFY ENGINEER OF ANY DISCREPANCIES, ERRORS AND OMISSIONS BEFORE PROCEEDING WITH THE WORK.
- OF PROPERTY HE / SHE IS STORING ON-SITE. THE CONTRACTOR IS NOT LIABLE FOR THE SAFETY OF THOSE WITHIN THE BUILDINGS OR WORKING ON THE BUILDINGS, NOR IS HE / SHE RESPONSIBLE FOR SECURING THE PROPERTY OF THE BUILDING CONTRACTOR OR THEIR ASSOCIATED TRADES. HOWEVER, CONTRACTOR IS REQUIRED TO MAINTAIN A CLEAN, ORGANIZED AND SAFE SITE, AND IS THE FINAL AUTHORITY AS TO THE LOCATION, PLACEMENT OR STORAGE OF ANY AND ALL MATERIALS, EQUIPMENT, VEHICLES AND TEMPORARY STRUCTURES USED DURING CONSTRUCTION. NEITHER THE OWNER NOR ENGINEER SHALL BE HELD RESPONSIBLE FOR THEFT, DAMAGE OR INJURY ON-SITE DURING CONSTRUCTION UNLESS IT IS DUE TO TO THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
- THE CONTRACTOR SHALL DETERMINE THE LIMITS OF CONSTRUCTION AND DEMARCATE THEM CLEARLY PRIOR TO COMMENCING GRADING OF THE SITE. ALSO, THE CONTRACTOR SHALL INSTALL ALL SEDIMENT AND EROSION CONTROL MEASURES THAT CAN LOGISTICALLY BE PLACED BEFORE GRADING COMMENCES.
- 10. DURING THE INSTALLATION OF UTILITIES TO SUPPORT THE PROJECT, THE CONTRACTOR SHALL MAINTAIN SERVICE TO NEIGHBORING PROPERTIES. DAMAGE TO LINES OR INTERRUPTIONS OF SERVICE SHALL BE IMMEDIATELY REPORTED TO THE SERVICE PROVIDER AND ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH REPAIR AND RESTORATION OF SERVICE.
- 11. ALL EXISTING IMPROVEMENTS ADJACENT TO THE PROPERTY, SUCH AS ROADWAYS, SHALL BE PROTECTED FROM DAMAGE DUE TO THE EXECUTION OF THE WORK. ALL REPAIR MADE NECESSARY BY THE CONTRACTOR OR THOSE ASSISTING HIM / HER IN THE EXECUTION OF THE WORK SHALL BE BORNE BY THE CONTRACTOR.
- 12. CONTRACTOR SHALL COORDINATE TRAFFIC CONTROL MEASURES WITH CITY INSPECTORS PRIOR TO OR AS PART OF THE REQUIRED PRE-CONSTRUCTION CONFERENCE.
- 13. ALL UNSUITABLE SOIL MATERIAL SHALL BE STOCKPILED AND ITS DISPOSITION DETERMINED BY THE OWNER WHILE THE EARTHWORK ASPECT OF THE SITE WORK IS STILL UNDERWAY.
- 14. ALL SPRINGS SHALL BE CAPPED AND PIPED TO THE NEAREST DRAINAGEWAY OR DIRECTED TO A STORM SEWERAGE STRUCTURE
- 15. EROSION AND SILTATION CONTROL MEASURES SHALL BE PROVIDED IN ACCORDANCE WITH THE APPROVED EROSION CONTROL PLAN AND INASMUCH AS IS POSSIBLE SHALL BE INSTALLED PRIOR TO ANY CLEARING, GRADING OR OTHER CONSTRUCTION. THE CONTRACTOR SHALL NOT BE RELEASED FROM RESPONSIBILITY FOR STABILIZATION OF THE PROPERTY UNTIL THE LOCAL AUTHORITY OR AGENT ISSUES FINAL APPROVAL AND AUTHORIZES DECOMMISIONING OF EROSION CONTROL MEASURES.
- 16. ALL SLOPES AND DISTURBED AREAS ARE TO BE FERTILIZED, SEEDED AND MULCHED. THE MAXIMUM ALLOWABLE SLOPE IS 2:1 (HORIZONTAL: VERTICAL). WHERE REASONABLY OBTAINABLE, LESSER SLOPES OF 3:1 OR BETTER ARE TO BE ACHIEVED. ALL SLOPES GREATER THAN 3:1 SHALL BE MATTED WITH CITY EC-2 SLOPE STABILIZATION MAT.
- 17. PAVED, RIP-RAP OR STABILIZATION MAT-LINED DITCHES MAY BE REQUIRED WHEN, IN THE OPINION OF THE CITY AGENT, IT IS DEEMED NECESSARY IN ORDER TO STABILIZE A DRAINAGE CHANNEL.
- 18. ALL PAVING AND DRAINAGE-RELATED MATERIALS AND CONSTRUCTION SHALL CONFORM TO CURRENT SPECIFICATIONS AND STANDARDS OF CITY UNLESS OTHERWISE NOTED. ALL MATERIALS TO BE USED IN STABLIZATION SHALL ALSO BE APPROVED BY ENGINEER.
- 19. ALL PARKING SPACES MARKED "HC" ARE TO BE DESIGNATED FOR HANDICAP PARKING VIA THE USE OF SIGNS AND PAINT SYMBOLS. THEY ARE TO BE 8' X 18' AND ADJACENT TO A 5' X 18' PAINT-OUT AISLE. ALL VAN ACCESSIBLE SPACES SHALL BE 8' X 18' AND ADJACENT TO 8' X 18' PAINT-OUT AISLE. VAN ACCESSIBLE SPACES ARE TO BE MARKED "VAN" PER CITY CODE SECTION 34-985 (B) (4).
- 21. LOADING AND DUMPSTER AREAS SHALL BE ACCESSIBLE AT ALL TIMES AND ARE NOT TO BE LOCATED BEHIND ANY PARKING SPACES.
- 22. STANDARD PARKING STALLS SHALL BE 8.5' X 18'. COMPACT CAR PARKING STALLS SHALL BE 8' X 16' AND DESIGNATED AS SUCH ON SITE PER CODE.
- 23. PARKING AREAS ARE NOT TO EXCEED 5% GRADE IN ANY DIRECTION. HC PARKING SPACES AND ACCESS AILSES ARE NOT TO EXCEED 2% IN ANY DIRECTION
- 24. DUMPSTER PADS TO BE 10' X 18'.
- 25. SIDEWALKS TO BE A MINIMUM WIDTH OF 5', EXCLUDING CURB, WITH A 4" CONCRETE SURFACE (3000 PSI AT 28 DAYS, OR STRONGER), 4" 21-A STONE BASE, WITH UNDERDRAINS (UD-4, ETC.) PER CITY/CITY
- 26. ALL STORM SEWERAGE SHALL BE INSTALLED IN ACCORDANCE WITH CITY STANDARDS AND SPECIFICATIONS. ALL REINFORCED CONCRETE PIPE SHALL BE CLASS 3 UNLESS OTHERWISE NOTED. ALL HDPE PIPE SHALL BE ADS N-12 OR EQUAL. PIPE BEDDING SHALL BE IN ACCORDANCE WITH VDOT STD. PB-1 DETAIL/SPECIFICATIONS, ALL PVC CONDUIT SHALL BE SCHEDULE 40.
- 27. ALL ROOF DRAINS, UNLESS OTHERWISE NOTED, ARE TO BE DIRECTED TO PROPOSED PAVED SURFACES SO THAT RUN-OFF CAN BE DIRECTED TO STORMWATER QUALITY FEATURES PRIOR TO ENTRY INTO THE PROPOSED STORM SEWERAGE SYSTEM. THE CONTRACTOR IS RESPONSIBLE FOR TYING ALL ROOF LEADERS INTO A MEANS OF TRANSITION INTO THE SITE STORM SEWERAGE PROGRAM
- 28. ALL WATERLINE IS TO BE CLASS 52 D.I.P UNLESS OTHERWISE SPECIFIED. ALL WATER SERVICE LATERALS TO BE TYPE' K' COPPER TUBING.
- 29. ALL SANITARY SEWER LATERALS TO BE OF SCHEDULE 40 PVC AS A MINIMUM.
- 30. ALL WATER AND SANITARY FACILITIES TO BE CONSTRUCTED TO CITY OF CHARLOTTESVILLE STANDARDS AND SPECIFICATIONS.
- 31. CONTRACTOR RESPONSIBLE TO PROVIDE ADEQUATE PEDESTRIAN BARRIERS & CIRCULATION DURING CONSTRUCTION. FOLLOW CHARLOTTESVILLE'S 'PUBLIC WAY DURING CONSTRUCTION POLICY' STANDARDS.
- 32. ALL SIGNING AND PAVEMENT MARKINGS SHOULD BE SHOWN ON THE PLANS AND SHALL BE CONSISTENT WITH THE MUTCO
- 33. A TEMPORARY STREET CLOSURE PERMIT IS REQUIRED FOR CLOSURE OF SIDEWALKS, PARKING SPACES, AND ROADWAYS AND IS SUBJECT TO APPROVAL BY THE CITY TRAFFIC ENGINEER.
- 34. PER THE VIRGINIA DEPARTMENT OF HEALTH WATERWORKS REGULATIONS (PART II. ARTICLE 3, SECTION 12 VAC 5-590 THROUGH 630), ALL BUILDINGS THAT HAVE THE POSSIBILITY OF CONTAMINATING THE POTABLE WATER DISTRIBUTION SYSTEM (HOSPITALS, INDUSTRIAL SITES, BREWERIES, ETC.) SHALL HAVE A BACKFLOW PREVENTION DEVICE INSTALLED WITHIN THE FACILITY. THIS DEVICE SHALL MEET SPECIFICATIONS OF THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE, SHALL BE TESTED IN REGULAR INTERVALS AS REQUIRED, AND TEST RESULTS SHALL BE SUBMITTED TO THE REGULATORY COMPLIANCE ADMINISTRATOR IN THE DEPARTMENT OF UTILITIES.
- 35. ALL BUILDINGS THAT MAY PRODUCE WASTES CONTAINING MORE THAN ONE HUNDRED (100) PARTS PER MILLION OF FATS, OIL, OR GREASE SHALL INSTALL A GREASE TRAP. THE GREASE TRAP SHALL MEET SPECIFICATIONS OF THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE, MAINTAIN RECORDS OF CLEANING AND MAINTENANCE, AND BE INSPECTED ON REGULAR INTERVALS BY THE REGULATORY COMPLIANCE ADMINISTRATOR IN THE DEPARTMENT OF UTILITIES.
- 36. PLEASE CONTACT THE REGULATORY COMPLIANCE ADMINISTRATOR AT 970-3032 WITH ANY QUESTIONS REGARDING THE GREASE TRAP OR BACKFLOW PREVENTION DEVICES

#### SHEET INDEX

ALPHA OMICRON OF CHI PSI CORPORATION

**500 E MAIN STREET** NORFOLK, VA 23510

167 CHANCELLOR STREET

(SEE CONDITIONS BELOW)

SORORITY/FRATERNITY

A720502657-00A

 $Q_{2(PRE)} = 0.48 \text{ CFS}$ Q10(PRE) =0.63 CFS

 $Q_{2[POST]} = 0.53 CFS$ 

Q10(POST) = 0.69 CFS

**IMPERVIOUS AREA** 

**BUILDINGS:** 

PERVIOUS AREA:

7.14 UNITS/ACRE

**TOTAL SITE ACREAGE:** 

PAVED/GRAVEL AREA:

26' PROPOSED/45' ALLOWABLE

1 RESIDENTIAL UNIT W/ 16 MAX BEDS IN 6 BEDROOMS

FRONT (ADJACENT TO MADISON LANE): 8' MIN. (PER SP19-00007)

SIDE (ADJACENT TO 165 CHANCELLOR): 4' MIN. (PER SP19-00007)

CORNER PARKING ZONE - NO ON-SITE PARKING REQUIRED

- 1 ADA PARKING SPACE PROVIDED ON SITE

16 MAX. RESIDENTS X 100 GPD/RESIDENT = 1,600 GPD

UNIT OF AVG. WEEKDAY

THE FRATERNITY HOUSE LOCATED AT 167 CHANCELLOR STREET SHALL HAVE A MAXIMUM OF SIXTEEN (16) RESIDENTS. ANY

165 CHANCELLOR STREET: SPECIAL USE PERMIT APPROVAL FOR THE LAND, BUILDINGS AND STRUCTURES LOCATED

CITY CODE §34-1200 IS EXPIRED AND NO LONGER VALID. HOWEVER, YARD REGULATIONS FOR THIS LOT WILL REMAIN

EXPANSION OF THE FRATERNITY HOUSE BEYOND SIXTEEN (16) RESIDENTS WILL REQUIRE AN AMENDMENT TO THIS SPECIAL USE

AT 165 CHANCELLOR STREET TO BE USED FOR A "BOARDING, FRATERNITY AND SORORITY HOUSE", AS THAT TERM IS DEFINED IN

167 CHANCELLOR STREET: THE LAND, BUILDINGS AND STRUCTURES LOCATED AT 167 CHANCELLOR STREET MAY BE USED FOR

A "BOARDING, FRATERNITY AND SORORITY HOUSE", AS THAT TERM IS DEFINED IN CITY CODE §34-1200. THE NUMBER OF

BUILDING SETBACK (FRONT), ADJACENT TO MADISON LANE; THE REQUIRED BUILDING SETBACK ALONG MADISON

BUILDING SETBACK (FRONT), ADJACENT TO MADISON LANE: THE REQUIRED BUILDING SETBACK ALONG MADISON

BUILDING SETBACK (CORNER SIDE), ADJACENT TO CHANCELLOR STREET: THE REQUIRED BUILDING SETBACK ALONG

BUILDING SETBACK (SIDE), ADJACENT TO 165 CHANCELLOR STREET: THE REQUIRED BUILDING SETBACK ALONG THE

BUILDING SETBACK (REAR), PROPERTY CORNER ADJACENT TO CHANCELLOR STREET AND 165 CHANCELLOR STREET:

ANE SHALL REMAIN MODIFIED AS SHOWN ON THE SITE PLAN FOR 165 AND 167 CHANCELLOR STREET APPROVED ON

1,740 GPH PEAK HOUR DEMAND (29 GPM X 60)

<1,500 GPM @ 20 PSI (1,624 GPM AVAILABLE)

MEASURE

REAR (ADJACENT TO 165 CHANCELLOR); 25' MIN. (PER SP19-00007)

CORNER/SIDE (ADJACENT TO CHANCELLOR ST): 4' MIN. (PER SP19-00007)

29 GPM (BASED ON FIXTURE COUNT OF 66 & STATIC PRESSURE OF 80 PSI)

PER SEC. 34-828, FINAL SITE PLAN APPROVAL IS CONTINGENT ON THE PLAN BEIING

B) THE ASSOCIATED CERTIFICATE OF APPROPRIATENESS FOR SITE DESIGN, NEW

TMP 9-126

0.138 ACRES

TAX MAP / PARCEL:

PROPERTY ADDRESS:

EXISTING/PROPOSED USE:

MISS UTILITY TICKET #:

LAND USE BREAKDOWN:

BUILDING HEIGHT:

NUMBER OF UNITS:

BICYCLE PARKING:

PROP. SAN, SEWER;

PROP. WATER DEMAND:

OTHER REQUIREMENTS:

230 RESIDENTIALCONDO/APT. (TRIPS/UNIT)

ITE TRIP GENERATION:

TRIPS GENERATED (50/50 SPLIT ON ENTERING/EXITING)

RESIDENTS SHALL NOT EXCEED 16 AT 167 CHANCELLOR STREET.

CHANCELLOR STREET SHALL BE 4 FEET.

PROP. FIRE FLOW DEMAND:

**DENSITY:** 

FLOODPLAIN:

SITE STATISTICS:

WAIVERS / VARIANCE REQUEST:

PROFFERS:

SHEET 2 **EXISTING CONDITIONS** SHEET 3 **DEMOLITION PLAN** SHEET 4 PRELIMINARY SITE PLAN SHEET 5 **PROFILES & DETAILS** SHEET 6 **DETAILS** 

R-3 W/ CORNER ARCHITECTURAL DESIGN CONTROL DISTRICT - SP19-00007 APPROVED BY

SP19-00007 APPROVED ON 12/2/2019 FOR FRATERNITY USE & REDUCED YARD SETBACKS.

HORIZONTAL DATUM IS BASED ON NAD83. THE VERTICAL DATUM IS BASED ON NAVD88.

ACCORDING TO FEMA FLOOD INSURANCE RATE MAP 510033 PANEL 267D, DATED

AREA OF LAND DISTURBANCE = 5900 SF (SEE NOTE ON SHEET 4 REGARDING LOD)

2,468 0.06

2,382 0.05

5,993 0.14

1 BICYCLE SPACE PER RESIDENT REQ. PER SP19-00007 = 16 SPACES REQUIRED (MIN. 4 IN BLDG)

CONSISTENT WITH WHAT WAS: A) REVIEWED BY THE BOARD OF ARCHITECTURAL REVIEW; AND

WEEKDAY PEAK HOUR

0.52

SATURDAY SUNDAY

4.84

77

5.67

91

CONSTRUCTION AND ADDITIONS, AND REHABILITATION WITHIN THE CORNER ADC DISTRICT

- 16 BICYCLE PARKING SPACES PROVIDED (8 WITH RACK + 8 SPACES IN BLDG)

CITY COUNCIL ON 12/2/2019 FOR FRATERNITY USE & REDUCED YARD SETBACKS.

BOUNDARY & TOPOGRAPHIC: LINCOLN SURVEYING; 434-973-1417

PRE-DEVELOPMENT IMPERVIOUS AREA = 3,000 SF (SUBJECT SITE)

POST-DEVELOPMENT IMPERVIOUS AREA = 3,611 SF (SUBJECT SITE)

FLASHER NAIL T-17233383 IN THE SHARED PARKING LOT - ELEVATION 550.19

02/04/05, THIS PROPERTY DOES NOT LIE IN ZONE A (100 YEAR FLOOD PLAIN)

Alan Franklin PE. LLC Civil and Site Plan Engineering 427 Cranberry Lane Crozet, VA 22932 434-531-5544 alan@alanfranklinpe.com

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# 04-17-2020

DRAWN BY: **REVISIONS:** 

1 01.06.20 - CITY COMMENTS 2 02.27.20 - CITY COMMENTS 3 04.17.20 - CITY COMMENTS

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CHANCELLOR STREET SHALL BE 25 FEET. 4. THE "BOARDING, FRATERNITY OR SORORITY HOUSE" USE APPROVED BY THIS SPECIAL USE PERMIT, AND (EXCEPT AS

SPECIFICALLY MODIFIED WITHIN CONDITION (2) AND CONDITION (3), ABOVE), ALL BUILDINGS AND STRUCTURES LOCATED ON THE SUBJECT PROPERTY, SHALL COMPLY WITH THE PROVISIONS OF CITY CODE SEC. 34-353 AND ALL OTHER APPLICABLE PROVISIONS OF CHAPTER 34 (ZONING) OF THE CODE OF THE CITY OF CHARLOTTESVILLE.

HE REQUIRED BUILDING SETBACK FROM PROPERTY CORNER ADJACENT TO CHANCELLOR STREET AND 165

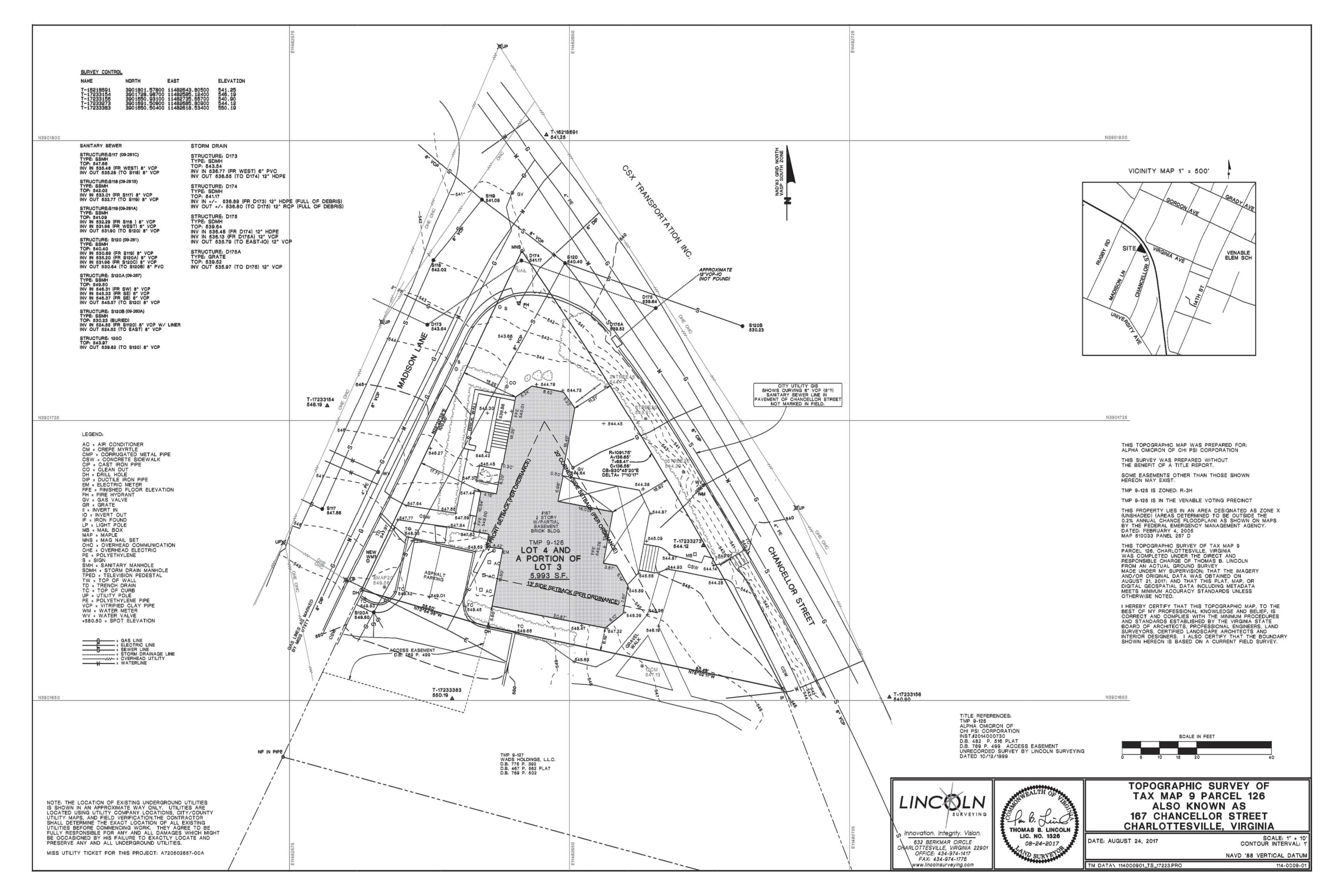
- 5. BICYCLE STORAGE FACILITIES SHALL BE PROVIDED AT 167 CHANCELLOR STREET AT A RATE OF ONE (1) BICYCLE STORAGE FACILITY PER RESIDENT, AND ALL SUCH FACILITIES SHALL BE A TYPE PERMITTED BY THE ZONING ORDINANCE.
- SIDEWALK SHALL BE EXTENDED ALONG THE FRONTAGE OF MADISON LANE AS SHOWN ON THE PROPOSED PRELIMINARY SITE PLAN FOR 167 CHANCELLOR STREET DATED SEPTEMBER 17, 2019.
- 7. CURB RAMPS SHALL BE INSTALLED AT THE END OF ANY PROPOSED SIDEWALK ON MADISON LANE TO ALIGN WITH THE EXISTING
- CURB RAMP ON THE EAST SIDE OF CHANCELLOR STREET. 8. THE ELEVATED SIDEWALK TO THE SOUTH ON CHANCELLOR STREET MUST BE REPAIRED AND VEGETATION CLEARED TO REMOVE OBSTRUCTIONS. IF THIS WORK IS NOT DONE PRIOR TO REQUESTING AN UPDATED CERTIFICATE OF OCCUPANCY FOR 167 CHANCELLOR STREET THEN THE LANDOWNER SHALL PROVIDE A DEVELOPMENT AGREEMENT SPECIFYING THE TIMING FOR
- COMPLETION OF SIDEWALK WORK. AN ACCESSIBLE ROUTE FROM THE PUBLIC SIDEWALK TO 167 CHANCELLOR STREET SHALL BE REQUIRED.

