

Agenda

PLANNING COMMISSION REGULAR DOCKET TUESDAY, July 14, 2020 at 5:30 P.M. Virtual Meeting

I. Commission Pre-Meeting (Agenda discussion(s))

Beginning: 5:00 p.m.

Location: (Electronic/Virtual)

II. Commission Regular Meeting

Beginning: 5:30 p.m.

Location: (Electronic/Virtual)

A. COMMISSIONERS' REPORTS

B. UNIVERSITY REPORT

C. CHAIR'S REPORT

D. DEPARTMENT OF NDS

E. MATTERS TO BE PRESENTED BY THE PUBLIC NOT ON THE FORMAL AGENDA

F. CONSENT AGENDA

(Items removed from the consent agenda will be considered at the end of the regular agenda)

1. Site Plan – 612 West Main Street

2. Site Plan – 167 Chancellor

III. JOINT MEETING OF COMMISSION/ COUNCIL

Beginning: 6:00 p.m.

Continuing: until all public hearings are completed

Format: (i) Staff Report, (ii) Applicant, (iii) Hearing

1. Community Development Block Grant Coronavirus (CDBG-CV) Funding, FY 20-21: The Planning Commission and City Council are considering projects to be undertaken in the amended Fiscal Year 2021 Action Plan of the multi-year Consolidated Plan utilizing CDBG-CV funds for the City of Charlottesville in response to the growing effects of the historic public health crisis. In Fiscal Year 20-21 it is expected that the City of Charlottesville will receive about \$246,699 in Community Development Block Grant Coronavirus (CDBG-CV) funds from the Department of Housing and Urban Development HUD authorized by the Coronavirus Aid, Relief, and Economic Security Act (CARES Act). CDBG-CV grants will be used to facilitate projects to prevent, prepare for, and respond to coronavirus. Information pertaining to this application may be viewed online at www.charlottesville.gov/agenda. Persons interested in this item may contact Grants Coordinator Erin Atak by e-mail (atake@charlottesville.gov).

2. ZM19-00004 – 909 Landonia Circle – Landowner Long Street LLC, by its member Stockbridge OPCO LLC, has submitted an application seeking a rezoning for a lot, having an area of approximately 0.6790 acres, identified within City tax records as Tax Parcel Identification No. 490079000 (“Subject Property”) and having an address of 909 Landonia Circle. The Subject Property has approximately 378 feet of frontage on Landonia Circle. The rezoning application proposes to change the zoning district classification of the Subject Property from B-1 Business to B-2 Business subject to a proffered development condition (“Proffer”). The Proffer states the following shall not be permitted on the Subject Property: Amusement Center; Auditoriums, Theaters; Bowling Alleys; Clubs, Private; Dry Cleaning Establishments; Movie Theaters; Dance Hall / all night; Pharmacies >1,700 SF, GFA. The Comprehensive Land Use Map for this area calls for Low Density Residential Development. Information pertaining to this application may be viewed online at www.charlottesville.gov/agenda. Persons interested in this Rezoning may contact NDS Planner Joey Winter by e-mail (winterj@charlottesville.gov)

IV. COMMISSION’S ACTION ITEMS

Continuing: until all action items are concluded.

V. FUTURE MEETING SCHEDULE/ADJOURN

Tuesday, August 11, 2020 – 5:00 PM	Pre-Meeting	
Tuesday, August 11, 2020 – 5:30 PM	Regular Meeting	<u>Minutes</u> – June 9, 2020 – Pre- meeting and Regular meeting <u>Site Plan and Entrance Corridor</u> – Chick-fil-A Barracks Rd <u>Site Plan</u> –Kappa Kappa Gamma (503 Rugby Rd) Cville Plans Together – Project Update and Housing Discussion. Presentation: JAUNT

Anticipated Items on Future Agendas

Zoning Text Amendments –Off-street parking facilities requirements along streets designated as “framework streets” (initiated May 8, 2018), Site Plan Requirements, Accessory Dwelling Unit, Middle Density zoning and Affordable Dwelling Unit

Comp Plan Amendment – Small Area Plan –Cherry Avenue, Community Vision Plan – Starr Hill

PLEASE NOTE: THIS AGENDA IS SUBJECT TO CHANGE PRIOR TO THE MEETING.

PLEASE NOTE: We are including suggested time frames on Agenda items. These times are subject to change at any time during the meeting.

Individuals with disabilities who require assistance or special arrangements to participate in the public meeting may call the ADA Coordinator at (434) 970-3182 or submit a request via email to ada@charlottesville.gov. The City of Charlottesville requests that you provide a 48 hour notice so that proper arrangements may be made.

During the local state of emergency related to the Coronavirus (COVID19), City Hall and City Council Chambers are closed to the public and meetings are being conducted virtually via a Zoom webinar. The webinar is broadcast on Comcast Channel 10 and on all the City's streaming platforms including: Facebook, Twitter, and www.charlottesville.gov/streaming. Public hearings and other matters from the public will be heard via the Zoom webinar which requires advanced registration here: www.charlottesville.gov/zoom . You may also participate via telephone and a number is provided with the Zoom registration or by contacting staff at 434-970-3182 to ask for the dial in number for each meeting.

CITY OF CHARLOTTESVILLE
DEPARTMENT OF NEIGHBORHOOD DEVELOPMENT SERVICES
STAFF REPORT



APPLICATION FOR APPROVAL OF A PRELIMINARY SITE PLAN

PLANNING COMMISSION REGULAR MEETING

DATE OF MEETING: July 14, 2020

Project Planner: Brian Haluska, AICP

Date of Staff Report: June 25, 2020

Development: 602-616 West Main Street (Tax Map 29 Parcel 3)

Applicant: Heirloom West Main Street Second Phase, LLC

Applicant's Representative(s): Craig Kotarski, Timmons Group

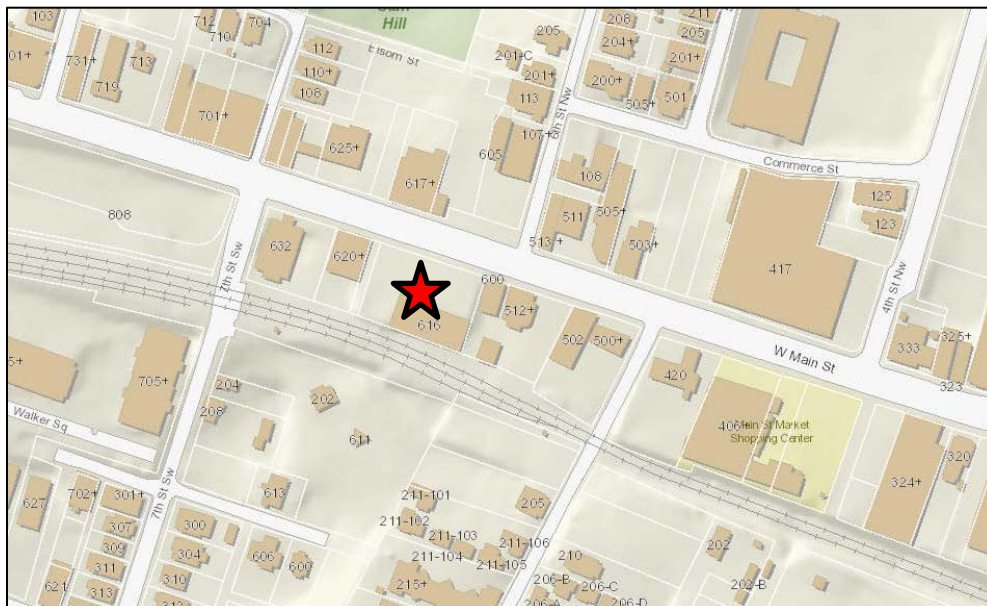
Current Property Owner: Heirloom West Main Street Second Phase, LLC

Applicable City Code Provisions: 34-800 – 34-827 (Site Plans)

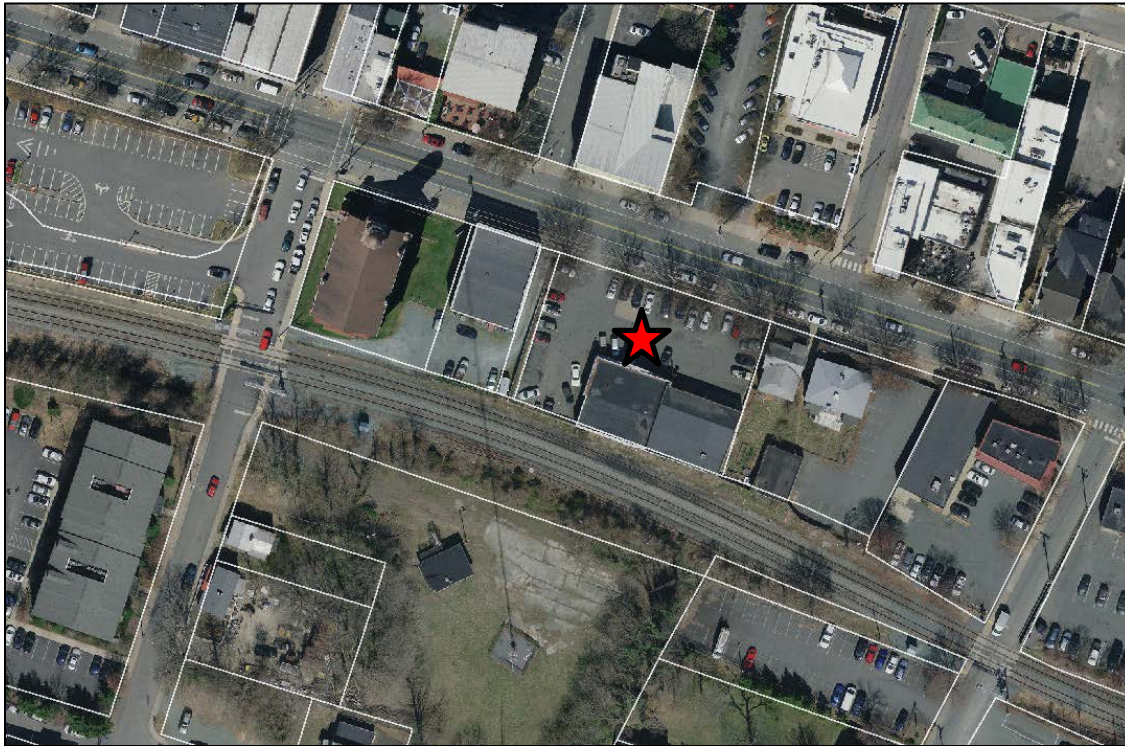
Zoning District: West Main Street East Corridor with Architectural Design Control District and Parking Modified Overlay

Reason for Planning Commission Review: Preliminary site plans associated with a property which has a Special Use Permit (SUP) are subject to review by the Planning Commission.

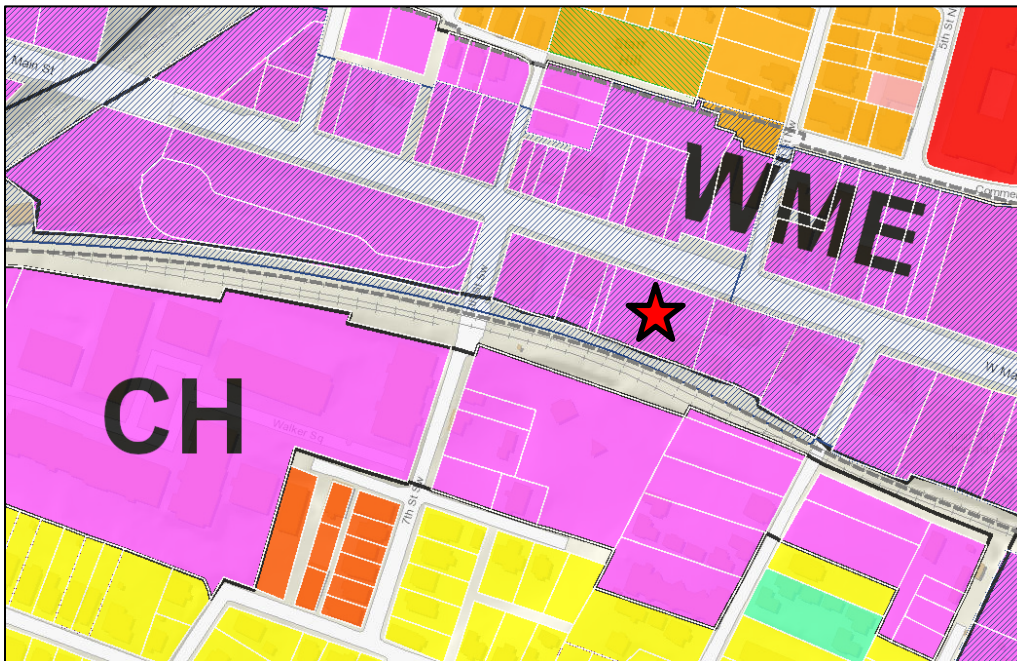
Vicinity Map



2018 Aerial



Zoning Map



KEY – Magenta (WME): West Main Street East; Magenta (CH): Cherry Avenue Corridor; Yellow: R-1S – Single-Family, Low-Density Residential; Light Orange: R-2 – Two-Family, Low-Density Residential; Deep Orange: R-3 – Multi-Family, High-Density Residential; Aqua Blue: Planned Unit Development; Pink: B-1 – Commercial; Red: B-3 - Commercial

Standard of Review

Approval of a site plan is a ministerial function, as to which the Planning Commission has little or no discretion. When an applicant has submitted a site plan that complies with the requirements of the City's Site Plan Ordinance, then approval of the plan must be granted. In the event the Planning Commission determines there are grounds upon which to deny approval of a site plan, the motion must clearly identify the deficiencies in the plan, that are the basis for the denial, by reference to specific City Code sections and requirements. Further, upon disapproval of a site plan, the Planning Commission must identify the modifications or corrections that would permit approval of the plan.

Summary

Craig Kotarski of Timmons Group, acting as agent for Heirloom West Main Street Second Phase, LLC is requesting approval of a preliminary site plan to construct a mixed-use development with 45 residential dwelling units and, 6,700 square feet of retail space at 602-616 West Main Street (TMP 29-3). City Council approved a Special use Permit (SP19-00003) with conditions on October 7, 2019.

Site Plan Compliance

Site plans are reviewed for compliance with City codes and standards. An overview of site plan requirements and the location of those items on the site plan are outlined below.

Site Plan Requirements

A. Compliance with applicable zoning district regulation West Main East Corridor (per Sections 34-636 through 34-643)

The property is zoned West Main East Corridor. The project complies with all requirements of the district.

B. Compliance with the City's Erosion and Sediment Control ordinance, Chapter 10

The applicant's erosion and sediment control plan will be submitted and reviewed during final site plan submission. The applicant will be required to comply with staff comments.

C. Compliance with General Standard for site plans (Sections 34-800 - 34-827)

1. General site plan information, including but not limited to project, property, zoning, site, and traffic information: **Found on Sheet C0.0.**
2. Existing condition and adjacent property information: **Found on Sheet C2.0.**

3. Phasing plan: **The project will be constructed in one phase.**
4. Topography and grading: **Found on Sheet C4.0.**
5. Existing landscape and trees: **Found on Sheet C2.0.**
6. The name and location of all water features: **Not applicable to this site.**
7. One hundred-year flood plain limits: **Not applicable to this site.**
8. Existing and proposed streets and associated traffic information: **Found on Sheets C4.0 & C0.0.**
9. Location and size of existing water and sewer infrastructure: **Found on Sheet C2.0.**
10. Proposed layout for water and sanitary sewer facilities and storm drain facilities: **Found of Sheets C4.0.**
11. Location of other existing and proposed utilities and utility easements: **Found on Sheet C4.0.**
12. Location of existing and proposed ingress to and egress from the property, showing the distance to the centerline of the nearest existing street intersection: **Found on Sheet C4.0.**
13. Location and dimensions of all existing and proposed improvements: **Found on Sheet C4.0.**
14. All areas intended to be dedicated or reserved for public use: **Found on Sheet C4.0 (Sidewalks).**
15. Landscape plan: **Found on Sheet L1.0.**
16. Where deemed appropriate by the director due to intensity of development:
 - a. Estimated traffic generation figures for the site based upon current ITE rates: **Found on Sheet C0.0**

D. Additional information to be shown on the site plan as deemed necessary by the director or Commission in order to provide sufficient information for the director or Commission to adequately review the site plan.

The Special Use Permit granted by City Council on October 7, 2019 includes the following conditions, which are provided on Sheet C0.1 of the preliminary site plan.

1. The specific development being approved by this special use permit (“Project”), as described within the site plan exhibit required by City Code §34-158(a)(1), shall have the following minimum attributes/ characteristics:
 - a. Not more than one building shall be constructed on the Subject Property (the “Building”). The Building shall be a Mixed Use Building.

The site description on Page C0.0 shows one building.

- b. The Building shall not exceed a height of four (4) stories.

The site description on Page C0.0 shows a four story building with a maximum height of 50 feet and 6 inches.

- c. The Building shall contain no more than 55 dwelling units.

The site description on Page C0.0 shows 45 dwelling units.

- d. The Building shall contain space to be occupied and used for retail uses, which shall be located on the ground floor of the Building facing West Main Street. The square footage of this retail space shall be at least the minimum required by the City's zoning ordinance.

The site description on Page C0.0 shows three commercial retail spaces totaling 6,700 square feet in space.

- e. Underground parking shall be provided within a parking garage structure constructed underneath the Building serving the use and occupancy of the Building. All parking required for the Project pursuant to the City's zoning ordinance shall be located on-site. All parking required pursuant to the ordinance for the Project shall be maximized onsite to the satisfaction of the Planning Commission. No direct access shall be provided into the underground parking from the Building's street wall along West Main Street.

The plan shows a preliminary parking layout on Page C4.1, and complies with all requirements of this condition.

- 2. The mass of the Building shall be broken down to reflect the multi-parcel massing historically on the site, as well as the West Main Street context, using building modulation. The Building and massing refer to the historic buildings on either side.

The applicant is aware of this condition, and it will be reviewed as a part of the required Board of Architectural Review application review.

- 3. There shall be pedestrian engagement with the street with an active, transparent, and permeable façade at street level.

The applicant is aware of this condition, and it will be reviewed as a part of the required Board of Architectural Review application review.

- 4. The Landowner (including, without limitation, any person who is an agent, assignee, transferee or successor in interest to the Landowner) shall prepare a Protective Plan for the Rufus Holsinger Building located on property adjacent to the Subject Property at 620-

624 West Main Street (“Holsinger Building” or “Adjacent Property”). The Protective Plan shall provide for baseline documentation, ongoing monitoring, and specific safeguards to prevent damage to the Holsinger Building, and the Landowner shall implement the Protective Plan during all excavation, demolition and construction activities within the Subject Property (“Development Site”). At minimum, the Protective Plan shall include the following:

- a. Baseline Survey—Landowner shall document the existing condition of the Holsinger Building (“Baseline Survey”). The Baseline Survey shall take the form of written descriptions, and visual documentation which shall include color photographs and/or video recordings. The Baseline Survey shall document the existing conditions observable on the interior and exterior of the Holsinger Building, with close-up images of cracks, staining, indications of existing settlement, and other fragile conditions that are observable. The Landowner shall engage an independent third party structural engineering firm (one who has not participated in the design of the Landowner’s Project or preparation of demolition or construction plans for the Landowner, and who has expertise in the impact of seismic activity on historic structures) and shall bear the cost of the Baseline Survey and preparation of a written report thereof. The Landowner and the Owner of the Holsinger Building (“Adjacent Landowner”) may both have representatives present during the process of surveying and documenting the existing conditions. A copy of a completed written Baseline Survey Report shall be provided to the Adjacent Landowner, and the Adjacent Landowner shall be given fourteen (14) days to review the Baseline Survey Report and return any comments to the Landowner.
- b. Protective Plan--The Landowner shall engage the engineer who performed the Baseline Survey to prepare a Protective Plan to be followed by all persons performing work within the Development Site, that may include seismic monitoring or other specific monitoring measures of the Adjacent Property if recommended by the engineer preparing the Protective Plan, and minimally shall include installation of at least five crack monitors. Engineer shall inspect and take readings of crack monitors at least weekly during ground disturbance demolition and construction activities. Reports of monitor readings shall be submitted to the city building official and Adjacent Landowner within two days of inspection. A copy of the Protective Plan shall be provided to the Adjacent Landowner. The Adjacent Landowner shall be given fourteen (14) days to review the Report and return any comments to the Landowner.
- c. Advance notice of commencement of activity--The Adjacent Landowner shall be given 14 days’ advance written notice of commencement of demolition at the Development Site, and of commencement of construction at the Development Site. This notice shall include the name, mobile phone number, and email address of the construction supervisor(s) who will be present on the Development Site and who may be contacted by the Adjacent Landowner regarding impacts of demolition or construction on the Adjacent Property. The Landowner shall also offer the Adjacent Landowner an opportunity to have meetings:
 - i. prior to commencement of demolition at the Development Site, and
 - ii. at least fourteen (14) days prior to commencement of construction at the

Development Site, on days/ times reasonably agreed to by both parties. During any such preconstruction meeting, the Adjacent Landowner will be provided information as to the nature and duration of the demolition or construction activity and the Landowner will review the Protective Plan as it will apply to the activities to be commenced.

- d. Permits--No demolition or building permit, and no land disturbing permit, shall be approved or issued to the Landowner, until the Landowner provides to the department of neighborhood development services:
 - i. copies of the Baseline Survey Report and Protective Plan, and NDS verifies that these documents satisfy the requirements of these SUP Conditions,
 - ii. documentation that the Baseline Survey Report and Protective Plan were given to the Adjacent Landowner in accordance with these SUP Conditions.

The applicant has indicated that the protective plan will be in place in accordance with the SUP condition prior to the commencement of construction activities.

E. Compliance with Additional Standards for Specific Uses (Sections 34-930 - 34-938)

Not applicable to this site.

Public Comments Received

Staff has not received any comment on the site plan during preliminary review.

The original site plan was submitted to the City on February 26, 2020. A Site Plan Conference was scheduled to be held on March 18, 2020, and the City sent notice to property owners within 500 feet of the property, and advertised the meeting. The conference was forced to be cancelled because of the COVID-19 pandemic.

As a result, the applicant will be required to follow the City's guidance for holding a public meeting to fulfill the site plan conference requirement following the submission of the final site plan.

Recommendation

Staff recommends approval of the preliminary site plan with the following condition:

1. Following the submission of the final site plan, the applicant will participate in a site plan conference that is organized in compliance with City policies governing such meetings.

Attachments

- A. Preliminary Site Plan dated February 26, 2020 and a Revision date of June 23, 2020
- B. Special Use Permit Resolution dated October 7, 2019

**RESOLUTION
APPROVING A SPECIAL USE PERMIT
TO ALLOW HIGH DENSITY RESIDENTIAL DEVELOPMENT
FOR PROPERTY LOCATED AT
602-616 WEST MAIN STREET**

WHEREAS, landowner Heirloom West Main Street Second Phase, LLC is the current owner of a lot identified on 2019 City Tax Map 29 as Parcel 3 (City Parcel Identification No. (290003000) (the "Subject Property"), and pursuant to City Code §34-641, the landowner proposes to redevelop the Subject Property by constructing a mixed use building on the Subject Property ("Project"), containing residential dwelling units at a density of up to 120 dwelling units per acre ("DUA"); and

WHEREAS, the Project is described within the Applicant's application materials dated May 14, 2019 submitted in connection with SP19-00003, including, without limitation, a narrative statement dated May 14, 2019, and a preliminary site plan dated May 13, 2019, as required by City Code §34-158 (collectively, the "Application Materials"); and

WHEREAS, the Planning Commission reviewed the Application Materials, and the City's Staff Report, and subsequent to a joint public hearing, duly advertised and conducted by the Planning Commission and City Council on August 13, 2019, the Planning Commission voted to recommend that the City Council should approve the requested special use permit, to allow residential density up to 120 dwelling units per acre (DUA), subject to certain suitable conditions and safeguards recommended by the Planning Commission; and

WHEREAS, upon consideration of the comments received during the joint public hearing, the Planning Commission's recommendation, and the Staff Reports discussing this application, as well as the factors set forth within Sec. 34-157 of the City's Zoning Ordinance, this Council finds and determines that granting the proposed Special Use subject to suitable conditions would serve the public necessity, convenience, general welfare or good zoning practice; now, therefore,

BE IT RESOLVED by the Council of the City of Charlottesville, Virginia that, pursuant to City Code §§ 34-641, a special use permit is hereby approved and granted, subject to the following conditions:

1. The specific development being approved by this special use permit ("Project"), as described within the site plan exhibit required by City Code §34-158(a)(1), shall have the following minimum attributes/ characteristics:
 - a. Not more than one building shall be constructed on the Subject Property (the "Building"). The Building shall be a Mixed Use Building.
 - b. The Building shall not exceed a height of four (4) stories.
 - c. The Building shall contain no more than 55 dwelling units.

preparation of demolition or construction plans for the Landowner, and who has expertise in the impact of seismic activity on historic structures) and shall bear the cost of the Baseline Survey and preparation of a written report thereof. The Landowner and the Owner of the Holsinger Building ("Adjacent Landowner") may both have representatives present during the process of surveying and documenting the existing conditions. A copy of a completed written Baseline Survey Report shall be provided to the Adjacent Landowner, and the Adjacent Landowner shall be given fourteen (14) days to review the Baseline Survey Report and return any comments to the Landowner.

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The Landowner shall also offer the Adjacent Landowner an opportunity to have meetings: (i) prior to commencement of demolition at the Development Site, and (ii) at least fourteen (14) days prior to commencement of construction at the Development Site, on days/ times reasonably agreed to by both parties. During any such preconstruction meeting, the Adjacent Landowner will be provided information as to the nature and duration of the demolition or construction activity and the Landowner will review the Protective Plan as it will apply to the activities to be commenced.

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e. Underground parking shall be provided within a parking garage structure constructed underneath the Building, ~~which shall provide at least 53 parking spaces serving the use and occupancy of the Building.~~ All parking required for the Project pursuant to the City's zoning ordinance shall be located on-site. All parking required pursuant to the ordinance for the Project shall be maximized on-site to the satisfaction of the Planning Commission. No direct access shall be provided into the underground parking from the Building's street wall along West Main Street.

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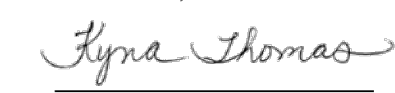
3. There shall be pedestrian engagement with the street with an active, transparent, and permeable façade at street level.

4. The Landowner (including, without limitation, any person who is an agent, assignee, transferee or successor in interest to the Landowner) shall prepare a Protective Plan for the Rufus Holsinger Building located on property adjacent to the Subject Property at 620-624 West Main Street ("Holsinger Building" or "Adjacent Property"). The Protective Plan shall provide for baseline documentation, ongoing monitoring, and specific safeguards to prevent damage to the Holsinger Building, and the Landowner shall implement the Protective Plan during all excavation, demolition and construction activities within the Subject Property ("Development Site"). At minimum, the Protective Plan shall include the following:

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The Landowner shall engage an independent third party structural engineering firm (one who has not participated in the design of the Landowner's Project or

the requirements of these SUP Conditions, (ii) documentation that the Baseline Survey Report and Protective Plan were given to the Adjacent Landowner in accordance with these SUP Conditions.

Approved by Council
October 7, 2019

Kyna Thomas, CMC
Clerk of Council

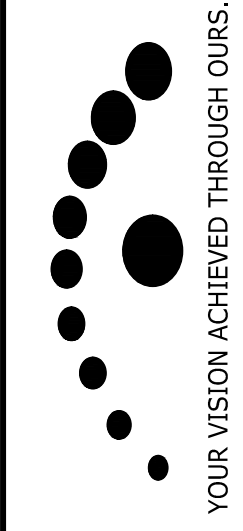


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CHARLOTTESVILLE OFFICE
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**PRELIMINARY
SITE PLAN**

DATE	REVISION DESCRIPTION	
	REVISED PER CITY COMMENTS	REVISED PER CITY COMMENTS
4/22/20		
6/23/20		

DATE	2/26/2020
DRAWN BY	A. FONTAINE
DESIGNED BY	A. ALLISON
CHECKED BY	C. KOTARSKI
SCALE	N/A



TIMMONS GROUP
612 WEST MAIN STREET
CITY OF CHARLOTTESVILLE, VA
SPECIAL USE PERMIT CONDITIONS OF APPROVAL

JOB NO.	43751
SHEET NO.	C0.1

GENERAL NOTES:

UTILITIES

- 1. ANY DAMAGE TO EXISTING UTILITIES CAUSED BY CONTRACTOR OR ITS SUBCONTRACTORS SHALL BE CONTRACTOR'S SOLE RESPONSIBILITY AND REPAIRED AT CONTRACTOR'S EXPENSE.
2. THE CONTRACT DOCUMENTS DO NOT GUARANTEE THE EXISTENCE, NON-EXISTENCE OR LOCATION OF UTILITIES.
3. WHEN THE WORK CROSSES EXISTING UTILITIES, THE EXISTING UTILITIES SHALL BE ADEQUATELY SUPPORTED AND PROTECTED FROM DAMAGE DUE TO THE WORK.

EROSION CONTROL & WORK AREA PROTECTION AND MAINTENANCE

- 1. ALL FENCES REQUIRED TO BE REMOVED OR DISTURBED BY CONSTRUCTION SHALL BE SALVAGED, STORED, PROTECTED AND RE-INSTALLED BY CONTRACTOR.
2. CONTRACTOR IS PERMITTED TO WORK IN THE PUBLIC RIGHT-OF-WAY AND ANY TEMPORARY OR PERMANENT EASEMENT SHOWN ON THE PLANS.
3. CONTRACTOR SHALL, AT HIS EXPENSE, MAINTAIN THE WORK SITE IN A CLEAN AND ORDERLY APPEARANCE AT ALL TIMES.

EARTHWORK AND SITE CONDITIONS

- 1. EXCEPT AS OTHERWISE SHOWN ON THE PLANS, ALL CUTS AND FILLS SHALL MATCH EXISTING SLOPES OR BE NO GREATER THAN 2:1.
2. NO NEW SIDEWALK SHALL EXCEED 2.0% CROSS-SLOPE (PERPENDICULAR TO THE DIRECTION OF PEDESTRIAN TRAFFIC).
3. ALL GRADING AND IMPROVEMENTS TO BE CONFINED TO THE PROJECT AREA UNLESS OTHERWISE INDICATED.

CONCRETE AND ASPHALT

- 1. ALL FORMS SHALL BE INSPECTED BY THE ENGINEERING INSPECTOR BEFORE ANY CONCRETE IS PLACED.
2. ALL MATERIAL INSIDE FORMS SHALL BE CLEAN AND FREE OF ALL ROCKS AND OTHER LOOSE DEBRIS.
3. CONCRETE SHALL NOT BE PLACED UNLESS THE AIR TEMPERATURE IS AT LEAST 40 DEGREES FAHRENHEIT (F) IN THE SHADE AND RISING.

DRAINAGE

- 1. CONTRACTOR SHALL EXERCISE CARE, ESPECIALLY AT INTERSECTIONS AND GUTTER LINES, TO PROVIDE POSITIVE DRAINAGE. ANY AREAS WHERE WATER IS IMPOUNDED SHALL BE CORRECTED BY CONTRACTOR AT NO ADDITIONAL COST.
2. CONTRACTOR SHALL MAINTAIN EXISTING STREAMS, DITCHES, DRAINAGE STRUCTURES, CULVERTS AND FLOWS AT ALL TIMES DURING THE WORK.
3. ALL PIPES, D'S AND OTHER STRUCTURES SHALL BE INSPECTED BY THE ENGINEERING INSPECTOR BEFORE BEING BACKFILLED OR BURIED.

VEGETATION

- 1. PRIOR TO REMOVING ANY VEGETATION, CONTRACTOR SHALL MEET WITH THE PROPERTY OWNERS AND THE ENGINEER TO REVIEW THE LIMITS OF CONSTRUCTION AND OBTAIN PERMISSION TO REMOVE VEGETATION REQUIRED TO DO THE WORK.
2. TREE AND PLANT ROOTS OR BRANCHES THAT MAY INTERFERE WITH THE WORK SHALL BE TRIMMED OR CUT ONLY WITH THE APPROVAL OF THE OWNER AND ENGINEER.

TRAFFIC AND SIGNAGE

- 1. ALL TEMPORARY NO PARKING REQUIREMENTS SHALL BE PROVIDED BY CONTRACTOR WITH APPROVAL OF THE TRAFFIC ENGINEER.
2. CONTRACTOR SHALL PROVIDE NECESSARY REFLECTORS, BARRICADES, TRAFFIC CONTROL DEVICES AND/OR FLAG PERSONS TO INSURE THE SAFETY OF ITS WORKERS AND THE PUBLIC.
3. CONTRACTOR SHALL MAINTAIN SAFE AND PASSABLE PUBLIC ACCESS TO PROPERTIES AND THE PUBLIC RIGHT-OF-WAY DURING CONSTRUCTION.