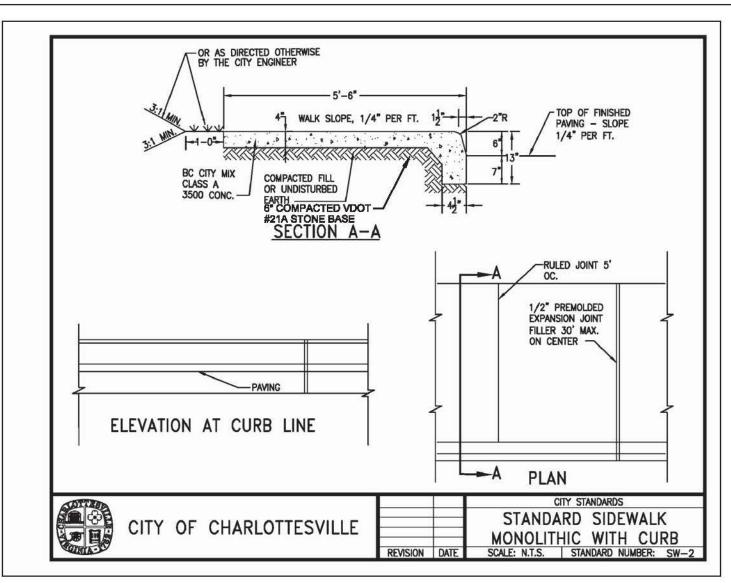
ROPERTY LINE SHARED WITH 165 CHANCELLOR STREET SHALL BE 4 FEET.

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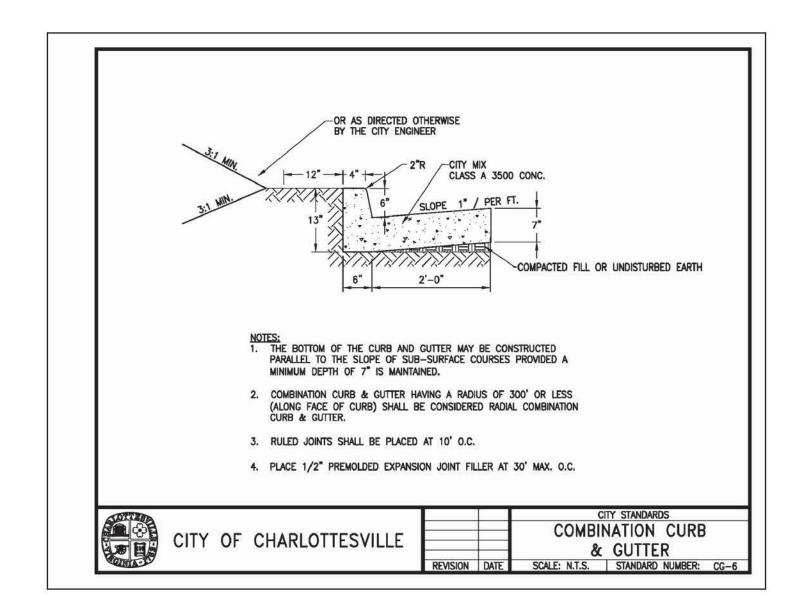
@ Alan Franklin PE, LLC

SHEET

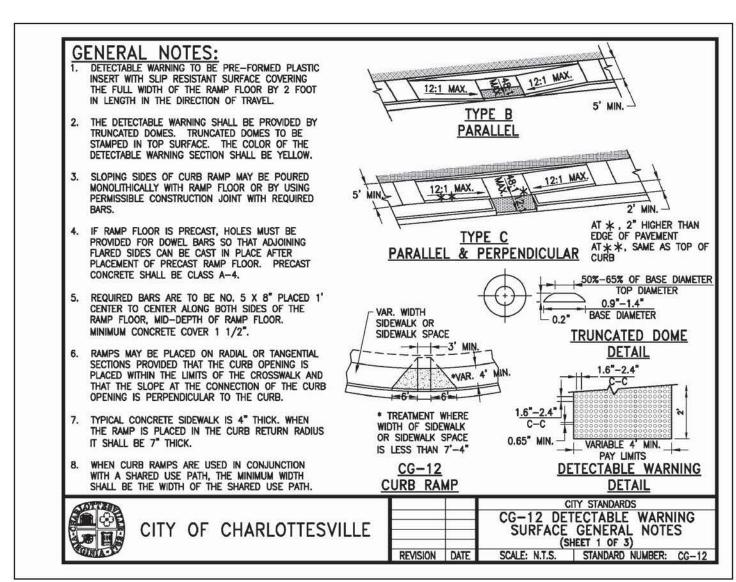




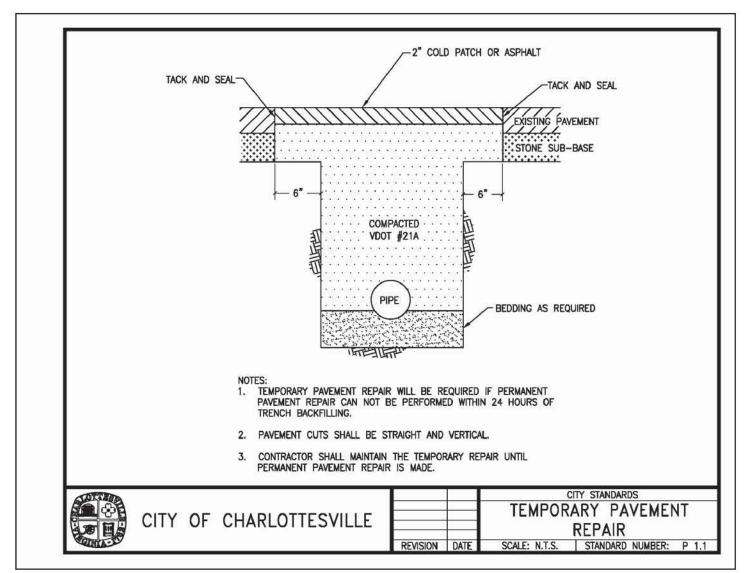
# STD SIDEWALK MONOLITHIC W/ CURB

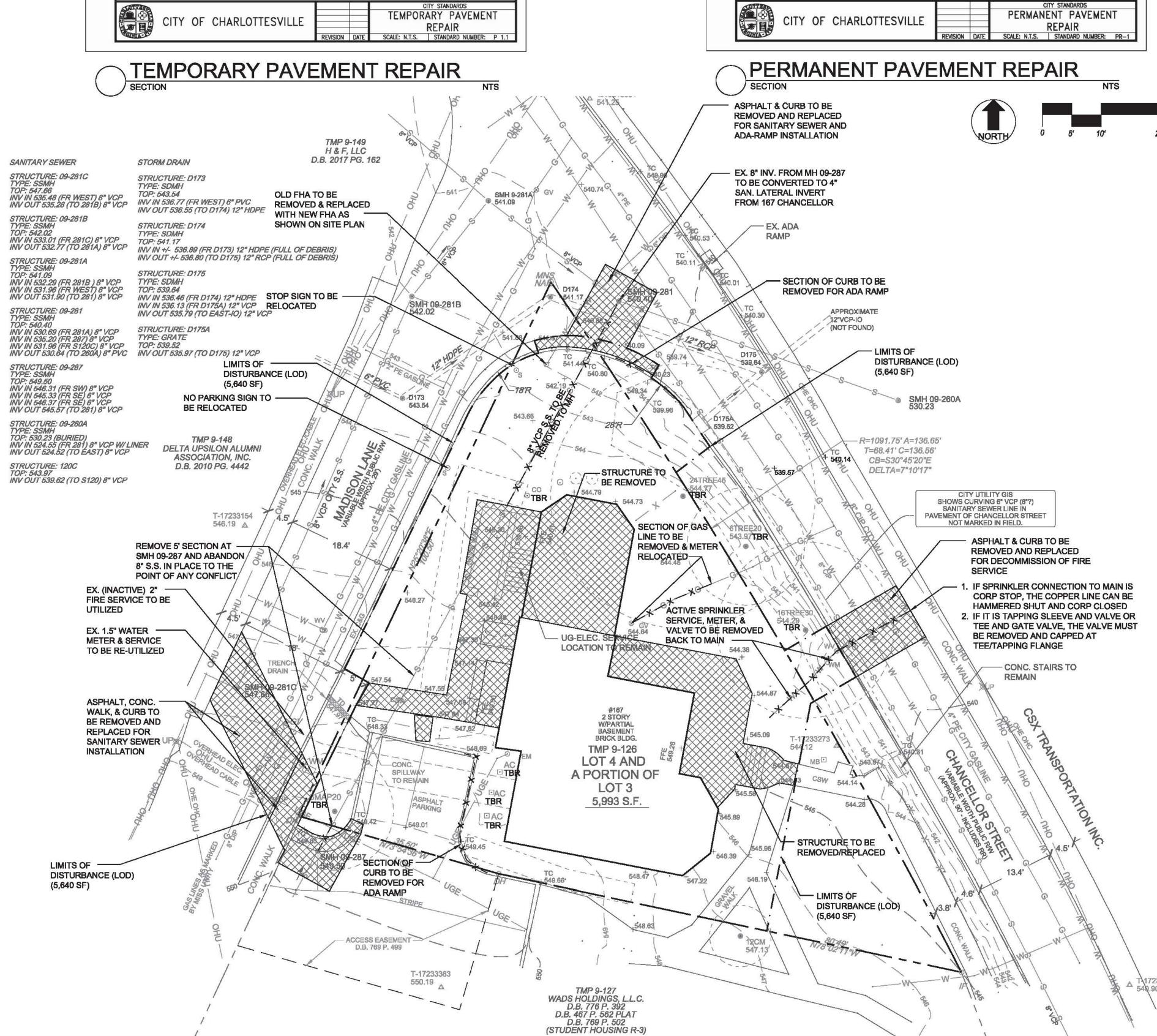


# CG-6 CURB & GUTTER



CG-12 (PARALLEL) ADA RAMP





# Alan Franklin PE, LLC

-ASPHALT 1.5 TIMES EXISTING PAVEMENT THICKNESS

VDOT #21A

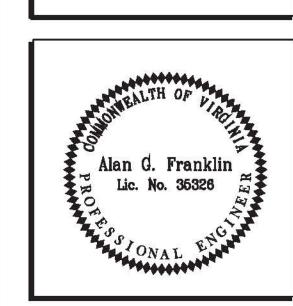
EXISTING PAVEMENT
STONE SUB-BASE +

MIN. 2" ASPHALT SURFACE COURSE AND 4" ASPHALT BASE COURSE Civil and Site Plan Engineering 427 Cranberry Lane Crozet, VA 22932 434-531-5544 alan@alanfranklinpe.com

S

CHARLOTTESVILLE, VIRGINIA

DEMOLITION PLAN



SCALE:
ISSUED: 10-01-19
DRAWN BY:
REVISIONS:

1 01.06.20 - CITY COMMENTS 2 02.27.20 - CITY COMMENTS

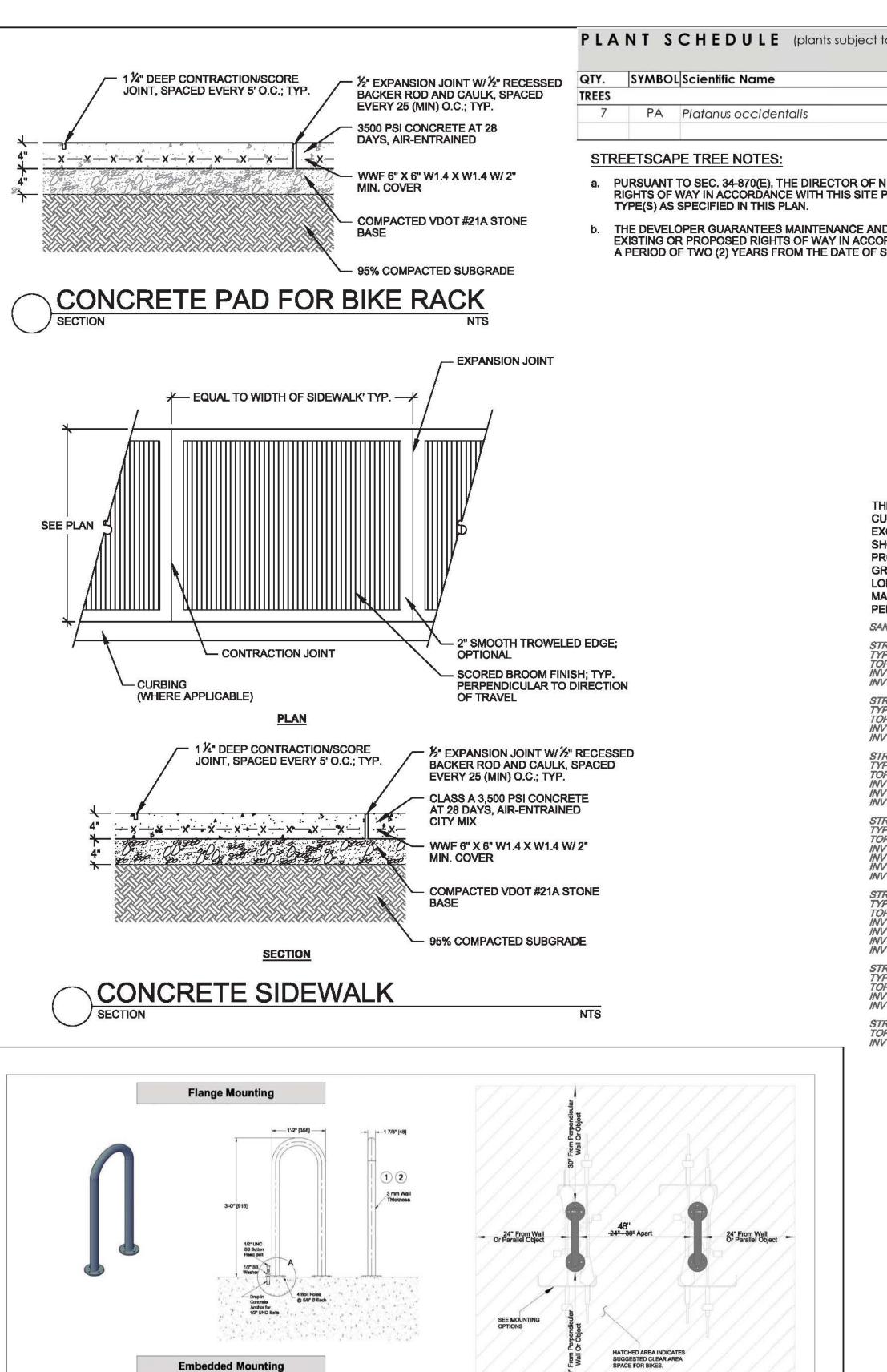
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from Alan Franklin PE, LLC

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CUEET

SHEET OF 6



**DETAIL A** 

DESCRIPTION

RELIANCE FOUNDRY

nit 207, 6450 - 148 Street, Surrey, BC, Canada V3S-70

1-888-735-5680 - info@reliance-foundry.com www.reliance-foundry.com | www.bollards.ca | www.bike-parking.ca

Bike Rack, Model R-8212

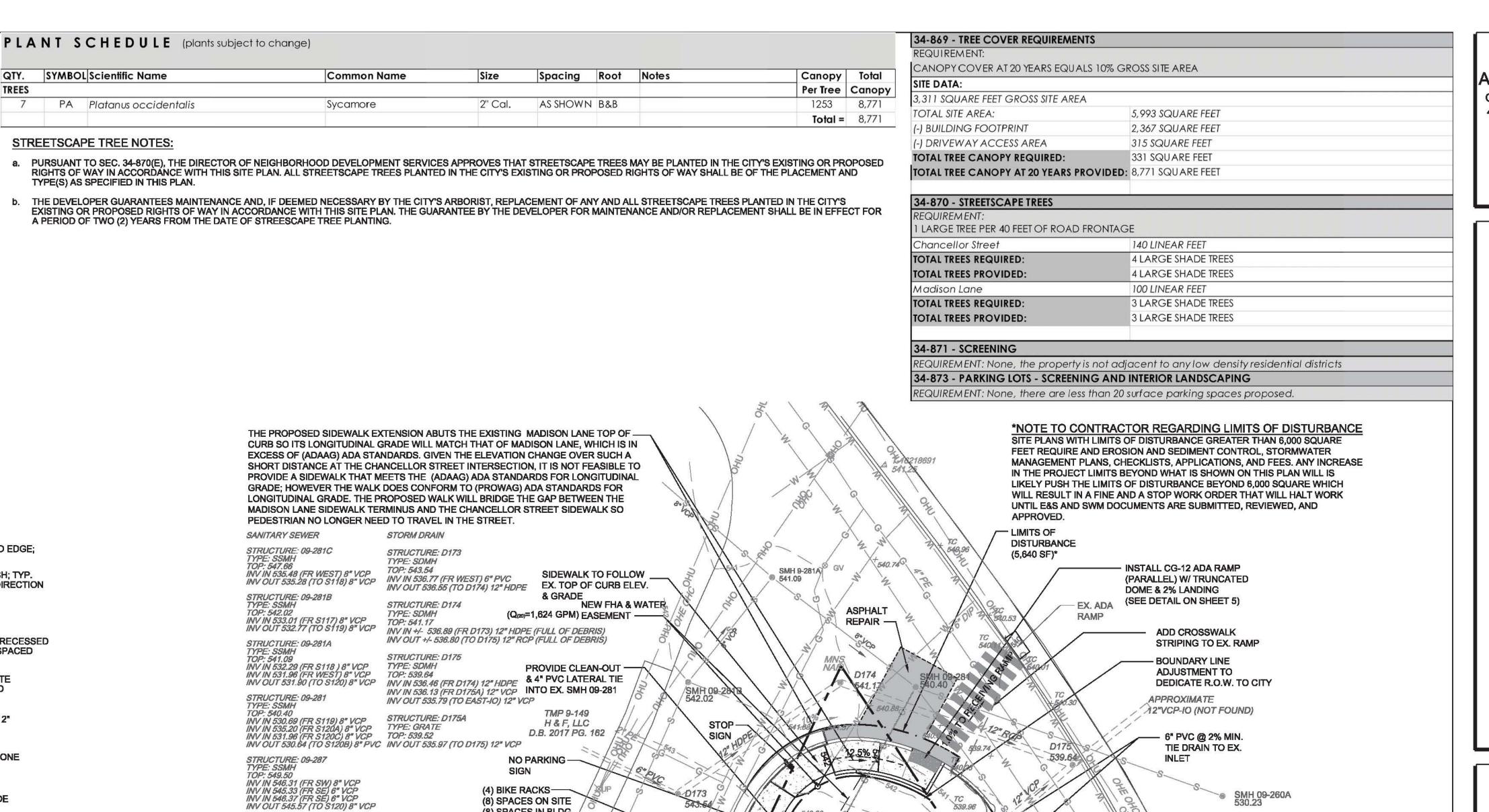
DATE 05/20/2013 R-8212/R-8212-SS/R-8212-EM/R-8212-EM-SS A A

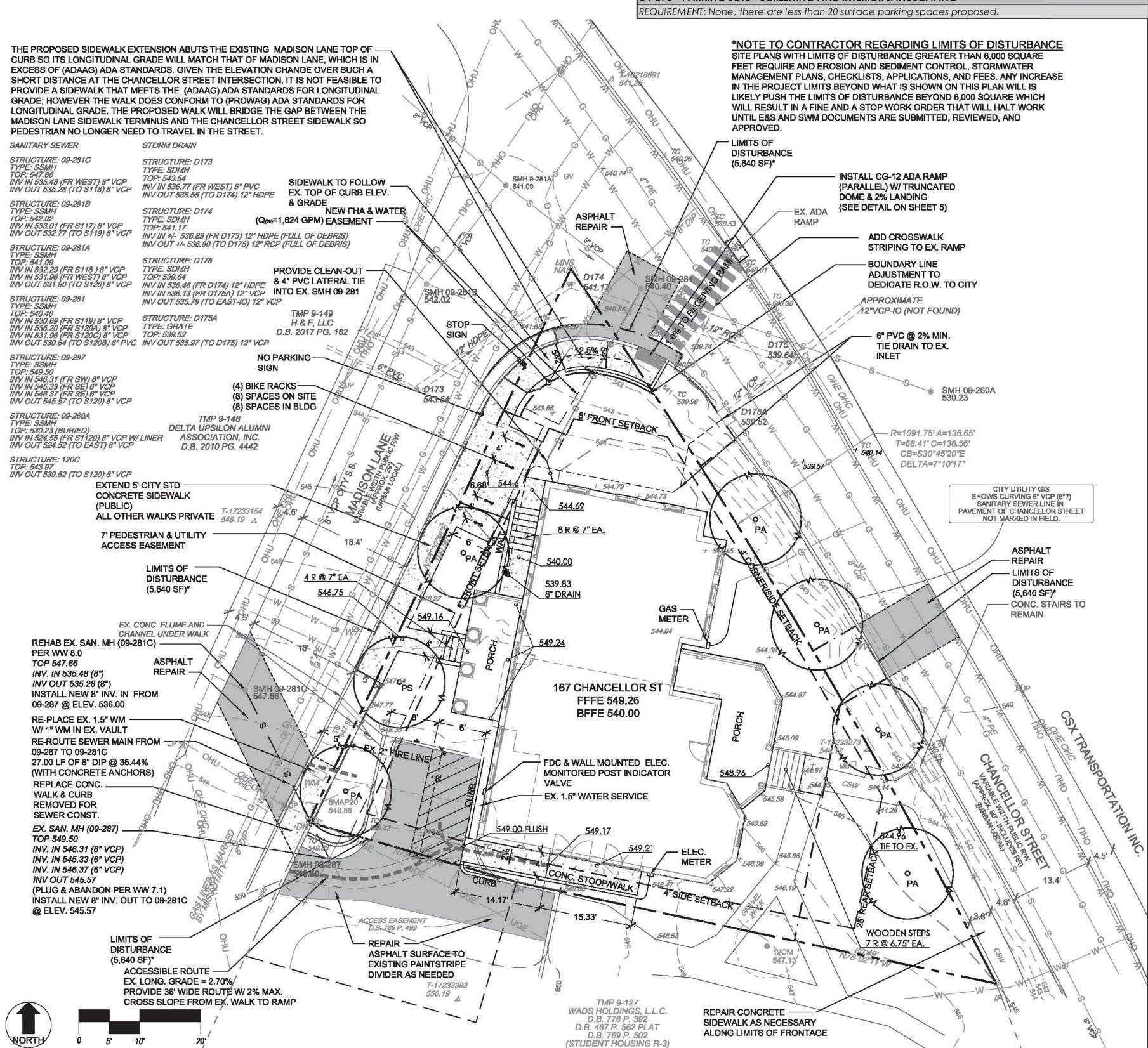
3'-11 7/8" [1216]

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BICYCLE RACK

Description Material





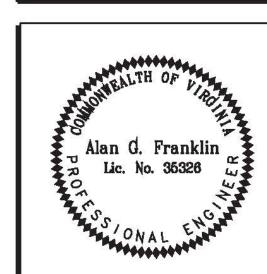
Alan Franklin PE, LLC
Civil and Site Plan Engineering
427 Cranberry Lane Crozet, VA 22932

434-531-5544 alan@alanfranklinpe.com

> ------

> > SITE

CHANCELLOR STIE PLAN
CHANCELLOR STIE PLAN
CHARLOTTESVILLE, VIRGINIA



SCALE:
ISSUED: 10-01-19
DRAWN BY:
REVISIONS:

1 01.06.20 - CITY COMMENTS 2 02.27.20 - CITY COMMENTS 3 04 17 20 - CITY COMMENTS

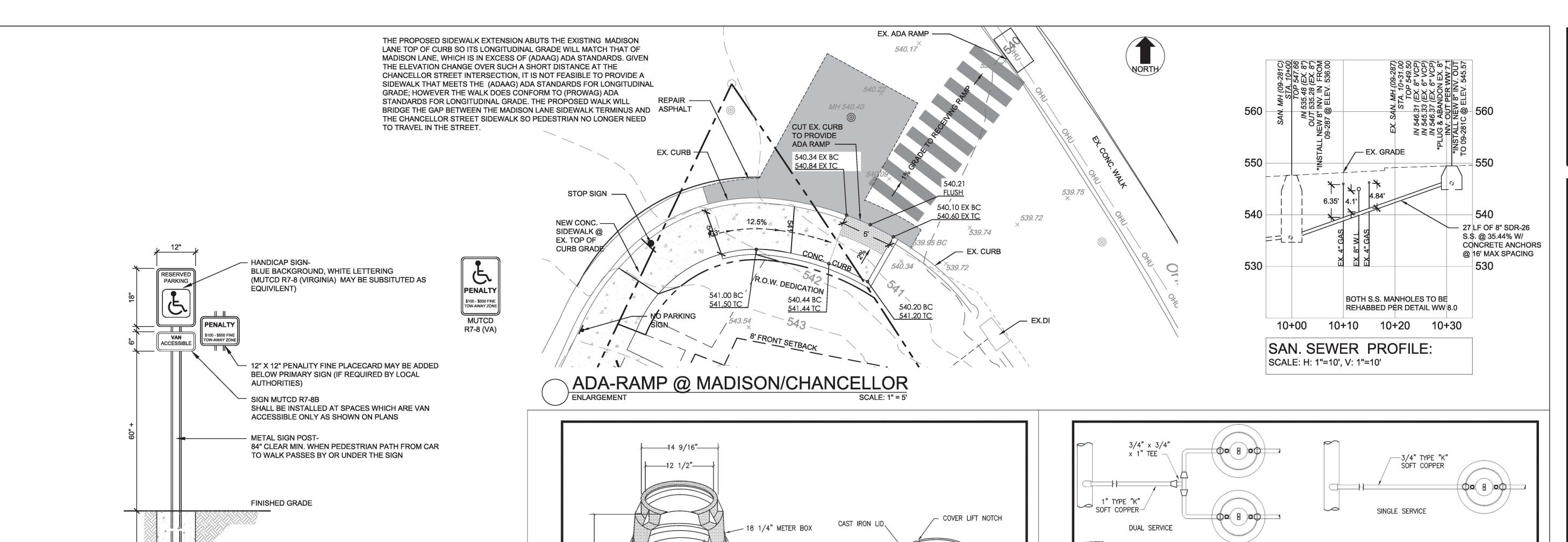
3 04.17.20 - CITY COMMENTS

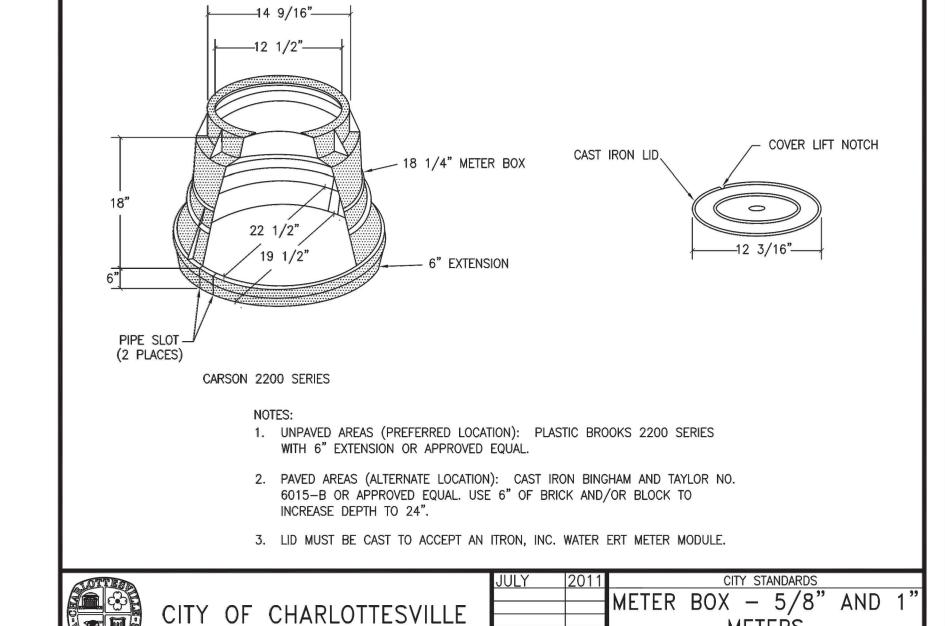
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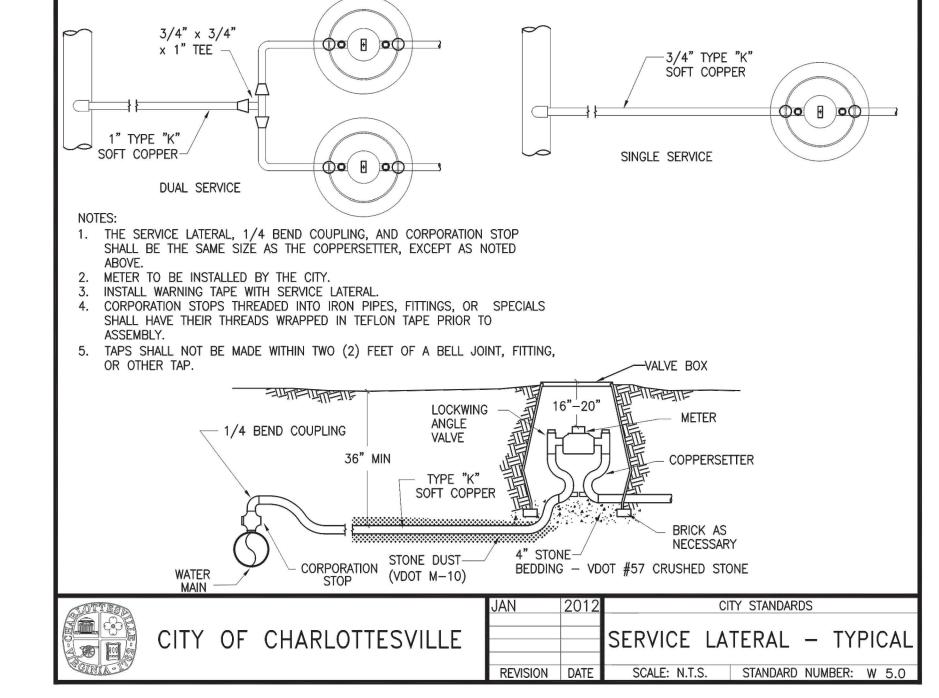
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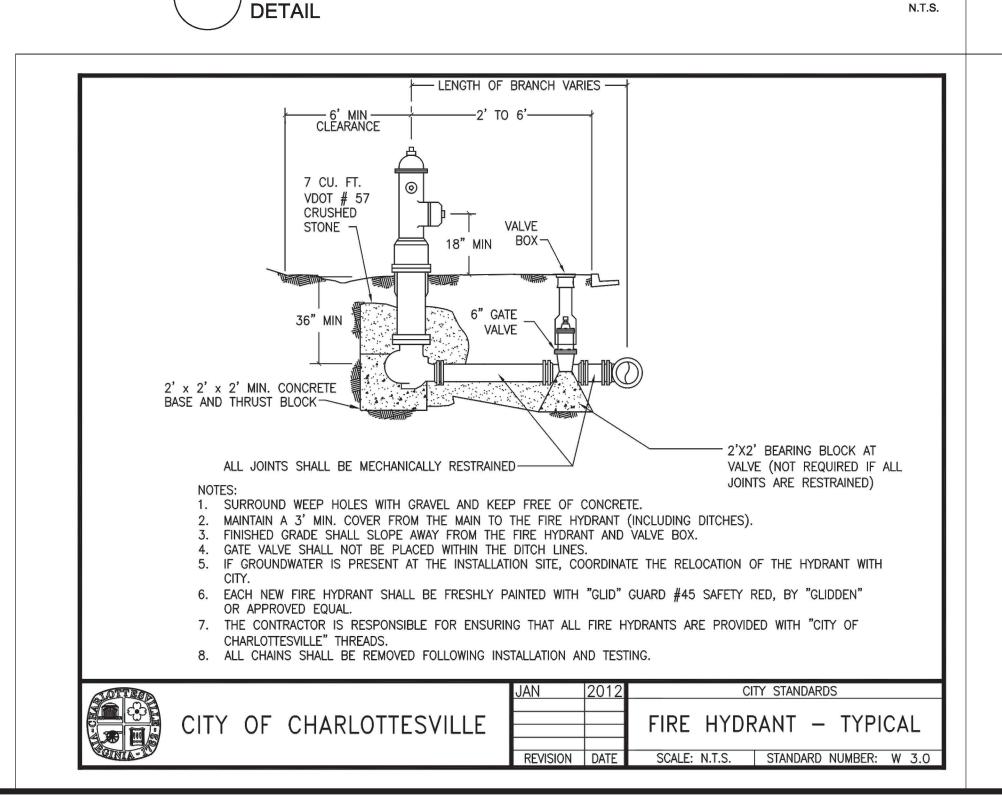
Alan Franklin PE, LLC

SHEET OF 6









CONCRETE FOOTING (CLASS B)

COMPACTED SUBGRADE

1. METAL POST SHALL BE GALVANIZED OR BAKED ENAMEL HIGH STRENGTH U-CHANNEL. POST SHALL HAVE

5. THE SYMBOL IS COMPOSED OF TWO ELEMENTS. A WHITE WHEELCHAIR FIGURE (WHICH ALWAYS FACES

6. SIGN POST SHALL HAVE MIN. 6" CLEARANCE FROM BACK OF CURB AND PLACED AS SHOWN ON PLANS.

RIGHT) ON A SQUARE BACKGROUND, INTERNATIONAL BLUE IN COLOR (FED. STD. 595A, COLOR #15180)

N.T.S.

3. SIGNS SHALL BE FABRICATED BY USING A REFLECTIVE COATING IN THE SYMBOL, MESSAGE, AND

4. MESSAGE LETTERING SHALL BE UPPER CASE (WHITE SERIES B) IN ACCORDANCE WITH MUTCD.

ADA (VAN) ACCESSIBLE PARKING SIGN

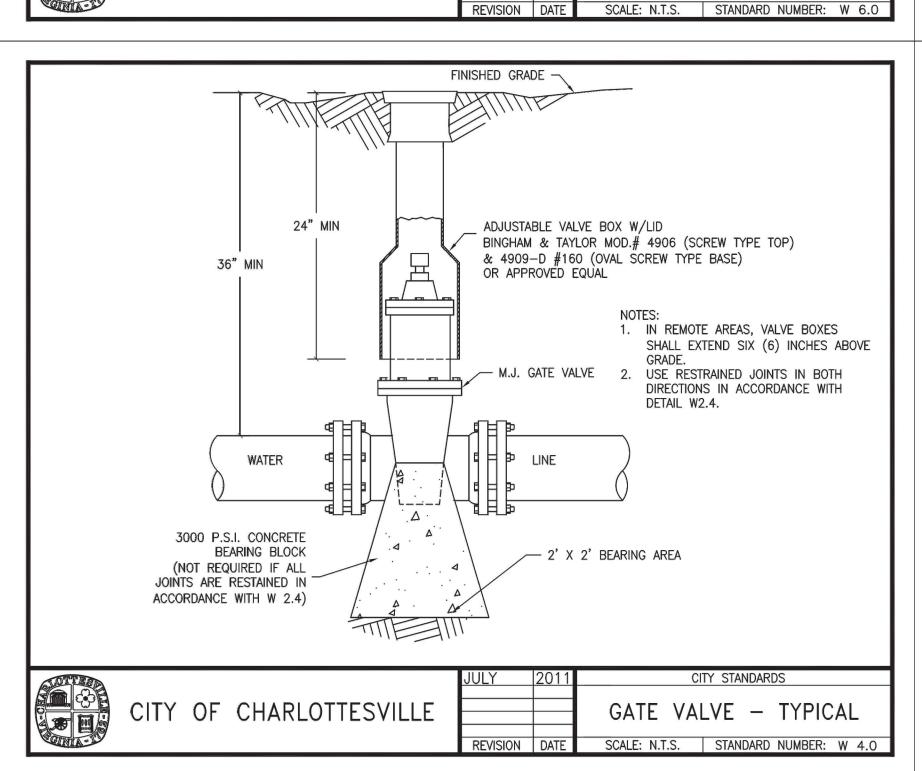
2000 PSI MIN.

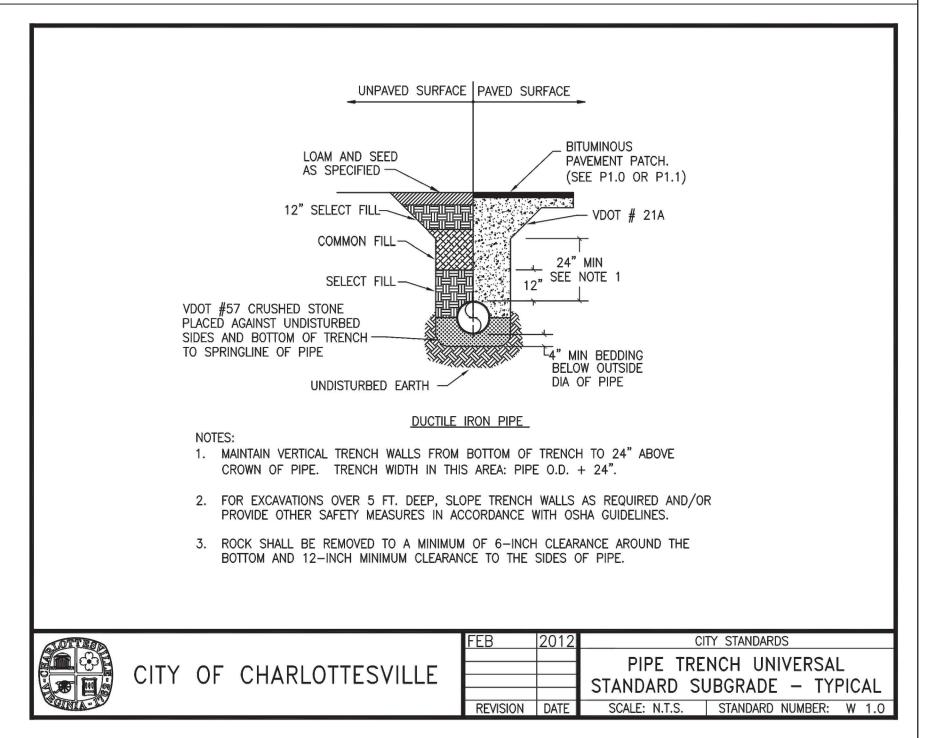
COLOR SHALL BE BLACK.

2. ALL BOLTS, NUTS, WASHERS, & SCREWS SHALL BE GALVANIZED.

7. ANY SIGNS MOUNTED TO ONE POST SHALL BE SPACED 2" APART.

BORDERS APPLIED TO A SHEET ALUMINUM BACKING (.080") IN THICKNESS.



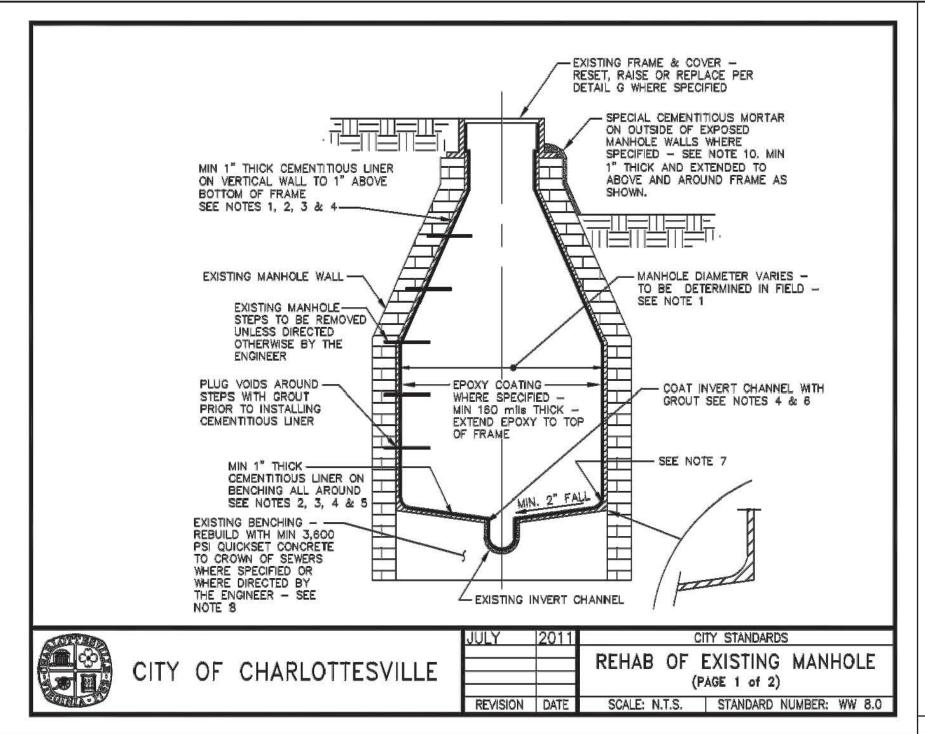


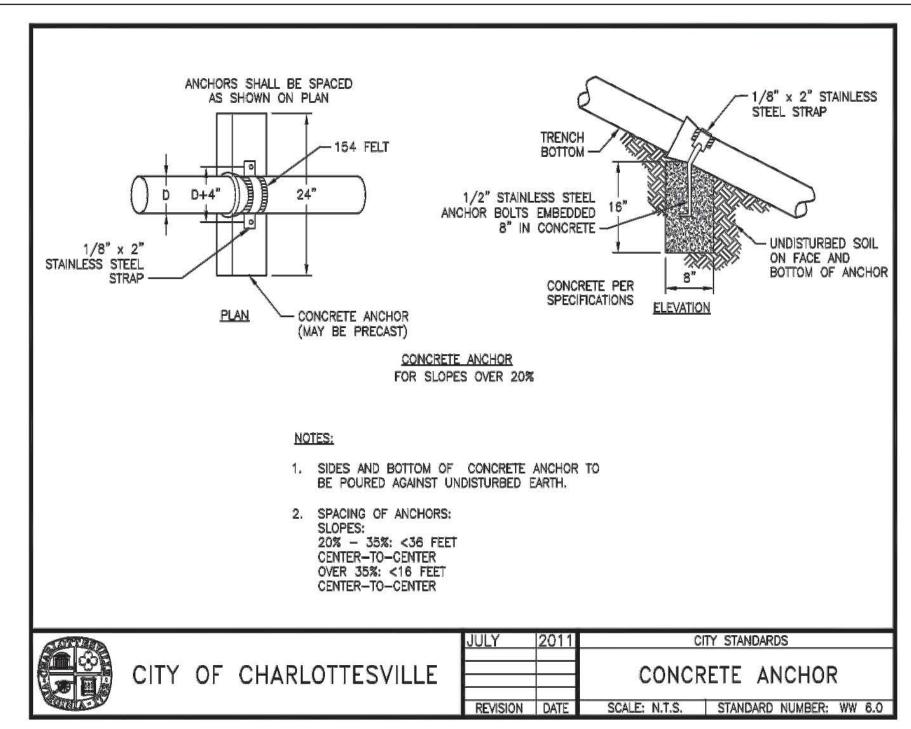
Alan Franklin PE, LLC Civil and Site Plan Engineering 427 Cranberry Lane Crozet, VA 22932 434-531-5544 alan@alanfranklinpe.com