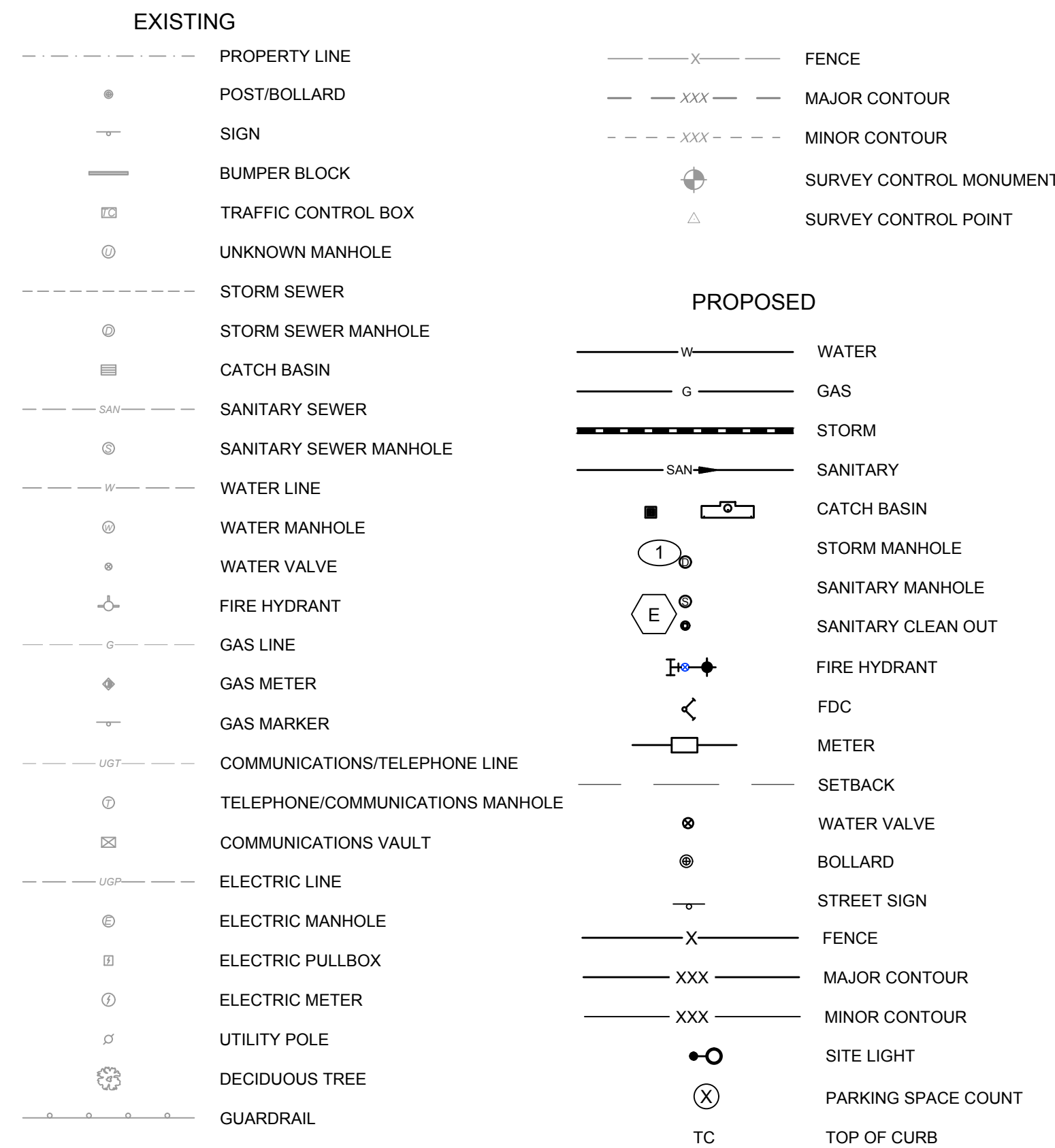
MISCELLANEOUS

- 1. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS, INSPECTIONS, BONDS, AND OTHER APPROVAL RELATED ITEMS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, LOCAL, STATE, AND FEDERAL POLICIES.
2. THE CONTRACTOR WILL BE REQUIRED TO PLACE "DEAR NEIGHBOR" DOOR HANGER NOTIFICATIONS ON THE FRONT DOOR OF ALL RESIDENCES AFFECTED BY THE CONSTRUCTION AND "SIDEWALK" SAFETY SIGNS AT EACH LOCATION WITH WORKING CREWS.
3. WATER METERS THAT ARE TO BE MOVED SHALL BE MOVED COMPLETELY IN THE SIDEWALK OR COMPLETELY OUT OF THE SIDEWALK.

FIRE DEPARTMENT

- 1. BUILDING STREET NUMBERS SHALL BE PLAINLY VISIBLE FROM STREET.
2. A KNOXBOX KEY BOX SHALL BE MOUNTED TO THE SIDE OF THE FRONT OR MAIN ENTRANCE.
3. AN ELEVATOR KEYBOX WILL BE REQUIRED.
4. OVERHEAD WIRING OR OTHER OBSTRUCTIONS SHALL BE HIGHER THAN 13.5'.

SITE PLAN LEGEND



GENERAL NOTES

- 1. ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT VIRGINIA DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS AND STANDARDS.
2. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CONSULT THE ENGINEER AND VERIFY THE APPROVAL OF THE PLANS BY ALL FEDERAL, STATE AND LOCAL AGENCIES.
3. THE CONTRACTOR SHALL VERIFY THE ELEVATIONS OF ALL POINTS OF CONNECTION OR PROPOSED WORK TO EXISTING CURBS, SANITARY LINES, WATERLINES, ETC. PRIOR TO CONSTRUCTION.
4. UPON DISCOVERY OF SOILS THAT ARE UNSUITABLE FOR FOUNDATIONS, SUBGRADES, OR OTHER ROADWAY CONSTRUCTION PURPOSES, THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE OWNER. THESE AREAS SHALL BE EXCAVATED BELOW PLAN GRADE AS DIRECTED BY THE OWNER, BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED IN ACCORDANCE WITH CURRENT.



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PRELIMINARY SITE PLAN

Table with columns: DATE, REVISION DESCRIPTION, REVISED PER CITY COMMENTS, REVISED PER CITY COMMENTS.

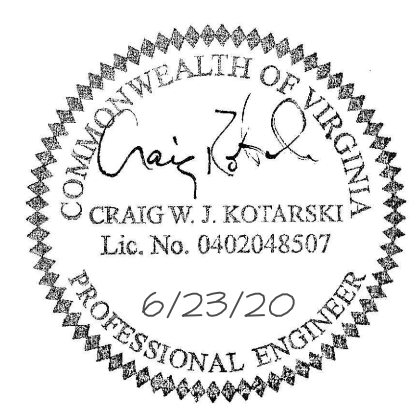
YOUR VISION ACHIEVED THROUGH OURS.

NOTES & DETAILS

Table with columns: DATE, DRAWN BY, DESIGNED BY, CHECKED BY, SCALE.

612 WEST MAIN STREET CITY OF CHARLOTTEVILLE, VA

Table with columns: JOB NO., SHEET NO.



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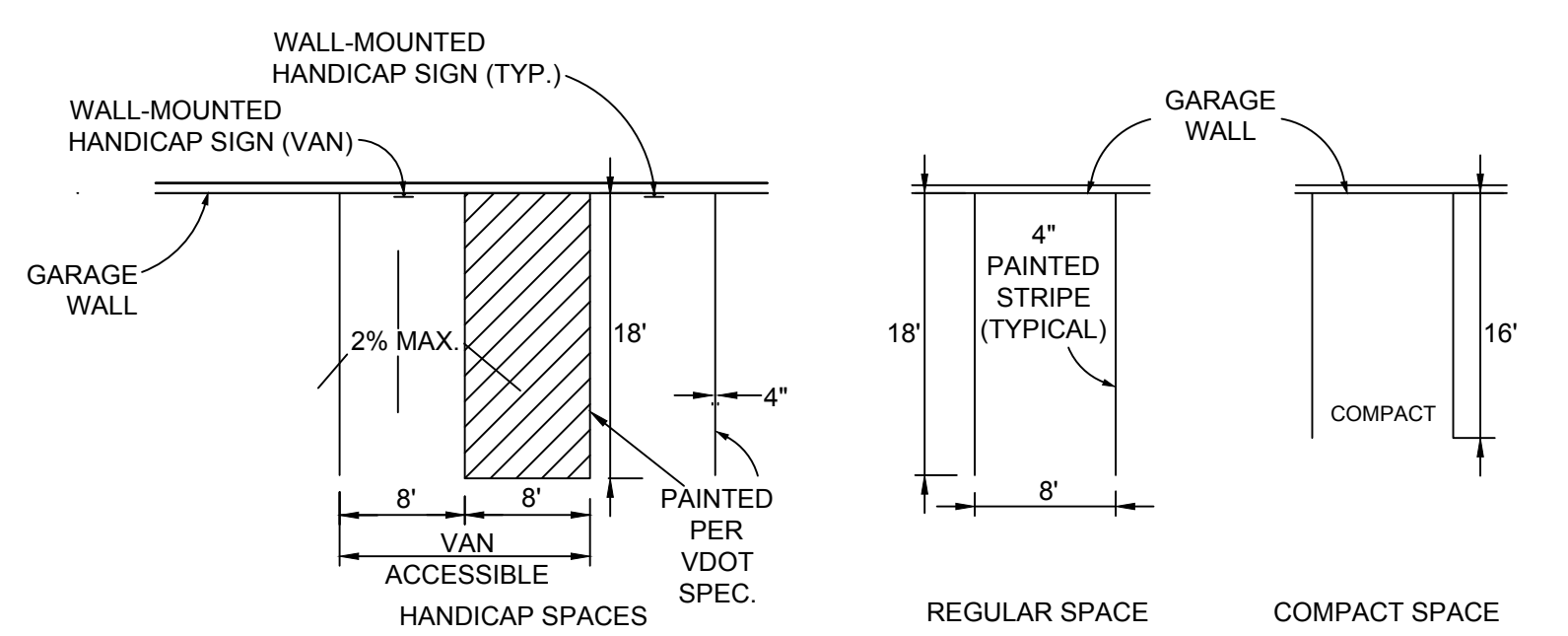
**PRELIMINARY
 SITE PLAN**

DATE: 2/26/2020
 DRAWN BY: A. FONTAINE
 DESIGNED BY: A. ALLISON
 CHECKED BY: C. KOTARSKI
 SCALE: N/A

NOTES & DETAILS

612 WEST MAIN STREET
 CITY OF CHARLOTTEVILLE, VA

JOB NO. 43751
 SHEET NO. C1.1

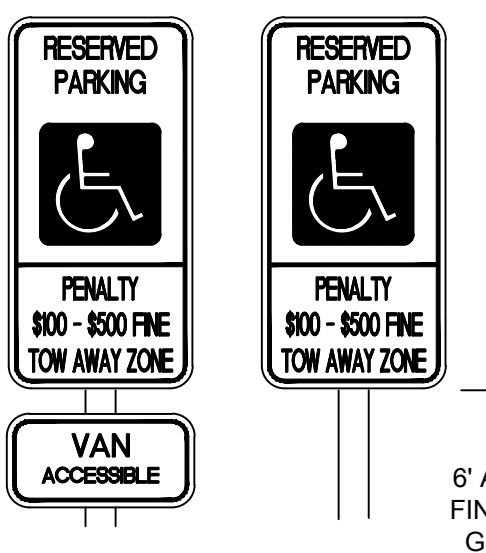


SARIS
STACK RACK
 The customizable Stack Rack combines industrial design and strength with two-tier spacing for added capacity and maximum density. And, the lift assist mechanism eases any bike lifting required by the user, making it easier to load and unload. Flexibility in bike spacing, rack configuration and the modular design make this product unique to each installation.



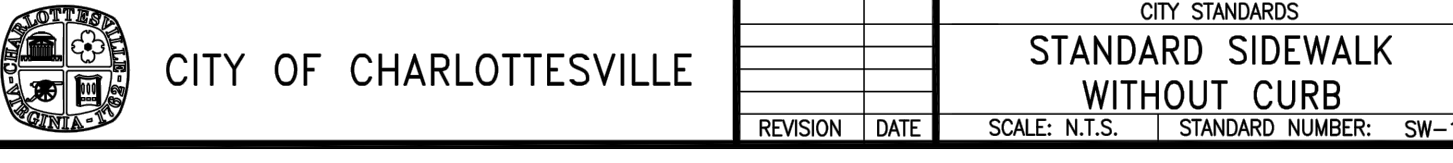
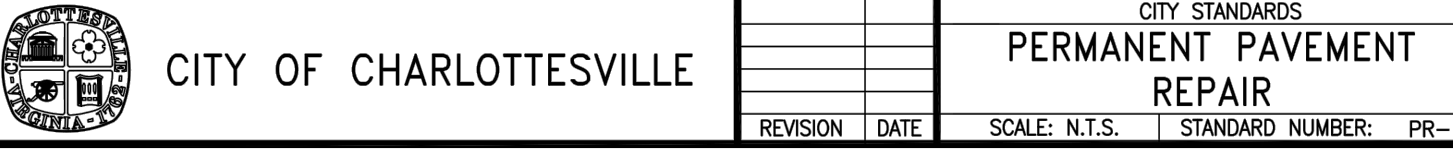
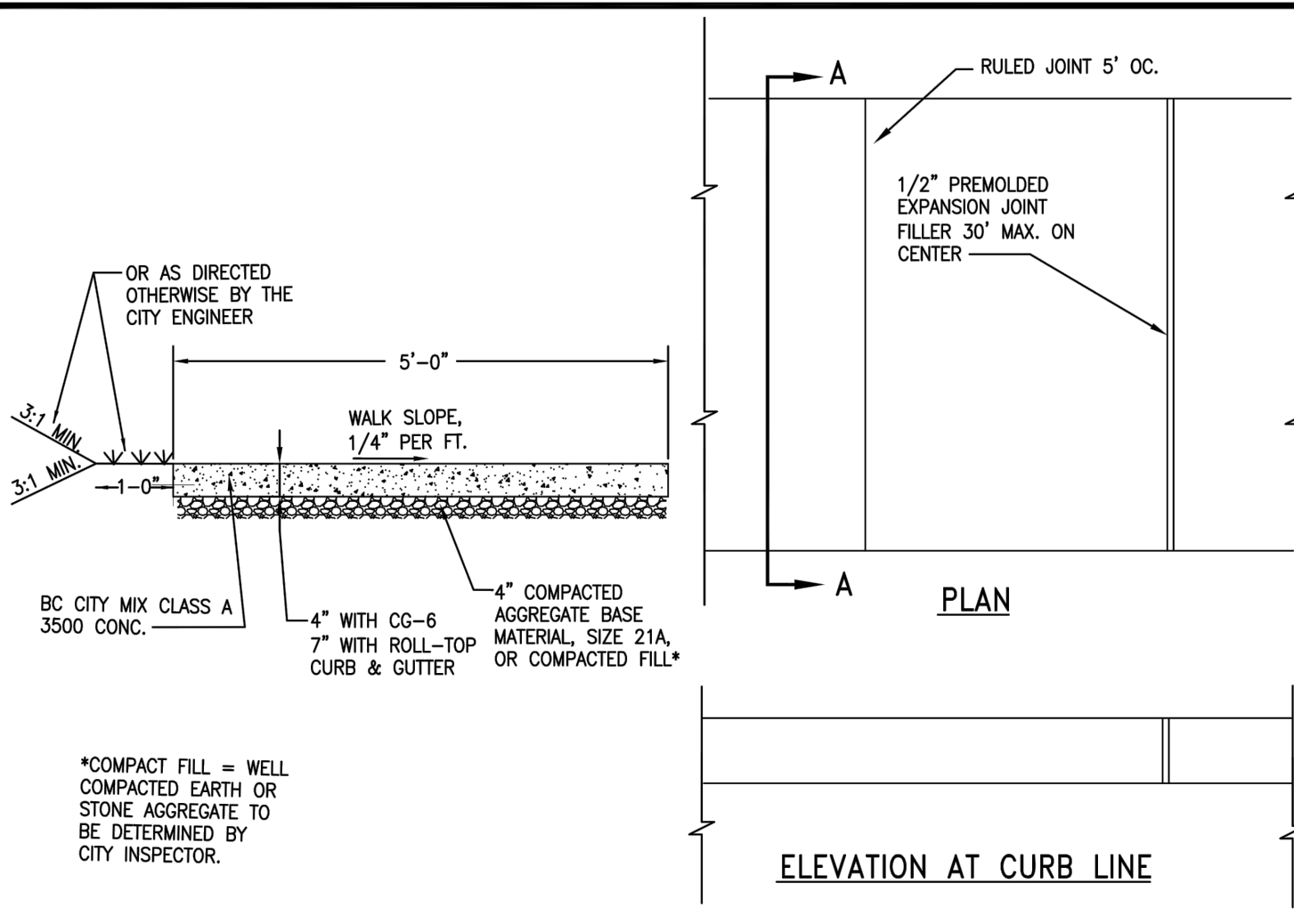
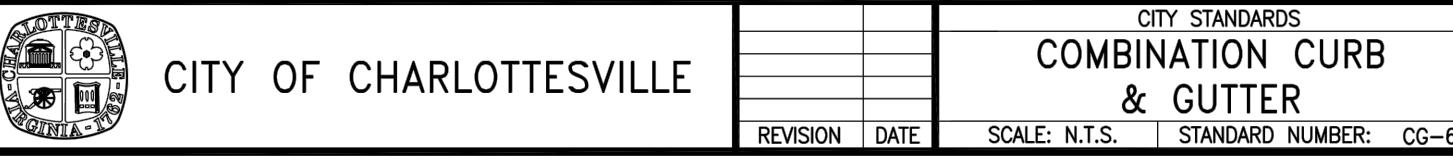
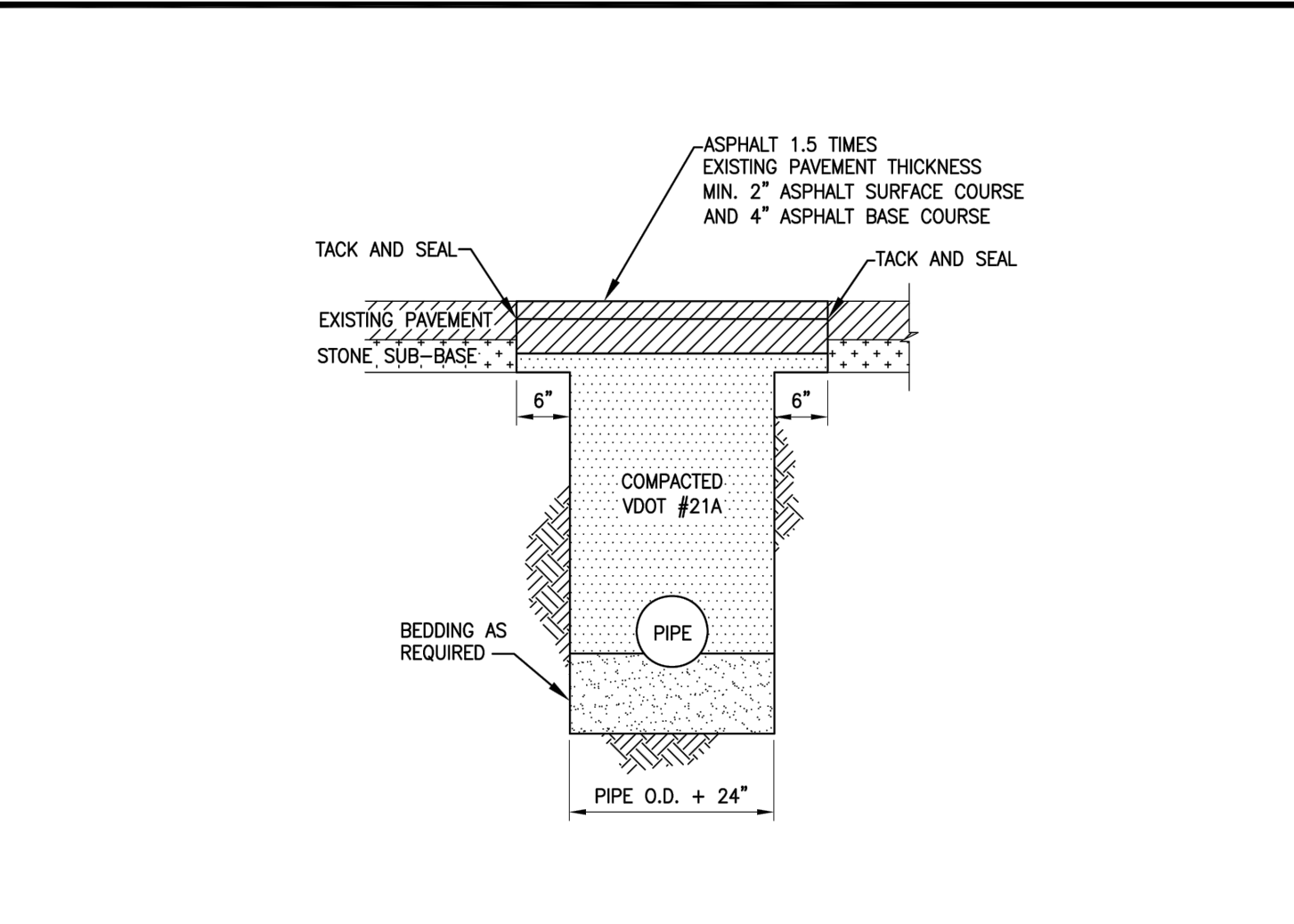
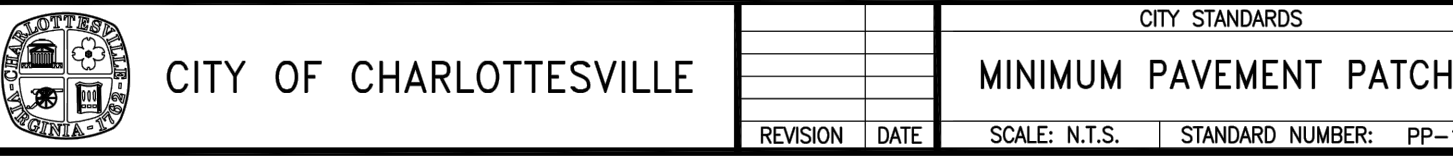
Model	Spacing (in. / in.)	Bike Spacing (in.)	Overall Length (ft.)
14	12" / 12"	18"	100'
16	12" / 12"	20"	144'
16	12" / 12"	24"	192'

Note: Saris Parking Systems representatives can assist with custom layout and spacing to meet your room dimensions and desired bike capacity.

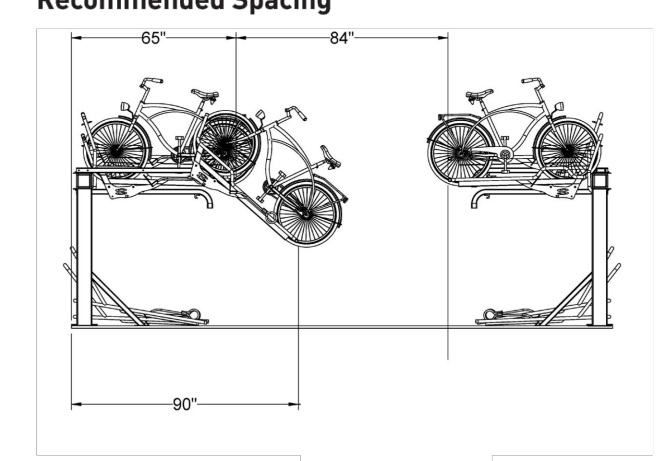


SPACES SHALL BE IDENTIFIED BY ABOVE GRADE SIGNS AS RESERVED FOR PHYSICALLY DISABLED PERSONS. PROVIDE ONE (1) R-7-8 SIGN AT EACH PARKING SPACE INDICATED ON SITE PLAN. SIGN SHALL BE ALUMINUM (PAINTED WHITE) WITH GREEN LETTERS AND INTERNATIONAL WHEELCHAIR SYMBOL. SIGN SHALL BE PLACED ON STEEL POST 1-1/2" O DIA PAINTED BLACK SET IN MIN. 2" OF CONCRETE.

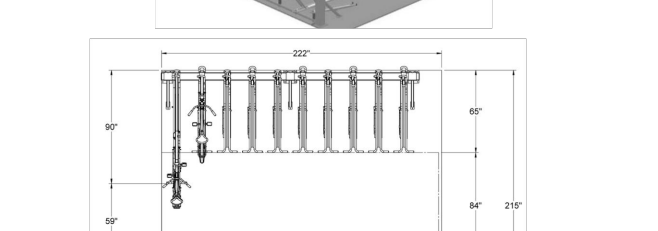
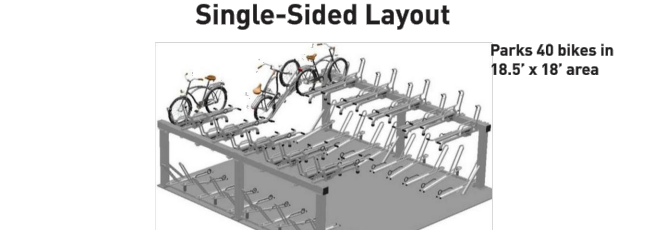
VA. SIGN FOR THE DISABLED ON 0.80 GAUGE ALUMINUM. COLORS: GREEN BORDER & LEGEND, BLUE SYMBOL FOR ACCESSIBILITY, WHITE BACKGROUND.



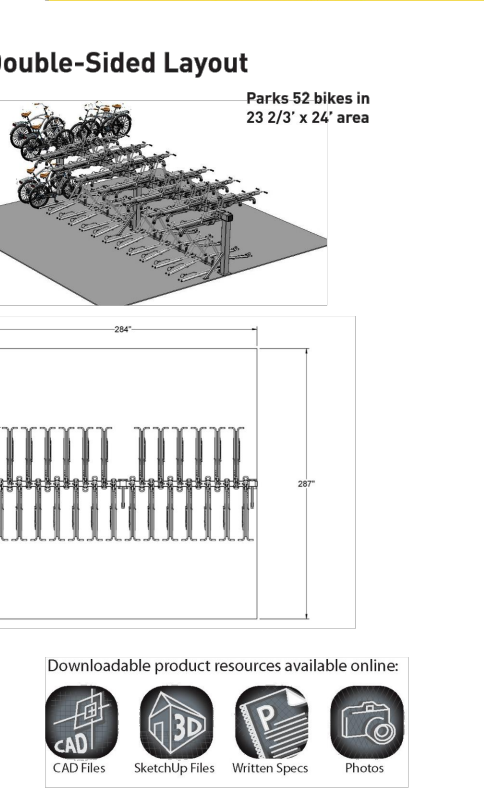
Stack Rack



- Product Details**
- Can be built as single sided or double sided unit
 - Flexibility in bike spacing during planning or installation
 - Few moving parts to minimize maintenance
 - Securely locking cable is 3/4" structural steel cable, sheathed in vinyl coating
 - Requires 108" ceiling clearance (low ceiling height model can be provided if needed for ceiling height of 100")



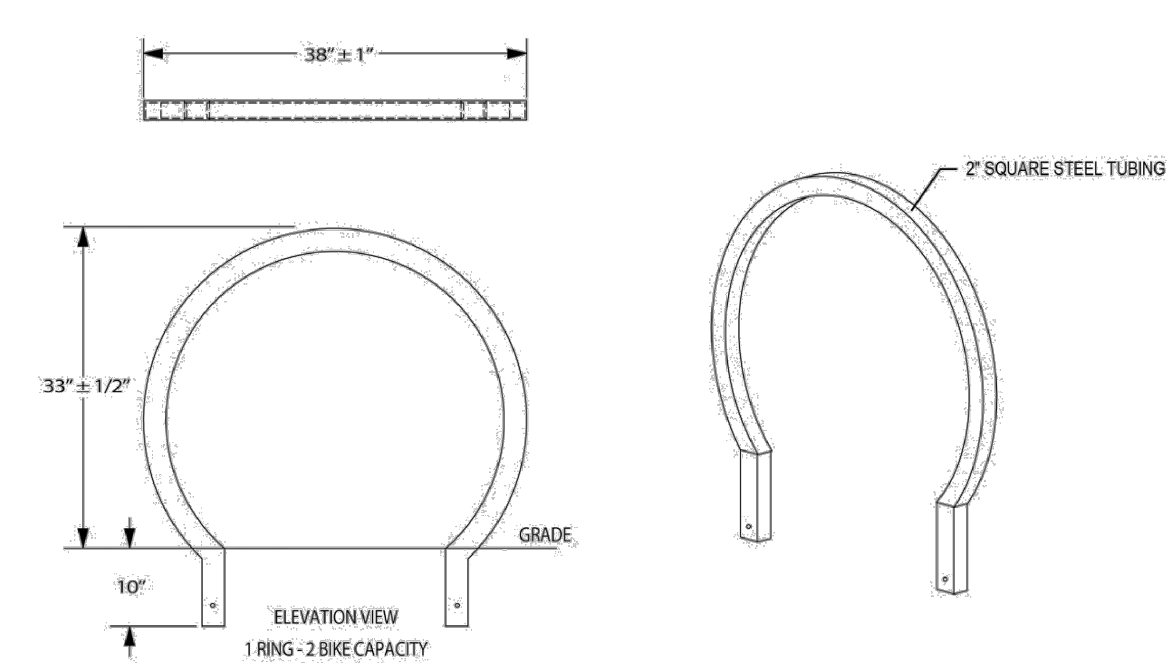
- Hot dipped galvanized finish
- Flange Mount Recommended Anchor #1236
- 65" wide way recommended to allow for loading and unloading
- Lift assist mechanism is spring loaded top tray
- Anchors must be purchased separately



Saris Bicycle Parking & Storage Solutions 800.783.7257 x174 www.sarisparking.com

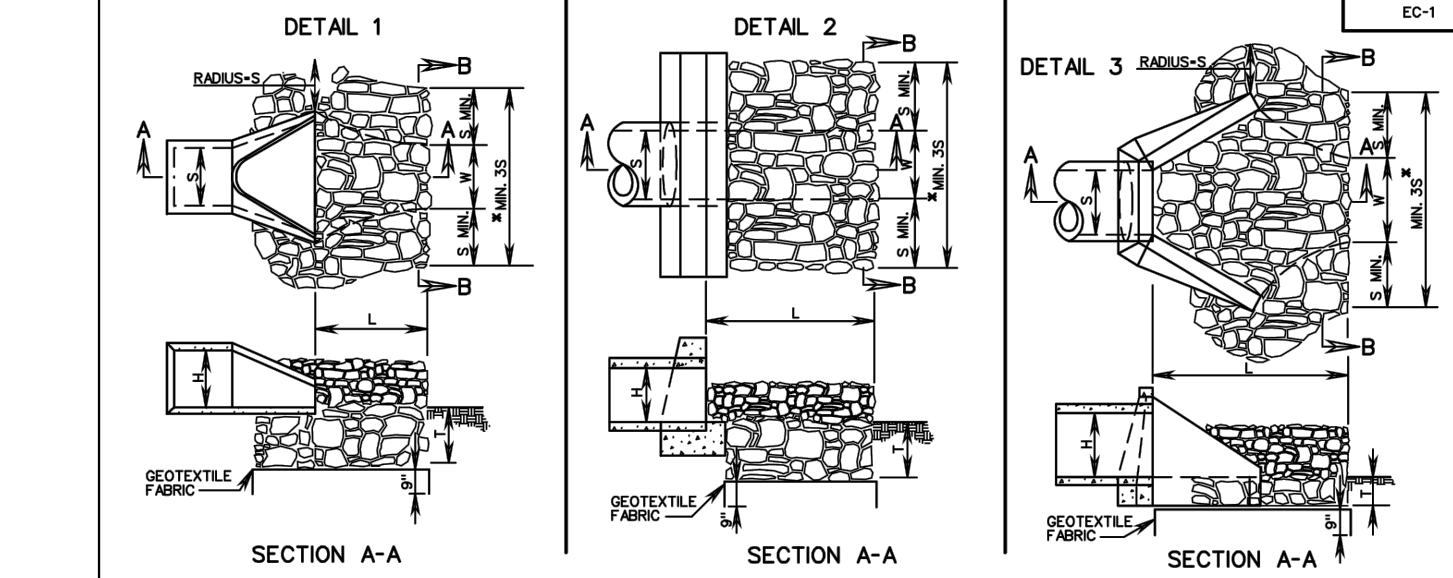
DURA BIKE RACKS
 A DIVISION OF HANNAN SPECIALTIES INC.
 Made in the USA

DIMENSION SHEET FOR MODEL: OMEGA-SQ-2-IG-P(G, or S)
 (Square Tube Circular Style Bicycle Rack)