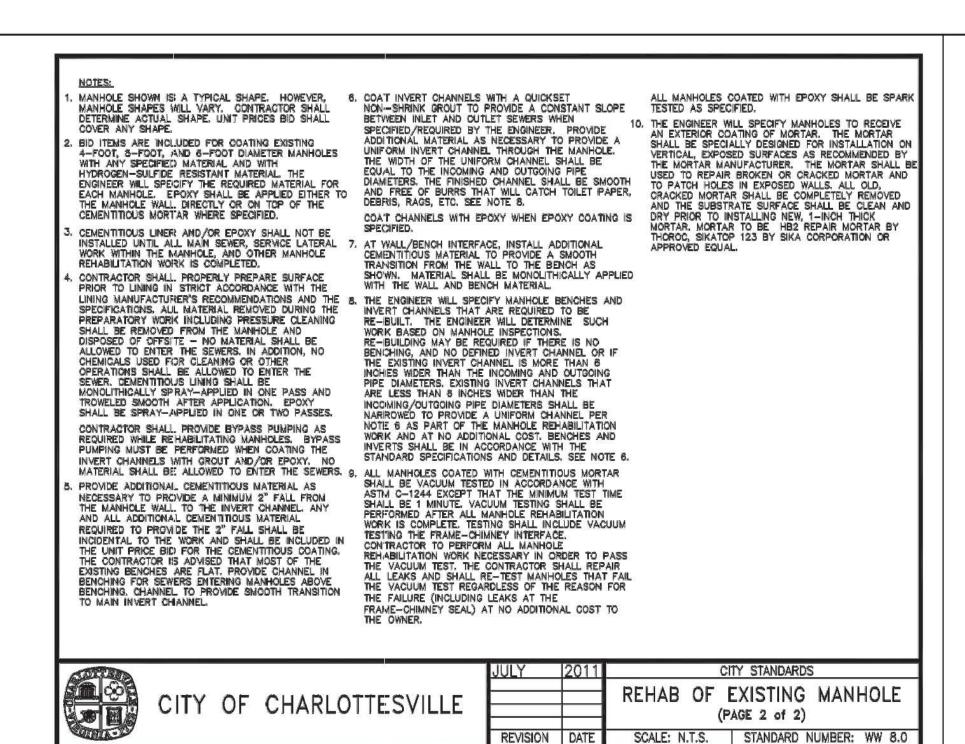
Alan G. Franklin Lic. No. 35326

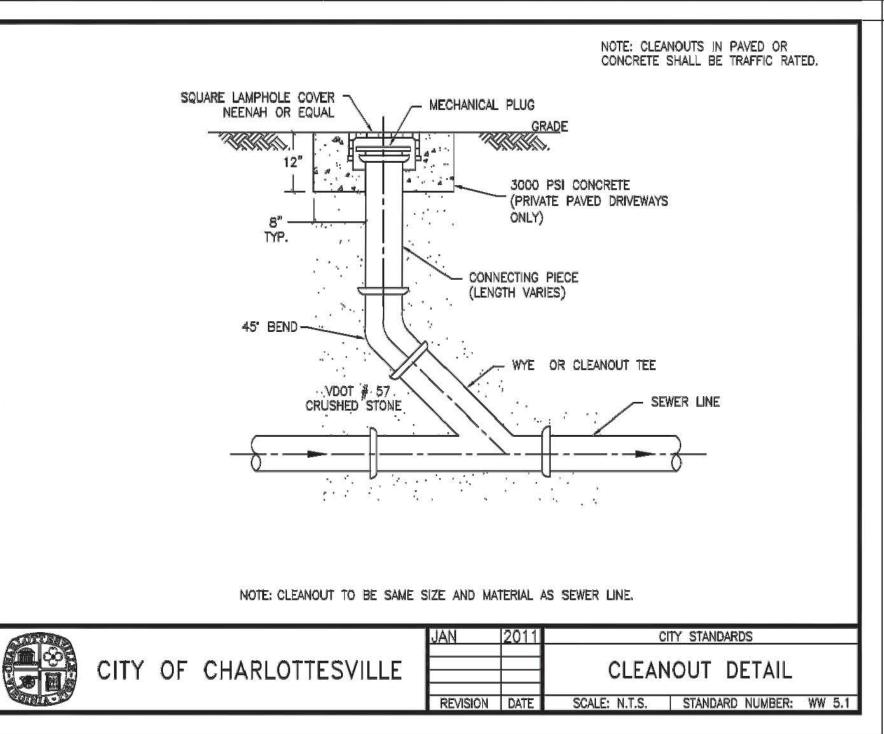
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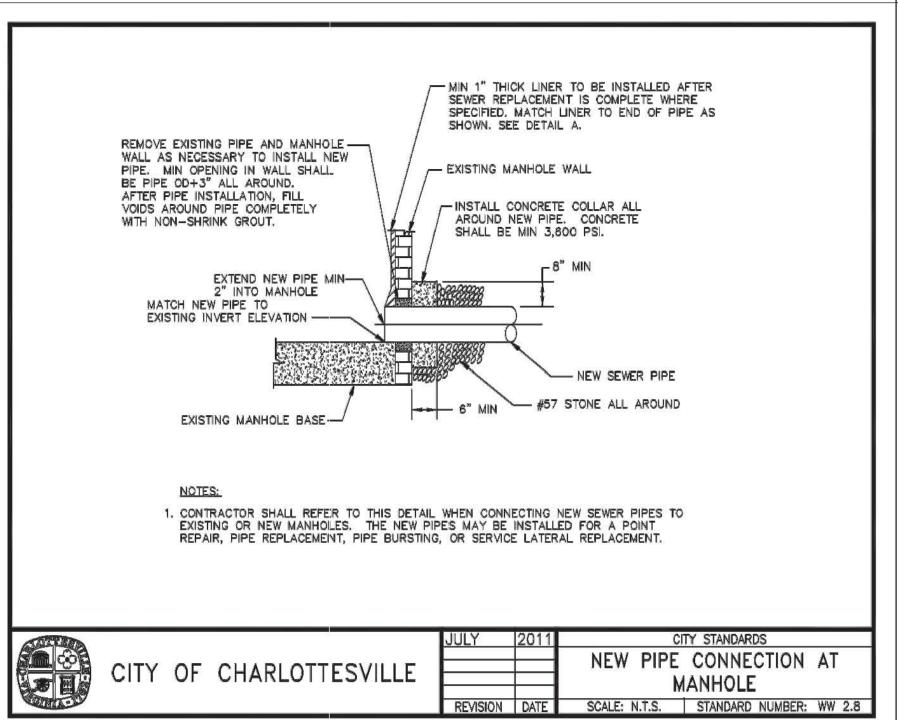
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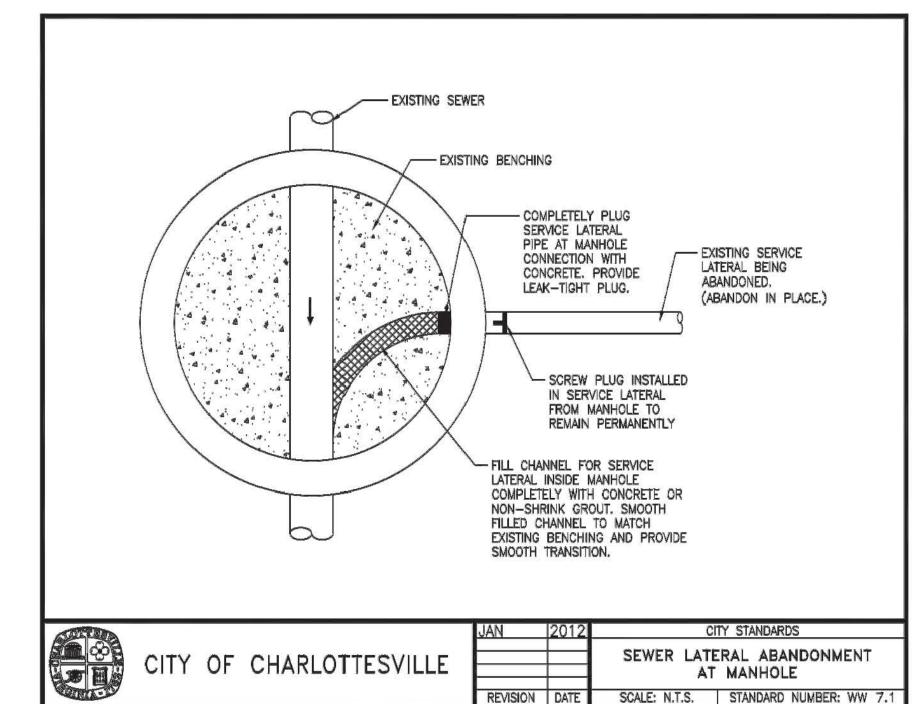


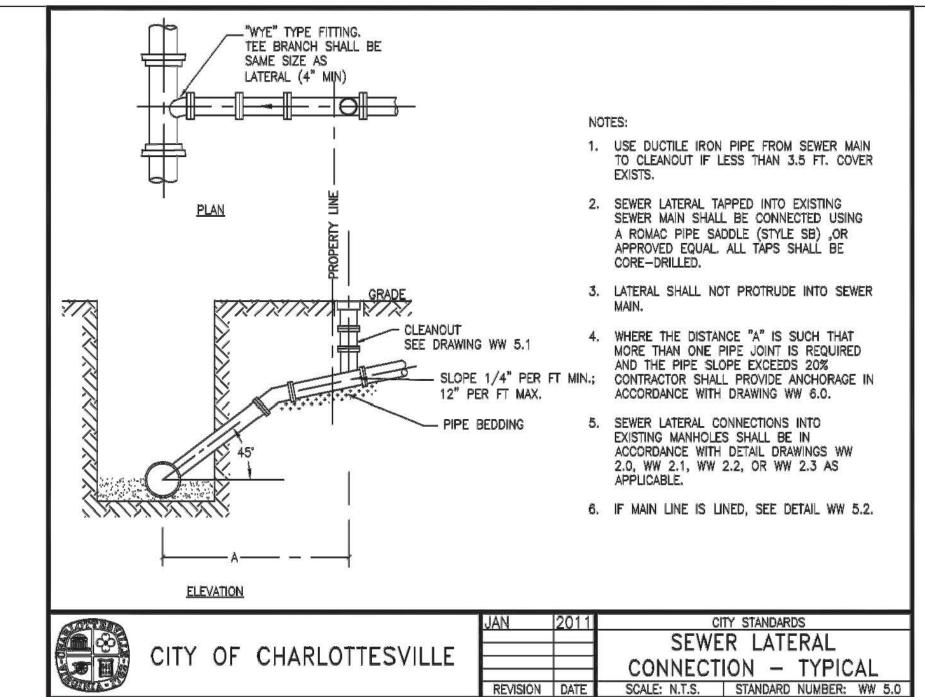


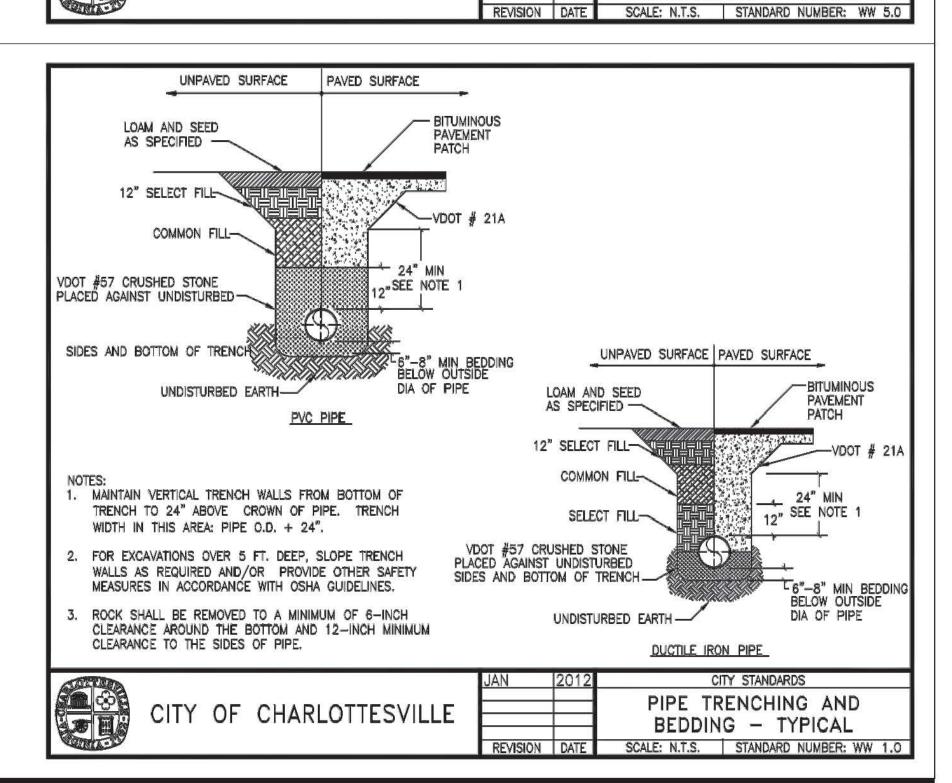












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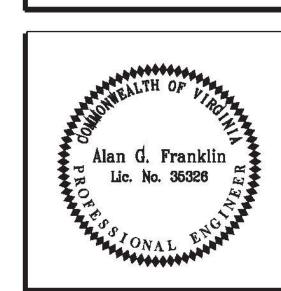
Civil and Site Plan Engineering 427 Cranberry Lane Crozet, VA 22932 434-531-5544 alan@alanfranklinpe.com

> -<u>J</u>

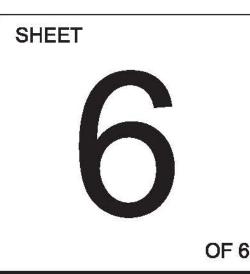
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ETAIL

167 CHANG



SCALE: ISSUED: 10-01-19 DRAWN BY: **REVISIONS:** 1 01.06.20 - CITY COMMENTS 2 02.27.20 - CITY COMMENTS Il rights reserved. No part of the material protected by this copyright (plans, ideas, designs, sections or details xpressed on these plans) may be reproduced, changed or utilized in any form or by any means, electronic or mechanical, including photocopying, scanning, or by any other means of retrieval system without written permission from Alan Franklin PE, LLC Also, these plans may not be assigned to a third party without first written authorization of Alan Franklin PE, LLC C Alan Franklin PE, LLC



# RESOLUTION AUTHORIZING A FRATERNITY HOUSE AT 167 CHANCELLOR STREET FOR UP TO 16 OCCUPANTS

**WHEREAS,** pursuant to City Code §34-420, landowner Alpha Omicron of Chi Psi Corporation has submitted an application seeking to modify a special use permit previously approved in 1985, for the purposes of authorizing a "boarding, fraternity and sorority house", as defined within City Code §34-1200, at 165 and 167 Chancellor Street (the proposed "Special Use Permit"); and

**WHEREAS**, the proposed Special Use Permit will apply to the land, buildings and structures located at 165 and 167 Chancellor Street (the "Subject Property"), which is further identified on 2019 City Tax Map 9 as Parcels 126 and 127 (City Parcel ID Nos. 090126000 and 090127000, respectively) and both lots are located within the City's R-3 zoning district, subject to an historic district overlay (the Corner major design control district, per §34-272(6); and

WHEREAS, previously, on July 15, 1985 City Council granted a special use permit to authorize a "sorority complex" to be established at 165 and 167 Chancellor Street, consisting of two buildings: one, at 165 Chancellor, another at 167 Chancellor, together, having thirty-three (33) residents, total. The current owner of the land, buildings and structures located at 165 Chancellor Street (WADS Holdings, LLC) has confirmed in writing that it does not object to this application, which will update and modify the previously-granted special use permit as to both 165 and 167 Chancellor Street; and

**WHEREAS**, the proposed Special Use is generally described within written materials submitted in connection with SP19-00007, including: the application materials dated September 17, 2019, and related narrative; and a proposed preliminary site plan *dated* September 17, 2019 as required by City Code §34-158 (collectively, the "Application Materials"); and

**WHEREAS**, the Planning Commission reviewed the Application Materials, and the City's Staff Report pertaining thereto, and then, following a joint public hearing duly advertised and conducted by the Planning Commission and City Council on November 12, 2019, the Planning Commission voted to recommend that City Council should approve this proposed Special Use, subject to certain conditions; and

**WHEREAS**, upon consideration of the comments received during the joint public hearing, the Planning Commission's recommendation, and the Staff Report, as well as the factors set forth within Sec. 34-157 of the City's Zoning Ordinance, this Council finds and determines that granting the proposed Special Use subject to suitable conditions would serve the public necessity, convenience, general welfare or good zoning practice; now, therefore,

**BE IT RESOLVED** by the Council of the City of Charlottesville, Virginia that, pursuant to City Code Sec. 34-420, the proposed Special Use is granted, subject to the following conditions:

- 1. The fraternity house located at 167 Chancellor Street shall have a maximum of sixteen (16) residents. Any expansion of the fraternity house beyond sixteen (16) residents will require an amendment to this Special Use Permit.
- 2. <u>165 Chancellor Street</u>: Special Use Permit approval for the land, buildings and structures located at 165 Chancellor Street to be used for a "boarding, fraternity and sorority house", as that term is defined in City Code §34-1200 is expired and no longer valid. However, yard regulations for this lot will remain modified as follows:
  - a. <u>Building setback (front)</u>, <u>adjacent to Madison Lane</u>: the required building setback along Madison Lane shall remain modified as shown on the site plan for 165 and 167 Chancellor Street approved on November 4, 1985.
- 3. <u>167 Chancellor Street</u>: The land, buildings and structures located at 167 Chancellor Street may be used for a "boarding, fraternity and sorority house", as that term is defined in City Code §34-1200. The number of residents shall not exceed 16 at 167 Chancellor Street.
  - a. <u>Building setback (front)</u>, <u>adjacent to Madison Lane</u>: the required building setback along Madison Lane shall be 8 feet.
  - b. <u>Building setback (corner side)</u>, <u>adjacent to Chancellor Street</u>: the required building setback along Chancellor Street shall be 4 feet.
  - c. <u>Building setback (side)</u>, <u>adjacent to 165 Chancellor Street</u>: the required building setback along the property line shared with 165 Chancellor Street shall be 4 feet.
  - d. Building setback (rear), property corner adjacent to Chancellor Street and 165

    Chancellor Street: the required building setback from property corner adjacent to Chancellor Street and 165 Chancellor Street shall be 25 feet.
- 4. The "boarding, fraternity or sorority house" use approved by this special use permit, and (except as specifically modified within condition (2) and condition (3), above), all buildings and structures located on the Subject Property, shall comply with the provisions of City Code Sec. 34-353 and all other applicable provisions of Chapter 34 (Zoning) of the Code of the City of Charlottesville.
- 5. Bicycle storage facilities shall be provided at 167 Chancellor Street at a rate of one (1) bicycle storage facility per resident, and all such facilities shall be a type permitted by the zoning ordinance.

- 6. Sidewalk shall be extended along the frontage of Madison Lane as shown on the proposed preliminary site plan for 167 Chancellor Street dated September 17, 2019.
- 7. Curb ramps shall be installed at the end of any proposed sidewalk on Madison Lane to align with the existing curb ramp on the east side of Chancellor Street.
- 8. The elevated sidewalk to the south on Chancellor Street must be repaired and vegetation cleared to remove obstructions. If this work is not done prior to requesting an updated Certificate of Occupancy for 167 Chancellor Street then the landowner shall provide a development agreement specifying the timing for completion of sidewalk work.
- 9. An accessible route from the public sidewalk to 167 Chancellor Street shall be required.

**BE IT FURTHER RESOLVED THAT** the Special Use Permit approved by this Resolution amends and supersedes the special use permit previously approved by resolution dated July 15, 1985 for the buildings and structures located at 165 and 167 Chancellor Street.

Sec. 34-827. - Preliminary site plan contents.

- (a) Sixteen (16) clearly legible blue or black line copies of a preliminary site plan shall be submitted along with an application for approval. In addition, a three-dimensional drawing or model of the proposed site and the surrounding areas showing massing in context shall be submitted along with any preliminary site plan that is to be reviewed by the planning commission. If revisions to the submitted preliminary site plan are necessary, then sixteen (16) full-sized revised copies, and, if the preliminary site plan is to be reviewed by the planning commission, an additional ten (10) revised copies shall be submitted by the revision deadline.
- (b) All waiver, variation and substitution requests shall be submitted with the preliminary site plan, and the applicant shall clearly state the specific items being requested for waiver, variation or substitution.
- (c) The preliminary site plan shall be prepared to an engineering scale of 1:20, unless, in the determination of the director a different scale will allow a better representation of the development.
- (d) The preliminary site plan shall contain the following information:
  - (1) The name of the development; names of the owner(s), developer(s) and individual(s) who prepared the plan; tax map and parcel number; zoning district classification(s); descriptions of all variances, zoning proffers and bonus factors applicable to the site; description of affordable dwelling unit requirements applicable to the subject property pursuant to section 34-12(a) or section 34-12(d)(1); city and state; north point; scale; one (1) datum reference for elevation (where a flood hazard overlay district is involved, U.S. Geological Survey vertical datum shall be shown and/or correlated to plan topography); source of the topography; source of the survey; sheet number and total number of sheets; date of drawing; date and description of latest revision; zoning district, tax map and parcel number, and present use, of each adjacent parcel; departing lot lines; minimum setback lines, yard and building separation requirements; a vicinity sketch showing the property and its relationship with adjoining streets, subdivisions and other landmarks; and boundary dimensions.
  - (2) Written schedules or data as necessary to demonstrate that the site can accommodate the proposed use, including: proposed uses and maximum acreage occupied by each use; maximum number of dwelling units by type; gross residential density; square footage of recreation area(s); percent and acreage of open space; maximum square footage for non-residential uses; maximum lot coverage; maximum height of all structures; schedule of parking, including maximum amount required and amount provided; maximum amount of impervious cover on the site; and if a landscape plan is required, maximum amount of paved parking and vehicular circulation areas.
  - (3) If phasing is planned, phase lines and proposed timing of development;
  - (4) Existing topography for the entire site at maximum five-foot contours; proposed grading (maximum two-foot contours), supplemented where necessary by spot elevations; and sufficient offsite topography to describe prominent and pertinent offsite features and physical characteristics, but in no case less than fifty (50) feet outside of the site unless otherwise approved by the director. Topographic information submitted with a preliminary plat shall be in the form of a topographic survey, which shall identify areas of critical slopes, as defined in section 29-3, natural streams, natural drainage areas, and other topographic features of the site.
  - (5) Existing landscape features as described in <u>section 34-867</u> (requirements of landscape plans), including all individual trees of six (6) inch caliper or greater.
  - (6) The name and location of all watercourses, waterways, wetlands and other bodies of water adjacent to or on the site.