- Mount Options:**
 Surface Flange (SF) In Ground (IG)
- Finish:**
 Powder Coat (P) Hot-Dip Galvanized (G)
 Stainless Steel (S)
- Powder Coat Color:** Anti-Graffiti Clear Coat Black Silver Gray Emerald Green Heat White Mesa Tan Celestial Blue Graphite Fire Engine Red
- Rack Options:**
 Lean Bar (LB) Lean Bar with Security Cables (SC)

www.durabikelocker.com
 3790 BRADVIEW DR. - SACRAMENTO, CA 95827
 (916) 363-7225 - (800) 722-BIKE (2453)

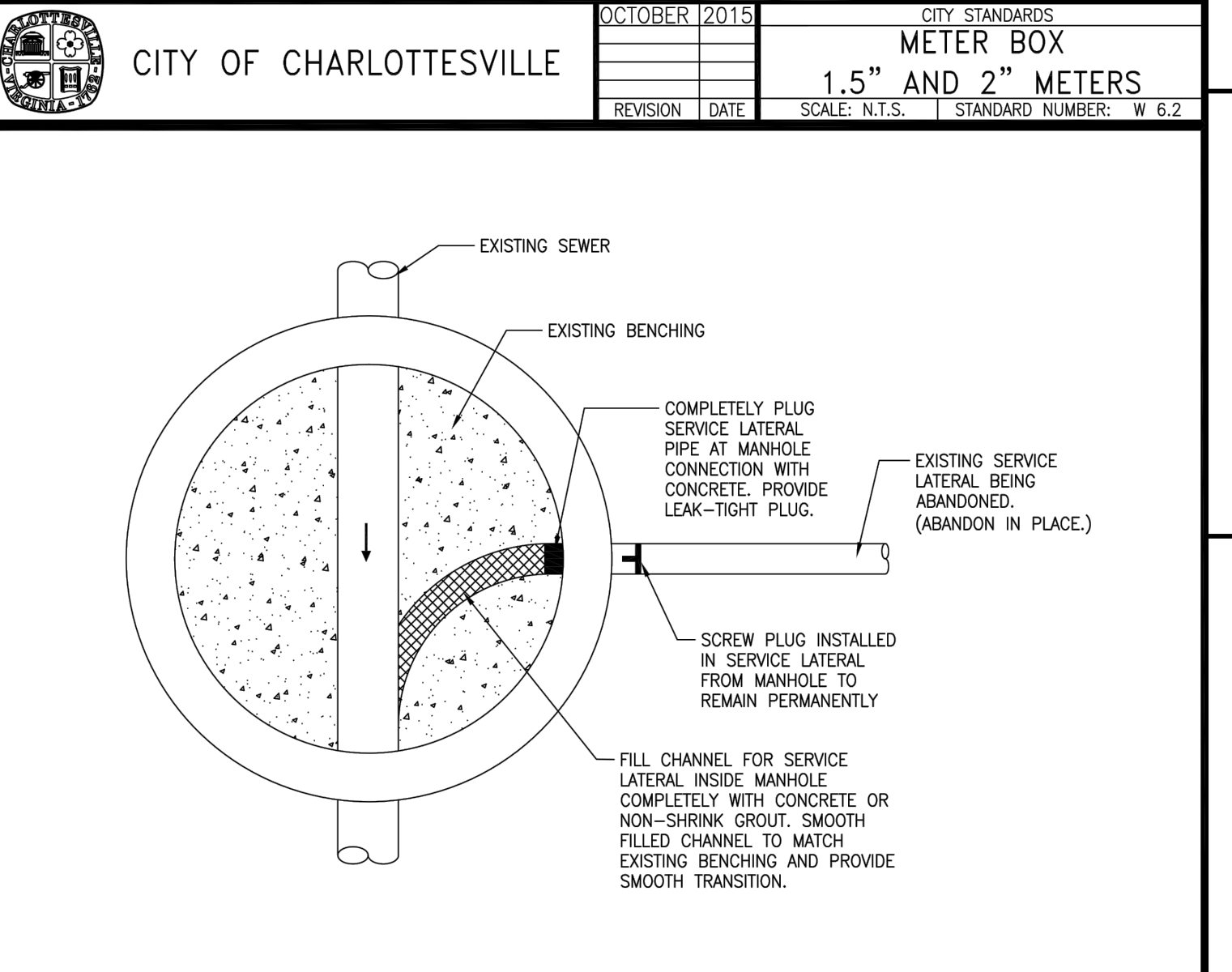
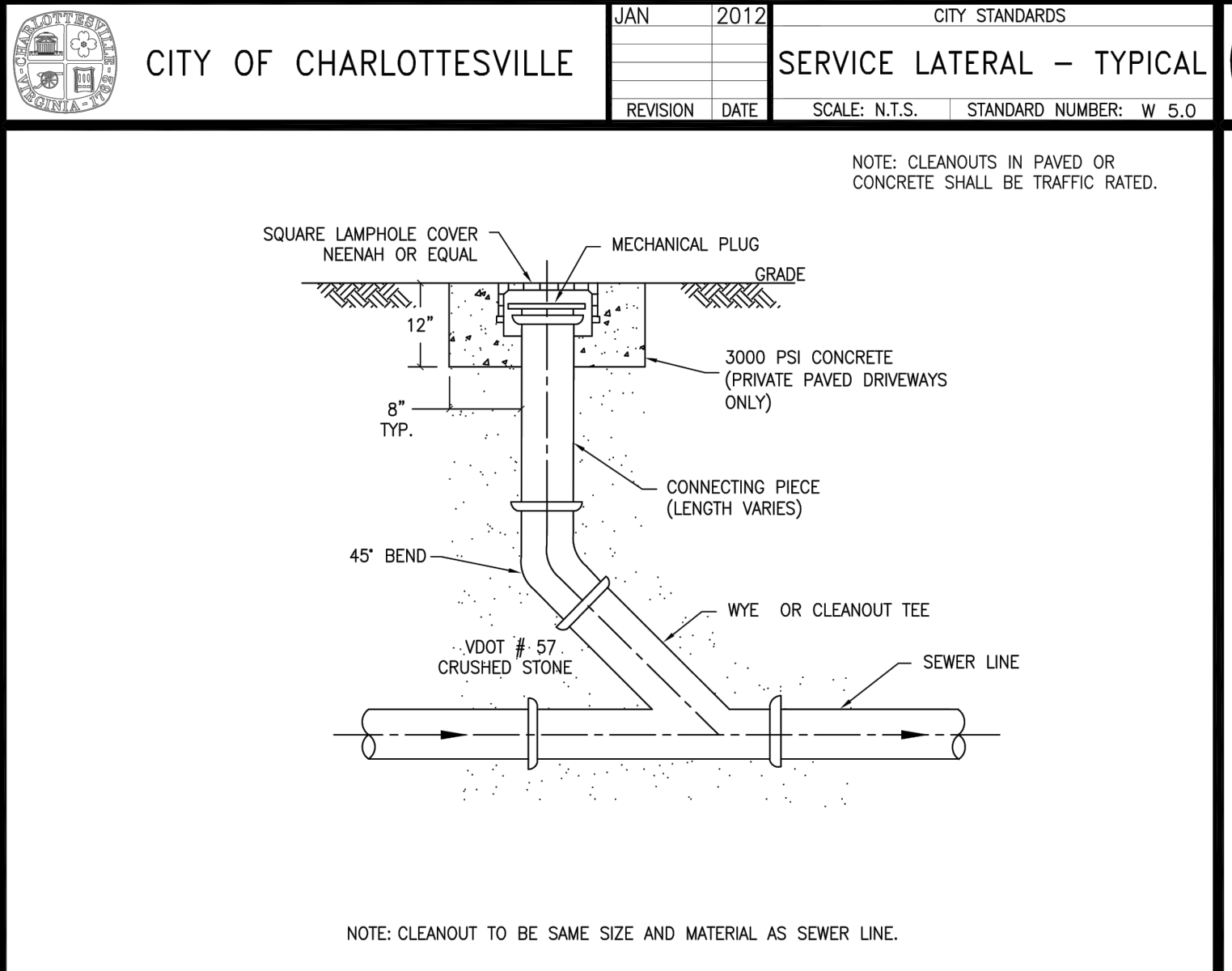
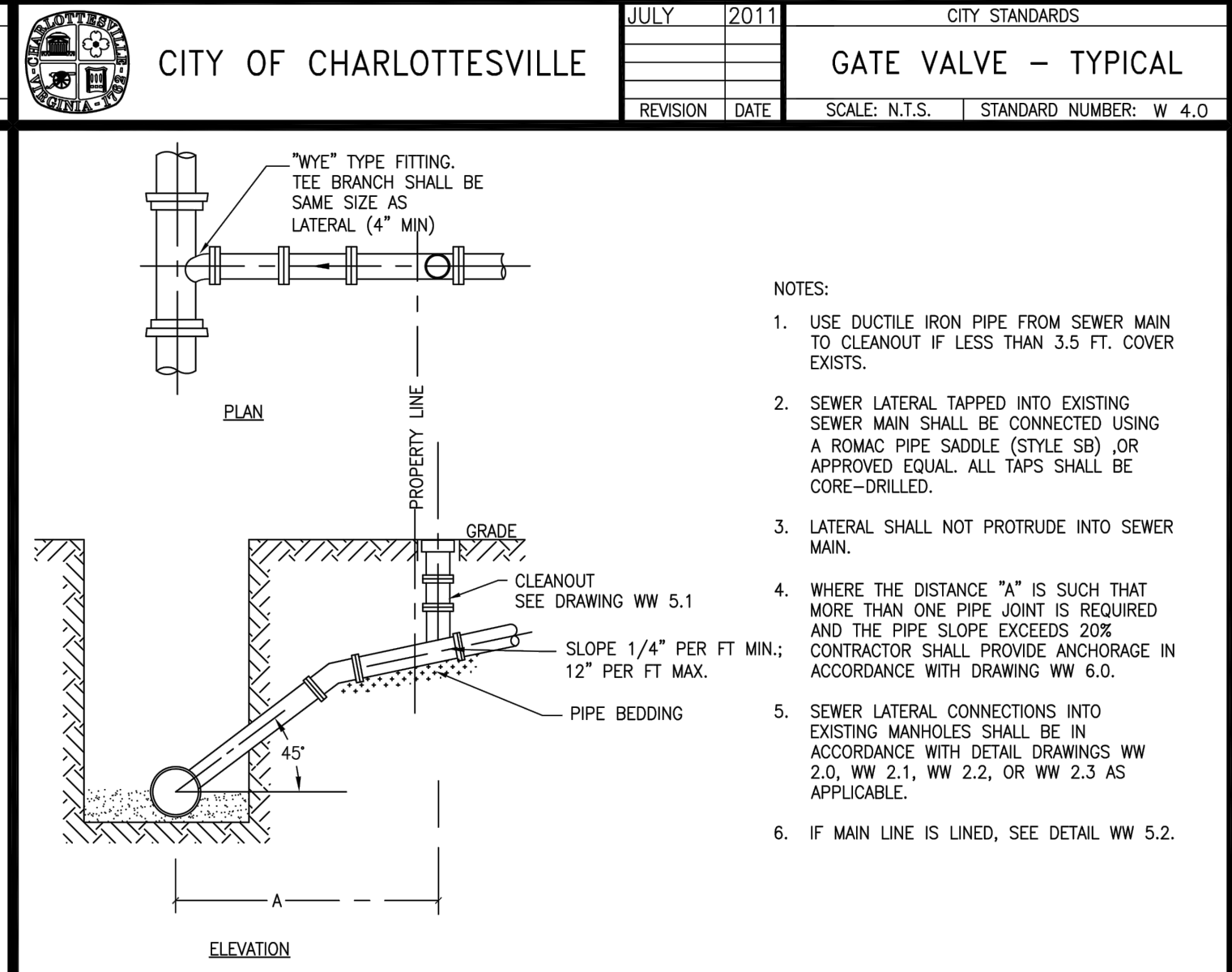
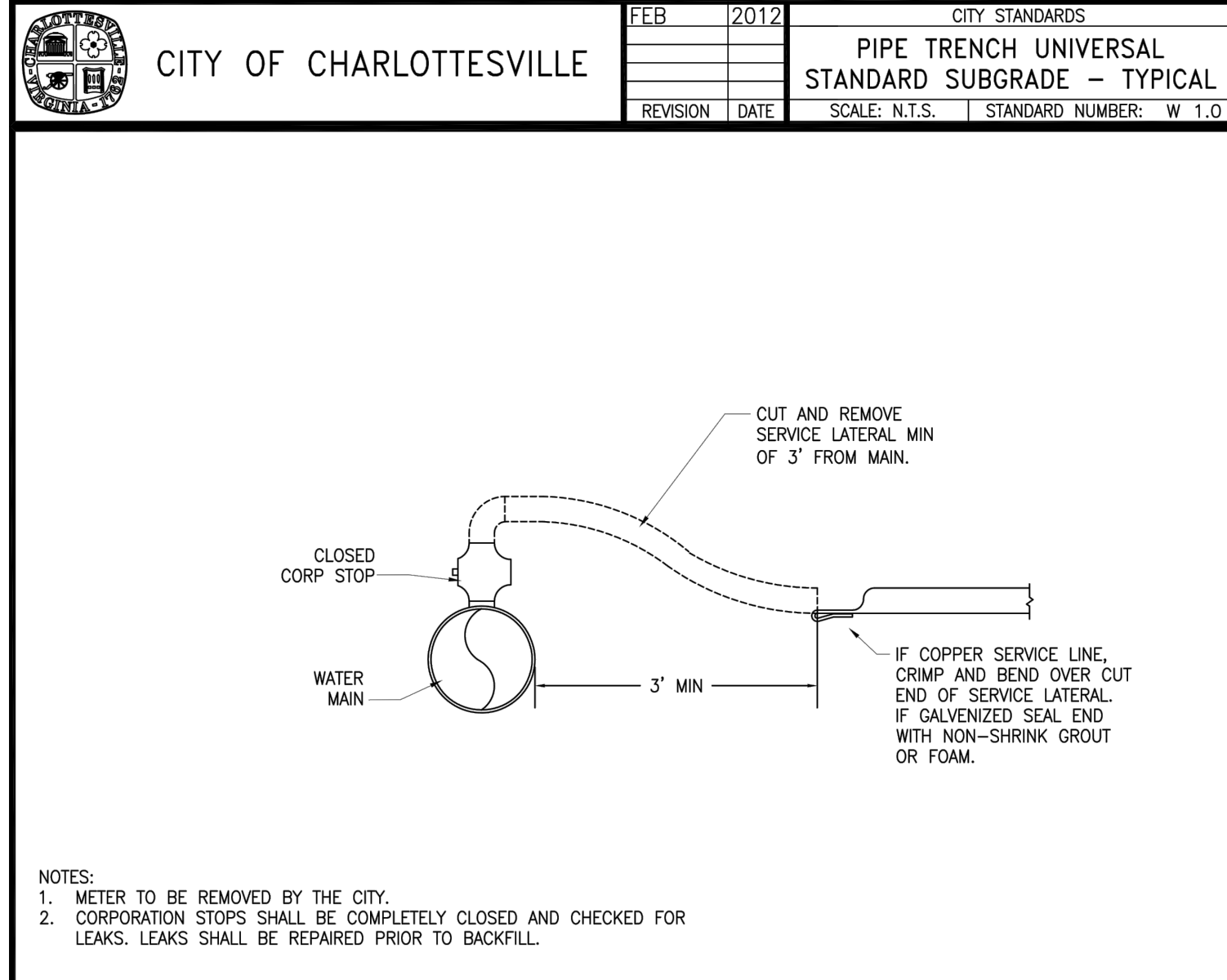
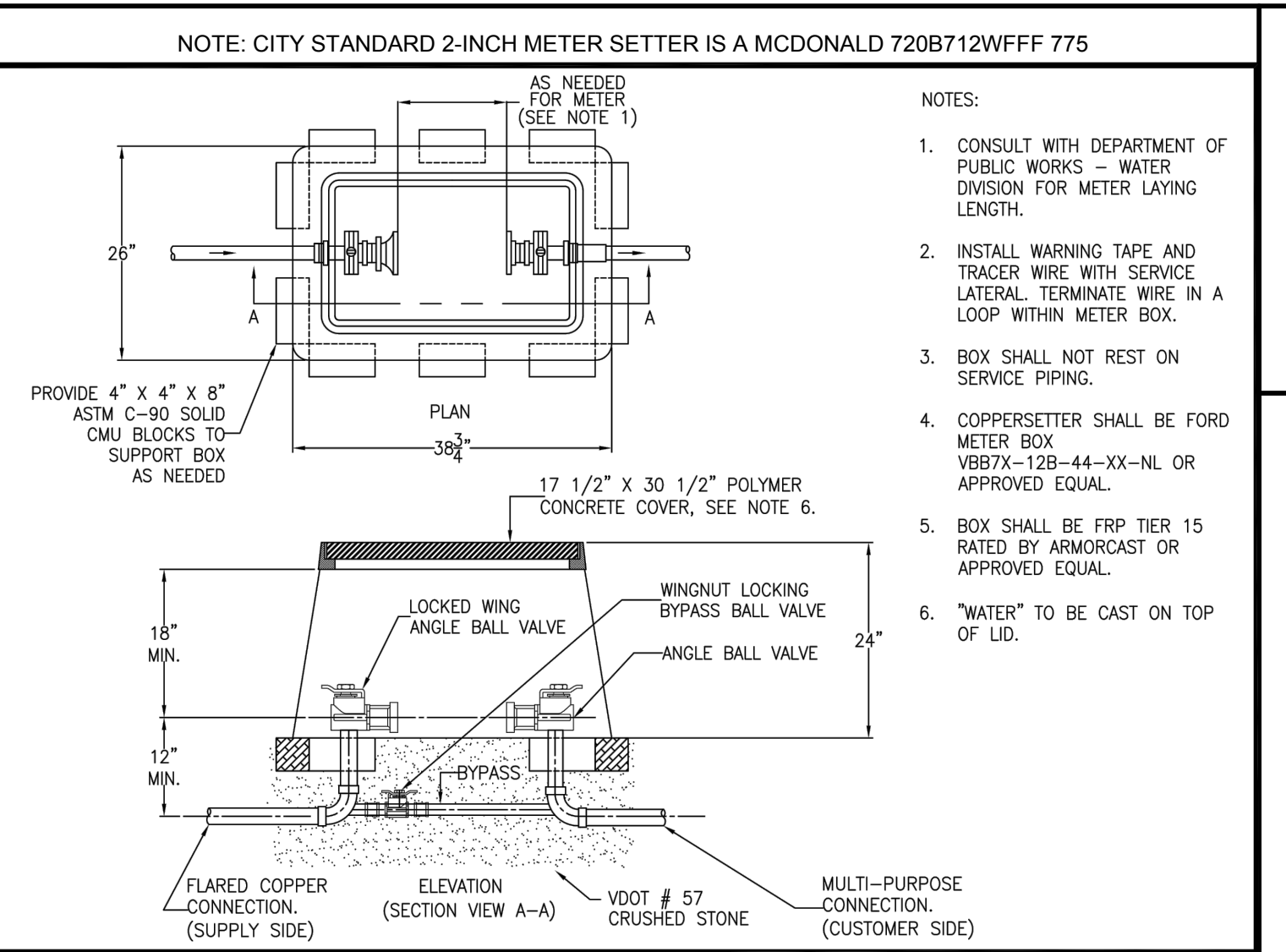
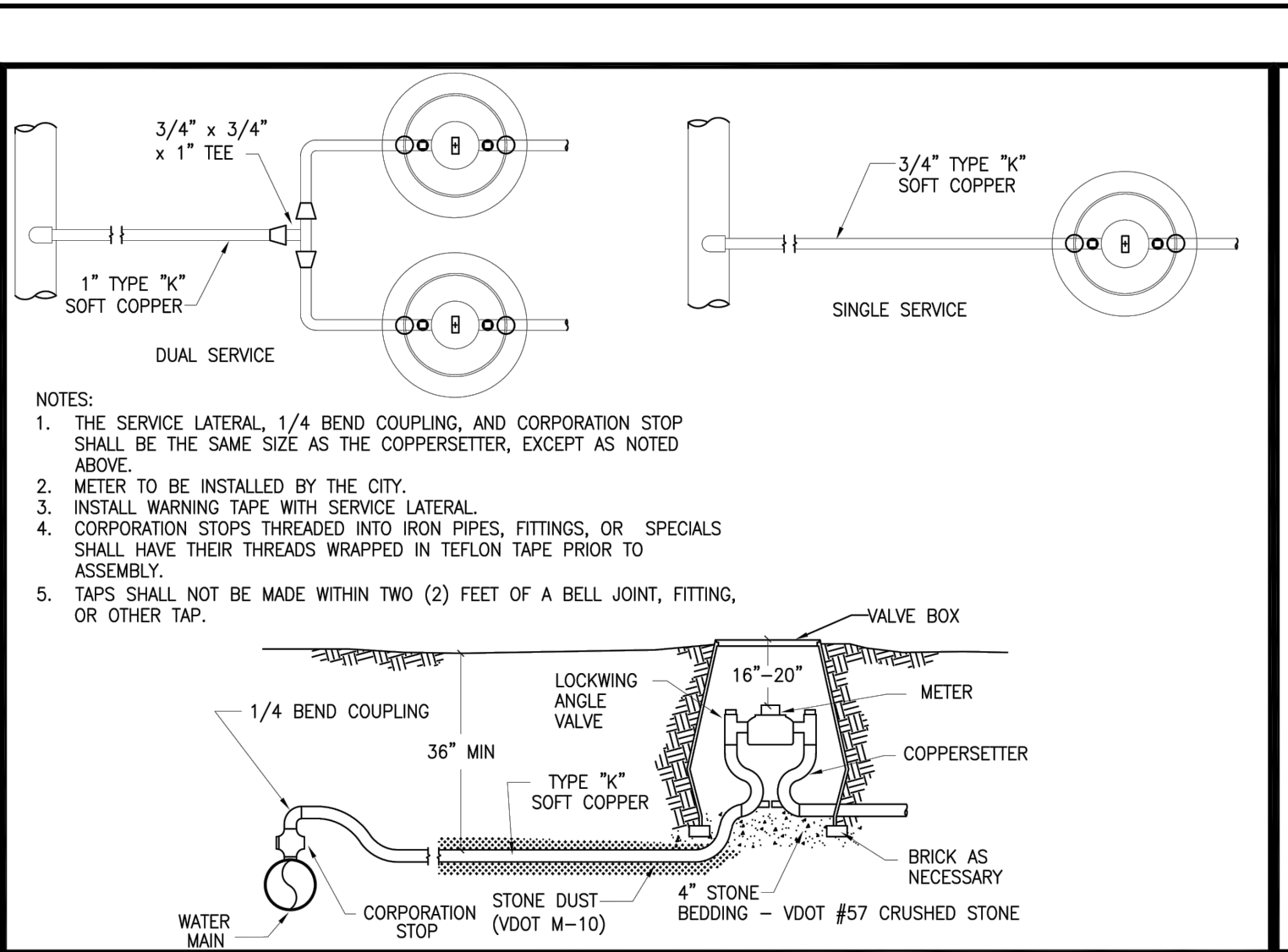
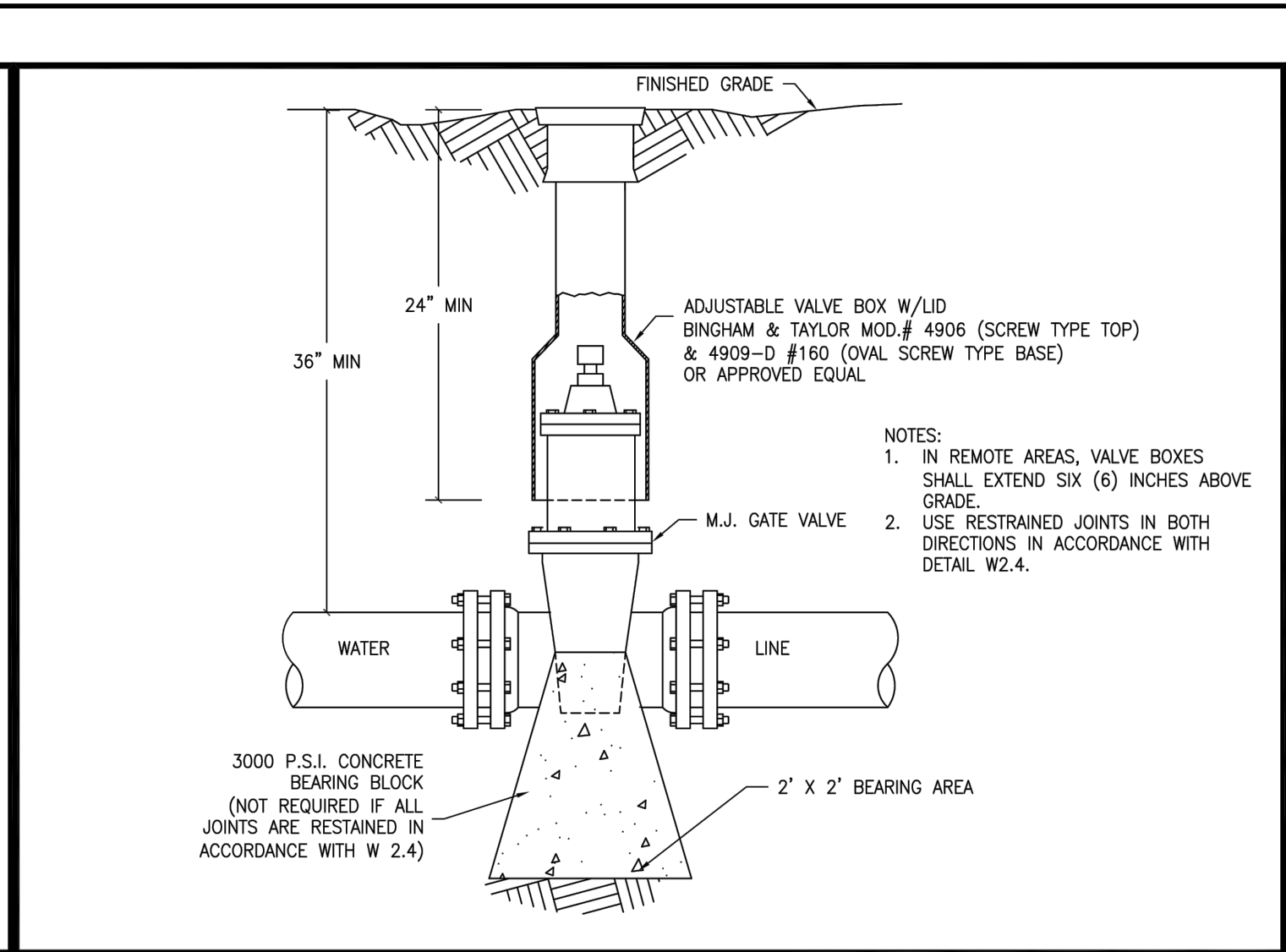
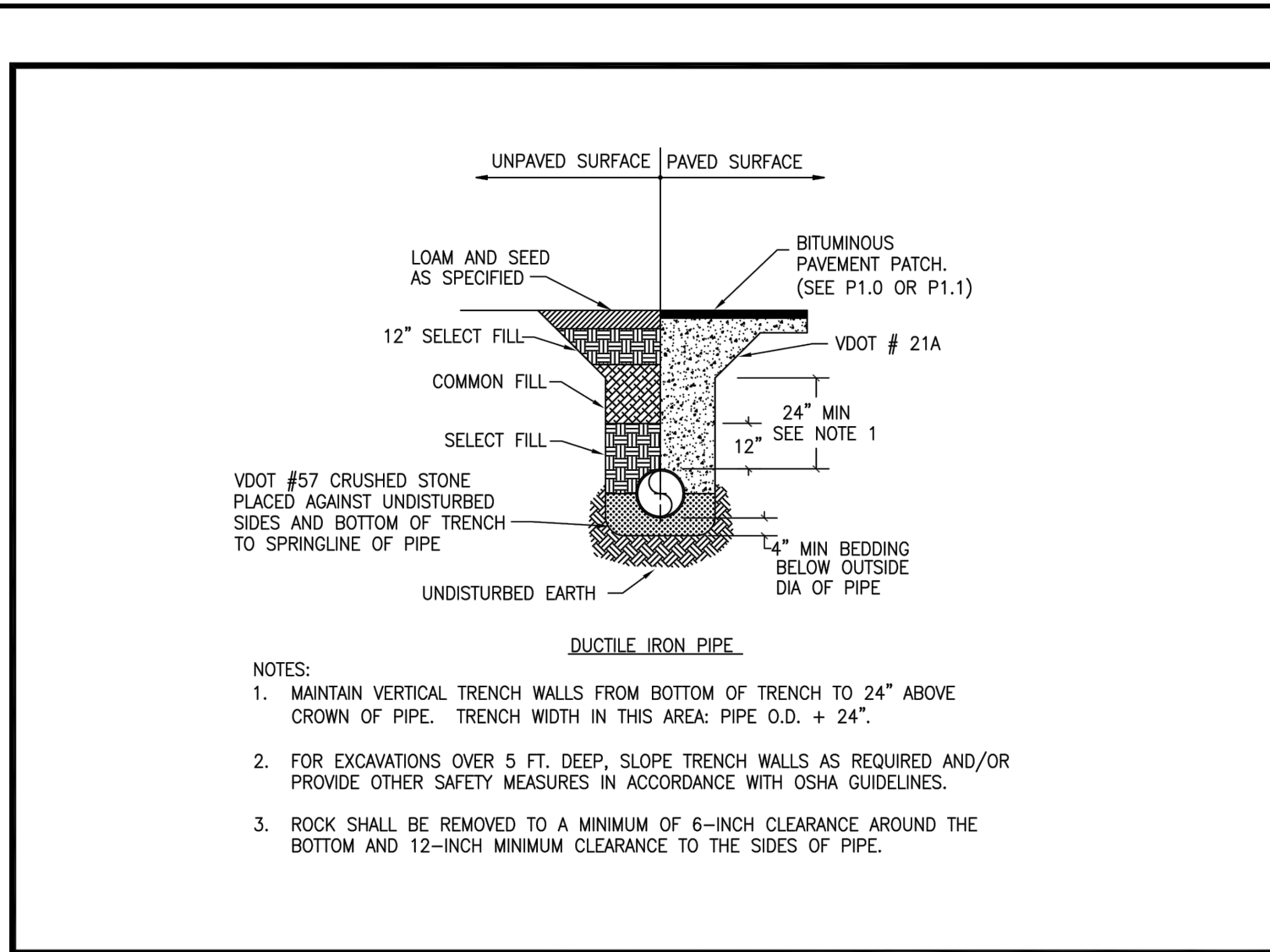


TYPE OF OUTLET PROTECTION MATERIAL	MAXIMUM OUTLET VELOCITY (FOR DESIGN STORM)	MINIMUM "T" (INCHES)
CLASS A1 CLASS A DRY RR/PAP	8 fpm	18
CLASS I CLASS I DRY RR/PAP	14 fpm	24
CLASS II CLASS II DRY RR/PAP	18 fpm	36

OUTLET PROTECTION MINIMUM LENGTH (L)	
TYPE A INSTALLATION	3H
TYPE B INSTALLATION	5H

CULVERT OUTLET PROTECTION
 VIRGINIA DEPARTMENT OF TRANSPORTATION

ROAD AND BRIDGE STANDARDS
 REVISION DATE SHEET 1 OF 1
 10.01



CITY OF CHARLOTTEVILLE Water Customer Data Sheet

Fixture	Fixture Value @ 2 psi	No. of Fixtures	Fixture Value
Bathroom	8	x	88
Bedpan Washers	10	x	
Bidet	2	x	
Dental Unit	2	x	
Drinking Fountain - Public	2	x	4
Kitchen Sink	2.2	x	44
Lavatory	1.5	x	30
Showershed (Shower City)	2.5	x	12.5
Service Sink	4	x	12
Toilet - Flush Valve	35	x	
Toilet - Tank Type	4	x	340
Urinal - Pedestal Flush Valve	35	x	
Urinal - Wall Flush Valve	16	x	
Wash Sink (Each Set of Faucets)	4	x	
Dishwasher	2	x	30
Washing Machine	6	x	270
Hose (50 ft Wash Down) - 1/2 in.	5	x	20
Hose (50 ft Wash Down) - 3/4 in.	9	x	
Hose (50 ft Wash Down) - 1 in.	12	x	
Combined Fixture Value Total			1183

Customer Peak Demand From Fig. 4-2 or 4-3 x Press. Factor = 697.02 gpm
 Add Irrigation = _____ Sections x 1.16 or 0.40 = _____ gpm
 Add Fixed Load = _____ Hose Bids x Fixture Value x _____ Press. Factor = _____ gpm
TOTAL FIXED DEMAND = _____ gpm
 * 100 ft pipe = 1 section
 * Spring Systems Use 1.50; Rotary Systems Use 0.40