- (7) One hundred-year flood plain limits, as shown on the official flood insurance maps for the City of Charlottesville, as well as the limits of all floodway areas and base flood elevation data required by section 34-253.
- (8) Existing and proposed streets, access easements, alley easements and rights-of-way, and other vehicular travelways, together with street names, highway route numbers, right-of-way lines and widths, centerline radii, and pavement widths.
- (9) Location and size of drainage channels, and existing and proposed drainage easements; and a stormwater management concept detailing how the applicant will achieve adequate drainage post-development, including a description of the specific design concept the applicant plans to apply. References to specific types of stormwater management facilities, specific treatments, BMPs, LID techniques, etc. shall be provided, The stormwater management concept shall be prepared by a professional engineer or landscape architect, as those terms are defined within Virginia Code § 54.1-400, and shall describe the manner in which stormwater runoff from the subdivision will be controlled in order to minimize the damage to neighboring properties and receiving streams, and prevent the discharge of pollutants into surface waters, in accordance with the requirements of City Code Chapter 10.
- (10) Location and size of existing water, sanitary and storm sewer facilities and easements, and proposed conceptual layout for water and sanitary sewer facilities and public storm sewer facilities.
- (11) Location of other existing and proposed utilities and utility easements.
- (12) Location of existing and proposed ingress to and egress from the property, showing the distance to the centerline of the nearest existing street intersection.
- (13) Location and dimensions of all existing and proposed improvements, including: buildings (maximum footprint and height) and other structures (principal as well as accessory); walkways; fences; walls; trash containers; outdoor lighting; landscaped areas and open space; recreational areas and facilities; parking lots and other paved areas; loading and service areas, together with the proposed paving material types for all walks, parking lots and driveways.
- (14) All areas intended to be dedicated or reserved for public use.
- (15) Landscape plan, in accordance with <u>section 34-867</u>, if the proposed site plan is subject to entrance corridor review.
- (16) Where deemed appropriate by the director due to intensity of development, estimated traffic generation figures for the site based upon current VDOT rates, indicating the estimated vehicles per day and the direction of travel for all connections to a public road.

The director or the commission may require additional information to be shown on the preliminary site plan as deemed necessary in order to provide sufficient information for the director or commission to adequately review the preliminary site plan.

(9-15-03(3); 6-6-05(2); 1-20-09; 11-18-13; 5-19-14, § 2, eff. 7-1-14)

# City of Charlottesville MEMO



TO: Planning Commission

FROM: Erin Atak, Grants Coordinator

DATE: July 14, 2020

SUBJECT: Public hearing for proposed FY 2020-2021 CDBG-CV Budget Allocations for the

Amended FY 2021 Annual Plan of the Consolidated Plan

As part of the CDBG public participation process, the Planning Commission must provide recommendations to City Council on all Community Development Block Grant (CDBG) and funding recommendations.

Attached you will find the proposed allocations for FY 20-21 CDBG-CV program. According to <u>HUD priorities</u>, CDBG-CV grant funds are recommended to be used to prevent, prepare for, and respond to the coronavirus (COVID-19). This recommendation is based on CDBG Task Force recommendations for Public Service activities, and the Strategic Action Team for Economic Development activities to respond to the growing effects of the historic public health crisis.

Also attached you will find copies of meeting minutes where these recommendations were made.

Other attachments include a memo of explanation and a list of all the projects reviewed as a result of the Request for Proposal (RFP) process.

Following the public hearing, staff is asking for a recommendation to City Council concerning the CDBG-CV budget allocations.

If you have any questions or concerns, please contact Erin Atak at 434-970-3093

Cc: DityTarromcRichardson, City Manager
Alexander Ikefuna, Director of NDS
Brenda Kelley, Redevelopment Manager
CDBG/HOME Task Force

# City of Charlottesville MEMO



TO: Planning Commission

FROM: Erin Atak, Grants Coordinator of Charlottesville

DATE: July 14, 2020

SUBJECT: Proposed FY 2020-2021 CDBG-CV Budget Allocations

#### CDBG-CV Project Recommendations for FY 2020-2021:

The City of Charlottesville has been authorized a special allocation of Community Development Block Grant Coronavirus Funds (CDBG-CV) to be used to prevent, prepare for, and respond to the coronavirus (COVID-19). This allocation was authorized by the Coronavirus Aid, Relief, and Economic Security Act (CARES Act), Public Law 116-136; to respond to the growing effects of this historic public health crisis. The City of Charlottesville CDBG-CV program total has an estimated \$246,699 for the 2020-2021 program year. Minutes from the meetings are attached which outline the recommendations made. It is important to note that all projects went through an extensive review by the CDBG/HOME Task Force as a result of an RFP process.

Economic Development – In accordance with <u>HUD's Quick Guide to CDBG Eligible Activities</u> to <u>Support Infectious Disease Response</u>, Revised April 6, 2020; FY 20-21 CDBG-CV funds were set aside for Economic Development Activities to align with Council priorities for microenterprise assistance. Members of the Strategic Action Team reviewed one application for Economic Development and made one funding recommendation of \$98,679.60 to the Community Investment Collaborative (CIC). Funds are proposed to be used to administer 24 grants and technical support to eligible microenterprises. Said grants will help businesses cover expenses including rent, payroll, replacing inventory, etc. Technical support will help owners access services to adapt to the economic environment: support in bringing businesses online, financial planning, additional cleaning, etc.

<u>Public Service Programs</u> – The CDBG/HOME Task Force has recommended two public service programs. Programs were evaluated based on <u>HUD's Quick Guide to CDBG Eligible Activities to Support Coronavirus and Other Infectious Disease Response</u>, and Council priorities for affordable housing (priority for persons who are 0-50 percent AMI), support for the homelessness and those at risk of homelessness, workforce development (including but not limited to efforts to bolster Section 3 training opportunities and partnerships with the City's GO programs, support for programs that aid in self-sufficiency, including but not limited to quality childcare), and mental health and substance abuse services. Programs were also evaluated based upon metrics included in the RFP evaluation scoring rubric. Funding will enable the organizations to prevent and respond to the spread of infectious diseases such as the coronavirus.

The Taskforce made a funding recommendation of \$49,661.78 for the Thomas Jefferson Health District for COVID-19 Outreach, Testing, and Linkage to Care. Estimated benefits include hiring two full-time Community Health workers to engage priority populations in COVID-19 prevention, act as liaison for testing and wrap around services, and inform the health department's COVID-19 strategy.

The Taskforce also made a funding recommendation of \$49,017.82 for the Thomas Jefferson Area Coalition (TJACH) for the COVID-19 Homeless Prevention Response. Estimated benefits include providing rental and utility assistance to 25 households under 30% of AMI at imminent risk of homelessness due to income loss from COVID-19 and hiring one additional staff person to assist with homeless prevention assistance.

Administration and Planning: To pay for the costs of staff working with CDBG-CV projects, citizen participation, and other grant related costs directly related to CDBG-CV funds, \$49,339.80 is budgeted.

#### **Attachments:**

- A. HUD Quick Guide to CDBG Eligible Activities to Support Coronavirus and Other Infectious Disease Response
- B. Proposed FY 20-21 CDBG-CV budget
- C. FY 20-21 List of RFPs received
- D. CDBG/HOME Task Force Minutes
- E. RFP Scoring Rubric Template
- F. Taskforce Scores

# Quick Guide to CDBG Eligible Activities to Support Coronavirus and Other Infectious Disease Response REVISED April 6, 2020

Grantees should coordinate with local health authorities before undertaking any activity to support state or local pandemic response. Grantees may use Community Development Block Grant (CDBG) funds for a range of eligible activities that prevent and respond to the spread of infectious diseases such as the coronavirus.

#### **Examples of Eligible Activities to Support Coronavirus and Other Infectious Disease Response**

	to applicable sections of the Housing and Community Development Act of 1974 (for Grantees) and CDBG regulations (for Entitlement CDBG grantees).				
<b>Buildings and Improvements,</b>	Including Public Facilities				
Acquisition, construction,	Construct a facility for testing, diagnosis, or treatment.				
reconstruction, or installation of public works, facilities, and	Rehabilitate a community facility to establish an infectious disease treatment clinic.				
site or other improvements.  See section 105(a)(2) (42 U.S.C. 5305(a)(2)); 24 CFR 570.201(c).	Acquire and rehabilitate, or construct, a group living facility that may be used to centralize patients undergoing treatment.				
Rehabilitation of buildings and improvements (including interim assistance).  See section 105(a)(4) (42 U.S.C. 5305(a)(4)); 24 CFR	Rehabilitate a commercial building or closed school building to establish an infectious disease treatment clinic, e.g., by replacing the HVAC system.				
	Acquire, and quickly rehabilitate (if necessary) a motel or hotel building to expand capacity of hospitals to accommodate isolation of patients during recovery.				
570.201(f); 570.202(b).	Make interim improvements to private properties to enable an individual patient to remain quarantined on a temporary basis.				
Assistance to Businesses, inclu	ding Special Economic Development Assistance				
Provision of assistance to private, for-profit entities,	Provide grants or loans to support new businesses or business expansion to create jobs and manufacture medical supplies necessary to respond to infectious disease.				
when appropriate to carry out an economic development project.  See section 105(a)(17) (42 U.S.C. 5305(a)(17)); 24 CFR 570.203(b).	Avoid job loss caused by business closures related to social distancing by providing short-term working capital assistance to small businesses to enable retention of jobs held by low- and moderate-income persons.				
Provision of assistance to microenterprises.  See section 105(a)(22) (42 U.S.C. 5305(a)(22)); 24 CFR 570.201(o).	Provide technical assistance, grants, loans, and other financial assistance to establish, stabilize, and expand microenterprises that provide medical, food delivery, cleaning, and other services to support home health and quarantine.				

Provision of New or Quantifia	ably Increased Public Services					
Following enactment of the CARES Act <sup>1</sup> , the public	Carry out job training to expand the pool of health care workers and technicians that are available to treat disease within a community.					
services cap <sup>2</sup> has no effect on CDBG-CV grants and no	Provide testing, diagnosis or other services at a fixed or mobile location.					
effect on FY 2019 and 2020 CDBG grant funds used for coronavirus efforts.	Increase the capacity and availability of targeted health services for infectious disease response within existing health facilities.					
See section $105(a)(8)$ (42	Provide equipment, supplies, and materials necessary to carry-out a public service.					
U.S.C. 5305(a)(8)); 24 CFR 570.201(e).	Deliver meals on wheels to quarantined individuals or individuals that need to maintain social distancing due to medical vulnerabilities.					
Planning, Capacity Building,	and Technical Assistance					
States only: planning grants and planning only grants.  See section 105(a)(12).	Grant funds to units of general local government may be used for planning activities in conjunction with an activity, they may also be used for planning only as an activity. These activities must meet or demonstrate that they would meet a national objective. These activities are subject to the State's 20 percent administration, planning and technical assistance cap.					
States only: use a part of to support TA and capacity building.  See section 106(d)(5) (42 U.S.C. 5306(d)(5).	Grant funds to units of general local government to hire technical assistance providers to deliver CDBG training to new subrecipients and local government departments that are administering CDBG funds for the first time to assist with infectious disease response. This activity is subject to the State's 3 percent administration, planning and technical assistance cap.					
Entitlement only: data gathering, studies, analysis, and preparation of plans and the identification of actions that will implement such plans. See 24 CFR 570.205.	Gather data and develop non-project specific emergency infectious disease response plans.					

#### **Planning Considerations**

Infectious disease response conditions rapidly evolve and may require changes to the planned use of funds:

- CDBG grantees must amend their Consolidated Annual Action Plan (Con Plan) when there is a change to the allocation priorities or method of distribution of funds; an addition of an activity not described in the plan; or a change to the purpose, scope, location, or beneficiaries of an activity (24 CFR 91.505).
- If the changes meet the criteria for a "substantial amendment" in the grantee's citizen participation plan, the grantee must follow its citizen participation process for amendments (24 CFR 91.105 and 91.115).
- Under the CARES Act, CDBG grantees may amend citizen participation and Con Plans concurrently in order to establish and implement expedited procedures with a comment period of no less than 5-days.

#### Resources

The Department has technical assistance providers that may be available to assist grantees in their implementation of CDBG funds for activities to prevent or respond to the spread of infectious disease. Please contact your local CPD Field Office Director to request technical assistance from HUD staff or a TA provider.

- Submit your questions to: <a href="mailto:CPDQuestionsAnswered@hud.gov">CPDQuestionsAnswered@hud.gov</a>
- Coronavirus (COVID-19) Information and Resources: <a href="https://www.hud.gov/coronavirus">https://www.hud.gov/coronavirus</a>
- CPD Program Guidance and Training: https://www.hudexchange.info/program-support/

<sup>&</sup>lt;sup>1</sup> On March 27, 2020, President Trump approved the Coronavirus Aid, Relief, and Economic Security Act (Public Law 116-136) (CARES Act). The CARES Act makes available \$5 billion in CDBG coronavirus response (CDBG-CV) funds to prevent, prepare for, and respond to coronavirus.

<sup>&</sup>lt;sup>2</sup> Section 105(a)(8) of the HCD Act caps public service activities at 15 percent of most CDBG grants. Some grantees have a different percentage cap.

# 2020-2021 CDBG-CV BUDGET ALLOCATIONS RECOMMENDED BY CDBG/HOME TASK FORCE and SAT: 6/11/2020, 6/15/2020 RECOMMENDED BY PLANNING COMMISSION: APPROVED BY CITY COUNCIL:

#### A. ECONOMIC DEVELOPMENT PROJECTS

A. Community Investment Collaborative – Entrepreneur Scholarships \$98,679.60

ECONOMIC DEVELOPMENT TOTAL: \$98,679.60

**B. PUBLIC SERVICE PROJECTS** 

A. TJACH - Coordinated Entry System \$49,017.82

B. Thomas Jefferson Health District \$49,661.78 SOCIAL PROGRAMS TOTAL: \$98,679.60

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C. ADMINISTRATION AND PLANNING:

A. Admin and Planning \$49,339.80 (20% EN)

**GRAND TOTAL:** \$246,699

ESTIMATED NEW ENTITLEMENT AMOUNT: \$246,699

# CDBG-CV FY20/21 RFP Submissions

	Organization, Program Title	Project Contact	Program Description	Submittal	Funding Requested
es	Office of Economic Development (OED)	Hollie Lee	GO Delivery/S.E.L.F Odyssey COVID-19 Outreach, Testing and Linkage to	On Time	\$35,000.00
vice	Thomas Jefferson Health District	Rebecca Schmidt	Care	On Time	\$99,323.56
er	Thomas Jefferson Area Coalition for the				
Se	Homeless (TJACH)	Anthony Haro	COVID-19 Homeless Prevention Response	On-Time	\$60,000.00
<u>.</u> 2	Habitat for Humanity	Ruth Stone	Mortgage Forbearence Loan	Late	\$40,000.00
lqn	Charlottesville Redevelopment and	Kathleen Glenn-			
Pu	Housing Authority (CRHA)	Matthews	CRHA Rental Assistance Program	On Time	\$70,000.00
	Total Amount of Request				\$304,324
	Total Projected Budget				\$98,679.60
	Request Overage				\$205,644
	Organization, Program Title	Project Contact	Program Description	Submittal	Funding Requested
	Community Investment Collaborative				
lo	(CIC)	Stephen Davis	CIC COVID Microbusiness Grant	On Time	\$98,640.00
Ü	Total Amount of Request				\$98,640
	Total Projected Budget				\$98,679.60
	Request Overage				(\$40)



### **CDBG Taskforce**

Monday, June 15th, 2020 3:30-5:00 PM Virtual Meeting

#### **AGENDA**

- 1. Introductions/Housekeeping/Minutes
- 2. Review Application Scores & Create proposal budget.
- 3. Other Business
- 4. Public Comment

#### **Staff Contact:**

Erin Atak, Grants Coordinator (atake@charlottesville.gov), (434) 970-3093



### **CDBG Taskforce Meeting Minutes**

Monday, June 15th, 2020 3:30-5:00 PM Virtual Meeting

#### **AGENDA**

#### 1. Introductions/Housekeeping/Minutes

City Staff member Erin Atak (EA), Grants Coordinator, begins meeting with CDBG Taskforce attendance. Meeting commences at 3:32 PM on Monday July 15, 2020.

CDBG/HOME Taskforce Roster	Attendance
Howard Evergreen	Present
Helen Kimble	Present
Nancy Carpenter	Present
Emily Cone Miller	Absent
James Bryant	Present
Kem Lea Spaulding	Present
Taneia Dowell	Absent
Matthew Gillikin	Present
Olivia Gabbay	Absent

Other City Staff members present: Symia Tabron, Brenda Kelley, John Sales.

EA begins to explain the CDBG-CV program to Taskforce members and viewers at home: The main goal of the CDBG-CV grant is to prevent, prepare for, and respond to the Coronavirus. HUD priorities are to fund activities towards infectious disease response. The City of Charlottesville was awarded \$246,699 in CDBG-CV funds authorized by the CARES Act. The CDBG-CV award is divided into three funding categories. All qualifying applicants are able to apply for public services and economic development funds. The Administrative/Planning portion of the CDBG-CV grant is

designated for City of Charlottesville to cover all grant related expenses (ex: Davis Bacon, Section 3, Environmental Reviews, Citizen Participation, etc.)

a. Public Service: \$98,679.60

b. Economic Development: \$98,679.60c. Administrative/Planning: \$49,339.80

On June 11, 2020 the economic development CDBG taskforce subcommittee, the Strategic Action Team (SAT), convened discussed one application the City received applying for the econ funds. The SAT made a funding recommendation to award the application all \$98,679.60 to the one economic development CDBG-CV applicant.

The job of the CDBG/HOME Taskforce is to create a funding recommendation for the public services fund of the CDBG-CV grant.

2. Review Application Scores & Create proposal budget.

EA shares CDBG/HOME Taskforce Score Spreadsheet on screen.

### Average score rankings:

Thomas Jefferson Health District (TJHD): 33.33

Thomas Jefferson Area Coalition for the Homeless (THACH): 30

Charlottesville Redevelopment Housing Authority (CRHA): 28

Office of Economic Development (OED): 25.17

Taskforce opens for discussion:

Taskforce member Matthew Gillikin begins meeting with clarification question for city staff member Erin Atak. Question concerns Staff Organization Capacity scores for all applicants and the relation to COVID-19 situation.

City Staff Erin Atak, Grants Coordinator, clarifies to Taskforce members that Staff Organizational Capacity Scores for all organizations is not included in the final score averaging. Staff Organizational Capacity scores review previous audits, how previous invoices were processed, quarterly reports, and whether organizations were able to follow HUD protocol. With COVID-19, jurisdictions were more lenient with grading, however, City Staff cannot overlook HUD procedures and paperwork requirements. Scores were given accordingly.

Taskforce member Matthew Gillikin request additional information on CRHA's staff organizational capacity score.

City Staff Erin Atak explains that detailed explanation is written on staff sheet of the Taskforce binder, however the CRHA applicant had to repay the City HOME and CDBG funding back to HUD in the past. The concern with the applicant is focused on the inability to spend funds in a timely manner. The concern was raised during the CRHA technical assistance meeting with CRHA staff, and was not addressed in the CDBG-CV application. Additionally, CRHA received a copy of the last CDBG/HOME audit to address concerns. Said concerns were not addressed in the application.

Taskforce member Nancy Carpenter states that CDBG-CV and CDBG funding is meant for low income people. Ms. Carpenter recounts listening to weekly calls with the National Low-Income Housing Coalition during the months of April and May. She adds that CRHA has the infrastructure to provide rental assistance as 22-23% of rental households nationwide will face risk of eviction starting July. CRHA wanting to provide housing stability for families outside of public housing is an important cause.

Staff Member Erin Atak comments to Taskforce Member Nancy Carpenter stating that CRHA application was not marked down from the lack of subject importance, but concern for administration. She reminded all taskforce members again that the staff organizational capacity score is not included into the final average score of each organization.

City Staff Housing Coordinator John Sales introduces himself to the Taskforce and provides additional information concerning the housing related applications (CRHA and TJACH). Mr. Sales also discusses the four housing initiatives being proposed for City Council on June 15, 2020. Mr. Sales notes the funding request for CRHA CDBG-CV application may not be able to serve three months' worth of rent for 50 families, and is similar to city's housing proposal.

Taskforce member Nancy Carpenter highlights the importance of housing during the COVID-19 pandemic.

Housing Coordinator provides a hypothetical breakdown of three months' worth of rent using CRHA's funding request. Grants Coordinator explains to the Taskforce that even with partial funding awarded to an organization, she would need to use the total goal amount written on the application for HUD reporting purposes.

Taskforce member Matthew Gillikin poses Housing Coordinator a question on TJACH's application and whether the applicant would be able to achieve their goal for the funding amount requested.

Housing Coordinator replies "yes" as TJACH is proposing to partner CDBG-CV funds with outside sources. Mr. Sales elaborates and states all program proposals submitted for the CDBG-CV program appear to be important needs for the community.

Discussion continues around fair market rent prices and three-months' worth of rent. Taskforce member Howard Evergreen notes that many residents that would be receiving assistance through the CRHA program would be living outside the fair market rate rental prices. Taskforce members note the concerns for applicant CRHA meeting the conditions of the grant.

City Staff member Symia Tabron raises a question of whether CRHA would undergo or submit another audit.

Grants Coordinator Erin Atak explains that CRHA has not submitted an audit for the CDBG-HOME program since 2015.

Taskforce member Nancy Carpenter states the importance of funding housing initiatives over other priorities such as health initiatives currently. Taskforce member James Bryant agrees and proposes to divide the \$98,679.60 among all applicants.

Taskforce member Howard Evergreen reminds the committee that the discussion on scoring is repeated each year. Scores are overlooked and there is never enough CDBG money. Mr. Evergreen reminds everyone that health priorities were included with the CDBG-CV funds specifically with the new release of the funds as an equal priority to housing. Mr. Evergreen continues and states that the scoring method cannot be disregarded.

Taskforce member Mattew Gillikin makes funding recommendation #1: Not funding OED, not funding CRHA due to hurdles identified by City Staff, fully funding TJACH to support housing initiatives at \$60,000, and give TJHD the remaining \$38,678.60.

Taskforce member Helen Kimble reminds the rest of the committee that the TJHD community health worker salary was around \$44,000 in addition to supervisory fees added on. Funding recommendation #1 would not support the cost of one community health worker. Potentially a part-time community health worker. Ms. Kimble asks City Staff whether they would be able to guarantee the living wage contract to community workers if TJHD was awarded funds.