Figure 4-5 Water customer data sheet

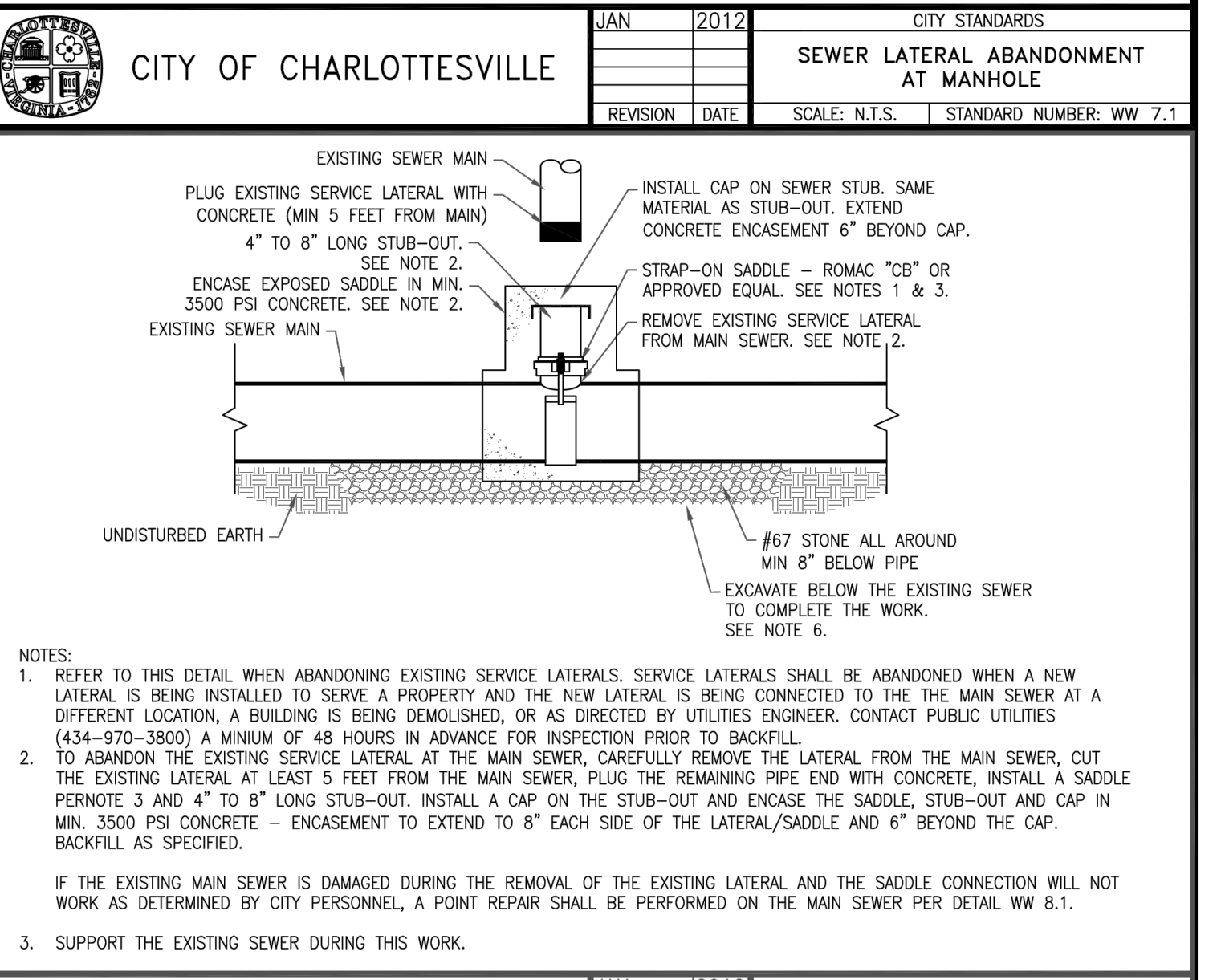
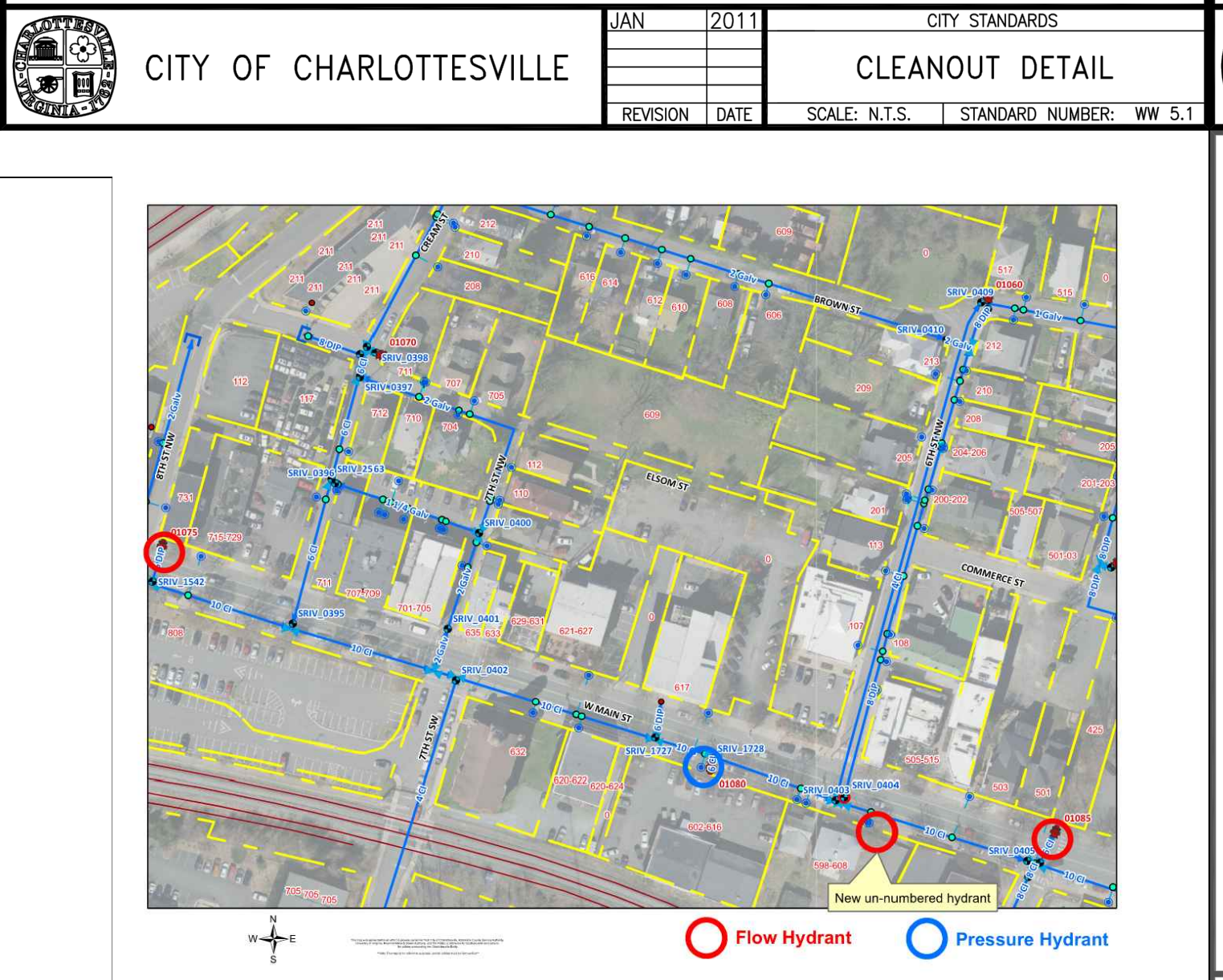
Fire Hydrant Test Report

Location: 818 West Main St
 Date of Test: 03-25-2020
 Time: 13:23 pm
 Performed by: (list all) 03-25-2020 A Pullano, F Shifflett, John Scott, Buddy Dodson, Chris Vothwinkel

Hydrant ID	Location	Pipe Size	Nozzle Size	Pressure Static	Pressure Res.	Flow (gpm)	Duration (min:sec)
Residual Hydrant:	01080 616 W Main St	10	2.5	68	50		
Flow Hydrant #1	XXXX 600 W Main St - New un-numbered hydrant	10	2.5			872	5.00
Flow Hydrant #2	01085 425 W Main St	10	2.5			852	15.00
Flow Hydrant #3	01075 Intersection of W Main St and 8th St NW	10	2.5			1130	15.00
Flow Hydrant #4							
Flow Hydrant #5							

Special Instructions: _____

Please attach GIS map with all hydrant locations shown and labeled.



FIRE FLOW CALCULATION - HYDRANT #3

$Q_h = Q_r (H_r/H_s)^{0.55}$
 WHERE:
 Q_h = RATED CAPACITY AT 20 PSI (GPM)
 Q_r = TOTAL TEST FLOW (GPM)
 H_r = STATIC PRESSURE MINUS 20 PSI (PSI)
 H_s = STATIC PRESSURE MINUS RESIDUAL PRESSURE (PSI)

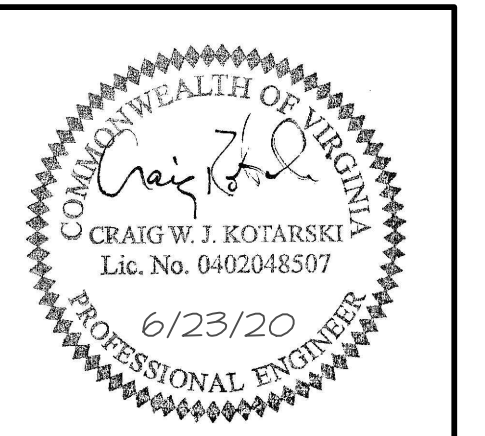
$Q_h = 1130 \text{ GPM} * ((68 \text{ PSI} - 20 \text{ PSI}) / (68 \text{ PSI} - 50 \text{ PSI}))^{0.55}$
 $Q_h = 1,919 \text{ GPM}$

FIRE HYDRANT TEST RESULTS
 No Scale

CITY OF CHARLOTTEVILLE
SEWER LATERAL ABANDONMENT AT MAIN
 SCALE: N.T.S. STANDARD NUMBER: WW 7.2

CITY OF CHARLOTTEVILLE
SEWER LATERAL ABANDONMENT AT MANHOLE
 SCALE: N.T.S. STANDARD NUMBER: WW 7.1

CITY OF CHARLOTTEVILLE
SEWER LATERAL ABANDONMENT AT MAIN
 SCALE: N.T.S. STANDARD NUMBER: WW 7.2



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PRELIMINARY SITE PLAN

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REVISION	DATE	DESCRIPTION
1	4/22/20	REVISED PER CITY COMMENTS
2	6/23/20	REVISED PER CITY COMMENTS

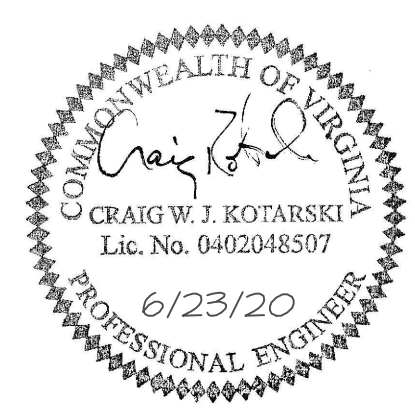
DATE: 2/26/2020
 DRAWN BY: A. FONTAINE
 DESIGNED BY: A. ALLISON
 CHECKED BY: C. KOTARSKI
 SCALE: N/A

TIMMONS GROUP

612 WEST MAIN STREET
 CITY OF CHARLOTTEVILLE, VA

NOTES & DETAILS

JOB NO. 43751
 SHEET NO. C1.2



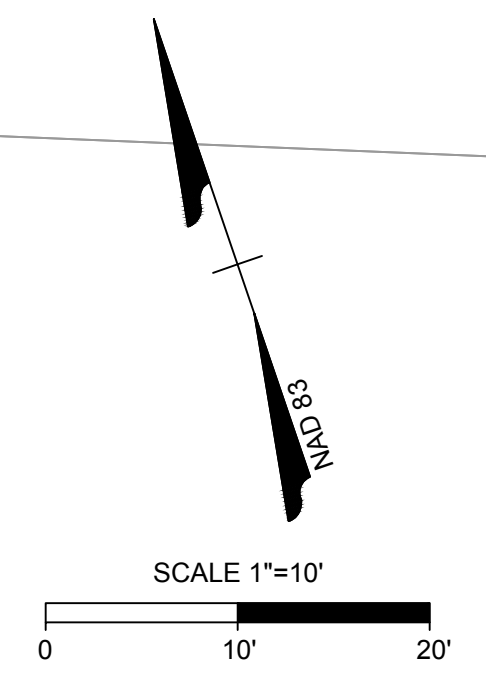
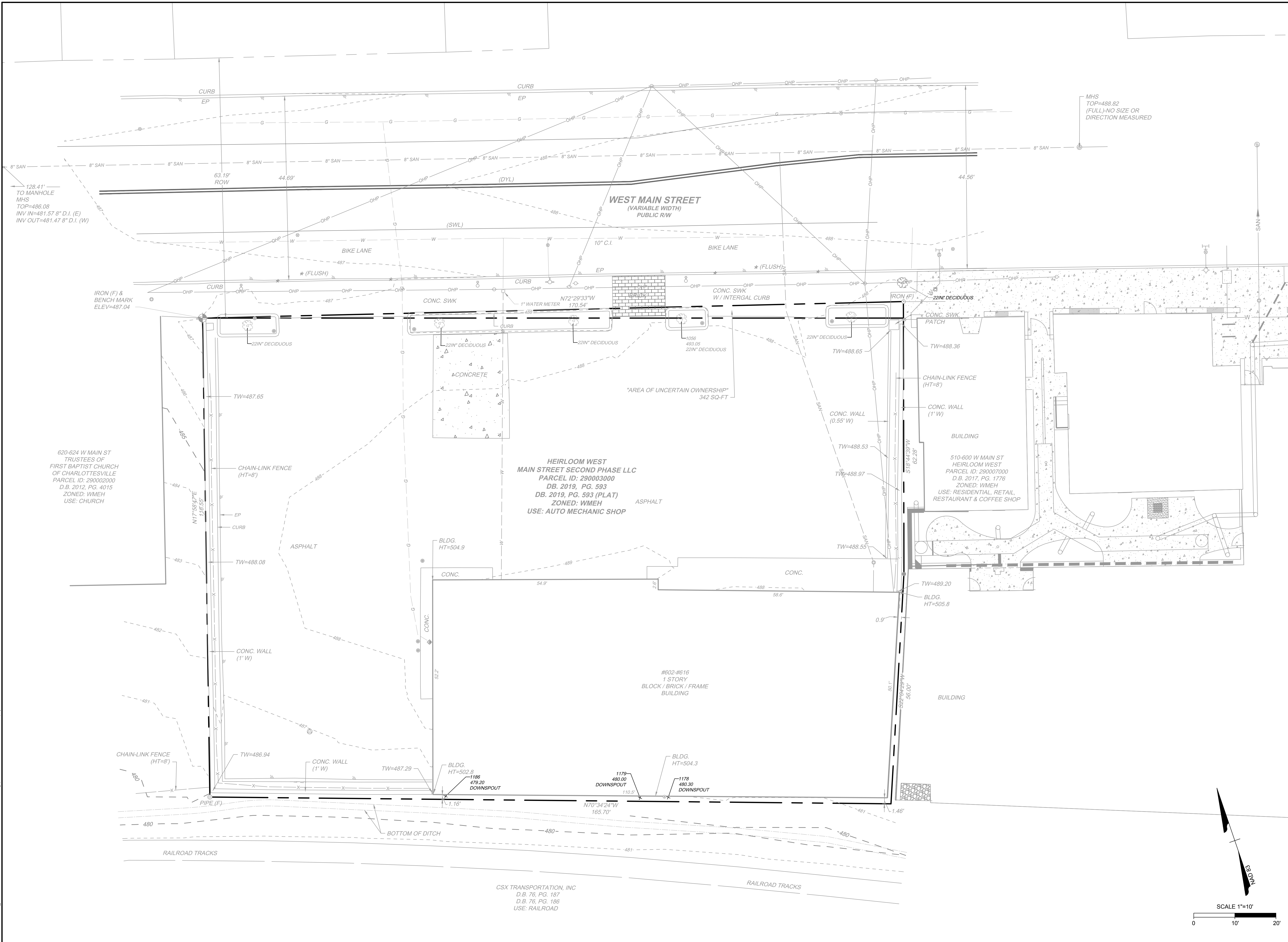
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 TEL: 541.232.9562 | FAX: 541.232.9517 | www.timmons.com

**PRELIMINARY
 SITE PLAN**

DATE: 2/26/2020
 DRAWN BY: A. FONTAINE
 DESIGNED BY: A. ALLISON
 CHECKED BY: C. KOTARSKI
 SCALE: 1"=10'

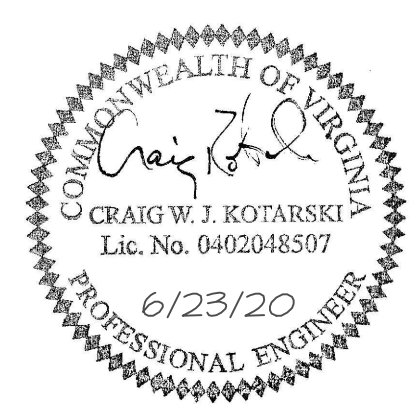
612 WEST MAIN STREET
 CITY OF CHARLOTTEVILLE, VA
 EXISTING CONDITIONS

JOB NO. 43751
 SHEET NO. C2.0



S:\10343751-612_WMSHOWS\Sheets\C2.0 EXISTING CONDITIONS.dwg | Printed on 6/22/2020 10:44 AM | by Anna Fontaine

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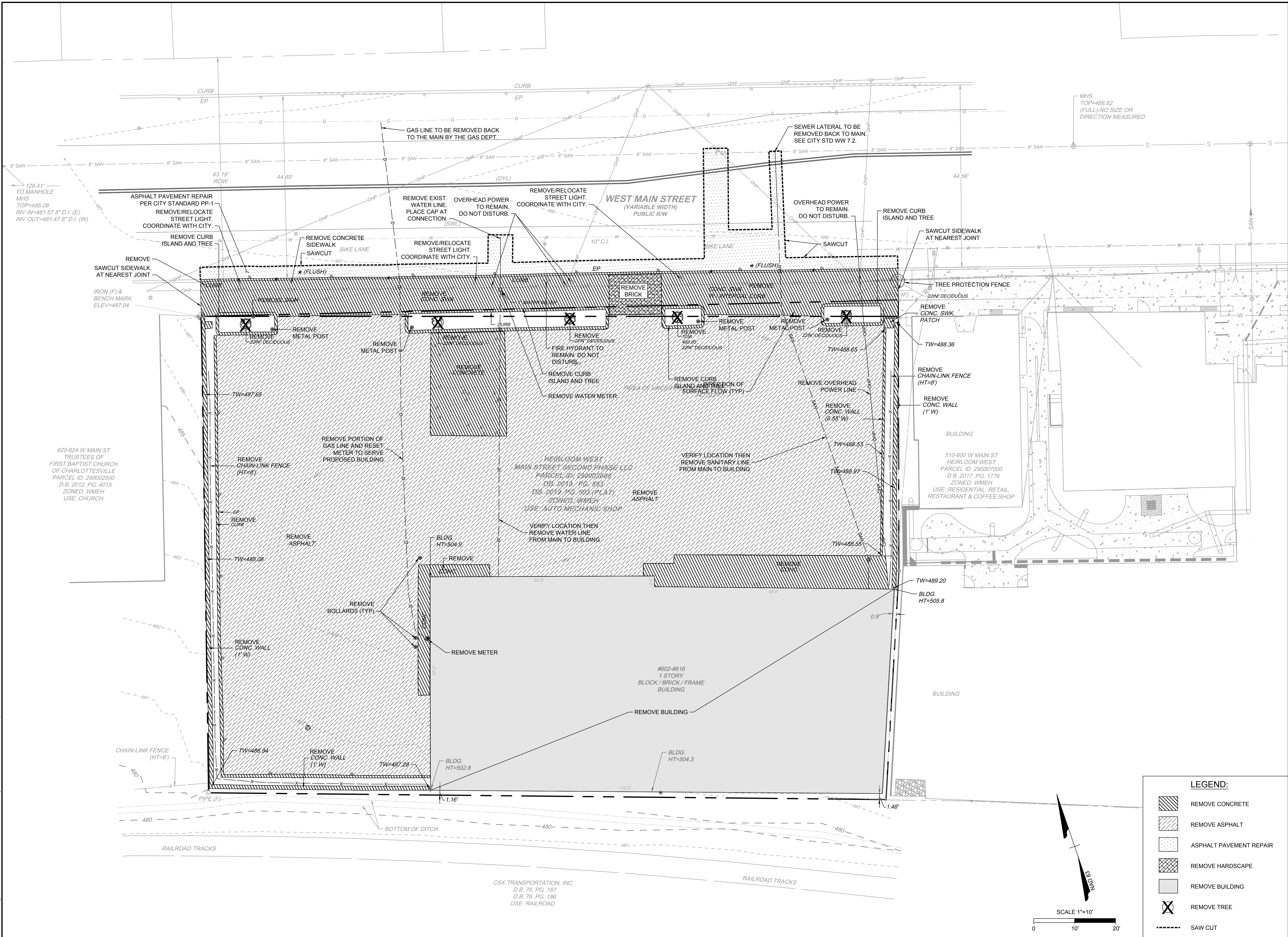
TIMMONS GROUP

**612 WEST MAIN STREET
 CITY OF CHARLOTTEVILLE, VA
 DEMOLITION PLAN**

DATE	REVISION DESCRIPTION
4/22/20	REVISED PER CITY COMMENTS
6/23/20	REVISED PER CITY COMMENTS

DATE	2/26/2020
DRAWN BY	A. FONTAINE
DESIGNED BY	A. ALLISON
CHECKED BY	C. KOTARSKI
SCALE	1"=10'

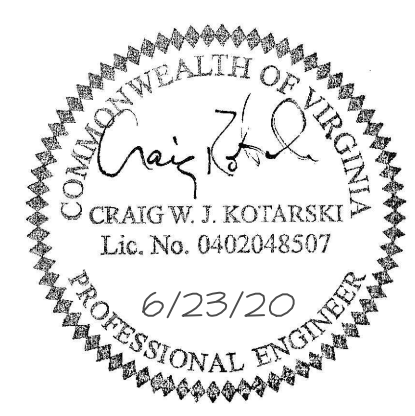
JOB NO.	43751
SHEET NO.	C2.1



S:\10343751-612_WMSWGS\Sheets\C2.1 DEMOLITION PLAN.dwg | Plotted on 6/23/2020 10:46 AM | by Anna Fontaine

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 D.B. 76, PG. 186
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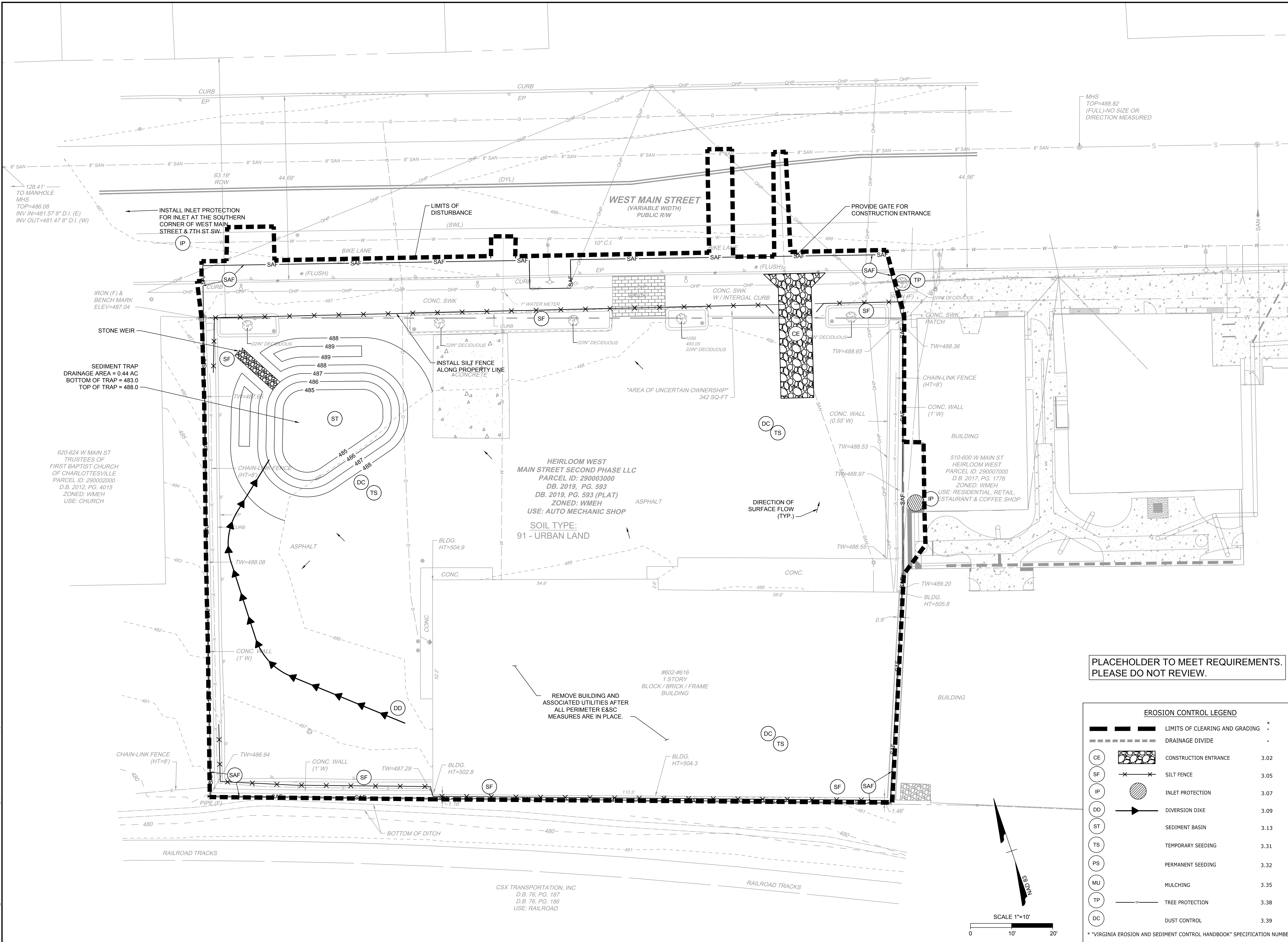
**PRELIMINARY
 SITE PLAN**

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TIMMONS GROUP

612 WEST MAIN STREET
 CITY OF CHARLOTTEVILLE, VA
EROSION & SEDIMENT CONTROL - PHASE I

JOB NO.
43751
 SHEET NO.
C3.1



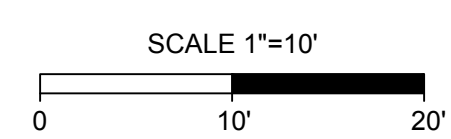
PLACEHOLDER TO MEET REQUIREMENTS.
 PLEASE DO NOT REVIEW.

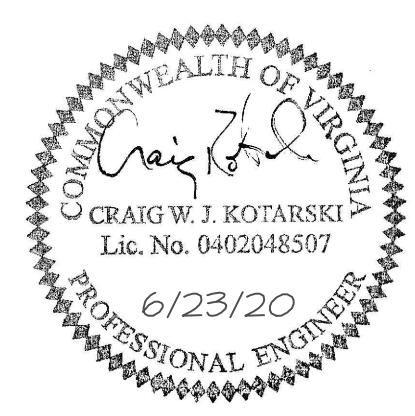
EROSION CONTROL LEGEND		
---	LIMITS OF CLEARING AND GRADING	*
- - -	DRAINAGE DIVIDE	-
CE	CONSTRUCTION ENTRANCE	3.02
SF	SILT FENCE	3.05
IP	INLET PROTECTION	3.07
DD	DIVERSION DIKE	3.09
ST	SEDIMENT BASIN	3.13
TS	TEMPORARY SEEDING	3.31
PS	PERMANENT SEEDING	3.32
MU	MULCHING	3.35
TP	TREE PROTECTION	3.38
DC	DUST CONTROL	3.39

* "VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK" SPECIFICATION NUMBER

S:\10343751-612_WMSHOWS\Sheets\C3.1 E&S - PHASE I.dwg | Plotted on 6/23/2020 10:49 AM | by Anna Fontaine

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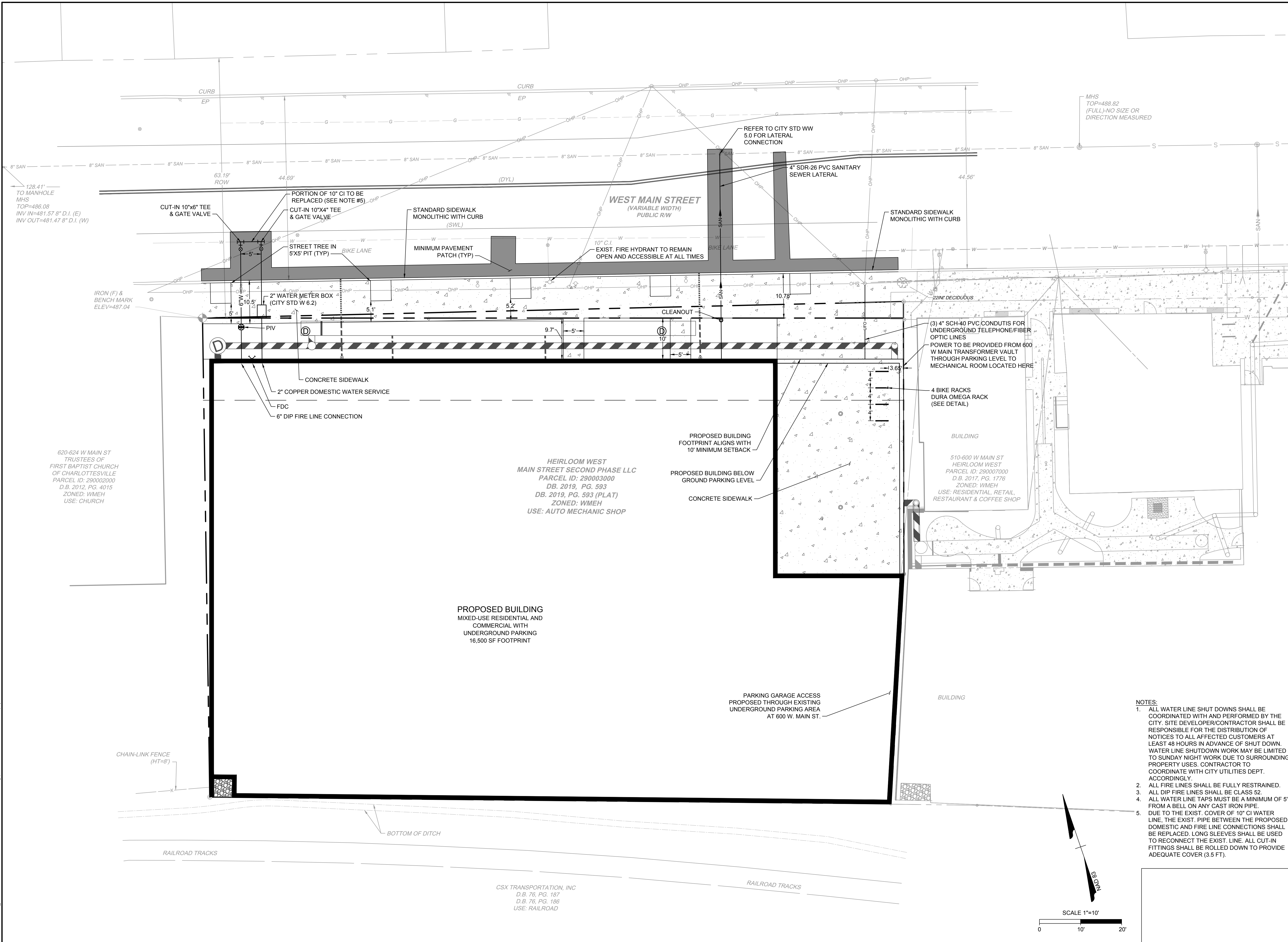
**PRELIMINARY
 SITE PLAN**

YOUR VISION ACHIEVED THROUGH OURS.

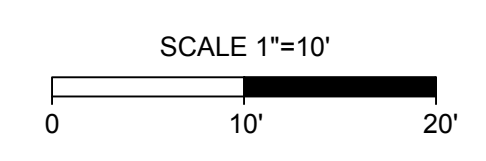
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**612 WEST MAIN STREET
 CITY OF CHARLOTTEVILLE, VA
 LAYOUT & UTILITIES PLAN**

JOB NO.
43751
 SHEET NO.
C-4.0



- NOTES:**
1. ALL WATER LINE SHUT DOWNS SHALL BE COORDINATED WITH AND PERFORMED BY THE CITY. SITE DEVELOPER/CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF NOTICES TO ALL AFFECTED CUSTOMERS AT LEAST 48 HOURS IN ADVANCE OF SHUT DOWN. WATER LINE SHUTDOWN WORK MAY BE LIMITED TO SUNDAY NIGHT WORK DUE TO SURROUNDING PROPERTY USES. CONTRACTOR TO COORDINATE WITH CITY UTILITIES DEPT. ACCORDINGLY.
 2. ALL FIRE LINES SHALL BE FULLY RESTRAINED.
 3. ALL DIP FIRE LINES SHALL BE CLASS 52.
 4. ALL WATER LINE TAPS MUST BE A MINIMUM OF 5' FROM A BELL ON ANY CAST IRON PIPE. DUE TO THE EXIST. COVER OF 10" CI WATER LINE, THE EXIST. PIPE BETWEEN THE PROPOSED DOMESTIC AND FIRE LINE CONNECTIONS SHALL BE REPLACED. LONG SLEEVES SHALL BE USED TO RECONNECT THE EXIST. LINE. ALL CUT-IN FITTINGS SHALL BE ROLLED DOWN TO PROVIDE ADEQUATE COVER (3.5 FT).
 - 5.



128.41' TO MANHOLE MHS
 TOP=486.08
 INV IN=481.57 8" D.I. (E)
 INV OUT=481.47 8" D.I. (W)

620-624 W MAIN ST
 TRUSTEES OF
 FIRST BAPTIST CHURCH
 OF CHARLOTTEVILLE
 PARCEL ID: 290002000
 D.B. 2012, PG. 4015
 ZONED: WMEH
 USE: CHURCH

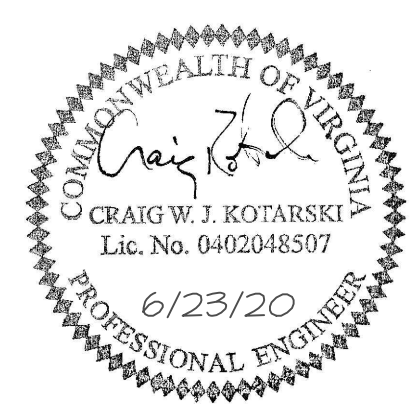
IRON (F) & BENCH MARK
 ELEV=487.04

HEIRLOOM WEST
 MAIN STREET SECOND PHASE LLC
 PARCEL ID: 290003000
 D.B. 2019, PG. 593
 D.B. 2019, PG. 593 (PLAT)
 ZONED: WMEH
 USE: AUTO MECHANIC SHOP

PROPOSED BUILDING
 MIXED-USE RESIDENTIAL AND
 COMMERCIAL WITH
 UNDERGROUND PARKING
 16,500 SF FOOTPRINT

CSX TRANSPORTATION, INC
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 USE: RAILROAD

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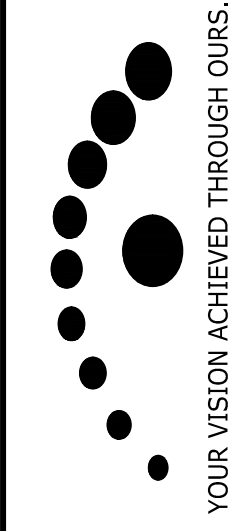


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**PRELIMINARY
 SITE PLAN**

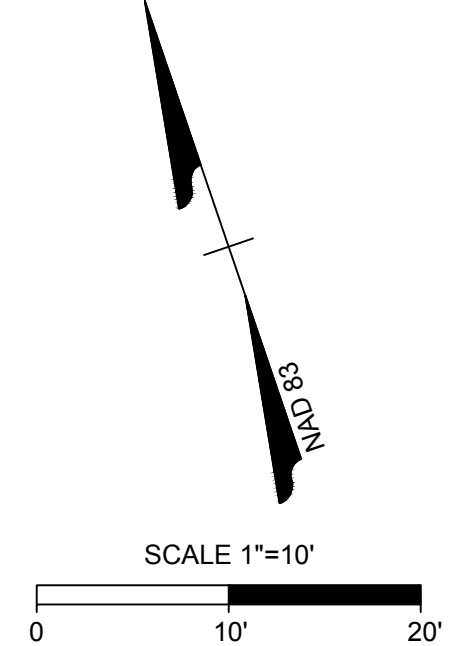
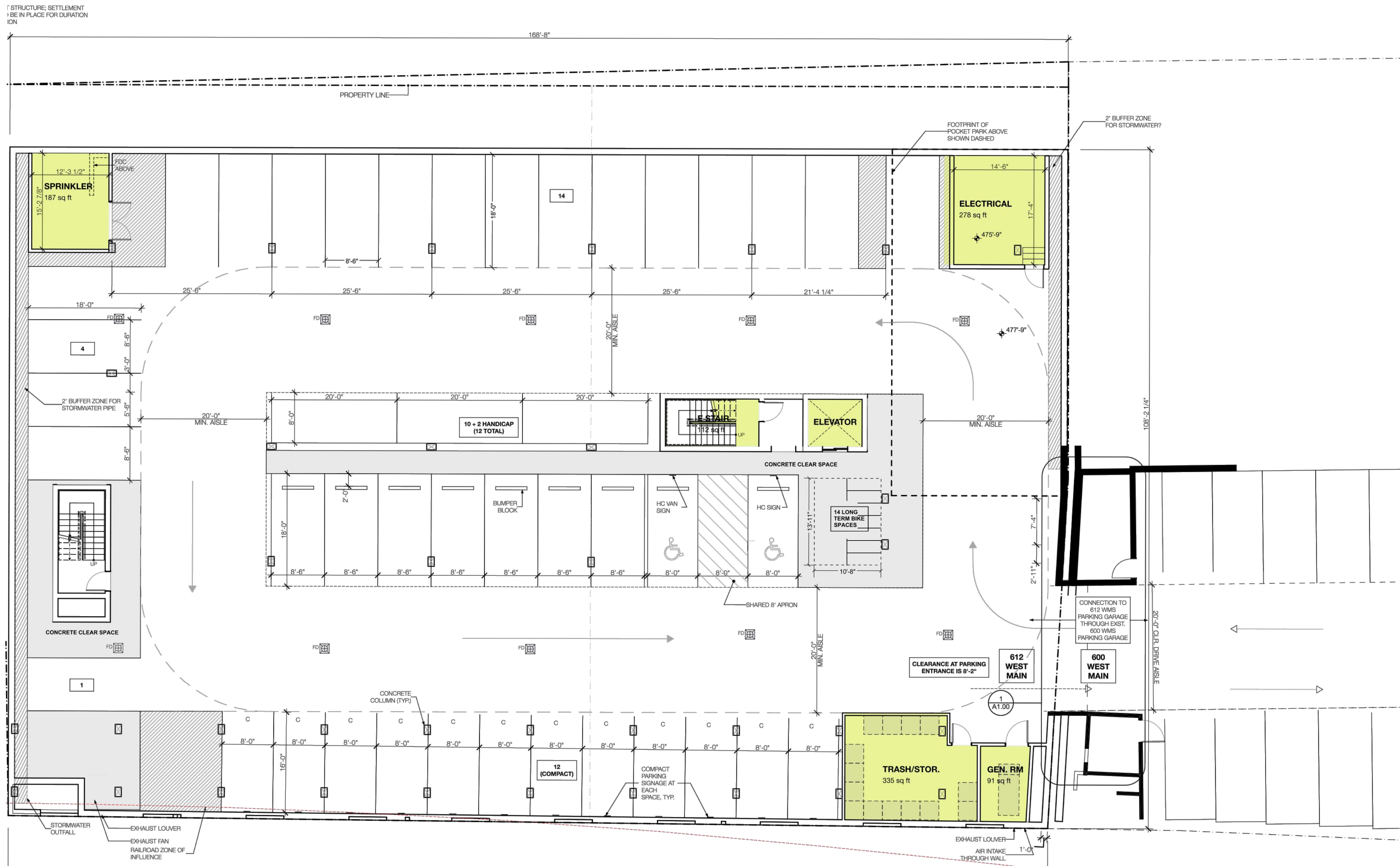
DATE	REVISION DESCRIPTION
4/22/20	REVISED PER CITY COMMENTS
6/23/20	REVISED PER CITY COMMENTS

DATE	DRAWN BY
2/26/2020	A. FONTAINE
	DESIGNED BY A. ALLISON
	CHECKED BY C. KOTARSKI
	SCALE 1" = 10'



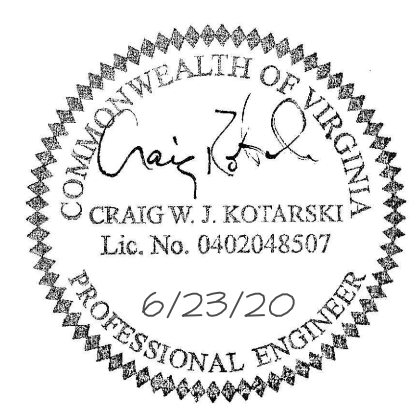
612 WEST MAIN STREET
 CITY OF CHARLOTTEVILLE, VA
PRELIMINARY PARKING LAYOUT

JOB NO.	43751
SHEET NO.	C4.1



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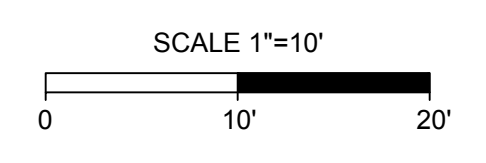
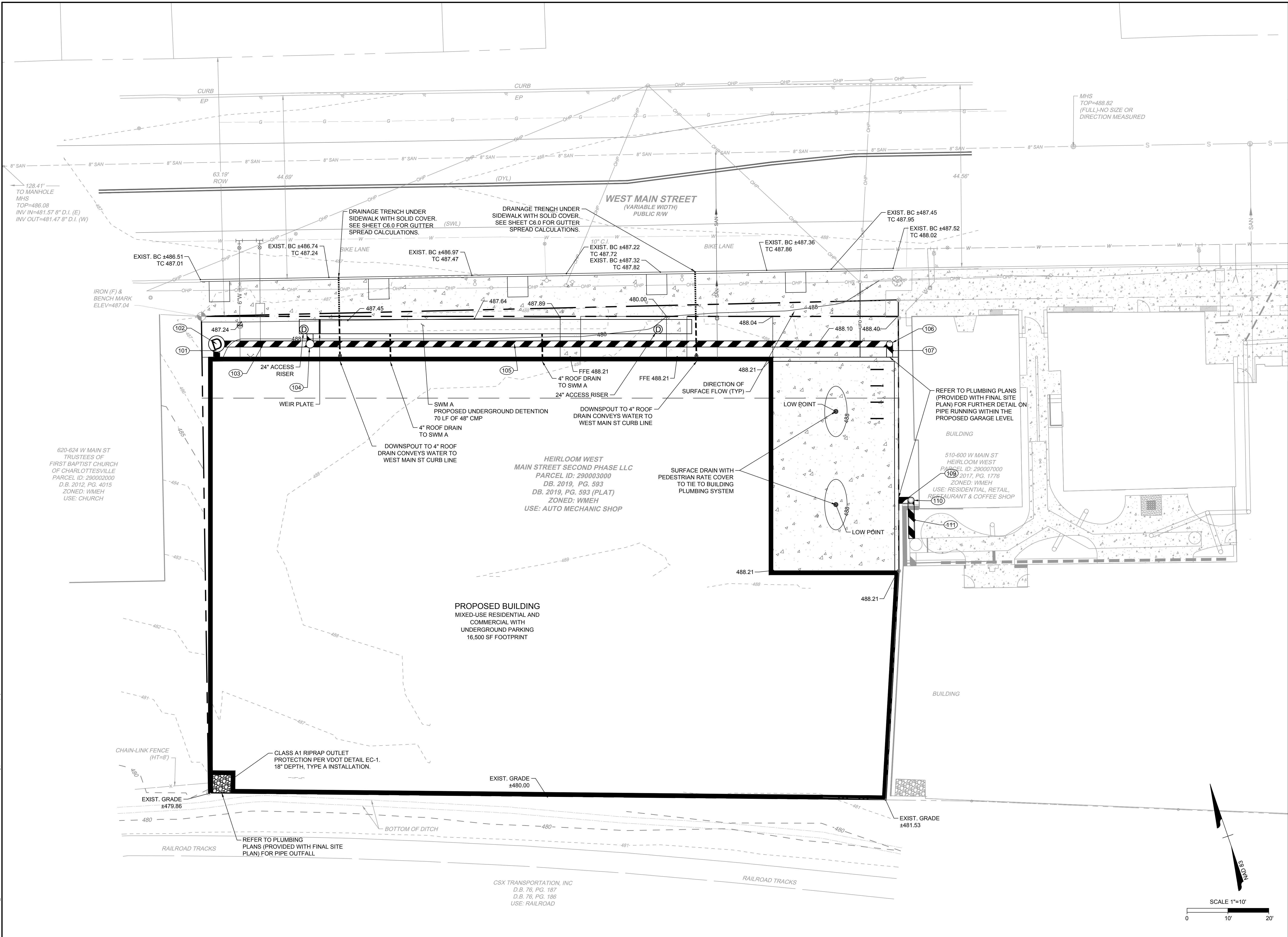
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**PRELIMINARY
 SITE PLAN**

YOUR VISION ACHIEVED THROUGH OURS.

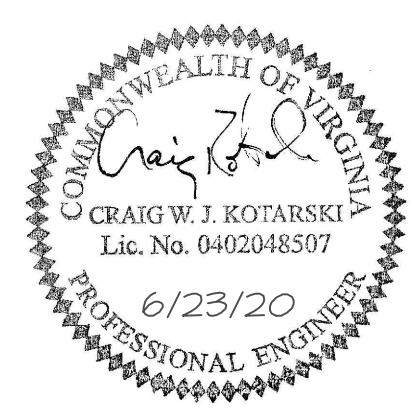
TIMMONS GROUP

DATE	4/22/20
REVISION DESCRIPTION	
REVISION PER CITY COMMENTS	
REVISION PER CITY COMMENTS	
DATE	2/26/2020
DRAWN BY	A. FONTAINE
DESIGNED BY	A. ALLISON
CHECKED BY	C. KOTARSKI
SCALE	1"=10'
JOB NO.	43751
SHEET NO.	C5.0



S:\10343751-612_WMS10WGS\Sheets\C5.0 GRADING & DRAINAGE PLAN.dwg | Plotted on 6/23/2020 10:54 AM | By Anna Fontaine

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 SITE PLAN**

DATE	REVISION DESCRIPTION
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6/23/20	REVISED PER CITY COMMENTS

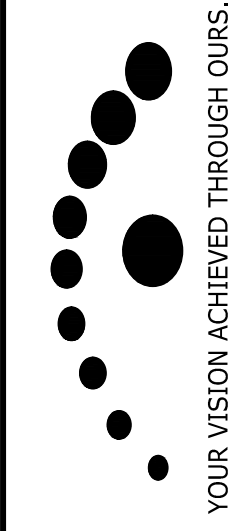
DATE
 2/26/2020

DRAWN BY
 A. FONTAINE

DESIGNED BY
 A. ALLISON

CHECKED BY
 C. KOTARSKI

SCALE
 AS SHOWN

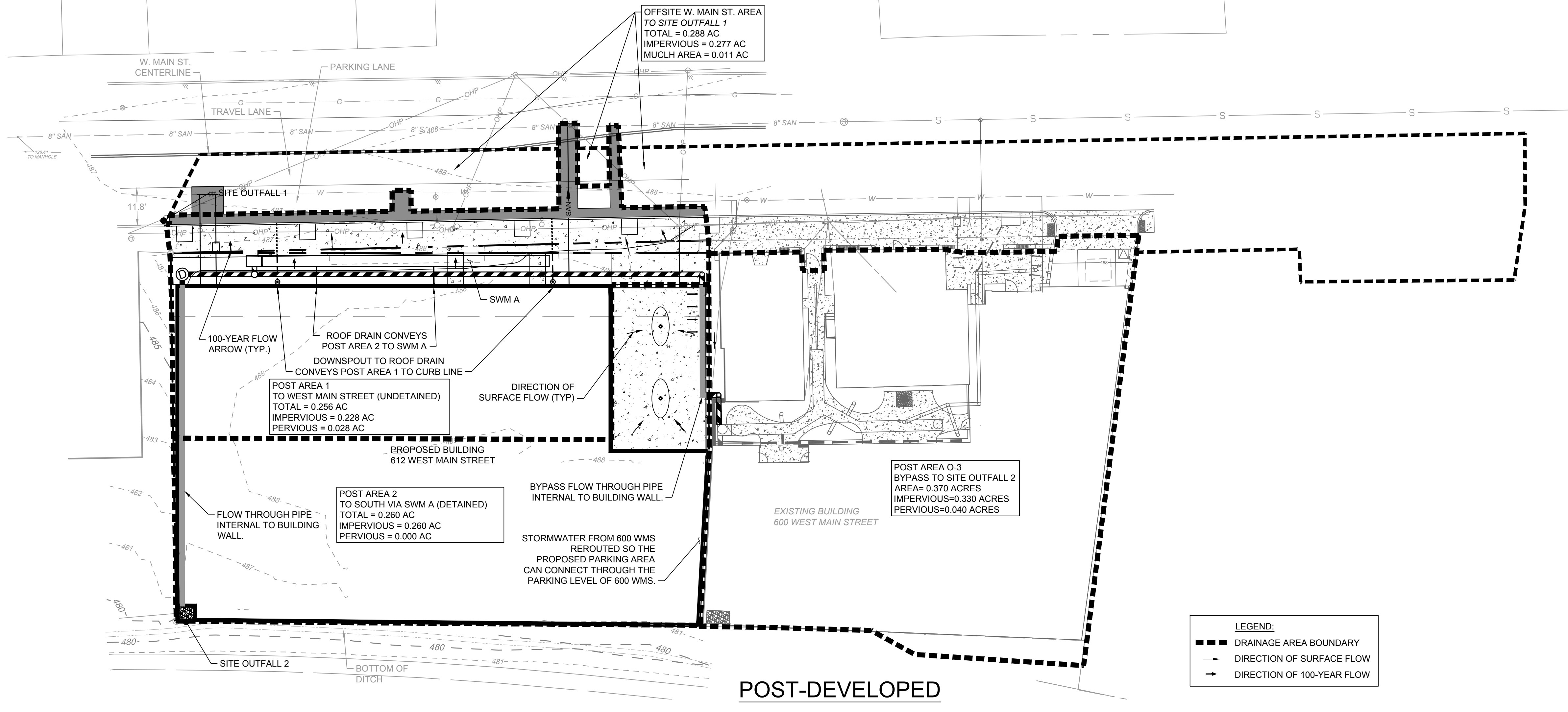
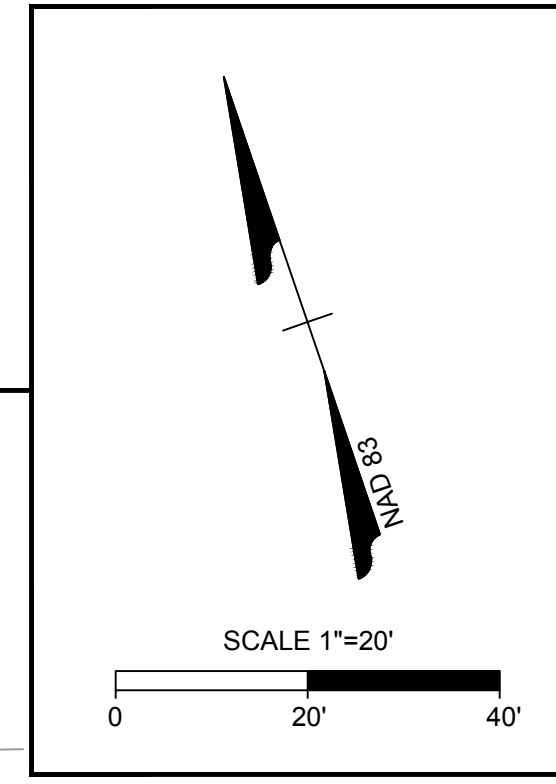
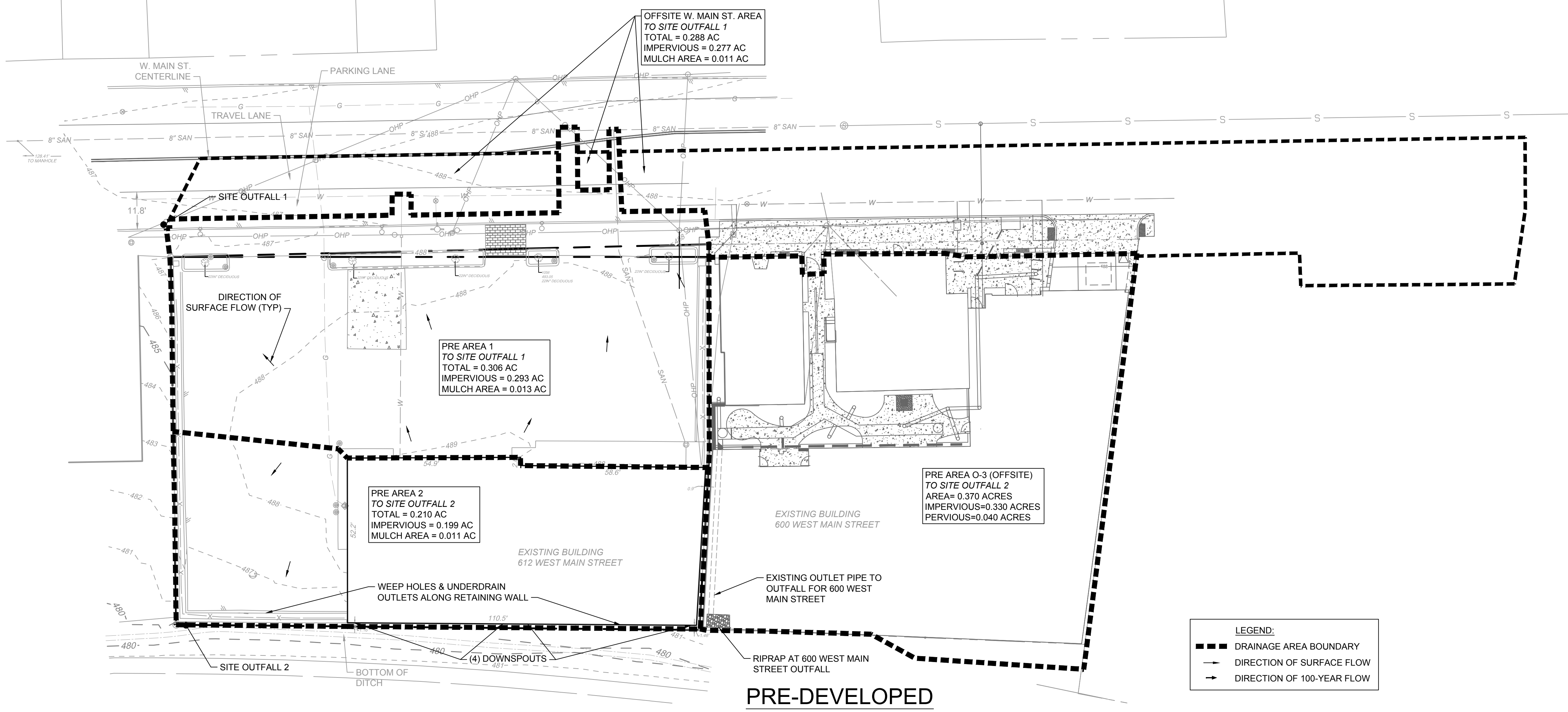


612 WEST MAIN STREET
 CITY OF CHARLOTTEVILLE, VA

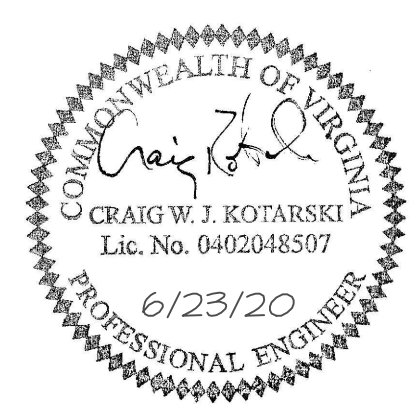
STORMWATER MANAGEMENT PLAN

JOB NO.
43751

SHEET NO.
C6.0



S:\10343751-612_WMSDWS\Sheer\C6.00 STORMWATER MANAGEMENT PLAN.dwg [Printed on 6/23/2020 10:55 AM] by Anna Fontaine



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**PRELIMINARY
 SITE PLAN**

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TIMMONS GROUP

612 WEST MAIN STREET
 CITY OF CHARLOTTEVILLE, VA
LANDSCAPE PLAN

JOB NO.
43751
 SHEET NO.
L1.0

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PLANTING SCHEDULE

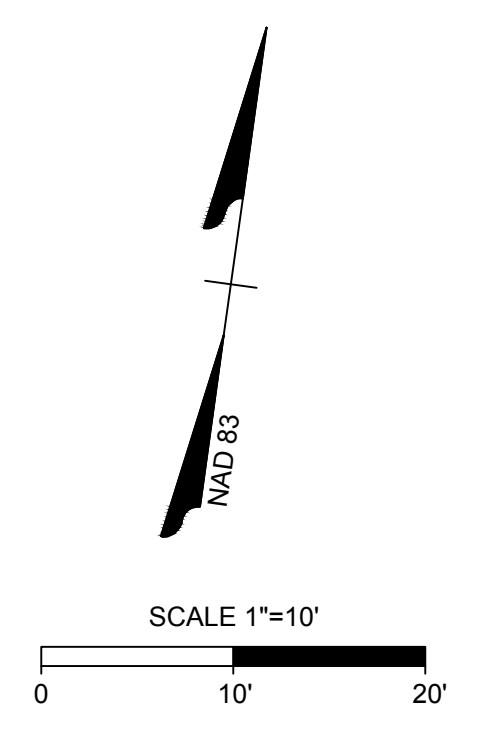
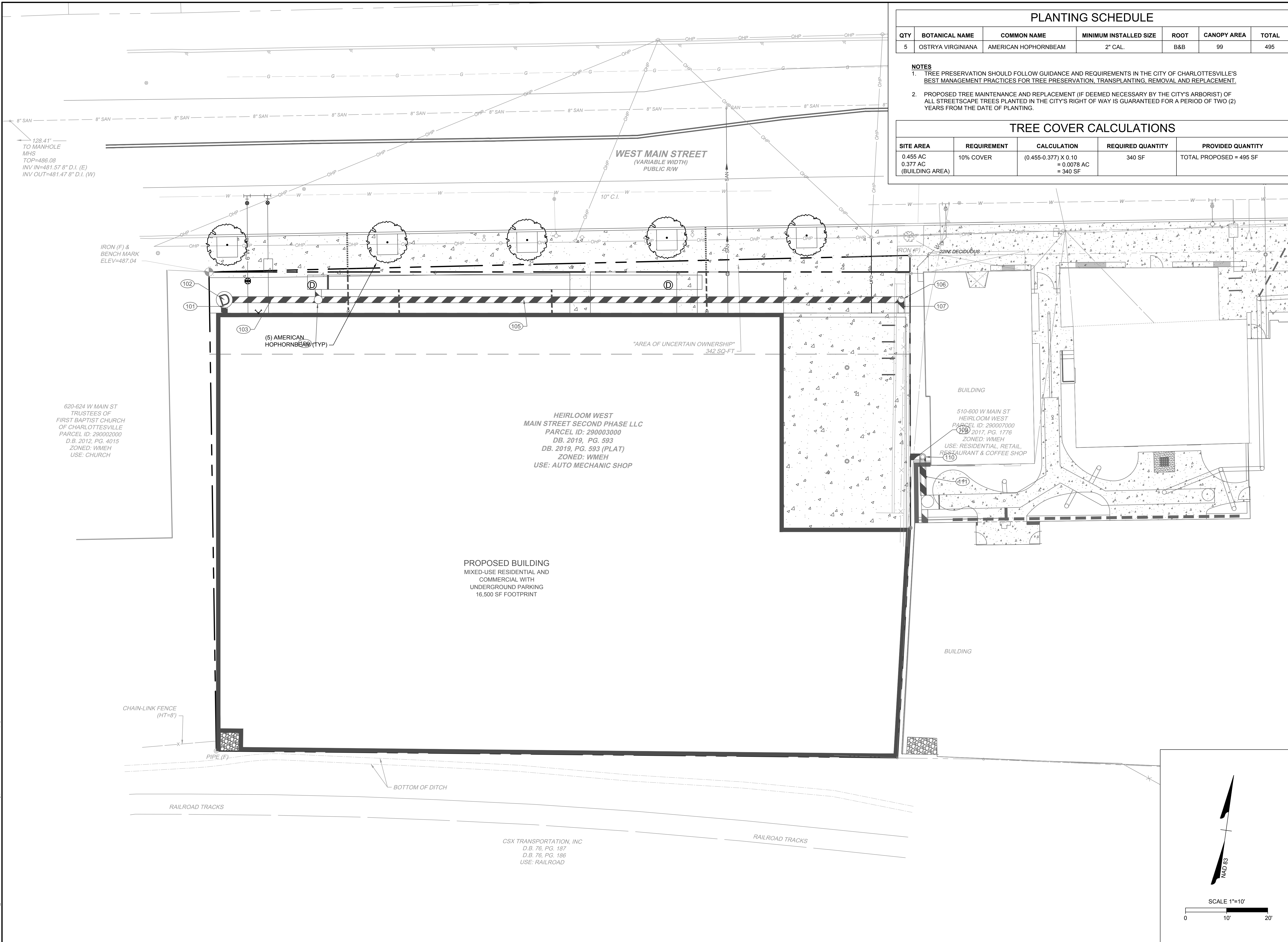
QTY	BOTANICAL NAME	COMMON NAME	MINIMUM INSTALLED SIZE	ROOT	CANOPY AREA	TOTAL
5	OSTRYA VIRGINIANA	AMERICAN HOPHORNBEAM	2" CAL.	B&B	99	495

NOTES

- TREE PRESERVATION SHOULD FOLLOW GUIDANCE AND REQUIREMENTS IN THE CITY OF CHARLOTTEVILLE'S BEST MANAGEMENT PRACTICES FOR TREE PRESERVATION, TRANSPLANTING, REMOVAL AND REPLACEMENT.
- PROPOSED TREE MAINTENANCE AND REPLACEMENT (IF DEEMED NECESSARY BY THE CITY'S ARBORIST) OF ALL STREETSCAPE TREES PLANTED IN THE CITY'S RIGHT OF WAY IS GUARANTEED FOR A PERIOD OF TWO (2) YEARS FROM THE DATE OF PLANTING.

TREE COVER CALCULATIONS

SITE AREA	REQUIREMENT	CALCULATION	REQUIRED QUANTITY	PROVIDED QUANTITY
0.455 AC	10% COVER	(0.455-0.377) X 0.10	340 SF	TOTAL PROPOSED = 495 SF
0.377 AC (BUILDING AREA)		= 0.0078 AC = 340 SF		



S:\10343751-612_WMSHOWS\SheerCD\1.0 LANDSCAPE PLAN.dwg | Printed on 6/23/2020 10:57 AM | by Anna Fontaine

**RESOLUTION
APPROVING A SPECIAL USE PERMIT
TO ALLOW HIGH DENSITY RESIDENTIAL DEVELOPMENT
FOR PROPERTY LOCATED AT
602-616 WEST MAIN STREET**

WHEREAS, landowner Heirloom West Main Street Second Phase, LLC is the current owner of a lot identified on 2019 City Tax Map 29 as Parcel 3 (City Parcel Identification No. (290003000) (the “Subject Property”), and pursuant to City Code §34-641, the landowner proposes to redevelop the Subject Property by constructing a mixed use building on the Subject Property (“Project”), containing residential dwelling units at a density of up to 120 dwelling units per acre (“DUA”); and

WHEREAS, the Project is described within the Applicant’s application materials dated May 14, 2019 submitted in connection with SP19-00003, including, without limitation, a narrative statement dated May 14, 2019, and a preliminary site plan dated May 13, 2019, as required by City Code §34-158 (collectively, the “Application Materials”); and

WHEREAS, the Planning Commission reviewed the Application Materials, and the City’s Staff Report, and subsequent to a joint public hearing, duly advertised and conducted by the Planning Commission and City Council on August 13, 2019, the Planning Commission voted to recommend that the City Council should approve the requested special use permit, to allow residential density up to 120 dwelling units per acre (DUA), subject to certain suitable conditions and safeguards recommended by the Planning Commission; and

WHEREAS, upon consideration of the comments received during the joint public hearing, the Planning Commission’s recommendation, and the Staff Reports discussing this application, as well as the factors set forth within Sec. 34-157 of the City’s Zoning Ordinance, this Council finds and determines that granting the proposed Special Use subject to suitable conditions would serve the public necessity, convenience, general welfare or good zoning practice; now, therefore,

BE IT RESOLVED by the Council of the City of Charlottesville, Virginia that, pursuant to City Code §§ 34-641, a special use permit is hereby approved and granted, subject to the following conditions:

1. The specific development being approved by this special use permit (“Project”), as described within the site plan exhibit required by City Code §34-158(a)(1), shall have the following minimum attributes/ characteristics:
 - a. Not more than one building shall be constructed on the Subject Property (the “Building”). The Building shall be a Mixed Use Building.
 - b. The Building shall not exceed a height of four (4) stories.
 - c. The Building shall contain no more than 55 dwelling units.