City Staff Erin Atak states the CDBG program would not be able to dictate salary contracts for community health workers but could hold TJHD accountable for having provided a salary for community health workers in accordance to the program application.

Meeting registration/participation available at <a href="https://www.charlottesville.gov/zoom">www.charlottesville.gov/zoom</a>

Individuals with disabilities who require assistance or special arrangements to participate in the public meeting may call the ADA Coordinator at (434) 970-3182 or submit a request via email to <a href="mailto:ada@charlottesville.gov">ada@charlottesville.gov</a>. The City of Charlottesville requests that you provide a 48-hour notice so that proper arrangements may be made.

Taskforce member Howard Evergreen offers a counter funding recommendation #2, to either flip the recommendation #1 or give TJHD 2/3 of the funding and give TJACH 1/3 of the CDBG-CV funding in accordance to the application scores. Taskforce member Nancy Carpenter states that Mr. Evergreen makes a point about rubric indexing.

Taskforce member Matthew Gillikin proposed funding recommendation #3 to award TJHD 50% (\$49,661.78) of the funding request and award TJACH (\$49,017.82) the remaining CDBG-CV funds.

Taskforce members agree with funding proposal #3.

#### Public Services CDBG-CV: \$98,679.60 (Breakdown of Funding Recommendation #3)

Thomas Jefferson Health District: \$49,661.78

Thomas Jeffrson Area Coalition for the Homeless: \$49,017.82

Office of Economic Development: \$0.00

Charlottesville Redevelopment Housing Authority: \$0.00

Funding Recommendation Approval – CDBG/HOME Taskforce Roll Call

#### CDBG/HOME Taskforce Roster Vote - Funding Recommendation of Award 3 Howard Evergreen Approve Helen Kimble Approve Nancy Carpenter Approve Emily Cone Miller James Bryant Approve Kem Lea Spaulding Approve Taneia Dowell Matthew Gillikin Approve Olivia Gabbay

#### 3. Other Business

None

#### 4. Public Comment

None

Meeting Adjourned.

## SCORING RUBRIC FOR CDBG-CV PROPOSALS

## $\ \ \, \textbf{Name of Applicant:}$

## Name of Project:

	Exemplary (3 Points)	Adequate (2 Points)	Needs Improvement (1 Point)	Missing Information (0 Points)	Score	Comments
Program/Project Description	Provides a clear description and clearly explains how it will address a Council Priority	Provides a description that adequately explains how it will address a Council Priority	Program/project description needs improvement	Proposal does not describe how it will address a Council Priority		
Program/Project Goal	Provides a clear explanation of the goal. Identifies what will be provided to whom, how many. Provides demographic information of the beneficiaries and how they will meet the income guidelines	Provides an adequate explanation of the goal	Program/Project goal needs improvement. Barely identifies what will be provided to whom and how many. Barely provides demographic information and how the beneficiaries will meet the income guidelines	Goal is missing and/or not explained. Identification of beneficiaries, number of beneficiaries, demographic information, and information about how the beneficiaries will meet the income guidelines is missing		
Need	Clearly describes how the program will directly address the needs.	Adequately describes how the program will directly address the needs using some local	Description of need needs improvement. Only state, regional, or national data	Does not describe how the program will directly address the needs and/or		

Outcomes	Provides local data to describe the needs of the community <u>and</u> the beneficiaries  Clearly explains how	data to describe the needs of the community <u>and</u> the beneficiaries  Adequately explains	provided, data not specific to clients  Explanation of how	does not provide data to describe the needs of the community and the beneficiaries Does not explain	
Outcomes	proposed outcomes will be meaningful, client- focused and related to the service	how proposed outcomes will be meaningful, client- focused and related to the service	proposed outcomes will be meaningful, client-focused and related to the service needs improvement	how proposed outcomes will be meaningful, client- focused and/or related to the service	
Strategies	Provides evidence- based strategies for how the program/project will address the need	Adequately describes how strategies address need using researched best practices strategies at a minimum	Describes how strategies address need without information about best practices or research	Does not identify how strategies directly address need	
Implementation Timeline	Timeline is detailed and realistic	Timeline is adequate	Timeline is limited or not realistic	No timeline provided and information is missing	
Evaluation Plan	Provides a rigorous evaluation plan which informs ongoing work, explains metrics and why they are used	Provides a solid evaluation plan	Evaluates some elements of its work, but the evaluation is not thorough	Proposal does not provide an evaluation plan or the plan is insufficient	
Demographic Verification	Proposal clearly describes how the agency will collect and verify <u>all</u> required information	Proposal adequately describes how the agency will collect and verify all required information	Proposal describes how the agency will collect and verify some required information	Proposal does not describe how the agency will collect and verify any required information	

Financial	Proposal describes how	Proposal describes how	Proposal describes	Proposal does not	
Benefits	the program fully	the program fully	how the program	describe how the	
	meets two financial	meets one financial	partially meets one to	program will provide	
	benefits	benefit	two financial benefits	a financial benefit	
Collaboration	Proposal describes how the program collaborates with other organizations to achieve a common goal using defined deliverables and metrics (ex. Clear accountability, shared	Proposal describes formal agreements with more than two organizations describing how they cooperate, but does not share common deliverables or metrics.	Proposal describes collaboration informally with other organizations (ex. information sharing, resource sharing)	Proposal does not describe collaboration with other entities	
	management, such as MOU's or formal partnership agreements)				
Engagement/	Proposal describes	Proposal describes	Proposal explains	Proposal does not	
Outreach	complete outreach and	some outreach and	that services are	provide strategies	
Strategy	engagement strategies	engagement strategies	available to needy	for outreach and	
	and explains how it will	and how it will serve	and underserved	engagement to	
	serve needy and	needy and underserved	populations but	needy and	
	underserved	populations	program/project does	underserved	
	populations		not conduct outreach or engagement	populations	
Priority	Proposal describes	Proposal describes	Proposal explains	Proposal does not	
Neighborhood	complete outreach	some outreach and	that services are	provide strategies	
Ridge Street	strategies and	program/project serves	available to priority	for outreach to	
	program/project serves	residents in the Priority	neighborhood	priority	
	residents in the Priority	Neighborhood	residents but	neighborhood	
	Neighborhood		program/project does	residents	
			not conduct outreach		

<b>Organizational</b>	Organization	Organization	Organization capacity	The organization	
Capacity	demonstrated	demonstrated	needs improvement,	demonstrated a lack	
(STAFF ONLY)	sufficient capacity and	adequate capacity and	did not meet	of a capacity	
	fully met projected	almost met projected	projected outcomes	, ,	
	outcomes in previous	outcomes in previous			
	grant year	grant year			
Organizational	Proposal provides clear	Proposal provides	Evidence of capacity	Proposal does not	
Capacity	evidence of the	adequate evidence of	and ability needs	provide evidence of	
	capacity and ability to	the capacity and ability	improvement. Does	the capacity and	
	ensure timely	to ensure timely	not address the	ability	
	performance and	performance and	question fully		
	reporting	reporting			
Budget	Proposal clearly	Proposal provides an	Proposed budget	The proposal does	
	demonstrates:	adequate budget.	needs improvement	not demonstrate	
	A. How requested	Adequately addresses	and barely addresses	how the requested	
	funds will be	A, B, and C	A, B, and/or C.	funds will be applied	
	applied to		Proposed budget	to expense line	
	expense line		needs improvement.	items, how the	
	items			amount requested is	
	<b>B.</b> How the			reasonable, and	
	amount			does not show a	
	requested is			direct relationship	
	reasonable			with proposed	
	<b>C.</b> That the overall			service items	
	program				
	budget shows a				
	direct				
	relationship				
	with proposed				
	service items				
			TOTAL SCORE	(MAX SCORE = 42 PTS)	

	Description Goal	Need	Out	comes Stra	tegies Imple	ement Eval	De	emogr Fina	ancial Collab	Engag	e PN	STA	FF Org Org	Capa Budg	et s	Subtotal	Total Final Score Average
CRHA																0	
TD ECM	2	2	2	2	2	ว	2	2	2	2	2	2	0	2	2	0	
HE	1	2 2	2	1	2 1	2 1	1	2 1	1	2 2	2 2	0	0	2 1	1	28 17	
JB	2	3	3	2	3	2	2	2	3	2	2	2	0	2	2	32	
HK	2	2	2	3	1	2	0	0	2	1	2	2	0	1	2	22	
MG	2	3	3	3	3	3	2	3	3	3	3	2	0	2	3	38	
NC	2	2	2	2	3	3	2	3	2	2	2	2	0	1	3	31	
OG																0	
KLS	ļ															0	168 28
TJHD																0	
TD																0	
ECM	3	3	3	3	2	2	2	2	2	2	2	2	3	2	2	32	
HE	3	3	3	3	3	3	2	1	3	3	3	2	3	3	3	38	
JB	3	3	3	2	2	2	2	2	2	3	2	2	3	3	3	34	
HK MG	3 1	3 3	2 2	3 2	2 2	2 3	2 2	2 2	3 2	2 3	3 2	3 2	3 3	3 3	2	35 32	
NC	1	3	2	2	2	3	1	2	2	3	2	2	3 3	2	2	29	
OG		3	۷	۷	2	3	1	2	2	3	2	2	3	۷	2	0	
KLS																0	200 33.3333
TJACH																0	
TD																0	
ECM	3	3	3	2	2	2	2	2	2	2	2	2	3	2	2	31	
HE	1	1	1	1	2	2	2	1	1	2	2	0	3	1	0	17	
JB	2	2	2	2	2	2	2	2	3	3	3	2	3	3	2	32	
HK	3	2	2	2	3	2	1	3	2	2	2	1	3	1	2	28	
MG	3	3	3	3	3	2	3	3	3	3	3	1	3	3	2	38	
NC	3	2	3	3	2	3	3	3	2	3	2	0	3	3	2	34	
OG																0	<del></del>
KLS	·												. — - —			0_	180 30
OED																0	
TD																0	
ECM	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	28	
HE	1	1	1	1	1	1	1	2	1	2	1	0	2	1	1	15	
JB HK	3 3	3 1	3 2	3 3	2 2	3 1	2 1	3 2	2 0	2 2	2 2	2 0	2 2	2 3	2	34	
MG	3	3	3	3	2	1	2	3	2	2	3	1	2	3	3	23 34	
NC	1	2	2	1	1	2	1	2	1	1	2	0	2	0	1	17	
OG	_	-	_	-	_	_	-	_	-	-	_	Ū	_	· ·	-	0	
KLS													. <b></b> -			0	151 <b>25.16667</b>
Econ Scor	es below																
CIC																	
EG	2	3	3	3	2	3	2	3	2	2	3	0	2	3	2	33	
KL	3	3	3	3	2	3	2	3	3	3	3	2	2	3	3	39	
SM	3	3	2	2	2	3	2	3	2	2	3	1	2	3	2	33	
DK	3	3	3	3	1	2	3	3	1	2	3	0	2	2	3	32	
LS	2	_2	22	2	22	2	2	2	2	2	2	0	2	2	2	26	163 32.6

#### CITY OF CHARLOTTESVILLE

# DEPARTMENT OF NEIGHBORHOOD DEVELOPMENT SERVICES STAFF REPORT



## APPLICATION FOR A REZONING OF PROPERTY

### JOINT CITY COUNCIL AND PLANNING COMMISSION PUBLIC HEARING

DATE OF HEARING: July 14, 2020 APPLICATION NUMBER: ZM19-00004

**Project Planner:** Joey Winter **Date of Staff Report:** July 6, 2020

**Applicant:** Long Street LLC by Stockbridge OPCO LLC

**Applicants Representative:** Aaron Revere **Current Property Owner:** Long Street LLC

#### **Application Information**

Property Street Address: 909 Landonia Circle

Tax Map/Parcels #: 490079000

**Total Square Footage/ Acreage Site:** Approx. 0.6790 acres

Comprehensive Plan (General Land Use Plan): Low Density Residential

**Current Zoning Classification:** B-1 (Business) **Proposed Zoning Classification:** B-2 (Business)

**Completeness:** The application generally contains all of the information required by Zoning Ordinance

(Z.O.) Sec. 34-41.

## <u>Applicant's Request (Summary)</u>

Mr. Aaron Revere, on behalf of Long Street LLC, has submitted a Rezoning Petition for 909 Landonia Circle. The petition proposes a change in zoning from B-1 Business to B-2 Business with a proffer. The property is further identified on City Real Property Tax Map 49 Parcel 79 (Parcel ID: 490079000), is approximately .679 acres, and has approximately 378 feet of frontage on Landonia Circle. The rezoning application proposes to change the zoning district classification of the Subject Property from B-1 Business to B-2 Business subject to a proffered development condition ("Proffer"). The Proffer states the following shall not be permitted on the Subject Property: Amusement Center; Auditoriums, Theaters; Bowling Alleys; Clubs, Private; Dry Cleaning Establishments; Movie Theaters; Dance Hall / all night; Pharmacies >1,700 SF, GFA. The Comprehensive Land Use Map for this area calls for Low Density Residential Development.

The owner of the All-American Car Wash located at 1315 Long Street intends to modernize and expand their business which has operated at this location for over 25 years. The All-American Car Wash currently exists on two parcels fronting Long Street (Route 250 Bypass) and contains a self-serve car wash with vacuuming, an automated car wash, and a propane refilling kiosk. The owner purchased the Subject Property in 2019 and intends to expand the car wash use onto the parcel. (See the applicant's conceptual layout in **ATTACHMENT 4** for more information.)

The expansion of the car wash onto the Subject Property requires a zoning map amendment since car wash is not a permitted use in the B-1 district. Car wash is a by-right use in the proposed new zoning district (B-2). The proposed use of the expanded All-American Car wash will be identical to the use at the existing car wash. However, a site plan is not being proffered with this rezoning application so this owner (or any future owner) would theoretically be free to redevelop the Subject Property with a different use in the future. It is important to emphasize that the applicant has indicated that their intent is to develop the Subject Property as part of the expanded car wash and no other redevelopment is planned for the property.

#### Standard of Review

City Council may grant an applicant a rezoning request, giving consideration to a number of factors set forth within Z.O. Sec. 34-41. The role of the Planning Commission is and make an advisory recommendation to the City Council, as to whether or not Council should approve a proposed rezoning based on the factors listed in Z.O. Sec. 34-41(a):

- **(a)** All proposed amendments shall be reviewed by the planning commission. The planning commission shall review and study each proposed amendment to determine:
  - (1) Whether the proposed amendment conforms to the general guidelines and policies contained in the comprehensive plan;
  - **(2)** Whether the proposed amendment will further the purposes of this chapter and the general welfare of the entire community;
  - (3) Whether there is a need and justification for the change; and
  - **(4)** When pertaining to a change in the zoning district classification of property, the effect of the proposed change, if any, on the property itself, on surrounding property, and on public services and facilities. In addition, the commission shall consider the appropriateness of the property for inclusion within the proposed zoning district, relating to the purposes set forth at the beginning of the proposed district classification.

#### **Staff Analysis**

Staff analysis is based off the highest intensities and densities that would be permitted in the B-2 zoning district other than uses that have been proffered out. The applicant is proposing to rezone the Subject Properties from B-1 to B-2 with the following eight uses proffered out:

Amusement Center	Auditoriums, Theaters	Bowling Alleys
Clubs, Private	Dry Cleaning Establishments	Movie Theaters
Dance Hall / all night	Pharmacies >1,700 SF, GFA	

#### Dimensional Requirements by Zoning District

There is no change to the dimensional requirements for the B-1 and B-2 zoning districts.

Zoning	Height Restrictions	Required Front Yard	Required Side Yard	Required Rear Yard
B-1	45 feet, max.	20 feet, min.	None Req'd.	None Req'd.
B-2	45 feet, max.	20 feet, min.	None Req'd.	None Req'd.

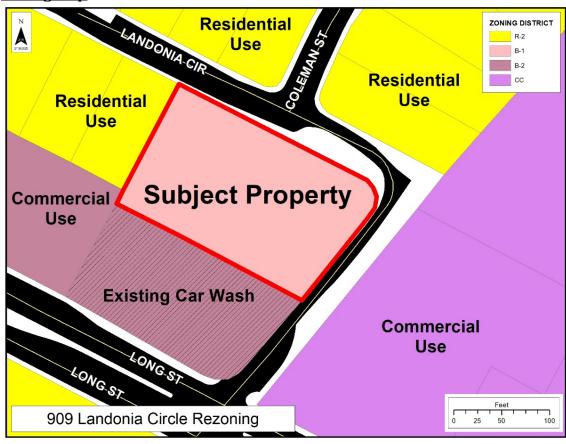
**Zoning History of the Subject Property** 

Year	Zoning District
1949	A-1 Residence
1958	R-2 Residential
1976	R-2 Residential
1991	B-1 Business
2003	B-1 Business

#### **Vicinity Map**



#### **Zoning Map**



*Use Comparison – B-1 vs. B-2:* As per the use matrix in City Code Sec. 34-480, certain uses permitted in the B-2 district are not permitted in the B-1 district. Uses proffered out by the applicant are crossed out.

NON-RESIDENTIAL: GENERAL and MISC. COMMERCIAL	B-1	B-2
Amusement center	Not permitted	Special use permit
Assembly (indoor) - Auditoriums, theaters	Not permitted	By-right use
Automobile uses: Gas station	Not permitted	By-right use
Automobile uses: Parts and equipment sales	Not permitted	By-right use
Automobile uses: Repair/servicing business	Not permitted	By-right use
Bakery, wholesale: GFA 4,000 SF or less	Not permitted	By-right use
Bowling alleys	Not permitted	By-right use
Car wash	Not permitted	By-right use
Clubs, private	Special use permit	By-right use
Data center > 4,000 sq ft	Not permitted	By-right use
Dry cleaning establishments	Special use permit	By-right use
Educational facilities (non-residential): Artistic up to 4,000 SF, GFA	Not permitted	By-right use
Educational facilities (non-residential): Artistic up to 10,000 SF, GFA	Not permitted	By-right use
Educational facilities (non-residential): Vocational, up to 4,000 SF, GFA	Not permitted	By-right use
Educational facilities (non-residential): Vocational, up to 10,000 SF, GFA	Not permitted	By-right use
Hotels/motels: Up to 100 guest rooms	Special use permit	By-right use
Hotels/motels: 100+ guest rooms	Not permitted	Special use permit
Laundromats	Ancillary use	By-right use
Micro-producers	Not permitted	By-right use
Small Breweries	Not permitted	Special use permit
Movie theaters	Not permitted	By-right use*
Museums: Up to 4,000 SF, GFA	Special use permit	By-right use
Museums: Up to 10,000 SF, GFA	Not permitted	Special use permit
Music halls	Not permitted	Provisional use permit
Indoor Recreational facilities on private property (GFA between 4,000 SF and 10,000 SF): health/sports clubs; tennis club; swimming club; yoga studios; dance studios, skating rinks, recreation centers, etc.	Special use permit	By-right use
Indoor Recreational facilities on private property (GFA more than 10,000 SF): health/sports clubs; tennis club; swimming club; yoga studios; dance studios, skating rinks, recreation centers, etc.	Not permitted	Special use permit
Restaurants: Dance hall/all night	Not permitted	Provisional use permit
Restaurants: Drive-through windows	Not permitted	Special use permit
Restaurants: Fast food	Not permitted	By-right use
Restaurants: Full service	Not permitted	By-right use
Restaurants: 24-hour	Not permitted	Provisional use permit
NON RECIDENTIAL LICES RETAIL		

NON-RESIDENTIAL USES: RETAIL	B-1	B-2
Consumer service businesses: between 4,000 SF, GFA and 10,000 SF,	Special use permit	By-right use
GFA		
Farmer's market	Not permitted	Special use permit
Grocery stores: Convenience	Not permitted	By-right use

NON-RESIDENTIAL USES: RETAIL	B-1	B-2
<b>Grocery stores:</b> General, up to 10,000 SF, GFA	Not permitted	By-right use
Grocery stores: General, 10,001+ SF, GFA	Not permitted	By-right use
Pharmacies: 1,701—4,000 SF, GFA	Special use permit	By-right use
Pharmacies: 4,001+ SF, GFA	Special use permit	By-right use
Shopping centers	Not permitted	By-right use
Shopping malls	Not permitted	Special use permit
Temporary sales, outdoor (flea markets, craft fairs, promotional sales,	Not permitted	Temporary use
etc.)		permit
Other retail stores (non-specified): Up to 20,000 SF GFA	Not permitted	Special use permit

NON-RESIDENTIAL: INDUSTRIAL	B-1	B-2
Assembly, industrial	Special use permit*	Special use permit
Frozen food lockers	Not permitted	By-right use
Laundries	Not permitted	By-right use

Although the Comprehensive Land Use Map for this area calls for Low Density Residential Development, the Subject property has been zoned for business since 1991. The applicant's plans for development of the Subject Property should this rezoning be approved are to expand the car wash use onto the neighboring property.

#### Sec. 34-42

# 1. Whether the proposed amendment conforms to the general guidelines and policies contained in the comprehensive plan;

The applicant's own analysis of the proposed amendment's consistency with the Comprehensive Plan, as required by City Code Sec. 34-41(d)(2), is provided in the application materials **ATTACHMENT 2.** Below (a–g) is staff's analysis.

### a. <u>Land Use</u> Staff Analysis

The Subject Property is bordered by:

Direction	Zoning	Current Use
East	CC	Automobile repair/servicing business
South	B-2	Car wash
South/West	B-2	Shopping center
West	R-2	Residential
North	R-2	Residential

The Subject Property is currently zoned B-1, the most restrictive commercial zoning classification in the City. All by-right, provisional, and special uses allowed within this zoning district are also allowed in the B-2 district. The applicant intends to use the Subject Property as a car wash; though the absence of a proffered site plan creates the possibility that the Subject Property can be redeveloped with any of the uses listed above in the future. To alleviate concerns about hypothetical future redevelopment, the applicant has proffered out eight uses that they feel would not be consistent with the character of the neighborhood.

The 2013 Comprehensive Plan's Land Use Map indicates the Subject Property should be the site of low-density residential development which would not be consistent with the proposed rezoning. However, the 2013 Comprehensive Plan directly contradicts the stated intent of both the current zoning district (B-1) and the proposed new zoning district (B-2). The change in topography between the Subject Property and the properties to the north and west creates a natural transition from commercial uses along the 250 Bypass and residential uses to the north.

#### b. <u>Community Facilities</u>

### **Staff Analysis**

When the All-American Car Wash is expanded, the applicant will be required to provide sidewalk improvements along the entire frontage of the Subject Property on Landonia Circle. This will greatly increase pedestrian connectivity between residential areas to the north and west and commercial areas to the southeast.