- d. The Building shall contain space to be occupied and used for retail uses, which shall be located on the ground floor of the Building facing West Main Street. The square footage of this retail space shall be at least the minimum required by the City's zoning ordinance.
 - e. Underground parking shall be provided within a parking garage structure constructed underneath the Building, ~~which shall provide at least 53 parking spaces~~ serving the use and occupancy of the Building. All parking required for the Project pursuant to the City's zoning ordinance shall be located on-site. All parking required pursuant to the ordinance for the Project shall be maximized on-site to the satisfaction of the Planning Commission. No direct access shall be provided into the underground parking from the Building's street wall along West Main Street.
2. The mass of the Building shall be broken down to reflect the multi-parcel massing historically on the site, as well as the West Main Street context, using building modulation. The Building and massing refer to the historic buildings on either side.
 3. There shall be pedestrian engagement with the street with an active, transparent, and permeable façade at street level.
 4. The Landowner (including, without limitation, any person who is an agent, assignee, transferee or successor in interest to the Landowner) shall prepare a Protective Plan for the Rufus Holsinger Building located on property adjacent to the Subject Property at 620-624 West Main Street ("Holsinger Building" or "Adjacent Property"). The Protective Plan shall provide for baseline documentation, ongoing monitoring, and specific safeguards to prevent damage to the Holsinger Building, and the Landowner shall implement the Protective Plan during all excavation, demolition and construction activities within the Subject Property ("Development Site"). At minimum, the Protective Plan shall include the following:
 - a. *Baseline Survey*—Landowner shall document the existing condition of the Holsinger Building ("Baseline Survey"). The Baseline Survey shall take the form of written descriptions, and visual documentation which shall include color photographs and/or video recordings. The Baseline Survey shall document the existing conditions observable on the interior and exterior of the Holsinger Building, with close-up images of cracks, staining, indications of existing settlement, and other fragile conditions that are observable.

The Landowner shall engage an independent third party structural engineering firm (one who has not participated in the design of the Landowner's Project or

preparation of demolition or construction plans for the Landowner, and who has expertise in the impact of seismic activity on historic structures) and shall bear the cost of the Baseline Survey and preparation of a written report thereof. The Landowner and the Owner of the Holsinger Building (“Adjacent Landowner”) may both have representatives present during the process of surveying and documenting the existing conditions. A copy of a completed written Baseline Survey Report shall be provided to the Adjacent Landowner, and the Adjacent Landowner shall be given fourteen (14) days to review the Baseline Survey Report and return any comments to the Landowner.

- b. *Protective Plan*--The Landowner shall engage the engineer who performed the Baseline Survey to prepare a Protective Plan to be followed by all persons performing work within the Development Site, that may include seismic monitoring or other specific monitoring measures of the Adjacent Property if recommended by the engineer preparing the Protective Plan, and minimally shall include installation of at least five crack monitors. Engineer shall inspect and take readings of crack monitors at least weekly during ground disturbance demolition and construction activities. Reports of monitor readings shall be submitted to the city building official and Adjacent Landowner within two days of inspection. A copy of the Protective Plan shall be provided to the Adjacent Landowner. The Adjacent Landowner shall be given fourteen (14) days to review the Report and return any comments to the Landowner.
- c. *Advance notice of commencement of activity*--The Adjacent Landowner shall be given 14 days’ advance written notice of commencement of demolition at the Development Site, and of commencement of construction at the Development Site. This notice shall include the name, mobile phone number, and email address of the construction supervisor(s) who will be present on the Development Site and who may be contacted by the Adjacent Landowner regarding impacts of demolition or construction on the Adjacent Property.

The Landowner shall also offer the Adjacent Landowner an opportunity to have meetings: (i) prior to commencement of demolition at the Development Site, and (ii) at least fourteen (14) days prior to commencement of construction at the Development Site, on days/ times reasonably agreed to by both parties. During any such preconstruction meeting, the Adjacent Landowner will be provided information as to the nature and duration of the demolition or construction activity and the Landowner will review the Protective Plan as it will apply to the activities to be commenced.

- d. *Permits*--No demolition or building permit, and no land disturbing permit, shall be approved or issued to the Landowner, until the Landowner provides to the department of neighborhood development services: (i) copies of the Baseline Survey Report and Protective Plan, and NDS verifies that these documents satisfy

the requirements of these SUP Conditions, (ii) documentation that the Baseline Survey Report and Protective Plan were given to the Adjacent Landowner in accordance with these SUP Conditions.

Approved by Council
October 7, 2019

A handwritten signature in cursive script that reads "Kyna Thomas".

Kyna Thomas, CMC
Clerk of Council

CITY OF CHARLOTTESVILLE

DEPT. OF NEIGHBORHOOD DEVELOPMENT SERVICES

STAFF REPORT



APPLICATION FOR APPROVAL OF A PRELIMINARY SITE PLAN

PLANNING COMMISSION REGULAR MEETING

MEETING DATE:	Tuesday, July 14, 2020
DEVELOPMENT NAME:	167 Chancellor St. (Chi Psi Fraternity) Prelim. Site Plan
APPLICATION NUMBER:	P19-0132
Reason for Planning Commission Review:	Preliminary site plan reflects the proposed development of a property that is the subject of an existing or proposed special permit
Planner:	Joey Winter
Date of Staff Report:	June 29, 2020
Applicant:	Design Develop LLC
Applicant's Representative:	Mr. Kevin Schafer
Owner of Record:	Alpha Omicron of Chi Psi Corporation
<u>Application Information</u>	
Property Street Address:	167 Chancellor Street ("Subject Property")
Tax Map Parcel Number:	TM 9-126 090126000
Site Area (per GIS):	0.1380 acres (6,011 ft ²)
Comprehensive Plan (Land Use Plan):	High Density Residential
Zoning District:	R-3H
Overlay District(s):	Corner Architectural Design Control District

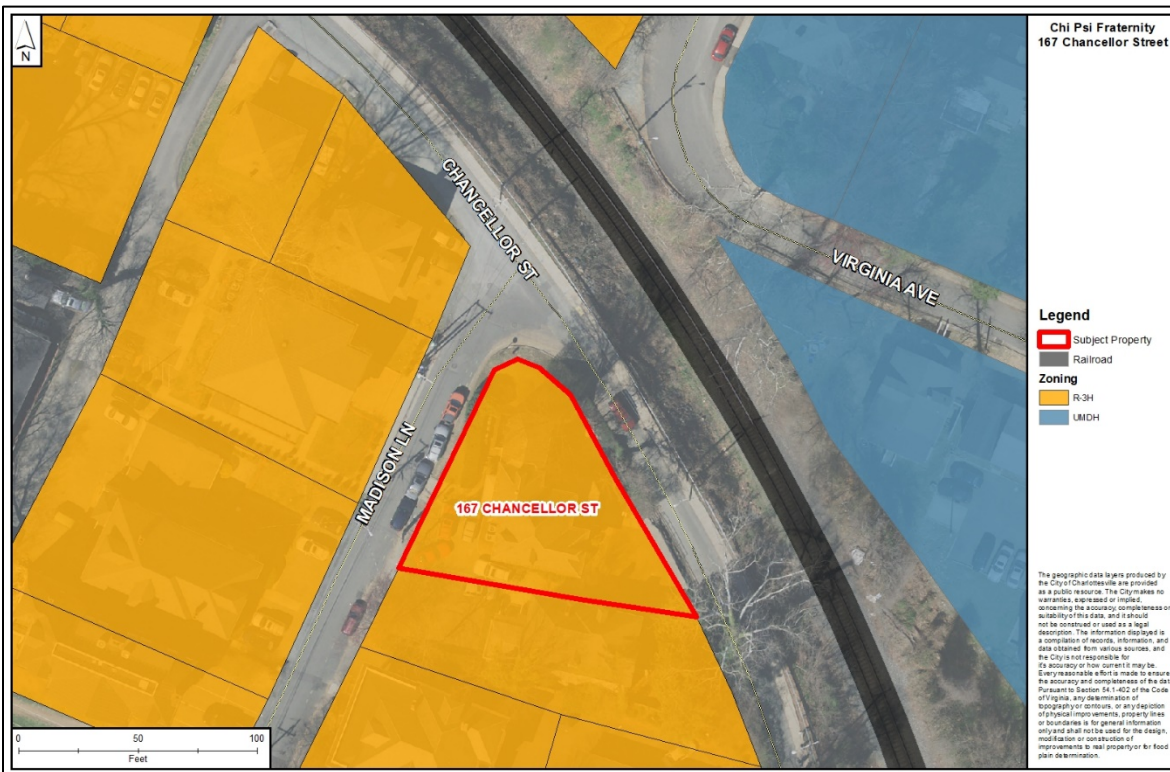
Applicant's Request

Mr. Kevin Schafer of Design Develop LLC, on behalf of Alpha Omicron of Chi Psi Corporation, is seeking Planning Commission approval for the 167 Chancellor St. (Chi Psi Fraternity) Preliminary Site Plan. This preliminary site plan proposes renovations and upgrades to the existing fraternity house on the Subject Property. On December 2, 2019, City Council approved Special Use Permit SP19-00007 authorizing a fraternity house at 167 Chancellor Street for up to 16 occupants. As per the City's Zoning Ordinance, Planning Commission shall review this preliminary site plan because it reflects the proposed development of property that is subject to a Special Use Permit.

Vicinity Map



Zoning Map



Standard of Review

Site plan approval is a ministerial function of Planning Commission in which no discretion is involved. If this final site plan contains all required information then it must be granted approval. If Planning Commission disapproves this plan, it shall set forth in writing the specific reasons therefor. The reasons for disapproval shall identify deficiencies in this plan which cause the disapproval, by reference to specific ordinances, laws or regulations. If this plan is disapproved, Planning Commission must also generally identify modifications or corrections that will permit approval of this plan.

Site Plan Requirements

A. Compliance with applicable zoning district regulations [City Code - Chapter 34]

Staff has determined that this site plan complies with requirements of the R-3H Zoning District.

B. Compliance with the City's Erosion and Sediment Control ordinance [City Code - Chapter 10]

Staff has determined that this final site plan complies with the City's Erosion and Sediment Control ordinance. A full Erosion and Sediment Control Plan is not required since disturbed area is under 6,000 ft².

C. Compliance with the City's site plan requirements [City Code - Sec. 34-827]

Staff has determined that this site plan contains the following information as required:

PRELIMINARY SITE PLAN REQUIREMENTS [Sec. 34-827(d)]	SHEET(S)
1. General site plan information	1
2. Existing condition and adjacent property information	2
3. Phasing plan	N/A
4. Topography and grading	3
5. Existing landscape and trees	2
6. Name and location of all water features	N/A
7. One hundred-year flood plain limits	N/A
8. Existing and proposed streets and associated traffic information	1, 2
9. Location and size of existing water and sewer infrastructure	2
10. Proposed layout for water/sanitary sewer facilities & storm drain facilities	4, 5
11. Location of other existing and proposed utilities and utility easements	4
12. Location of existing and proposed ingress to and egress from the property	4
13. Location and dimensions of all existing and proposed improvements	4
14. All areas intended to be dedicated or reserved for public use	N/A
15. Landscape plan (if subject to entrance corridor review)	N/A
16. Where deemed appropriate due to intensity of development:	
a. Estimated traffic generation figures based upon current ITE rates	1
b. Estimated vehicles per day	1

D. Additional information to be shown on the site plan as deemed necessary by the director or Commission in order to provide sufficient information for the director or Commission to adequately review the site plan.

The Special Use Permit approved by City Council on December 2, 2019 includes the following conditions for the 167 Chancellor St. (Chi Psi Fraternity) Preliminary Site Plan:

1. The fraternity house located at 167 Chancellor Street shall have a maximum of sixteen (16) residents. Any expansion of the fraternity house beyond sixteen (16) residents will require an amendment to this Special Use Permit.

COMPLIES – SEE SITE PLAN SHEET 1

2. 165 Chancellor Street: Special Use Permit approval for the land, buildings and structures located at 165 Chancellor Street to be used for a “boarding, fraternity and sorority house”, as that term is defined in City Code §34-1200 is expired and no longer valid. However, yard regulations for this lot will remain modified as follows:

- a. Building setback (front), adjacent to Madison Lane: the required building setback along Madison Lane shall remain modified as shown on the site plan for 165 and 167 Chancellor Street approved on November 4, 1985.

NOT APPLICABLE TO THIS SITE PLAN

3. 167 Chancellor Street: The land, buildings and structures located at 167 Chancellor Street may be used for a “boarding, fraternity and sorority house”, as that term is defined in City Code §34-1200. The number of residents shall not exceed 16 at 167 Chancellor Street.

- a. Building setback (front), adjacent to Madison Lane: the required building setback along Madison Lane shall be 8 feet.

COMPLIES – SEE SITE PLAN SHEET 4

- b. Building setback (corner side), adjacent to Chancellor Street: the required building setback along Chancellor Street shall be 4 feet.

COMPLIES – SEE SITE PLAN SHEET 4

- c. Building setback (side), adjacent to 165 Chancellor Street: the required building setback along the property line shared with 165 Chancellor Street shall be 4 feet.

COMPLIES – SEE SITE PLAN SHEET 4

- d. Building setback (rear), property corner adjacent to Chancellor Street and 165 Chancellor Street: the required building setback from property corner adjacent to Chancellor Street and 165 Chancellor Street shall be 25 feet.

COMPLIES – SEE SITE PLAN SHEET 4

4. The “boarding, fraternity or sorority house” use approved by this special use permit, and (except as specifically modified within condition (2) and condition (3), above), all buildings and structures located on the Subject Property, shall comply with the provisions of City Code Sec. 34-353 and all other applicable provisions of Chapter 34 (Zoning) of the Code of the City of Charlottesville.

COMPLIES – SEE SITE PLAN SHEET 1

5. Bicycle storage facilities shall be provided at 167 Chancellor Street at a rate of one (1) bicycle storage facility per resident, and all such facilities shall be a type permitted by the zoning ordinance.

COMPLIES – SEE SITE PLAN SHEETS 1 & 4

6. Sidewalk shall be extended along the frontage of Madison Lane as shown on the proposed preliminary site plan for 167 Chancellor Street dated September 17, 2019.

COMPLIES – SEE SITE PLAN SHEETS 4 & 5

7. Curb ramps shall be installed at the end of any proposed sidewalk on Madison Lane to align with the existing curb ramp on the east side of Chancellor Street.

COMPLIES – SEE SITE PLAN SHEET 5

8. The elevated sidewalk to the south on Chancellor Street must be repaired and vegetation cleared to remove obstructions. If this work is not done prior to requesting an updated Certificate of Occupancy for 167 Chancellor Street then the landowner shall provide a development agreement specifying the timing for completion of sidewalk work.

COMPLIES – SEE SITE PLAN SHEET 4

9. An accessible route from the public sidewalk to 167 Chancellor Street shall be required.

COMPLIES – SEE SITE PLAN SHEET 4

PUBLIC COMMENTS RECEIVED

No public comment was received during the preliminary site plan review process. A public site plan conference was held on October 23, 2019.

STAFF'S RECOMMENDATION

Staff recommends that the 167 Chancellor St. (Chi Psi Fraternity) Preliminary Site Plan be approved.

ATTACHMENTS

- 1) **167 CHANCELLOR ST. (CHI PSI FRATERNITY) PRELIMINARY SITE PLAN** – *for approval*
- 2) **SP19-00007 - RESOLUTION AUTHORIZING A FRATERNITY HOUSE AT 167 CHANCELLOR STREET FOR UP TO 16 OCCUPANTS** – *approved by City Council on December 3, 2019*
- 3) **CITY CODE SECTION 34-827** – *Preliminary site plan contents*

SURVEY CONTROL				
NAME	NORTH	EAST	ELEVATION	
T-15218591	3901801.57800	11482643.80500	541.25	
T-17233154	3901726.98700	11482585.12400	546.19	
T-17233156	3901650.93100	11482735.86700	540.90	
T-17233173	3901651.50800	11482585.80800	544.12	
T-17233383	3901650.50400	11482618.53400	550.19	

SANITARY SEWER
 STRUCTURE: S117 (09-281C)
 TYPE: SBMH
 TOP: 547.66
 INV IN 535.48 (FR WEST) 8" VCP
 INV OUT 535.28 (TO S118) 8" VCP
 STRUCTURE: S118 (09-281B)
 TYPE: SBMH
 TOP: 542.01
 INV IN 533.01 (FR S117) 8" VCP
 INV OUT 532.77 (TO S119) 8" VCP
 STRUCTURE: S119 (09-281A)
 TYPE: SBMH
 TOP: 541.09
 INV IN 532.29 (FR S118) 8" VCP
 INV IN 531.98 (FR WEST) 8" VCP
 INV OUT 531.90 (TO S120) 8" VCP
 STRUCTURE: S120 (09-281)
 TYPE: SBMH
 TOP: 540.40
 INV IN 530.69 (FR S119) 8" VCP
 INV IN 530.50 (FR S120A) 8" VCP
 INV IN 531.98 (FR S120C) 8" VCP
 INV OUT 530.64 (TO S120B) 8" VCP
 STRUCTURE: S120A (09-287)
 TYPE: SBMH
 TOP: 549.50
 INV IN 546.31 (FR SW) 8" VCP
 INV IN 545.33 (FR SE) 8" VCP
 INV IN 546.37 (FR SE) 8" VCP
 INV OUT 545.57 (TO S120) 8" VCP
 STRUCTURE: S120B (09-280A)
 TYPE: SBMH
 TOP: 539.23 (BURIED)
 INV IN 524.55 (FR S120) 8" VCP W/ LINER
 INV OUT 524.52 (TO EAST) 8" VCP
 STRUCTURE: S120C
 TOP: 543.97
 INV OUT 539.82 (TO S120) 8" VCP

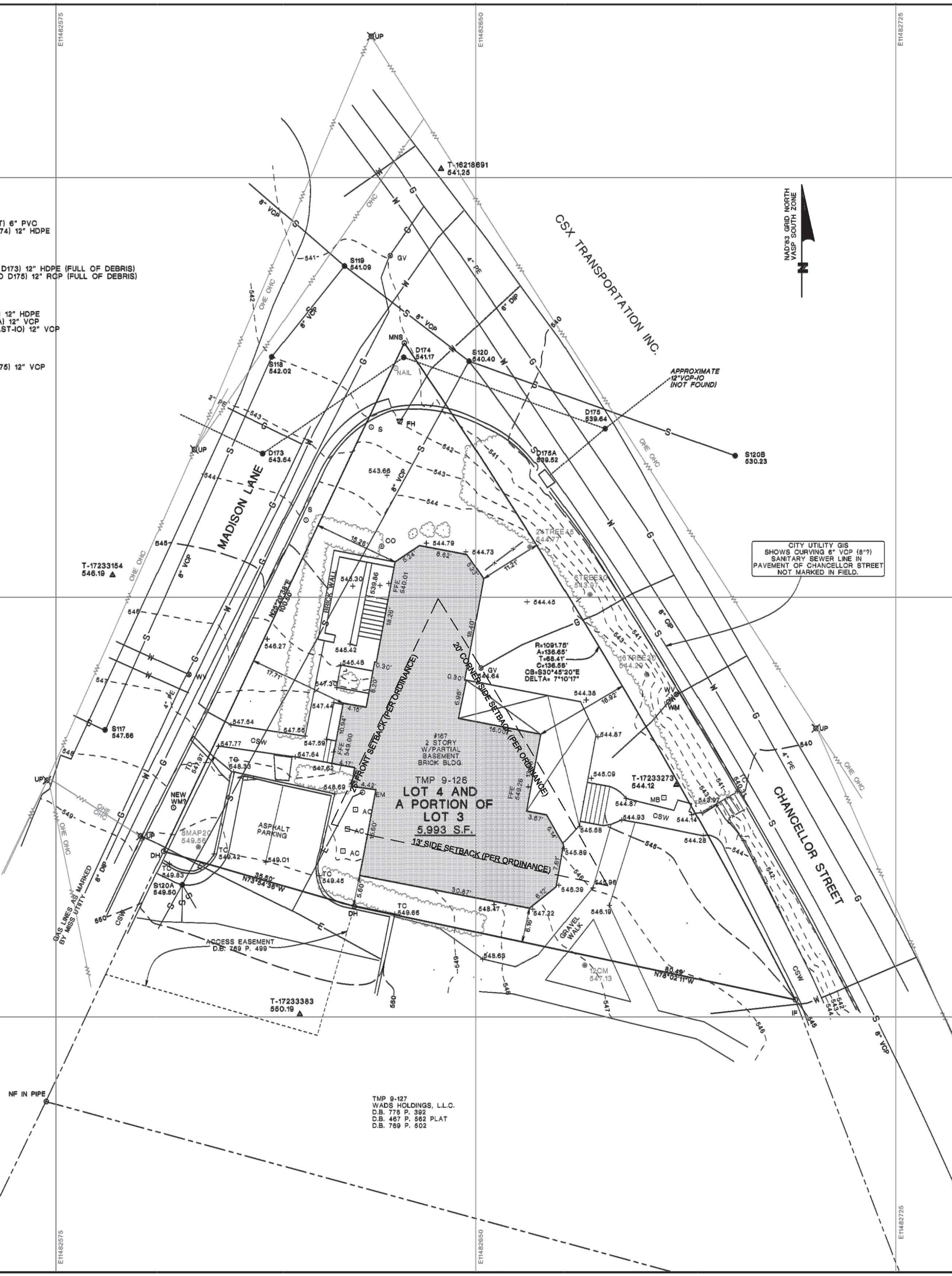
STORM DRAIN
 STRUCTURE: D173
 TYPE: SDMH
 TOP: 543.54
 INV IN 536.77 (FR WEST) 6" PVC
 INV OUT 536.65 (TO D174) 12" HDPE
 STRUCTURE: D174
 TYPE: SDMH
 TOP: 541.17
 INV IN +/- 536.89 (FR D173) 12" HDPE (FULL OF DEBRIS)
 INV OUT +/- 536.80 (TO D175) 12" RCP (FULL OF DEBRIS)
 STRUCTURE: D175
 TYPE: SDMH
 TOP: 539.64
 INV IN 536.46 (FR D174) 12" HDPE
 INV IN 536.13 (FR D175A) 12" VCP
 INV OUT 535.79 (TO EAST-TO) 12" VCP
 STRUCTURE: D175A
 TYPE: GRATE
 TOP: 539.52
 INV OUT 535.97 (TO D175) 12" VCP

- LEGEND:**
- AC = AIR CONDITIONER
 - CM = CREPE MYRTLE
 - CMF = CORRUGATED METAL PIPE
 - CSW = CONCRETE SIDEWALK
 - CIP = CAST IRON PIPE
 - CO = CLEAN OUT
 - DH = DRILL HOLE
 - DIP = DUCTILE IRON PIPE
 - EM = ELECTRIC METER
 - FFE = FINISHED FLOOR ELEVATION
 - FH = FIRE HYDRANT
 - GV = GAS VALVE
 - GR = GRATE
 - I = INVERT IN
 - IO = INVERT OUT
 - IF = IRON FOUND
 - LP = LIGHT POLE
 - MB = MAIL BOX
 - MAP = MAPLE
 - MAN = MAG NAIL SET
 - OHC = OVERHEAD COMMUNICATION
 - OHE = OVERHEAD ELECTRIC
 - PE = POLYETHYLENE
 - S = SIGN
 - SMH = SANITARY MANHOLE
 - SDMH = STORM DRAIN MANHOLE
 - TPED = TELEVISION PEDESTAL
 - TW = TOP OF WALL
 - TD = TRENCH DRAIN
 - TC = TOP OF CURB
 - UP = UTILITY POLE
 - PE = POLYETHYLENE PIPE
 - VCP = VITRIFIED CLAY PIPE
 - WM = WATER METER
 - WV = WATER VALVE
 - +580.50 = SPOT ELEVATION

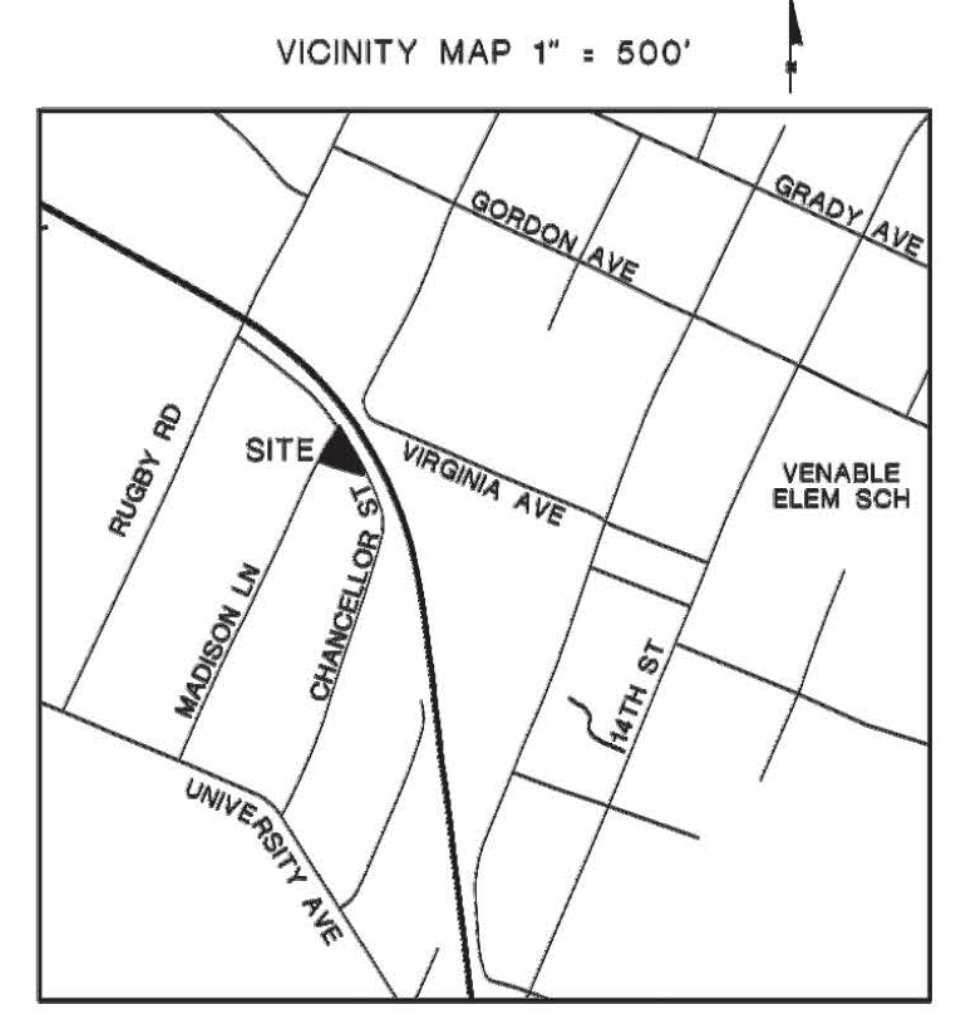
- = GAS LINE
- = ELECTRIC LINE
- = SEWER LINE
- = STORM DRAINAGE LINE
- = OVERHEAD UTILITY
- = WATERLINE

NOTE: THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS SHOWN IN AN APPROXIMATE WAY ONLY. UTILITIES ARE LOCATED USING UTILITY COMPANY LOCATIONS, CITY/COUNTY UTILITY MAPS, AND FIELD VERIFICATION. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THEY AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

MISS UTILITY TICKET FOR THIS PROJECT: A720502857-00A



CITY UTILITY GIS SHOWS CURVING 8" VCP (8") SANITARY SEWER LINE IN PAVEMENT OF CHANCELLOR STREET NOT MARKED IN FIELD.



THIS TOPOGRAPHIC MAP WAS PREPARED FOR: ALPHA OMEGON OF CHI PSI CORPORATION
 THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
 SOME EASEMENTS OTHER THAN THOSE SHOWN HEREON MAY EXIST.
 TMP 9-126 IS ZONED: R-3H
 TMP 9-126 IS IN THE VENABLE VOTING PRECINCT
 THIS PROPERTY LIES IN AN AREA DESIGNATED AS ZONE X (UNSHADED) (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON MAPS BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, DATED: FEBRUARY 4, 2005
 MAP 510033 PANEL 287 D
 THIS TOPOGRAPHIC SURVEY OF TAX MAP 9 PARCEL 126, CHARLOTTESVILLE, VIRGINIA WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF THOMAS B. LINCOLN FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION; THAT THE IMAGERY AND/OR ORIGINAL DATA WAS OBTAINED ON AUGUST 21, 2017; AND THAT THIS PLAT, MAP, OR DIGITAL GEOSPATIAL DATA INCLUDING METADATA MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.

I HEREBY CERTIFY THAT THIS TOPOGRAPHIC MAP, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF, IS CORRECT AND COMPLIES WITH THE MINIMUM PROCEDURES AND STANDARDS ESTABLISHED BY THE VIRGINIA STATE BOARD OF ARCHITECTS, PROFESSIONAL ENGINEERS, LAND SURVEYORS, CERTIFIED LANDSCAPE ARCHITECTS AND INTERIOR DESIGNERS. I ALSO CERTIFY THAT THE BOUNDARY SHOWN HEREON IS BASED ON A CURRENT FIELD SURVEY.