#### c. Economic Sustainability

#### **Staff Analysis**

A change in zoning from B-1 to B-2 to facilitate the expansion of a locally-owned business will align with the stated goals in Chapter 3 (Economic Sustainability) of the Comprehensive Plan.

#### d. Environment

#### **Staff Analysis**

There will be no conflict with Chapter 4 (Environment) of the Comprehensive Plan with a change in zoning from B-1 to B-2.

#### e. **Housing**

#### **Staff Analysis**

There will be no impact on housing stock by rezoning the Subject Property from B-1 to B-2. The residential uses permitted in the B-1 district are identical to the residential uses permitted in the B-2 district.

### f. Transportation

#### **Staff Analysis**

A rezoning of the Subject Property from B-1 to B-2 would have minimal impact on traffic. No new points of ingress are proposed so vehicle traffic would continue to come almost exclusively from Long Street. The applicant was supportive of closing the portion of Landonia Circle where the property has frontage, but the City Traffic Engineer ruled out this option since several residences up the hill rely on Landonia Circle for access. Any byright development on the site would need to meet current parking standards.

#### g. Historic Preservation & Urban Design

#### **Staff Analysis**

The Subject Property is not in an Entrance Corridor, but the two parcels which contain the existing car wash are. The expanded All-American Car Wash will therefore have to comply with Entrance Corridor guidelines and materials standards.

2. Whether the proposed amendment will further the purposes of this chapter and the general welfare of the entire community;

The applicant's own analysis of can be found in the application materials (ATTACHMENT 2).

#### **Staff Analysis**

The All-American Car Wash is a local business which has been part of the Charlottesville community for several decades. Rezoning the Subject Property to facilitate the expansion of the business will be a positive for the entire community. Other improvements that will be required during the site plan approval process will benefit pedestrian connectivity and urban design of the entire community.

3. Whether there is a need and justification for the change;

The applicant has provided information on the factors that led to a request to rezone the subject properties from B-1 to B-2 in the narrative section of their application (ATTACHMENT 2).

#### **Staff Analysis**

According to the City's 2013 Land Use Map, development of the Subject Property should be Low Density Residential with a DUA under (15). However, the site has not been zoned for residential use since 1991 and the previous use of the property (daycare facility) was also commercial. An adequate transition exists between the commercial use of this property and the residential uses to the north and west due to the change in elevation and the landscaping buffer which must remain in place. There is justification for the change considering that the City's Zoning Map does not align with the Comprehensive Land Use Map and the proposed use relates to the expansion of an existing business.

4. When pertaining to a change in the zoning district classification of property, the effect of the proposed change, if any, on the property itself, on surrounding property, and on public services and facilities. In addition, the commission shall consider the appropriateness of the property for inclusion within the proposed zoning district, relating to the purposes set forth at the beginning of the proposed district classification.

The location of the subject properties are currently served by existing public utilities and facilities. The applicant has provided a narrative statement on adverse effects and mitigation in their application materials (Attachment B).

#### **Staff Analysis**

Any proposed development would be evaluated during site plan review and need to meet all current zoning regulations. Due to the location of the Subject Property, staff believes all public services and facilities would be adequate to support development.

The purposes set forth in City Code Sec. 34-440 are:

**B-1:** The B-1 business district is established to provide for service-type businesses and office uses of a limited size, which are open primarily during daytime hours. The intent of the B-1 regulations is to provide a transitional district between residential areas and other commercial areas of the city. The uses permitted within this district are those which will have only minimal traffic impacts, and only minimal noise, odors, smoke, fumes, fire or explosion hazards, lighting glare, heat or vibration.

**B-2:** The B-2 business district is established to provide for commercial uses of limited size, primarily serving neighborhood needs for convenience goods. The intent of the B-2 regulations is to encourage clustering of these neighborhood-serving commercial uses. The uses permitted within this district are those which will generate minimal traffic originating outside the neighborhood areas served, and that will generate minimal noise, odors and fumes, smoke, fire or explosion hazards, lighting glare, heat or vibration.

It is most likely that any development proposed on the Subject Property would comply with the purposes set forth at the beginning of the proposed district classification. This cannot be fully determined until a proposed development is under site plan review.

#### **Public Comments Received**

The applicant held a community meeting as required by City Code Sec. 34-41(c)(2) on February 13, 2020 at Burnley-Moran Elementary School. Two members of the public attended the meeting and were generally supportive of the applicant's plans for the property. To this point staff has received no written feedback in favor of or opposed to ZM19-00004.

#### **Staff Recommendation**

Staff recommends approval of ZM19-00004. Neighbors have not raised any concerns about rezoning the Subject Property for the purpose of expanding the All-American Car Wash. The benefits to pedestrian connectivity, specifically sidewalk improvements which will be required along Landonia Circle will benefit nearby residential areas. The proposed zoning change could also contribute to goals of the City's 2013 Comprehensive Plan related to Economic Sustainability. The uses permitted within the B-1 district are similar to the uses permitted in the B-2 district and the applicant has proffered out some of the more intense uses permitted in the new proposed new zoning district.

#### **Suggested Motions**

- On the basis that the proposal would service public necessity, convenience, general welfare, and good zoning practice, I move to recommend approval of application ZM19-00004.
   OR
- 2. On the basis that the proposal would NOT service public necessity, convenience, general welfare, and good zoning practice, I move to recommend approval of application ZM19-00004.

#### **Attachments**

- 1. Rezoning Application ZM19-00004
- 2. Applicant's Narrative Statement
- 3. Signed Proffer Statement from Landowner
- 4. Conceptual Site Plan and Layout from Applicant
- 5. Community Meeting Information



# City of Charlottesville

## **Application for Rezoning**

Project Name: Long Street Car Wash
Address of Property: 909 Landonia Circle
Tax Map and Parcel Number(s): Parcel 490079000; TRA BKB SEC 1 Riverdale
Current Zoning: 8-1
Proposed Zoning: 8-2
Comprehensive Plan Land Use Designation: Neighborhood Commercial
Applicant: Long Street LLC by StockBridge OPCO LLC
Address: 9830 Mayland Dr., SuiteL, RICHMOND, VA, 23233
Phone: 804-687-6316 Email: arevere @ New BAYLLC.com
Applicant's Role in the Development (check one):
Owner owner's Agent Contract Purchaser
Owner of Record: Long Street LLC
Address: 200 CARLTON ROAD, Charlotts ville, VA 23902
Phone: 434 - 293 - 6157 Email: Suttong @ tiger fuel. com
/1) Applicant/s and /2) Oursey's Signatures
(1) Applicant's and (2) Owner's Signatures  (1) Signature Print J. AARON REVERE Date 12-16-19
Applicant's (Circle One): (LC Member LLC Manager Corporate Officer (specify) Other (specify):
Owner's (Circle One): LLC Member LLC Manager Corporate Officer (specify) Other (specify):



#### **Pre-Application Meeting Verification**

Project Name: Long STREET CAR WASH
Pre-Application Meeting Date: Thursday, November 7th 2019 at 10:00 am
Applicant's Representative: ARRAN REVERE
Planner: JOEY WINTER
Other City Officials in Attendance:
Brennan Duncan - Traffic Engineer
Jeff Werner - Habore Pros. Planner: Entry Coundor
- See See - And July - July - July - See -
The following items will be required supplemental information for this application and must be submitted with the completed application package:
1. Elevatrons / Illustrative materials that show how proposed project fits character of neighborhood / entrance corridor
2. Traffic - information on entrances / trip generation (ITE)
3
4.
5.
and the second of the second o
Planner Signature:



#### **Application Checklist**

To	GINIA-10 Project Name: Long STREET CAR WASH
l certi	fy that the following documentation is ATTACHED to this application:
X :	34-157(a)(2) Narrative statement: applicant's analysis of conformity with the Comprehensive Plan
1	34-157(a)(4) Narrative statement identifying and discussing any potential adverse impacts, as well as any measures included within the development plan, to mitigate those impacts
X	34-158(a)(6): other pertinent information (narrative, illustrative, etc.)
	Completed proffer statement
X	All items noted on the Pre-Application Meeting Verification.
Applica	ant
Signat	ure PrintARON REVERE Date 12 -16-19
By Its:	Stockbride, OPCO LLC, MEMBER (AS Owner's Agent)
	For entities, specify: Officer, Member, Manager, Trustee, etc.)
	respondence to the second of t

# TOTTES AND THE STREET OF THE S

#### **City of Charlottesville**

#### **Community Meeting**

Project Name: Long Steet CAR WASH	
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Section 34-41(c)(2) of the Code of the City of Charlottesville (adopted October 19, 2015) requires applicants seeking rezonings and special use permits to hold a community meeting. The purpose of a community meeting is to provide citizens an opportunity to receive information about a proposed development, about applicable zoning procedures, about applicable provisions of the comprehensive plan, and to give citizens an opportunity to ask questions. No application for a rezoning shall be placed on any agenda for a public hearing, until the required community meeting has been held and the director of neighborhood development services determines that the application is ready for final review through the formal public hearing process.

By signing this document, the applicant acknowledges that it is responsible for the following, in connection to the community meeting required for this project:

- 1. Following consultation with the city, the applicant will establish a date, time and location for the community meeting. The applicant is responsible for reserving the location, and for all related costs.
- 2. The applicant will mail, by U.S. mail, first-class, postage pre-paid, a notice of the community meeting to a list of addresses provided by the City. The notice will be mailed at least 14 calendar days prior to the date of the community meeting. The applicant is responsible for the cost of the mailing. At least 7 calendar days prior to the meeting, the applicant will provide the city with an affidavit confirming that the mailing was timely completed.
- 3. The applicant will attend the community meeting and present the details of the proposed application. If the applicant is a business or other legal entity (as opposed to an individual) then the meeting shall be attended by a corporate officer, an LLC member or manager, or another individual who can speak for the entity that is the applicant. Additionally, the meeting shall be attended by any design professional or consultant who has prepared plans or drawings submitted with the application. The applicant shall be prepared to explain all of the details of the proposed development, and to answer questions from citizens.
- 4. Depending on the nature and complexity of the application, the City may designate a planner to attend the community meeting. Regardless of whether a planner attends, the City will provide the applicant with guidelines, procedures, materials and recommended topics for the applicant's use in conducting the community meeting.
- 5. On the date of the meeting, the applicant shall make records of attendance and shall also document that the meeting occurred through photographs, video, or other evidence satisfactory to the City. Records of attendance may include using the mailing list referred to in #1 as a sign-in sheet (requesting attendees to check off their name(s)) and may include a supplemental attendance sheet. The City will provide a format acceptable for use as the supplemental attendance sheet.

Applicant: Long-Street LLC	
By: Stockbrige OPCO LEC Counter's	Agent)
Signature Print	J. AMEN REVERE Date 12-16-19
Its: MEMBER	_ (Officer, Member, Trustee, etc.)



#### **Personal Interest Statement**

Project Name: Long STREET CAR WASH
I swear under oath before a notary public that:
A member of the City of Charlottesville Planning Commission (identified below), or their immediate family member, has a personal interest in the property or transaction that is the subject of this application.
Planning Commissioner(s):
Or  No member of the City of Charlottesville Planning Commission, or their immediate family member, has a personal interest in the property or transaction that is the subject of this application.
And  A member of the City of Charlottesville City Council (identified below), or their immediate family member, has a personal interest in the property or transaction that is the subject of this application.
City Councilor(s):
No member of the City of Charlottesville Planning Commission, or their immediate family member, has a personal interest in the property or transaction that is the subject of this application.
Applicant:
By:
Signature Print Date
Its: (Officer, Member, Trustee, etc.)
Commonwealth of Virginia
City of Charlottesville
The foregoing instrument was subscribed and sworn before me this  day of, 20 by
Notary Signature
Registration #: Expires



#### **Owner's Authorizations**

	(Not Required)
Project !	Name: Long Street CAR Was-H
Right of Entry- Property Owne	er Permission
	y of Charlottesville, its employees and officials, the right to enter pplication, for the purpose of gathering information for the review
Owner: Long Street LLC	Date 12-16-14
By (sign name): Shikbulge OPCO LLC	Print Name: 3. Maron Revene
Owner's: LLC Member LLC Manag	ger Corporate Officer (specify):
Other (specific): Down from	- Imenser
Owner's Agent	
as my lawful agent, for the purpose of r including, without limitation: to make d ty and upon me, my successors and ass	
Name of Individual Agent:	20th
Name of Corporate or other legal entit	y authorized to serve as agent: Stockbridge OPCO UC
Owner: Long Street LLC  By (sign name): 2001 S  Circle one:  Owner's: LLC Member LLC Mana Other (specific):	Print Name: 6-order Sutton  Ger Corporate Officer (specify):
	e e e e e e e e e e e e e e e e e e e



#### Disclosure of Equitable Ownership

Project Name: Long Street CAR WASH

INIA	
	f Charlottesville requires that an applicant for a special use permit table ownership "real parties in interest") of the real estate to be
	ided the names and addresses of each of the real parties in interest,
	ckholder or a corporation; each of the individual officers and direc-
	vidual members of an LLC (limited liability companies, professional
	es and beneficiaries of a trust, etc. Where multiple corporations,
companies or trusts are involved, iden	ntify real parties in interest for each entity listed.
Name David G. Sutton Trust For	David G. SUTTON, TR 200 CONTON Rd, CVIlle, 22902
Name David G. SUTTON TRUST FOR	Address 200 Calton Rd Coille, 22402
Name David L. Sutton Trist For	David G. SUTTON, TR Address Fronk T. SUTTON Address ZOO CONTON Rd, Cuille, 22902 ELizabeth Y. SUTTON Address ZOO CONTON Rd, Cuille, 22902 Address ZOO CONTON Rd, Cuille, 22902
Name	Address
Attach additional sheets as needed.	
	es of stockholders does not apply to a corporation whose stock is hange and which corporation has more than five hundred (500)
Applicant:	
By:	
Signature Inch IN	Print Colden Sutton Date
Its:	(Officer, Member, Trustee, etc.)

**Project: Long Street Car Wash** 

Request: Rezone the 909 Landonia Circle lot (Parcel 490079000) to B-2 to consolidate and enable modernization of existing car wash and propane facilities

Owner: Long Street LLC c/o Tiger Fuel

Address: 1315 Long Street and 909 Landonia Circle

Site: 1.178 acres comprised of Three parcels (490094000, 490094100, 490079000); two are zoned B-2,

one is zoned B-1

December 17, 2019

#### **Project Narrative**

The objective of our proposed project is to improve the functionality and aesthetics of the existing site and car wash facility. No new use is proposed - this facility has functioned as a car wash for nearly three decades. Today the site provides self-serve car wash and vacuuming, an automated car wash that is nearly obsolete, as well as a propane refilling kiosk. For years, the access and scale of this site has enabled us to accommodate individual and commercial customers alike. We cater to many repeat customers, including local food trucks that regularly need washing and propane.

It is time to improve and modernize facilities to better serve our long-standing customers. Our desire is to 1) integrate a third parcel (back lot) into the site to improve circulation and 2) modernize the propane filling station, self-serve and automated car washes to improve quality of service, safety and water quality standards, while maintaining compatibility with the surrounding area. Self-serve car wash improvements include new building, pulled back away from the road, to better accommodate site circulation and equipment. The automated carwash will have improved queue to enable payment prior to entering modern contained tunnel. Self-serve vacuums are organized between the car wash options with convenient circulation within the center of the site. Propane kiosk is located on the back of the self-serve carwash and will include a small step/pedestal to improve safety and better enable our staff to serve our customers whose trucks often have propane tanks elevated at the back of their vehicle - utilizing the fixed step would enhance our service and improve safety.

To implement these improvements and to best integrate the back parcel into the program, we are seeking a "zoning amendment" to rezone that portion of the site, parcel 490079000, from B-1 to B-2. This parcel appears to be the only "Neighborhood Commercial" parcel that is not already zoned B-2. This project as proposed is consistent with and supportive of the current City of Charlottesville Comprehensive Plan, as well as the working draft for the plan update.

Attached for your initial review we have included:

- A site plan illustrating the improved configuration and facilities.
- Example elevations illustrating the improved architectural aesthetics

We propose to maintain the use of our two current access points, thus avoiding changes to traffic patterns. The former access point to the daycare center, currently located on parcel 490079000, will be removed. The queue for the improved automated car wash is contained within our site, avoiding potential lines impeding traffic flows and allowing the circulation within our own site to be maintained for our other customers. With regard to traffic counts, we have run ITE trip generation number to compare current uses (car wash and child day) to our proposed use (upgraded car wash). These results indicate that traffic count is expected to remain consistent with existing conditions that include our smaller car wash and propane re-fill station in the front portion of the project site, and the Day-Care in the back portion of the project site. The anticipated additional traffic from our improved car wash facility is offset by the elimination of traffic associated with the operating Day Care Center. ITE trip numbers are included on the site plan, but in general reflect a minor reduction during average weekdays, and small increase during weekends.

We plan to incorporate a perimeter sidewalk and do not plan any changes to the adjacent sections of Landonia Circle road. Currently there is a sidewalk along the southern perimeter of our site along Long Street (route 250). We will connect to this sidewalk and bring it northward along the eastern and northern perimeters of our property at existing grade. This will help facilitate pedestrian access down to Long Street, which helps enable connection to the Rivanna Trail just one block to the east. Cross-slope on the sidewalks, including the driveways, will be improved to meet ADA standards. Sidewalk is envisioned to be constructed at grade and conveyed to City upon completion, per common practice.

Per section 34-872, we will incorporate screening from adjacent properties. We plan for vegetated buffers along the western, northern, and eastern perimeters of the site to maintain a visual buffer to which our residential neighbors are accustomed and improve upon the screening to the dinner parking lot to west. This will enhance the pedestrian sidewalk experience as well. Planting will conform to City's recommended tree list.

Similarly, within the site we are integrating thoughtful landscaping to not only enhance the entry corridor, but to break up the visual elements within the project. We will incorporate plantings within/along the retaining system at the rear of the project to provide visual interest and softening of the hardscape. We intend to incorporate vegetated bio-swales within project to meet stormwater requirements, while further enhancing the design aesthetic. A linear bio-swale is planned along the carwash queue, while a second bio-swale is planned along the front corner of the project to address stormwater requirements and improve the entry corridor.

Further, we fully intend to leave the "Happy Birthday" sign that has served for years as an iconic community element. Site lighting will be appropriately located and provide downlighting helping avoid light trespass. Our dumpster will be screened behind front corner of the car wash exit, providing easy service access. Also, to enhance the entry corridor we propose to locate the self-serve car wash bays further away from Long Street, helping with the street level scale and view corridors. The color palette for the improvements will be neutral tones.

In addition to the Narrative above, below is specific statements regarding Sec. 34-157.

**Sec. 34-157.** (a) (2) Whether the proposed use or development and associated public facilities will substantially conform to the city's comprehensive plan;

The vision for use of land in Charlottesville is one that "supports human activities and reflects community values. Our land use plan aims to promote harmonious development and support neighborhoods and places that allow residents to live, work, shop and play in proximity. Charlottesville's land use patterns will create, preserve, and enhance neighborhood character, improve environmental quality, integrate a diversity of uses, encourage various modes of transportation, promote infill development, and increase commercial vitality and density in appropriate areas. These interdependent parts will converge to enhance the social, cultural, recreational and economic needs of our City."

This project, as proposed, is consistent with and supportive of this Vision, the current City of Charlottesville Comprehensive Plan, as well as the working draft for the plan update. It supports the Neighborhood Commercial character along the Long Street area of Locust Grove. It is a reinvestment in a local business, with local and regional customers, that is providing value added services to individuals and businesses alike. The design and implementation is proposing an aesthetic that positively contributes to the entrance corridor and multi-use trial / sidewalk along Long Street.

**Sec. 34-157. (a) (4)** Whether the proposed use or development will have any potentially adverse impacts on the surrounding neighborhood, or the community in general; and if so, whether there are any reasonable conditions of approval that would satisfactorily mitigate such impacts. Potential adverse impacts to be considered include, but are not necessarily limited to, the following:

a. Traffic or parking congestion;

We propose to maintain the use of our two current access points, thus avoiding changes to traffic patterns. The former access point to the daycare center will be removed. The queue for the improved automated car wash, as well as all required parking is contained within our site. We have run ITE trip generation numbers and these results indicate that traffic count is expected to remain consistent with existing conditions.

b. Noise, lights, dust, odor, fumes, vibration, and other factors which adversely affect the natural environment;

The site is in an Urbanized setting. The use remains consistent with those that have been here for decades. Site lighting will be appropriately located and provide downlighting helping avoid light trespass.

c. Displacement of existing residents or businesses;

The prior day care facility closed. No residents are being displaced

d. Discouragement of economic development activities that may provide desirable employment or enlarge the tax base;

The proposed project is a reinvestment to modernize and improve in a local business that is providing value added services to individuals and businesses alike.

e. Undue density of population or intensity of use in relation to the community facilities existing or available:

The objective of our proposed project is to improve the functionality and aesthetics of the existing site and facilities thereon. No new use is proposed. This facility has functioned as a car wash for nearly three decades. It is time to modernize and improve it to better serve our long-standing customers. Today the site provides self-serve car wash and vacuuming, an automated car wash that is nearly obsolete, as well as a propane refilling kiosk.

- f. Reduction in the availability of affordable housing in the neighborhood; No impact on affordable housing.
- g. Impact on school population and facilities;
  No impact on school population.
- h. Destruction of or encroachment upon conservation or historic districts; No impact on Conservation or Historic resources.
- i. Conformity with federal, state and local laws, as demonstrated and certified by the applicant; and, Project is proposed to conform with federal, state, and local laws. For example, stormwater will be treated onsite.
- j. Massing and scale of project.

Project scale, massing, and color palate are consistent with and harmonious with those of the entry corridor and the neighboring properties. (see attachments)

# BEFORE THE CITY COUNCIL OF THE CITY OF CHARLOTTESVILLE, VIRGINIA IN RE: PETITION FOR REZONING (City Rezoning Application No. ZM19-00004) STATEMENT OF PRELIMINARY PROFFER CONDITIONS

For the Long Street Car Wash Rezoning Request Subject Property: 2020 City Tax Map 49 Parcel 79 (Parcel Id. No. 490079000)

#### Dated as of June 23, 2020

#### TO THE HONORABLE MAYOR AND MEMBERS OF THE COUNCIL OF THE CITY OF CHARLOTTESVILLE:

The undersigned limited liability company is the owner of land subject to the above-referenced rezoning petition ("Subject Property"). The Owner seeks to amend the current zoning of the property subject to certain voluntary development conditions set forth below.