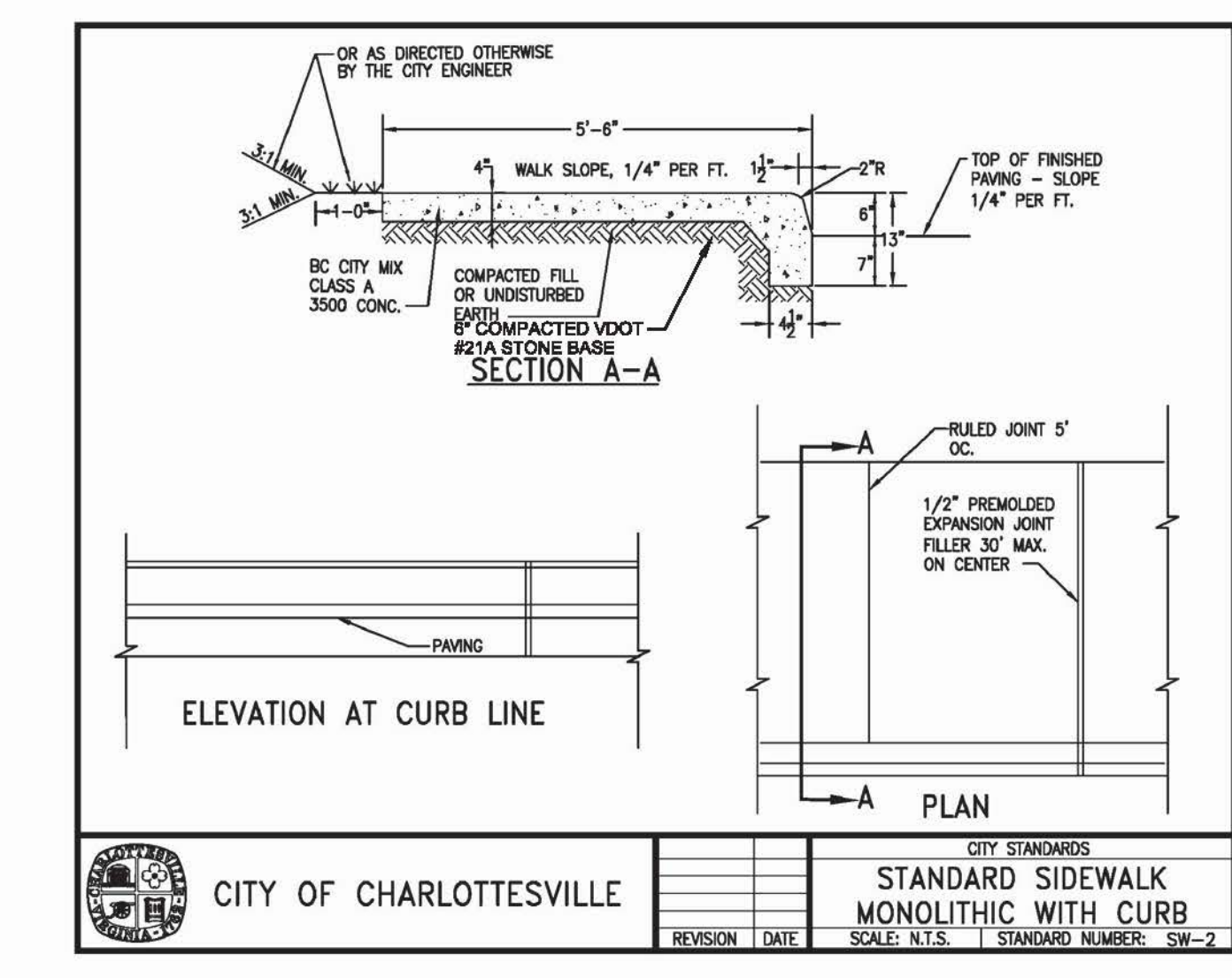
TITLE REFERENCES:
 TMP 9-125
 ALPHA OMEGON OF
 CHI PSI CORPORATION
 INST.#2014000730
 DB 482 P. 516 PLAT
 D.B. 789 P. 499 ACCESS EASEMENT
 UNRECORDED SURVEY BY LINCOLN SURVEYING
 DATED 10/12/1999



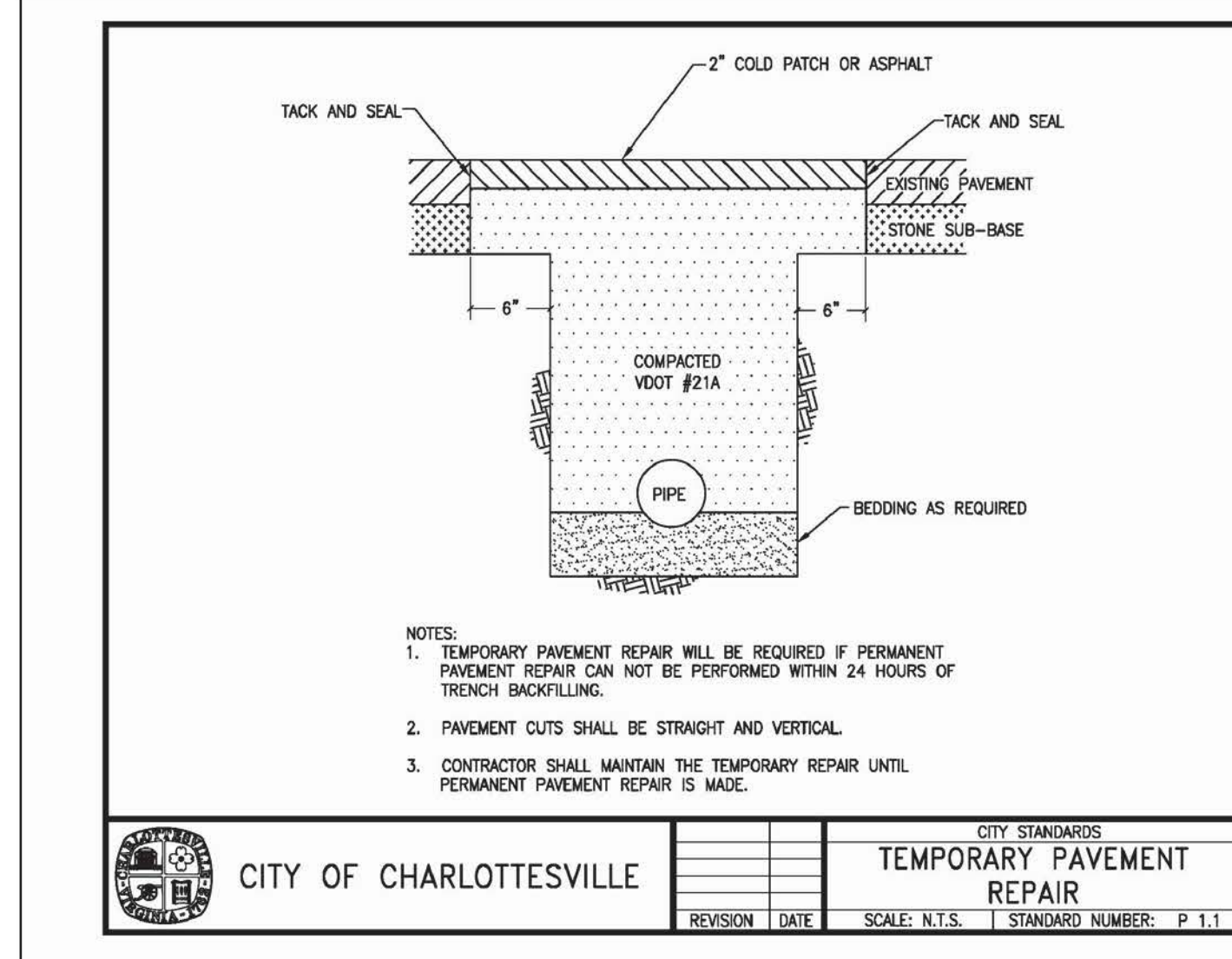
LINCOLN SURVEYING
 Innovation. Integrity. Vision.
 632 BERKMAR CIRCLE
 CHARLOTTESVILLE, VIRGINIA 22901
 OFFICE: 434-974-1417
 FAX: 434-974-1776
 www.lincolnsurveying.com

COMMONWEALTH OF VIRGINIA
 THOMAS B. LINCOLN
 LIC. NO. 1326
 08-24-2017
 LAND SURVEYOR

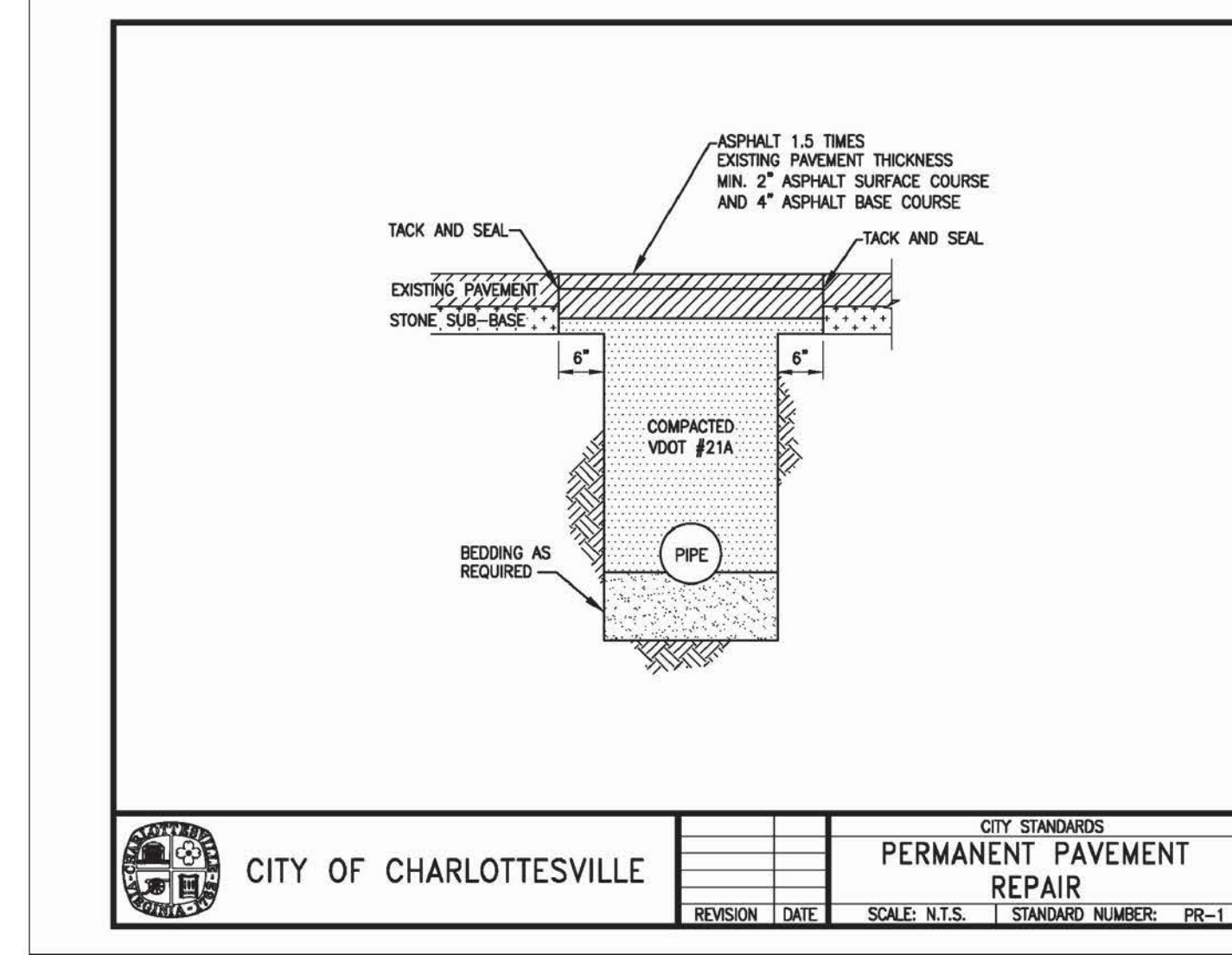
**TOPOGRAPHIC SURVEY OF
 TAX MAP 9 PARCEL 126
 ALSO KNOWN AS
 167 CHANCELLOR STREET
 CHARLOTTESVILLE, VIRGINIA**
 DATE: AUGUST 24, 2017
 SCALE: 1" = 10'
 CONTOUR INTERVAL: 1'
 NAVD '88 VERTICAL DATUM
 TM DATA \ 114000901_TS_17223.PRO 114-0009-01



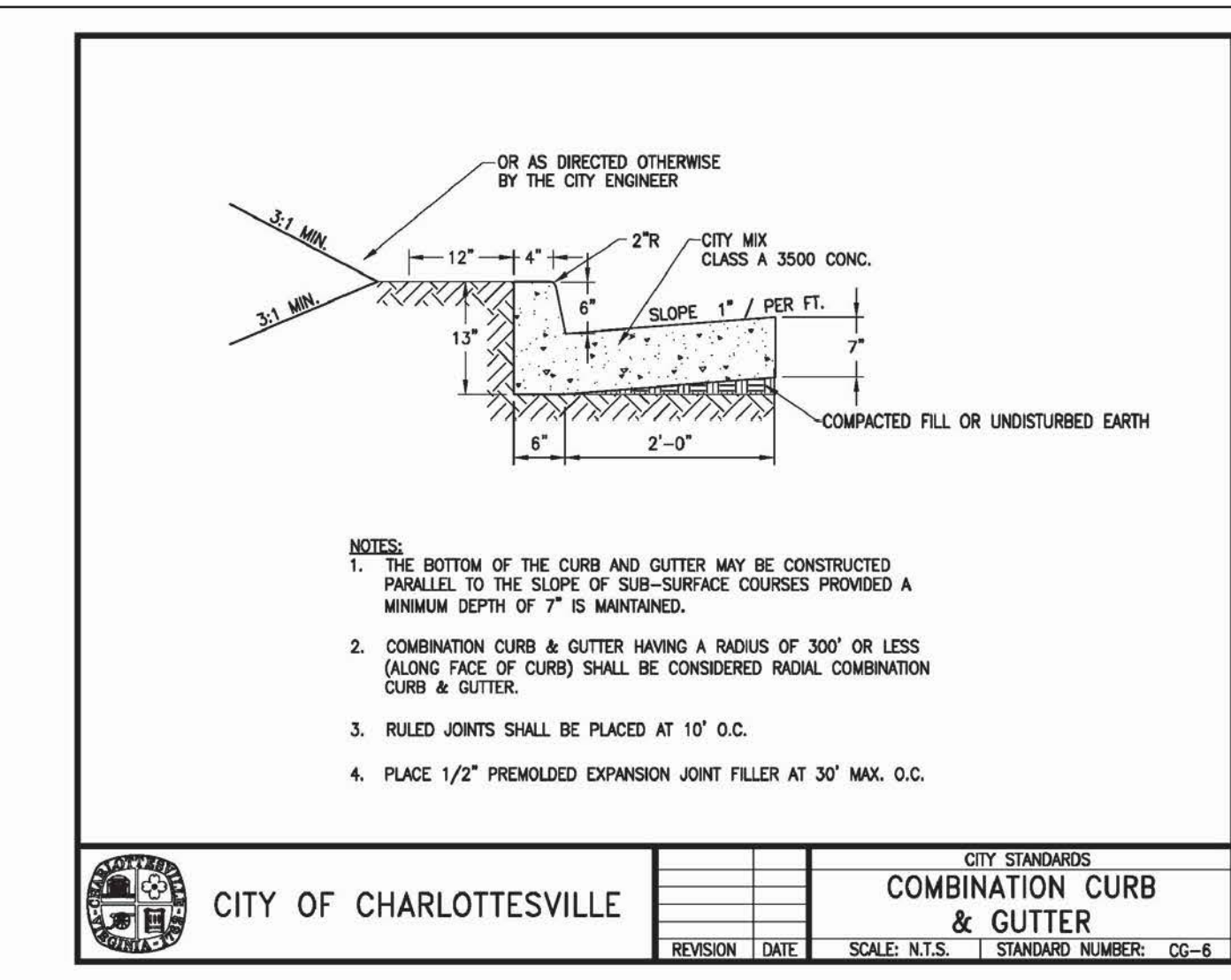
STD SIDEWALK MONOLITHIC W/ CURB
DETAIL NTS



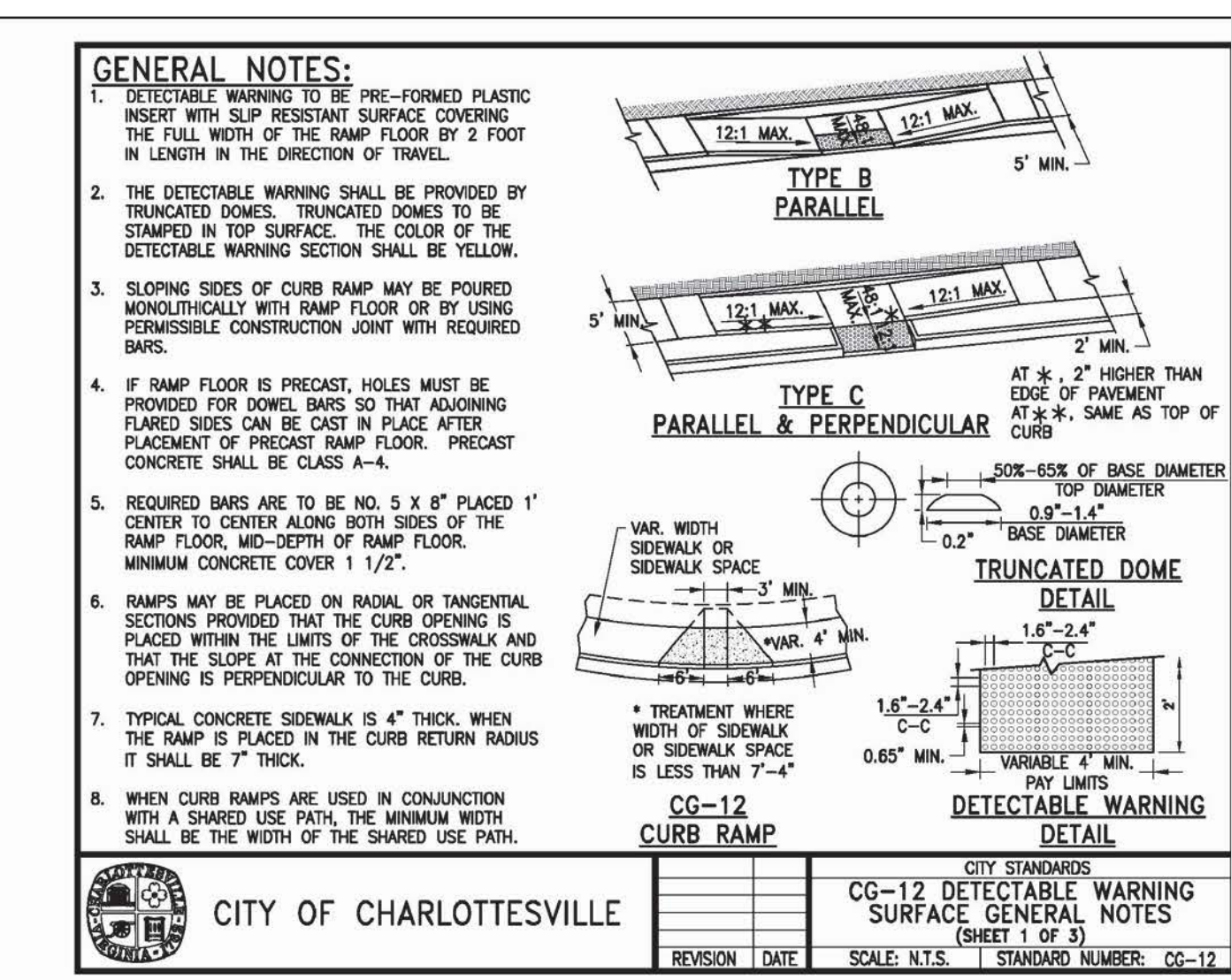
TEMPORARY PAVEMENT REPAIR
SECTION NTS



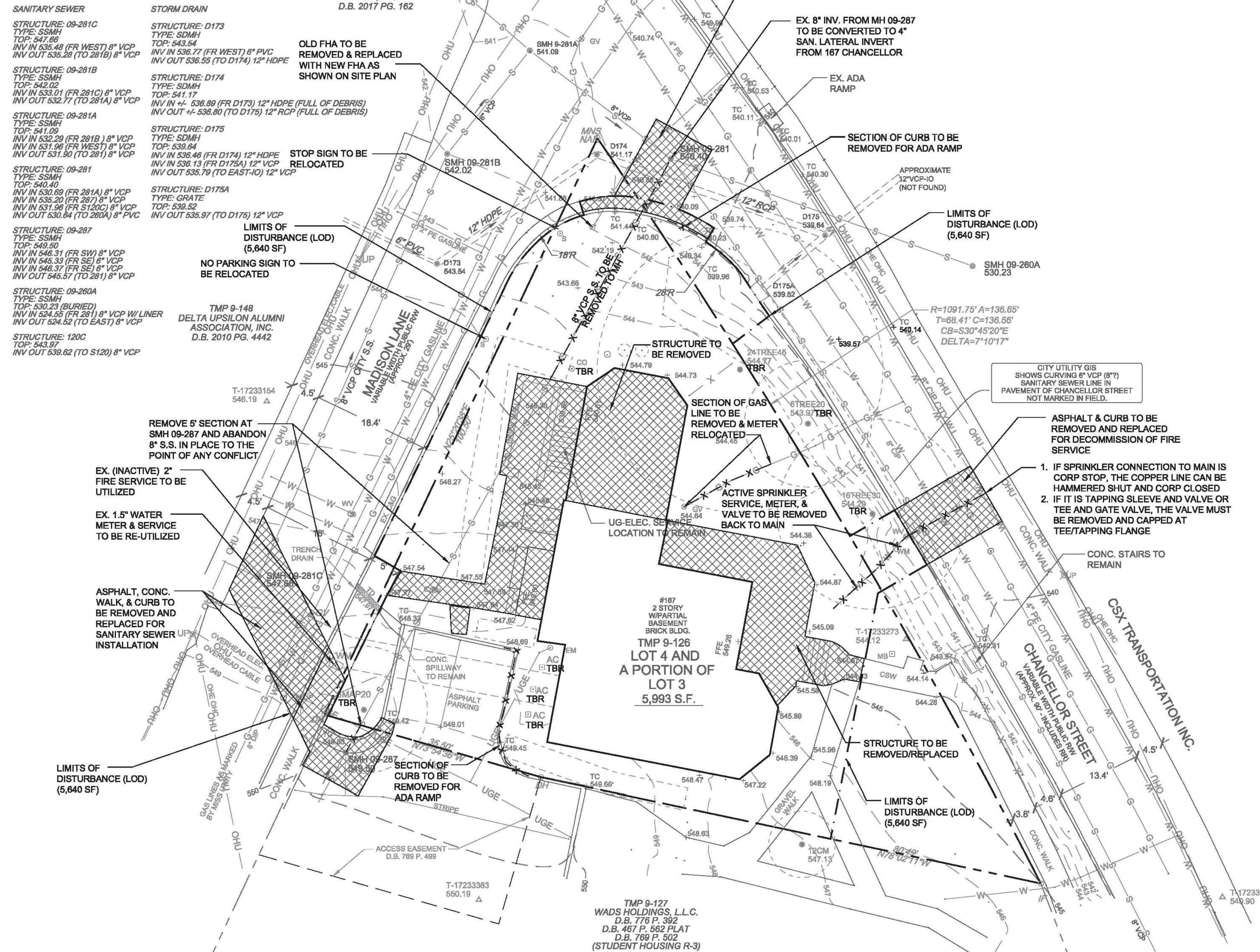
PERMANENT PAVEMENT REPAIR
SECTION NTS



CG-6 CURB & GUTTER
DETAIL NTS



CG-12 (PARALLEL) ADA RAMP
DETAIL NTS



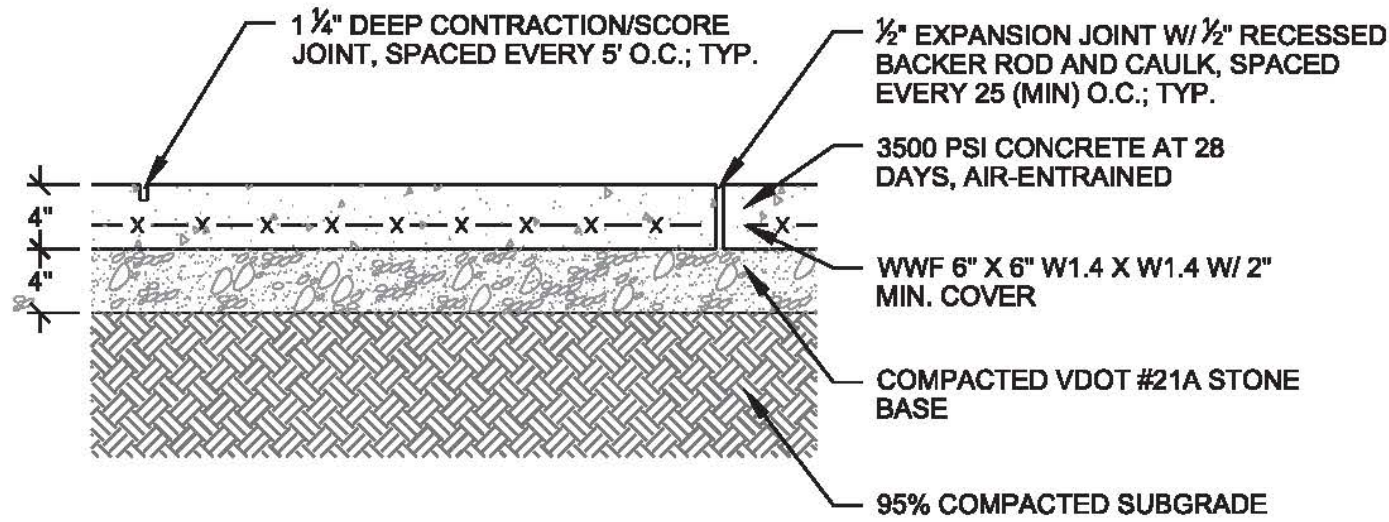
Alan Franklin PE, LLC
Civil and Site Plan Engineering
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alan@alanfranklinpe.com

SPECIAL USE PERMIT/PRELIMINARY SITE PLAN
167 CHANCELLOR STREET
CHARLOTTESVILLE, VIRGINIA
DEMOLITION PLAN

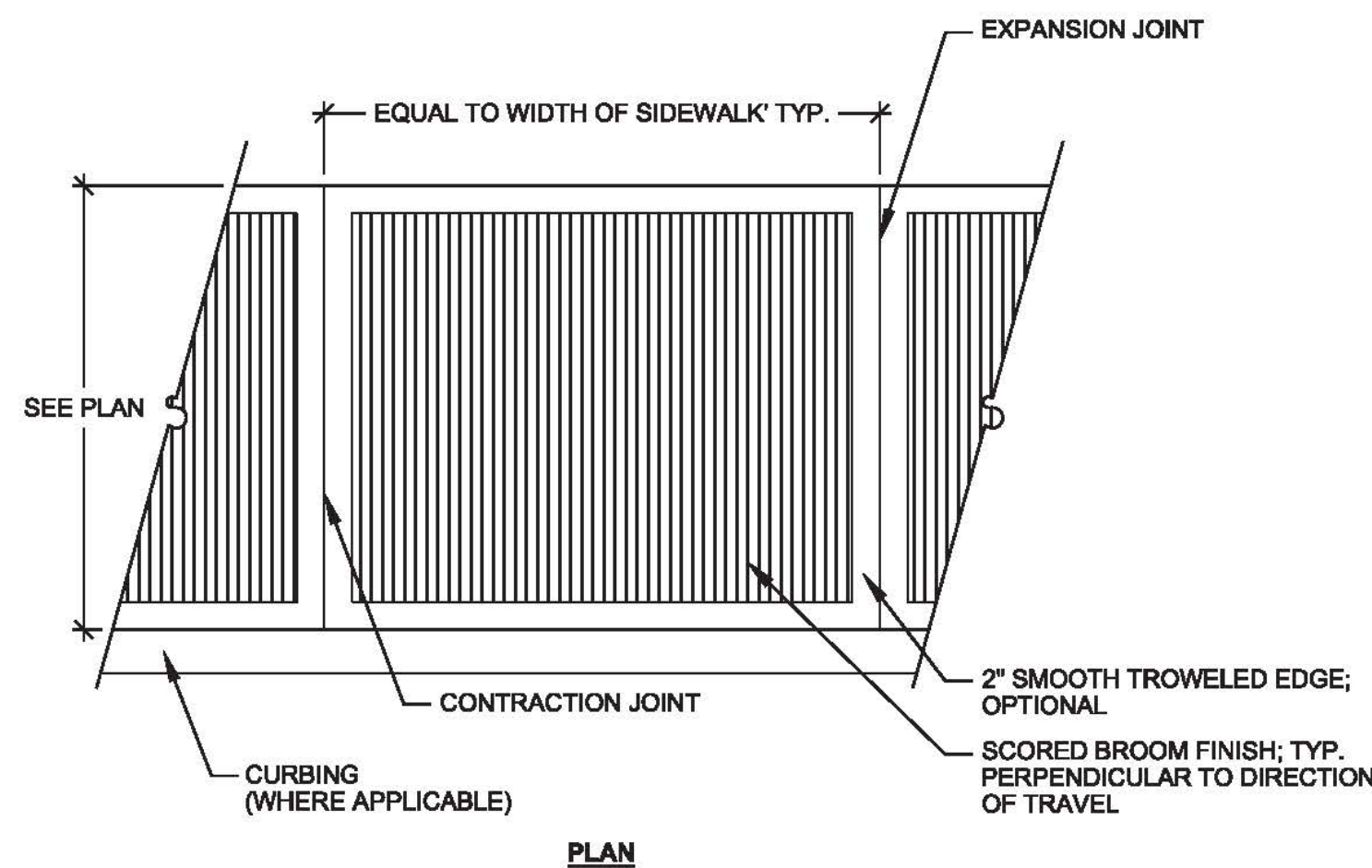
COMMONWEALTH OF VIRGINIA
PROFESSIONAL ENGINEER
Alan G. Franklin
Lic. No. 36326

SCALE:
ISSUED: 10-01-19
DRAWN BY:
REVISIONS:
1 01.06.20 - CITY COMMENTS
2 02.27.20 - CITY COMMENTS

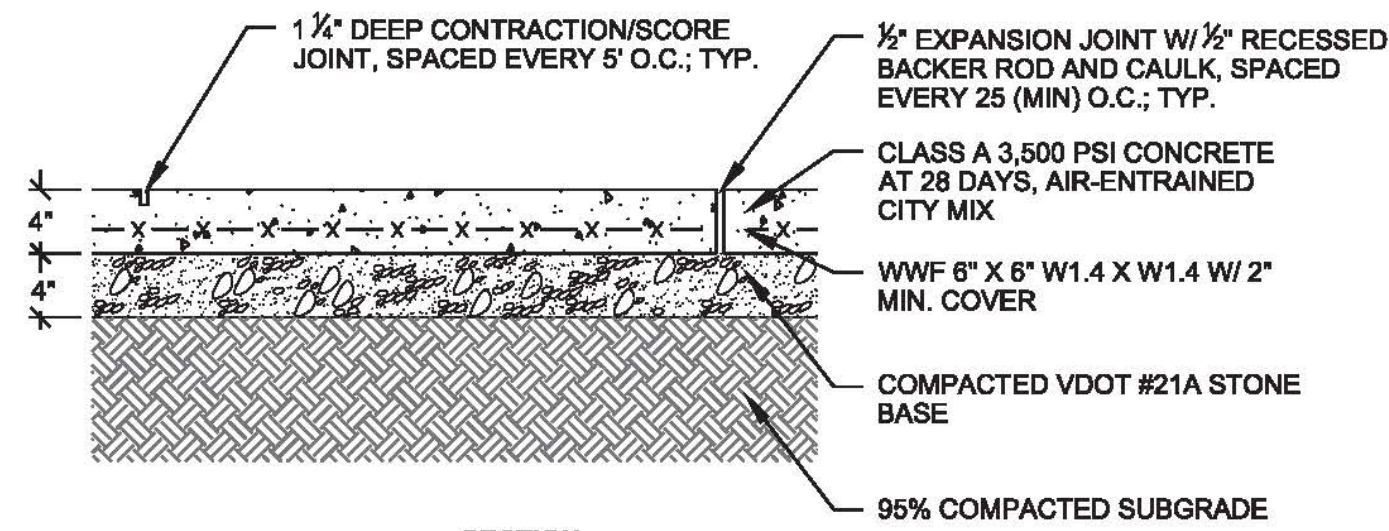
SHEET
3
OF 6



CONCRETE PAD FOR BIKE RACK
SECTION
NTS

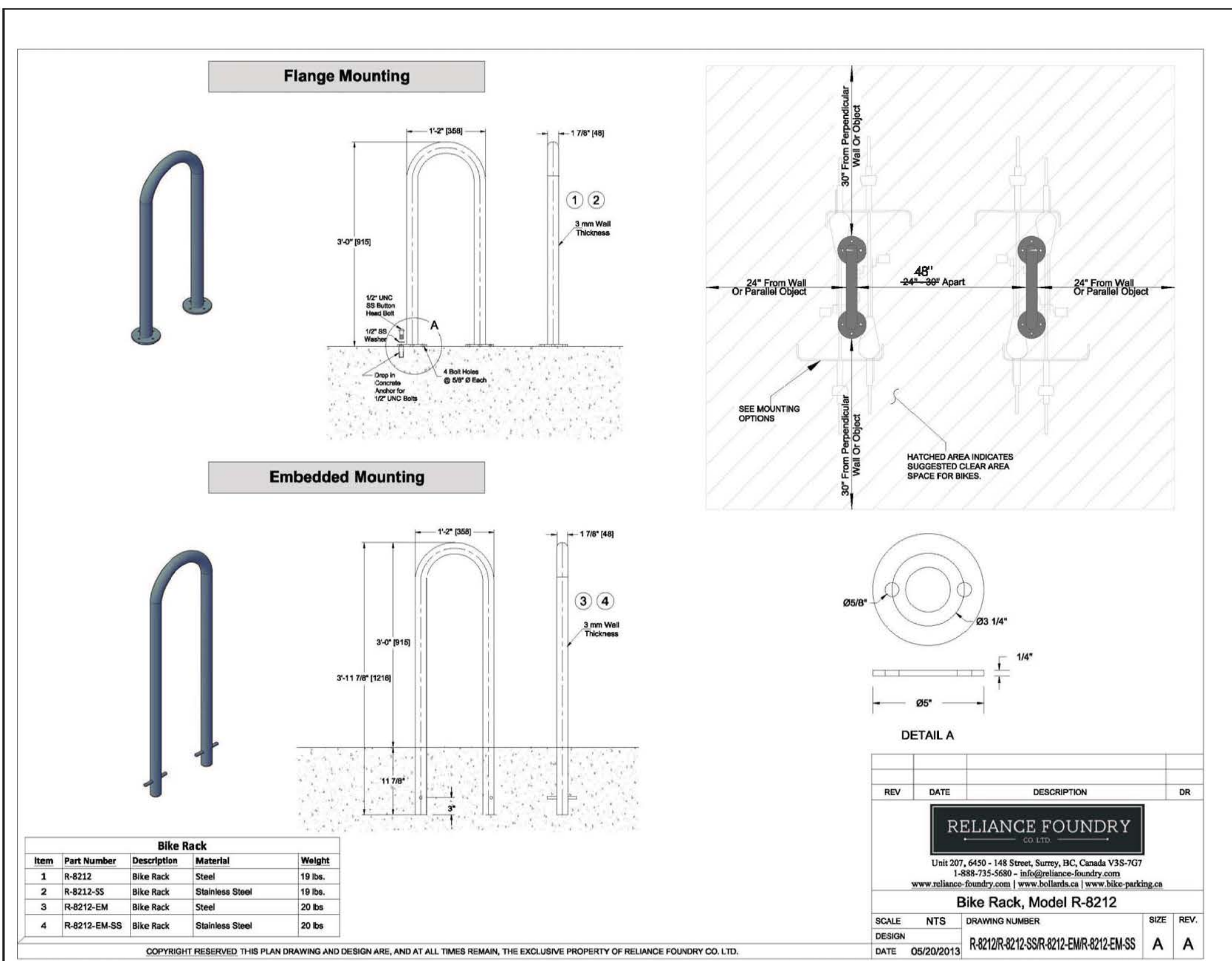


PLAN



SECTION

CONCRETE SIDEWALK
SECTION
NTS



BICYCLE RACK
DETAIL

PLANT SCHEDULE (plants subject to change)

QTY.	SYMBOL	Scientific Name	Common Name	Size	Spacing	Root	Notes	Canopy Per Tree	Total Canopy
7	PA	<i>Platanus occidentalis</i>	Sycamore	2' Cal.	AS SHOWN	B&B		1253	8,771
								Total =	8,771

STREETSCAPE TREE NOTES:

- a. PURSUANT TO SEC. 34-870(E), THE DIRECTOR OF NEIGHBORHOOD DEVELOPMENT SERVICES APPROVES THAT STREETSCAPE TREES MAY BE PLANTED IN THE CITY'S EXISTING OR PROPOSED RIGHTS OF WAY IN ACCORDANCE WITH THIS SITE PLAN. ALL STREETSCAPE TREES PLANTED IN THE CITY'S EXISTING OR PROPOSED RIGHTS OF WAY SHALL BE OF THE PLACEMENT AND TYPE(S) AS SPECIFIED IN THIS PLAN.
- b. THE DEVELOPER GUARANTEES MAINTENANCE AND, IF DEEMED NECESSARY BY THE CITY'S ARBORIST, REPLACEMENT OF ANY AND ALL STREETSCAPE TREES PLANTED IN THE CITY'S EXISTING OR PROPOSED RIGHTS OF WAY IN ACCORDANCE WITH THIS SITE PLAN. THE GUARANTEE BY THE DEVELOPER FOR MAINTENANCE AND/OR REPLACEMENT SHALL BE IN EFFECT FOR A PERIOD OF TWO (2) YEARS FROM THE DATE OF STREETSCAPE TREE PLANTING.