The Owner hereby proffers and agrees that if the Subject Property is rezoned as requested, the rezoning will be subject to, and the Owner will abide by, the following conditions:

1. Upon rezoning of the Subject Property all uses currently allowed within the B-2 zoning district will be permitted, except for the following uses that will be restricted as shown in the Table below:

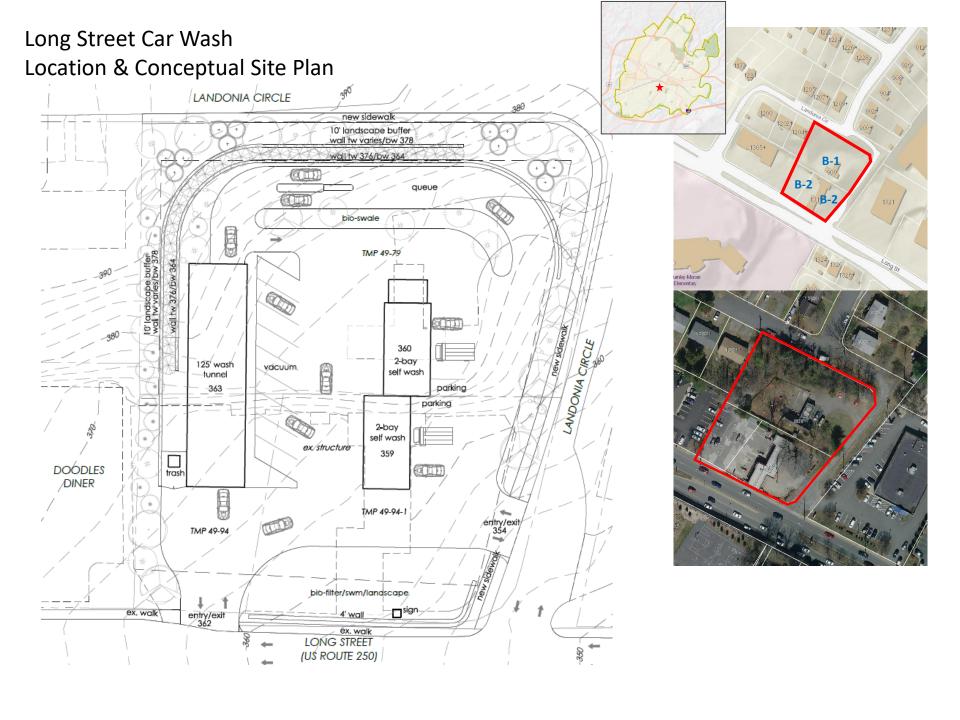
Use Types:	Proffered to:
Amusement Center	Not allowed
Auditoriums, Theaters	Not allowed
Bowling Alleys	Not allowed
Clubs, Private	Not allowed
<b>Dry Cleaning Establishments</b>	Not allowed
Movie Theaters	Not allowed
Dance Hall / all night	Not allowed
Pharmacies >1,700 SF, GFA	Not allowed

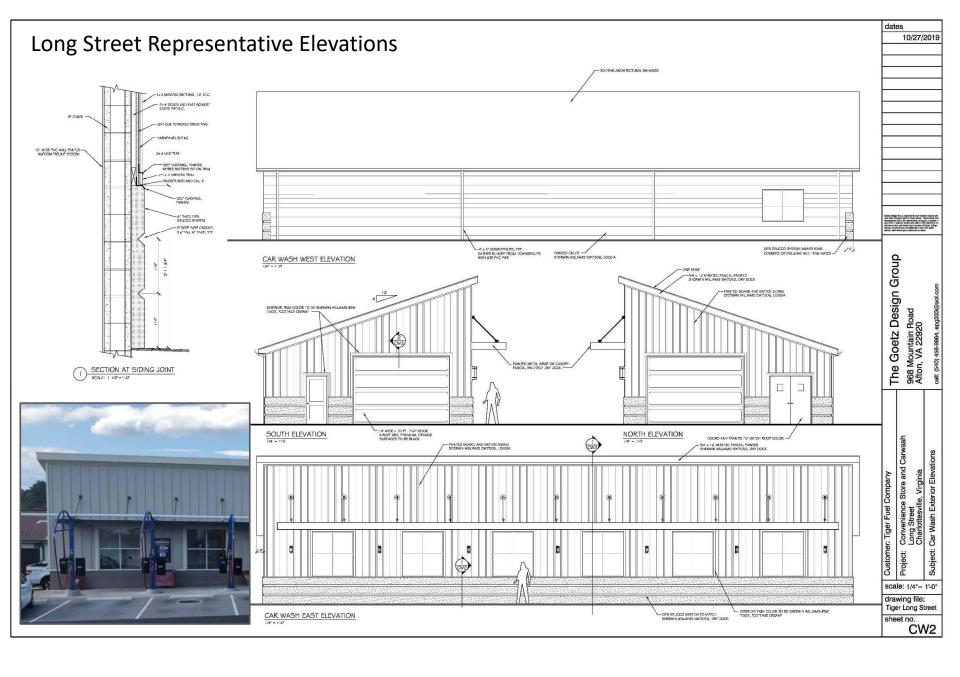
WHEREFORE, the undersigned Owner(s) stipulate and agree that the use and development of the Subject Property shall be in conformity with the conditions hereinabove stated, and requests that the Subject Property be rezoned as requested, in accordance with the Zoning Ordinance of the City of Charlottesville.

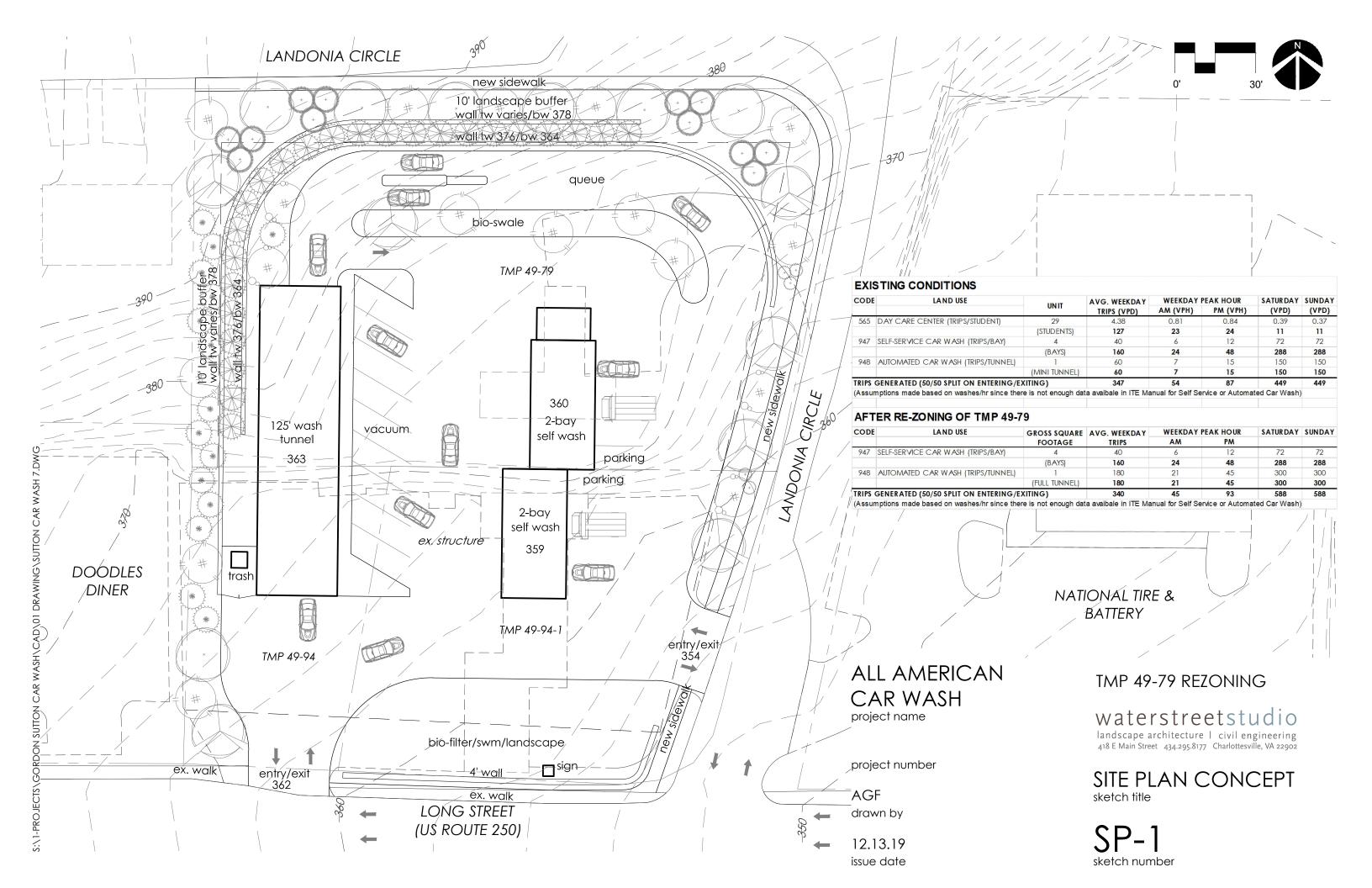
Respectfully submitted this 23rd day of June, 2020 by:

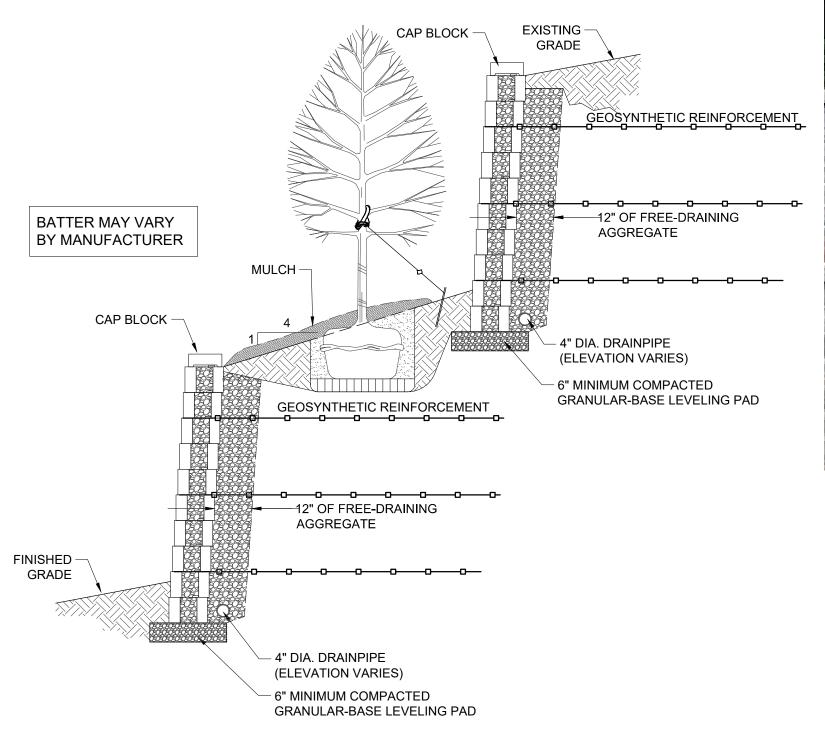
Long Street LLC 200 Carlton Road, Charlottesville, VA 22902

Gordon Sutton, Owner/Manager













RETAINING WALL PRECEDENT IMAGE

#### ALL AMERICAN CAR WASH

project name

project number

AGF drawn by

12.13.19 issue date

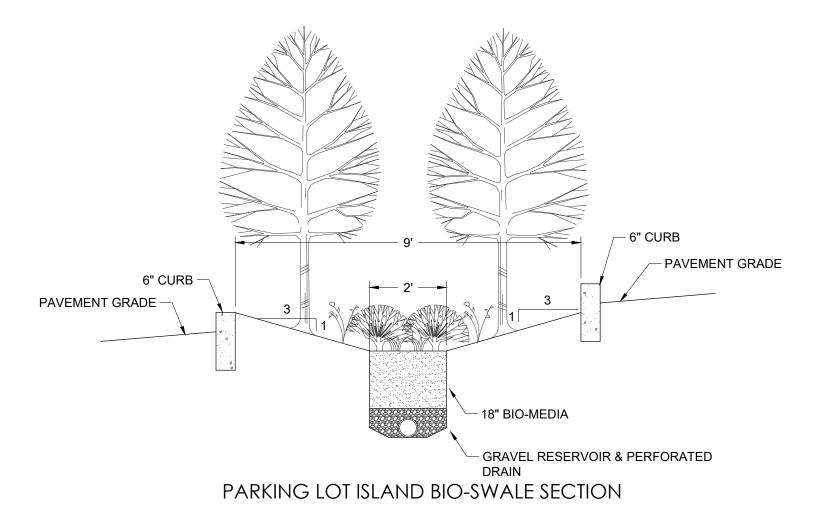
TMP 49-79 REZONING

waterstreetstudio

landscape architecture | civil engineering 418 E Main Street 434.295.8177 Charlottesville, VA 22902

SITE DETAIL CONCEPTS sketch title

SP-2 sketch number





BIO-SWALE PRECEDENT IMAGE



BIO-SWALE PRECEDENT IMAGE

# ALL AMERICAN CAR WASH project name

project number

AGF drawn by

12.13.19 issue date

TMP 49-79 REZONING

# waterstreetstudio landscape architecture | civil engineering 418 E Main Street 434.295.8177 Charlottesville, VA 22902

SITE DETAIL CONCEPTS sketch title

P\_3

SP-3 sketch number

#### **AFFIDAVIT**

THIS DAY appeared before me, a Notary Public in and for the Commonwealth of Virginia, Aaron Revere, who, after being first duly sworn, did state as follows:

- 1. I am Aaron Revere, and I have personal knowledge of the facts set forth herein.
- 2. I am an authorized agent / representative for Long Street LLC, the owner of the property located at 909 Landonia Circle (the "Property") which is the subject of a pending rezoning application from B-1 Business to B-2 Business with the City of Charlottesville.
- 3. As required by the application process, on January 21, 2020, I mailed notices to all property owners within 500 feet of the Property as those addresses determined and provided by Joey Winter of the City of Charlottesville. The letter provided notice of the application and proposed use and of the informational community meeting to be held at Burnley-Moran Elementary School (Library) on February 13, 2020, from 4:30 to 6:30 pm.
- 4. A sample copy of the notification letter is attached hereto as Exhibit A, and a copy of the list of addresses to which the letter was mailed is attached hereto as Exhibit B.

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And further the affiant sayeth not.  (seal)  Aaron Revere	MS SAID ARL SAID n. Expires P   AAAI   SAID B559   SAID LTH OF ANTINA
SWORN TO and acknowledged before me on this Aladay of January, 2020 by Aard	on Revere.
Am McWilliams Ship Sto	24
My Commission expires:         2/38/3031           Notary ID Number:         724/8559	

Dear Neighbor,

You are receiving this letter because you are located within 500 feet of 909 Landonia Circle (the "Property"). We, the owners of the Property, have applied to the City of Charlottesville for change in zoning from B-1 Business to B-2 Business and wish to keep you informed of and involved in that process.

The Property is further identified on City Real Property Tax Map 49 Parcel 79 and has frontage on Landonia Circle. The property is approximately 0.68 acres and the General Land Use Plan calls for Neighborhood Commercial development. Previously the site was operated as a Day Care Center but today sits vacant.

The objective of our proposed project is to integrate this vacant site into our existing cash wash operations that front on Long Street. As you know, our facility has functioned as a car wash for decades. No new use is proposed. Our aim is to modernize and improve the facilities to better serve our long-standing customers. We will continue to provide self-serve car wash and vacuuming, an automated car wash, and a propane refilling kiosk.

We propose to maintain the use of our two current access points, thus avoiding changes to traffic patterns. The former access point to the daycare center will be removed from Landonia circle. Along the northern and eastern perimeter of the Property, we plan to incorporate a sidewalk facilitating pedestrian access down to Long Street. Similarly, we plan for vegetated buffers along the perimeters of the site.

We will be holding an informational meeting for any neighbors with questions or concerns. The details of that meeting are as follows:

Location: Burnley-Moran Elementary School (Library)

Date: **February 13, 2020** Time: **4:30 to 6:30 pm** 

There will be no formal presentation at the meeting, but we will be available during the hours of 4:30 to 6:30 pm to answer questions. If you cannot make it to the informational meeting, but have questions, please contact:

Name: Aaron Revere

Email: arevere@newbayllc.com

Phone: (804) 687-6316

Thank you and we look forward to meeting you!

1217 A & B RIVER VISTA AVENUE, LLC	AGEE, JOHN B & ELAINE	ASANTE, AGYA-KOFI D
3993 RED HILL SCHOOL RD	3029 COVE LANE	2000 CITY WALK #2 WAY
NORTH GARDEN VA 22959	CHARLOTTESVILLE VA 22901	CHARLOTTESVILLE VA 22902
DADED JAMES A CANATALIE A	DIAKE HADA D O DANIEL E	DUSUNA CAROL C
BABER, JAMES A & NATALIE A	BLAKE, LINDA D & DANIEL E	BUSHING, CAROL G
1227 RIVER VISTA AVE	1228 RIVER VISTA AVE	1320 RIVERDALE DR
CHARLOTTESVILLE VA 22901	CHARLOTTESVILLE VA 22901	CHARLOTTESVILLE VA 22902
CARTER, NANCY D & MATTHEW R, JR	CITY OF, CH'VILLE SCHOOL BOARD	COMFORT, JASON E & CARRIE A
1214 LONG ST	1300 LONG ST	1223 RIVER VISTA AVE
CHARLOTTESVILLE VA 22901	CHARLOTTESVILLE VA 22902	CHARLOTTESVILLE VA 22901
COSNER, E GRANT & BARBARA H	CRITZER, JESSIE	CRITZER, PAUL C
1510 EAST HIGH STREET	1205 LANDONIA CIR	1115 CARDINAL DRIVE
CHARLOTTESVILLE VA 22902	CHARLOTTESVILLE VA 22901	EARLYSVILLE VA 22936
OTHER TESTILE WEELS	CHARLEST FLOWILLE VILLESOT	EMILEISVIELE VIV. EESSO
DEANE, ELLIS R, JR & VIVIAN C	DIXON, MATTHEW J	DUFFY, AIMEE E
104 FIELDING DR	1711 CHERRY AVE	1221 RIVER VISTA AVE
CHARLOTTESVILLE VA 22902	CHARLOTTESVILLE VA 22903	CHARLOTTESVILLE VA 22901
EASTER, VALORIE LYNN	FELDMAN, GARY A & DEBRA J TULER	FOSTER, DWIGHT & IRENE
1304 BELLEVIEW AVE	1226 RIVER VISTA AVENUE	1821 WILDERNESS RD
CHARLOTTESVILLE VA 22901	CHARLOTTESVILLE VA 22901	REVA VA 22735
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FREE BRIDGE PROPERTIES, LLC	GO STORE IT RIVER, LLC	GORMAN, TIMOTHY P & SUSAN H &
1510 E HIGH ST	5605 CARNEGIE BLVD STE 420	145 DURRETT TOWN RD
CHARLOTTESVILLE VA 22902	CHARLOTTE NC 28209	AFTON VA 22920
HARVEY, ALLAN LEE	HENRY, THOMAS E, TRUSTEE	HILLTOP, DAY CARE CENTER INC
1216 RIVER VISTA AVENUE	1200 LANDONIA CIR	909 LANDONIA CIRCLE
CHARLOTTESVILLE VA 22901	CHARLOTTESVILLE VA 22901	CHARLOTTESVILLE VA 22901
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HOANG, BICH THUY	HUCK, JENNIFER A & ADAM F SLEZ	IVESTER, KYLE J & KRISTEN G
1317 RIVERDALE DR	1225 RIVER VISTA AVE	1319 RIVERDALE DR
CHARLOTTESVILLE VA 22902	CHARLOTTESVILLE VA 22901	CHARLOTTESVILLE VA 22902
JOHNSON, LENWOOD A & IDA B	KIMCO, L C	KIRSCHNICK, DAVID M
152 KENSINGTON DRIVE	1510 EAST HIGH STREET	926 COLEMAN ST
FISHERSVILLE VA 22939	CHARLOTTESVILLE VA 22902	CHARLOTTESVILLE VA 22901

LACE LEAF, LLC LANDONIA, LLC LINDSAY, CHRISTINE M 105 KEYSTONE PL 3134 BEAU MONT FARM RD 1222 RIVER VISTA AVE **CHARLOTTESVILLE VA 22902 CHARLOTTESVILLE VA 22901 CHARLOTTESVILLE VA 22901** LONG STREET PROPERTIES, LLC LY, THANH & LOAN MY VUONG MAXEY, HAZEL PATTERSON CVS DRIVE, MC 2320 1326 LONG STREET 1218 RIVER VISTA AVENUE **WOODSOCKET RI 02895 CHARLOTTESVILLE VA 22901 CHARLOTTESVILLE VA 22901** MERRITT, DAVID C & DONNA L PACIFIC REALTY ASSOCIATES LP RIVERVIEW LAND AND DEVELOPMENT, LLC 1324 LONG STREET 15350 SW SEQUOIA PKWY #300 P O BOX 48 **CHARLOTTESVILLE VA 22901** PORTLAND OR 97224 **KESWICK VA 22947 ROWLAND, DONNA & PATTI LONG** TAYLOR, WILLIAM E & MARGARET C **SOVRAN BANK 1062 RIDGEWAY DRIVE** 101 N TRYON ST 704 GILLESPIE AVENUE **BARBOURSVILLE VA 22923 CHARLOTTE NC 28255 CHARLOTTESVILLE VA 22902** THOMAS, ROY S JR & NELLIE P TIGER FUEL COMPANY TSERING, PASANG & NGAWANG DOLKAR 614 BIG OAK ROAD P O BOX 1607 904 COLEMAN STREET **CHARLOTTESVILLE VA 22903 CHARLOTTESVILLE VA 22902 CHARLOTTESVILLE VA 22901** VAUGHAN, MELINA R WALTON, STUART K WRIGHT & NAPIER, LLC 1220 RIVER VISTA AVE 1212 RIVER VISTA AVE

**CHARLOTTESVILLE VA 22901** 

**CHARLOTTESVILLE VA 22901** 

YOUNG, JOSEPH D 1300 BELLEVIEW AVE **CHARLOTTESVILLE VA 22901** 

203 PAUL REVERE DR FOREST VA 24551

NAME Diane Blake Susan Kane Joeg Winter Phone / email (434) 293-5260 434882-2103 (434) 970-3991

ShK1952 eembargmail.com Winteria churlottesville.org

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