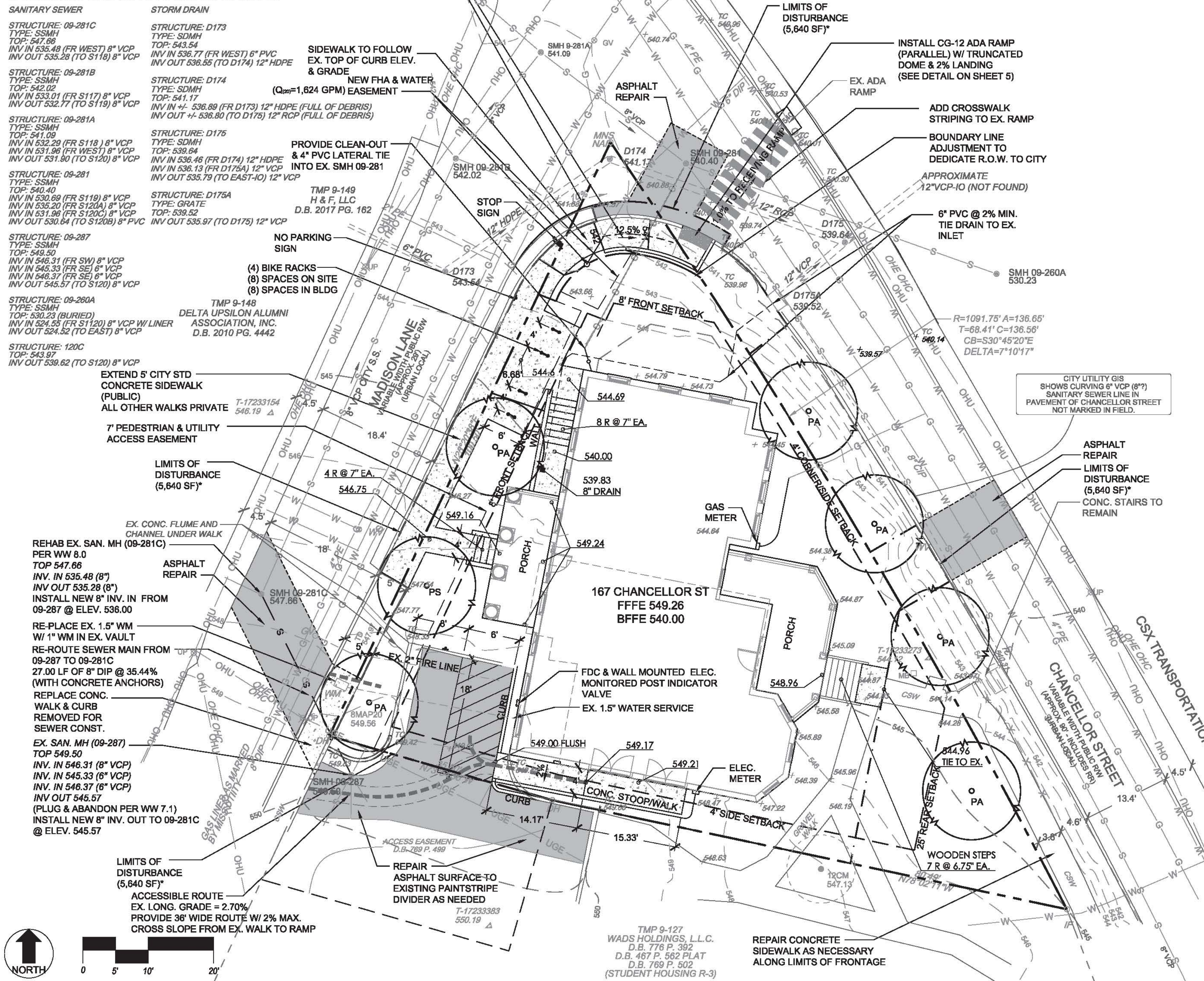
34-869 - TREE COVER REQUIREMENTS	
REQUIREMENT: CANOPY COVER AT 20 YEARS EQUALS 10% GROSS SITE AREA	
SITE DATA: 3,311 SQUARE FEET GROSS SITE AREA	
TOTAL SITE AREA:	5,993 SQUARE FEET
(-) BUILDING FOOTPRINT	2,367 SQUARE FEET
(-) DRIVEWAY ACCESS AREA	315 SQUARE FEET
TOTAL TREE CANOPY REQUIRED:	331 SQUARE FEET
TOTAL TREE CANOPY AT 20 YEARS PROVIDED:	8,771 SQUARE FEET

34-870 - STREETSCAPE TREES	
REQUIREMENT: 1 LARGE TREE PER 40 FEET OF ROAD FRONTAGE	
Chancellor Street	140 LINEAR FEET
TOTAL TREES REQUIRED:	4 LARGE SHADE TREES
TOTAL TREES PROVIDED:	4 LARGE SHADE TREES
Madison Lane	100 LINEAR FEET
TOTAL TREES REQUIRED:	3 LARGE SHADE TREES
TOTAL TREES PROVIDED:	3 LARGE SHADE TREES

34-871 - SCREENING	
REQUIREMENT: None, the property is not adjacent to any low density residential districts	

34-873 - PARKING LOTS - SCREENING AND INTERIOR LANDSCAPING	
REQUIREMENT: None, there are less than 20 surface parking spaces proposed.	

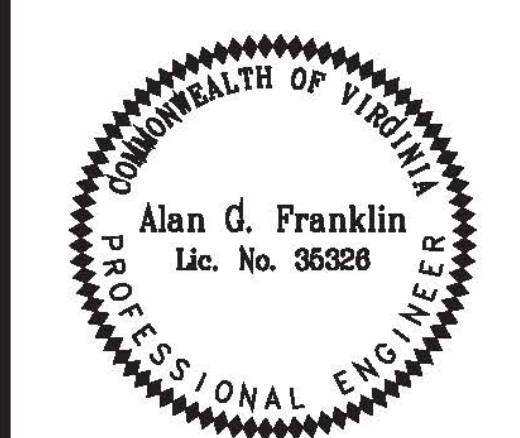
THE PROPOSED SIDEWALK EXTENSION ABUTS THE EXISTING MADISON LANE TOP OF CURB SO ITS LONGITUDINAL GRADE WILL MATCH THAT OF MADISON LANE, WHICH IS IN EXCESS OF (ADAAG) ADA STANDARDS. GIVEN THE ELEVATION CHANGE OVER SUCH A SHORT DISTANCE AT THE CHANCELLOR STREET INTERSECTION, IT IS NOT FEASIBLE TO PROVIDE A SIDEWALK THAT MEETS THE (ADAAG) ADA STANDARDS FOR LONGITUDINAL GRADE; HOWEVER THE WALK DOES CONFORM TO (PROWAG) ADA STANDARDS FOR LONGITUDINAL GRADE. THE PROPOSED WALK WILL BRIDGE THE GAP BETWEEN THE MADISON LANE SIDEWALK TERMINUS AND THE CHANCELLOR STREET SIDEWALK SO PEDESTRIAN NO LONGER NEED TO TRAVEL IN THE STREET.



***NOTE TO CONTRACTOR REGARDING LIMITS OF DISTURBANCE**
SITE PLANS WITH LIMITS OF DISTURBANCE GREATER THAN 6,000 SQUARE FEET REQUIRE AND EROSION AND SEDIMENT CONTROL, STORMWATER MANAGEMENT PLANS, CHECKLISTS, APPLICATIONS, AND FEES. ANY INCREASE IN THE PROJECT LIMITS BEYOND WHAT IS SHOWN ON THIS PLAN WILL LIKELY PUSH THE LIMITS OF DISTURBANCE BEYOND 6,000 SQUARE FEET WHICH WILL RESULT IN A FINE AND A STOP WORK ORDER THAT WILL HALT WORK UNTIL EAS AND SWM DOCUMENTS ARE SUBMITTED, REVIEWED, AND APPROVED.

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alan@alanfranklinpe.com

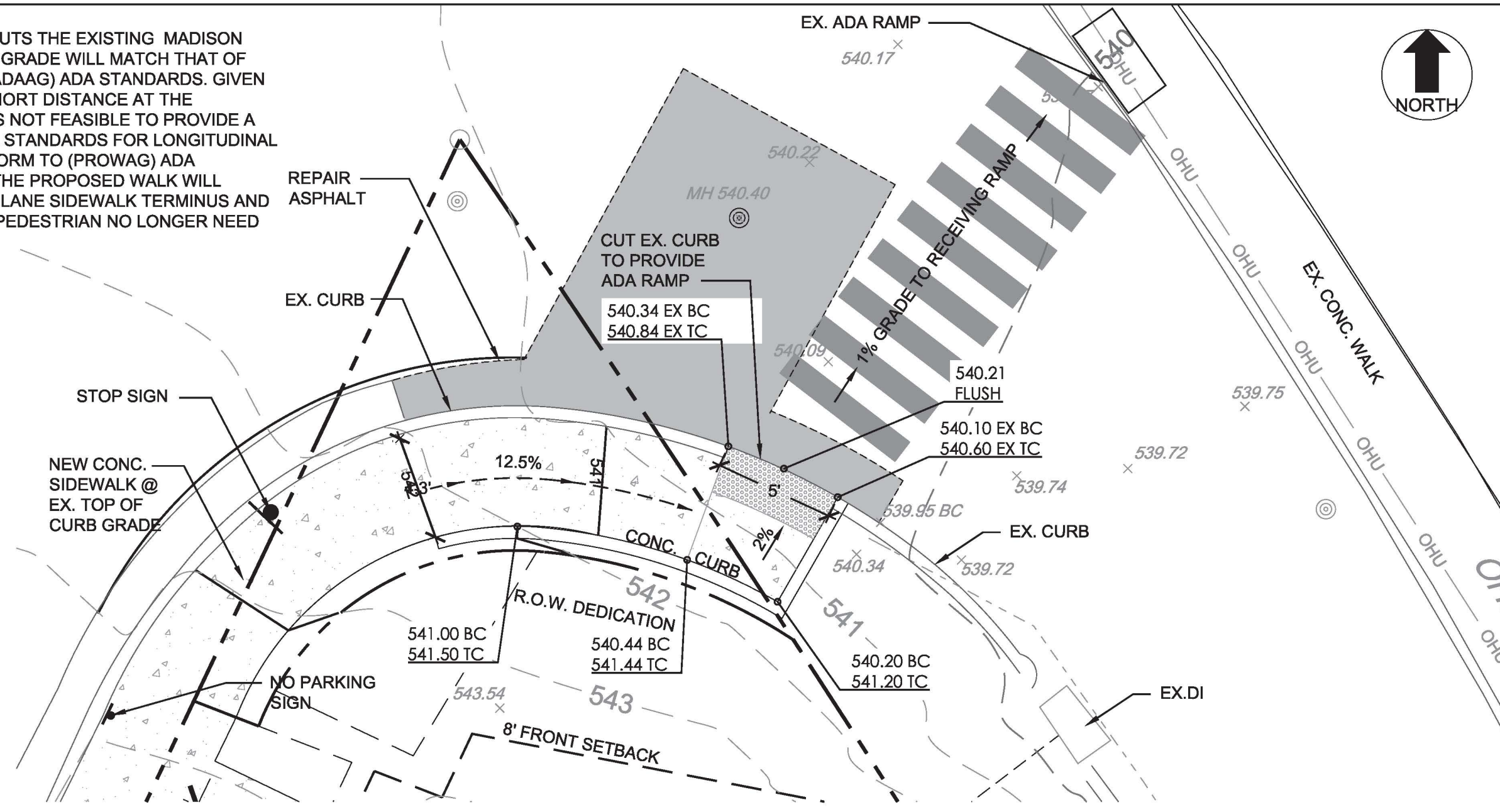
SPECIAL USE PERMIT/PRELIMINARY SITE PLAN
167 CHANCELLOR STREET
CHARLOTTESVILLE, VIRGINIA
PRELIMINARY SITE PLAN



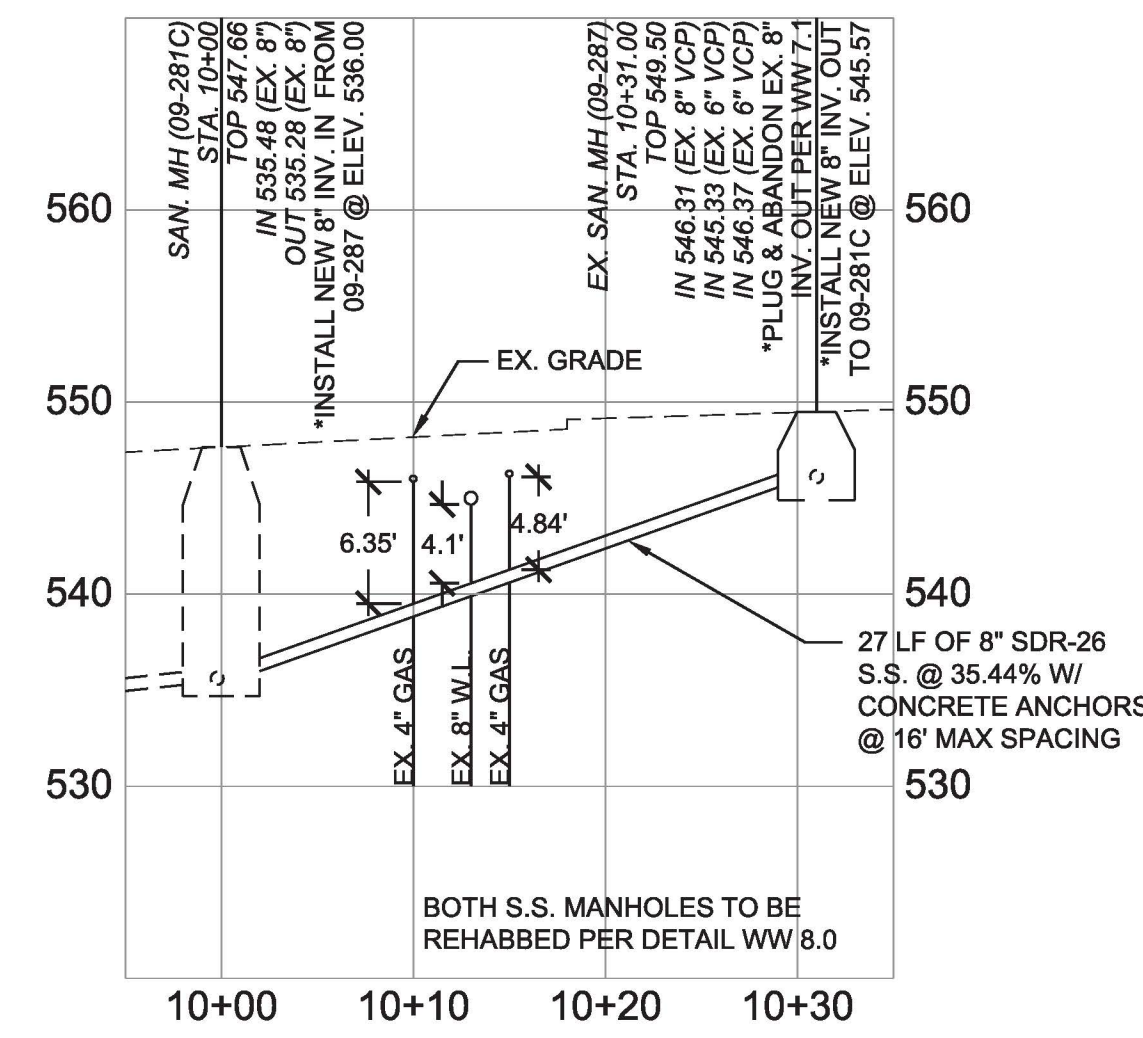
SCALE:
ISSUED: 10-01-19
DRAWN BY:
REVISIONS:
1 01.06.20 - CITY COMMENTS
2 02.27.20 - CITY COMMENTS
3 04.17.20 - CITY COMMENTS

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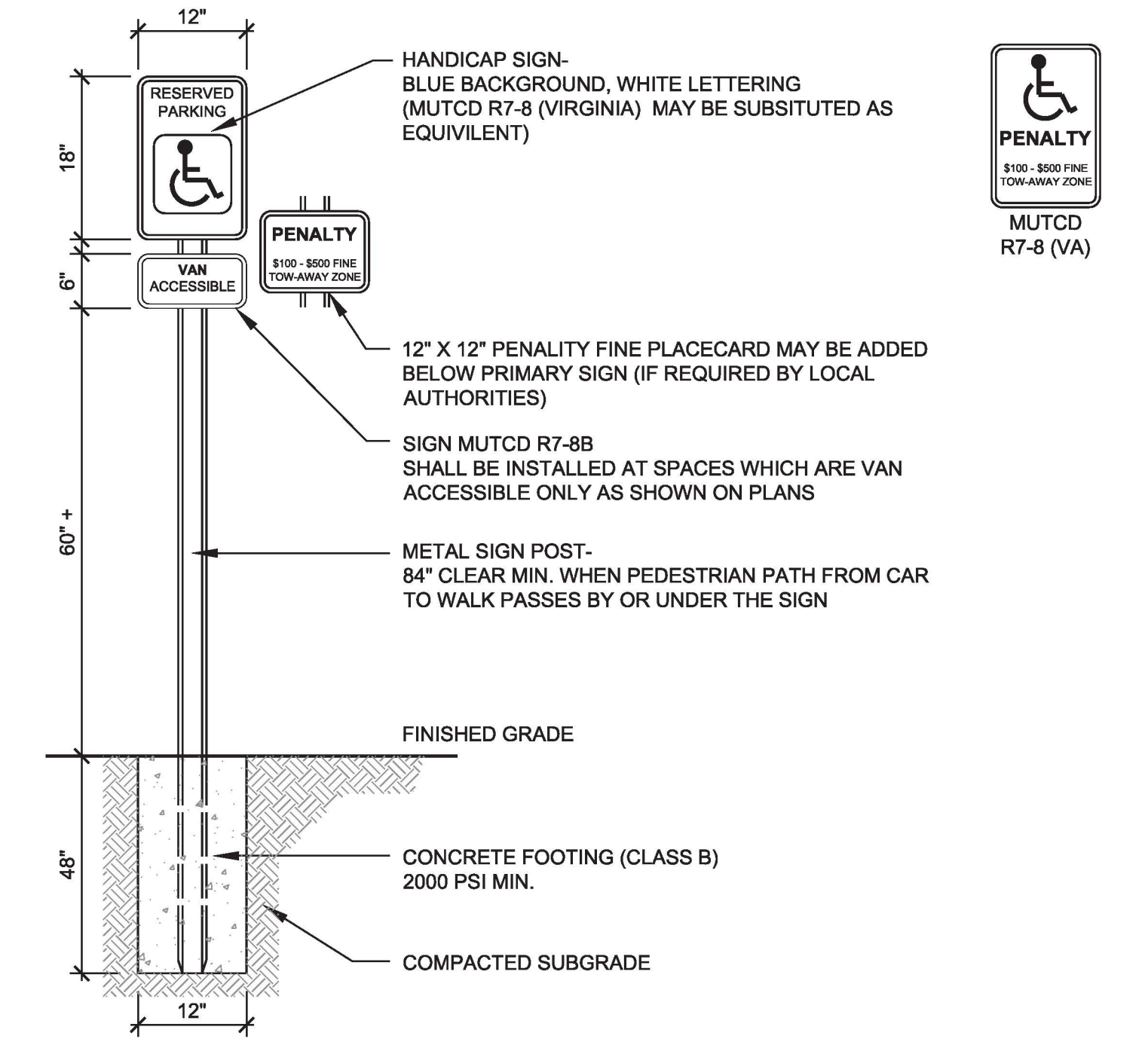
THE PROPOSED SIDEWALK EXTENSION ABUTS THE EXISTING MADISON LANE TOP OF CURB SO ITS LONGITUDINAL GRADE WILL MATCH THAT OF MADISON LANE, WHICH IS IN EXCESS OF (ADAAG) ADA STANDARDS. GIVEN THE ELEVATION CHANGE OVER SUCH A SHORT DISTANCE AT THE CHANCELLOR STREET INTERSECTION, IT IS NOT FEASIBLE TO PROVIDE A SIDEWALK THAT MEETS THE (ADAAG) ADA STANDARDS FOR LONGITUDINAL GRADE; HOWEVER THE WALK DOES CONFORM TO (PROWAG) ADA STANDARDS FOR LONGITUDINAL GRADE. THE PROPOSED WALK WILL BRIDGE THE GAP BETWEEN THE MADISON LANE SIDEWALK TERMINUS AND THE CHANCELLOR STREET SIDEWALK SO PEDESTRIAN NO LONGER NEED TO TRAVEL IN THE STREET.



ADA-RAMP @ MADISON/CHANCELLOR
ENLARGEMENT SCALE: 1" = 5'

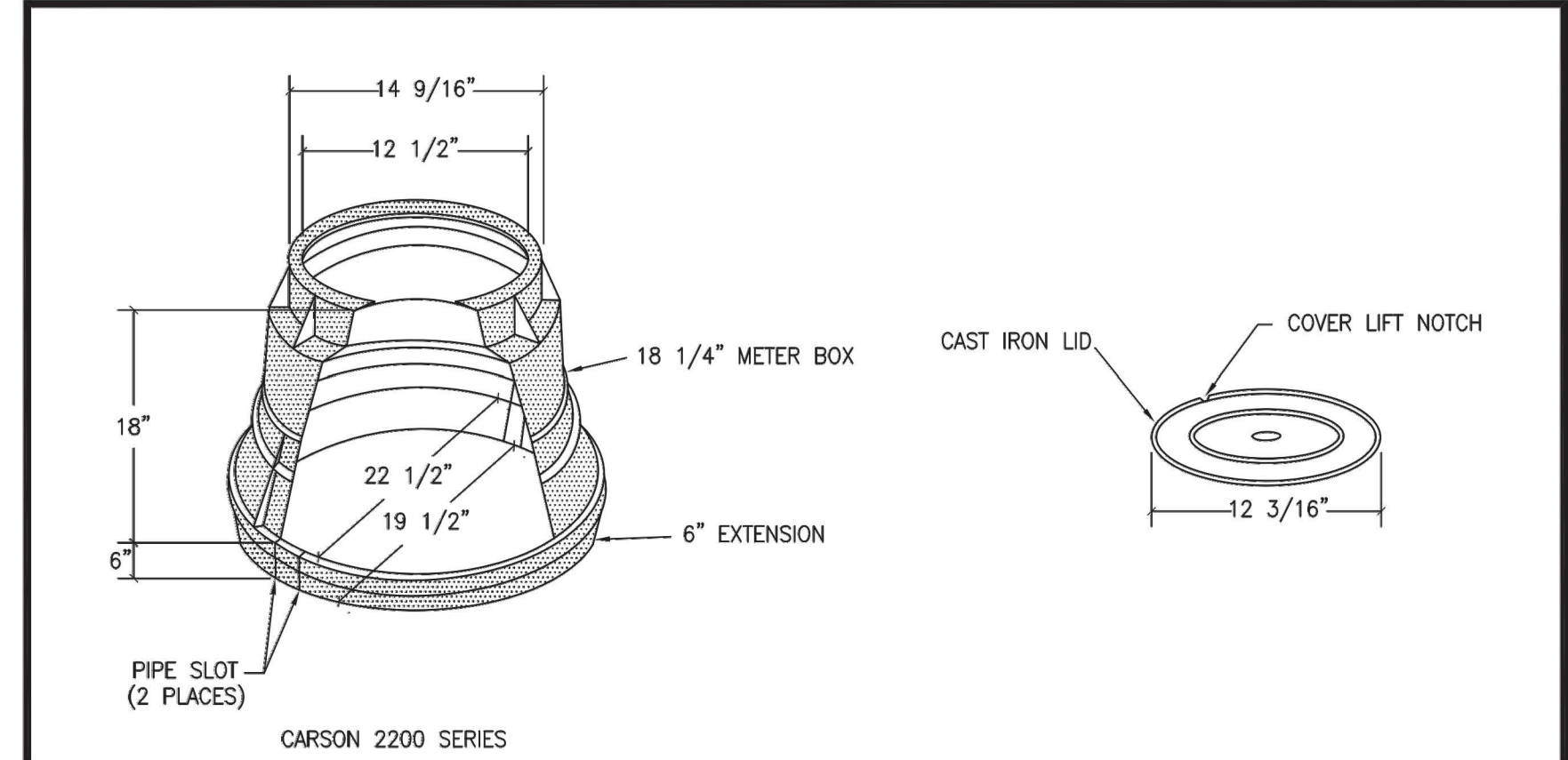


SAN. SEWER PROFILE:
SCALE: H: 1"=10', V: 1"=10'



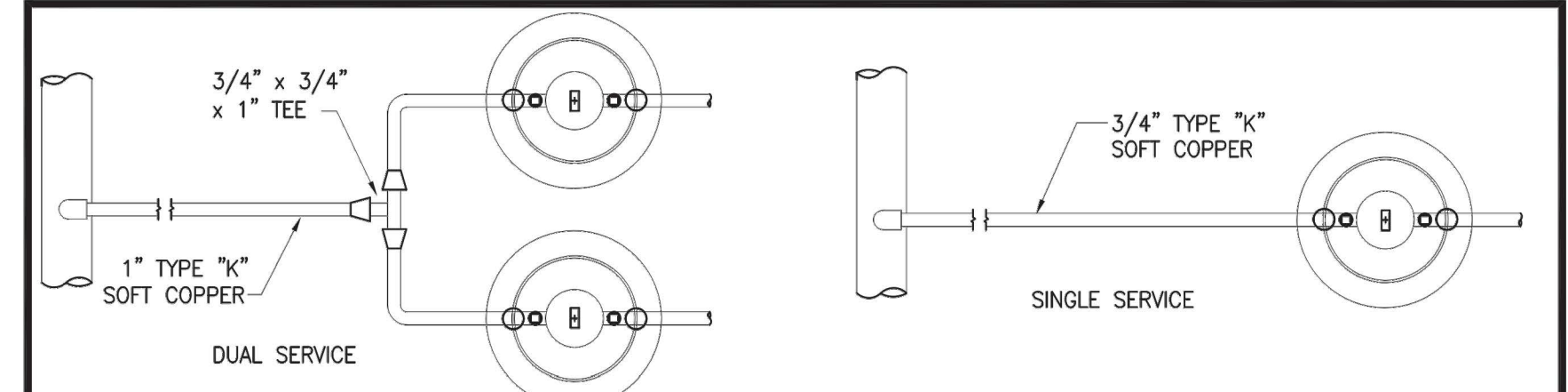
- NOTES:**
- METAL POST SHALL BE GALVANIZED OR BAKED ENAMEL HIGH STRENGTH U-CHANNEL. POST SHALL HAVE 3/8" DIA. PRE-DRILLED HOLES THAT ARE 1" ON CENTER FOR MOUNTING SIGNS. BAKED ENAMEL POST COLOR SHALL BE BLACK.
 - ALL BOLTS, NUTS, WASHERS, & SCREWS SHALL BE GALVANIZED.
 - SIGNS SHALL BE FABRICATED BY USING A REFLECTIVE COATING IN THE SYMBOL, MESSAGE, AND BORDERS APPLIED TO A SHEET ALUMINUM BACKING (.080") IN THICKNESS.
 - MESSAGE LETTERING SHALL BE UPPER CASE (WHITE SERIES B) IN ACCORDANCE WITH MUTCD.
 - THE SYMBOL IS COMPOSED OF TWO ELEMENTS. A WHITE WHEELCHAIR FIGURE (WHICH ALWAYS FACES RIGHT) ON A SQUARE BACKGROUND, INTERNATIONAL BLUE IN COLOR (FED. STD. 595A, COLOR #15180)
 - SIGN POST SHALL HAVE MIN. 6" CLEARANCE FROM BACK OF CURB AND PLACED AS SHOWN ON PLANS.
 - ANY SIGNS MOUNTED TO ONE POST SHALL BE SPACED 2" APART.

ADA (VAN) ACCESSIBLE PARKING SIGN
DETAIL N.T.S.

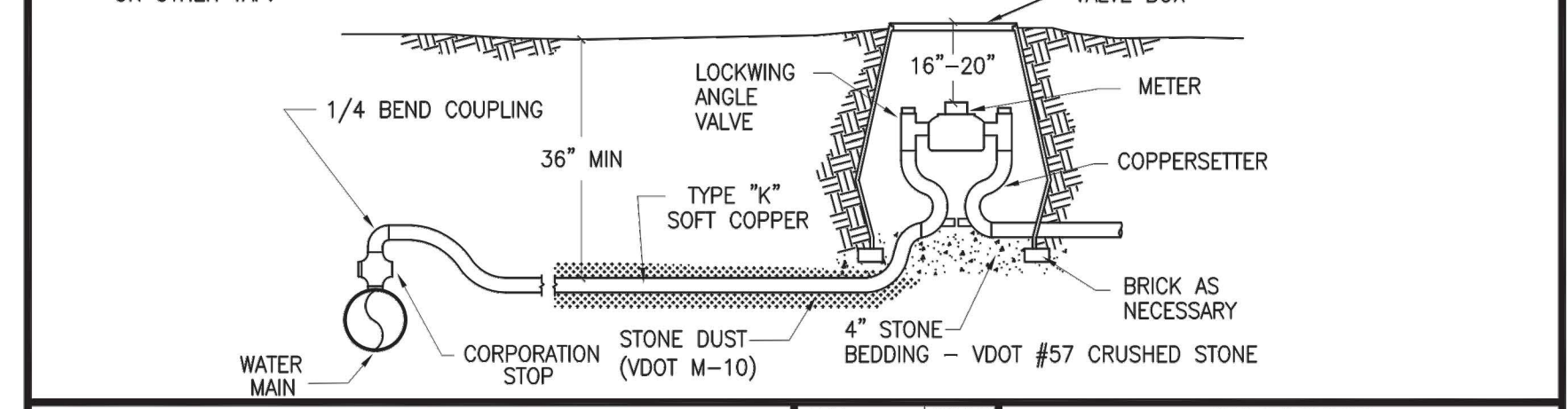


- NOTES:**
- UNPAVED AREAS (PREFERRED LOCATION): PLASTIC BROOKS 2200 SERIES WITH 6" EXTENSION OR APPROVED EQUAL.
 - PAVED AREAS (ALTERNATE LOCATION): CAST IRON BINGHAM AND TAYLOR NO. 6015-B OR APPROVED EQUAL. USE 6" OF BRICK AND/OR BLOCK TO INCREASE DEPTH TO 24".
 - LID MUST BE CAST TO ACCEPT AN ITRON, INC. WATER ERT METER MODULE.

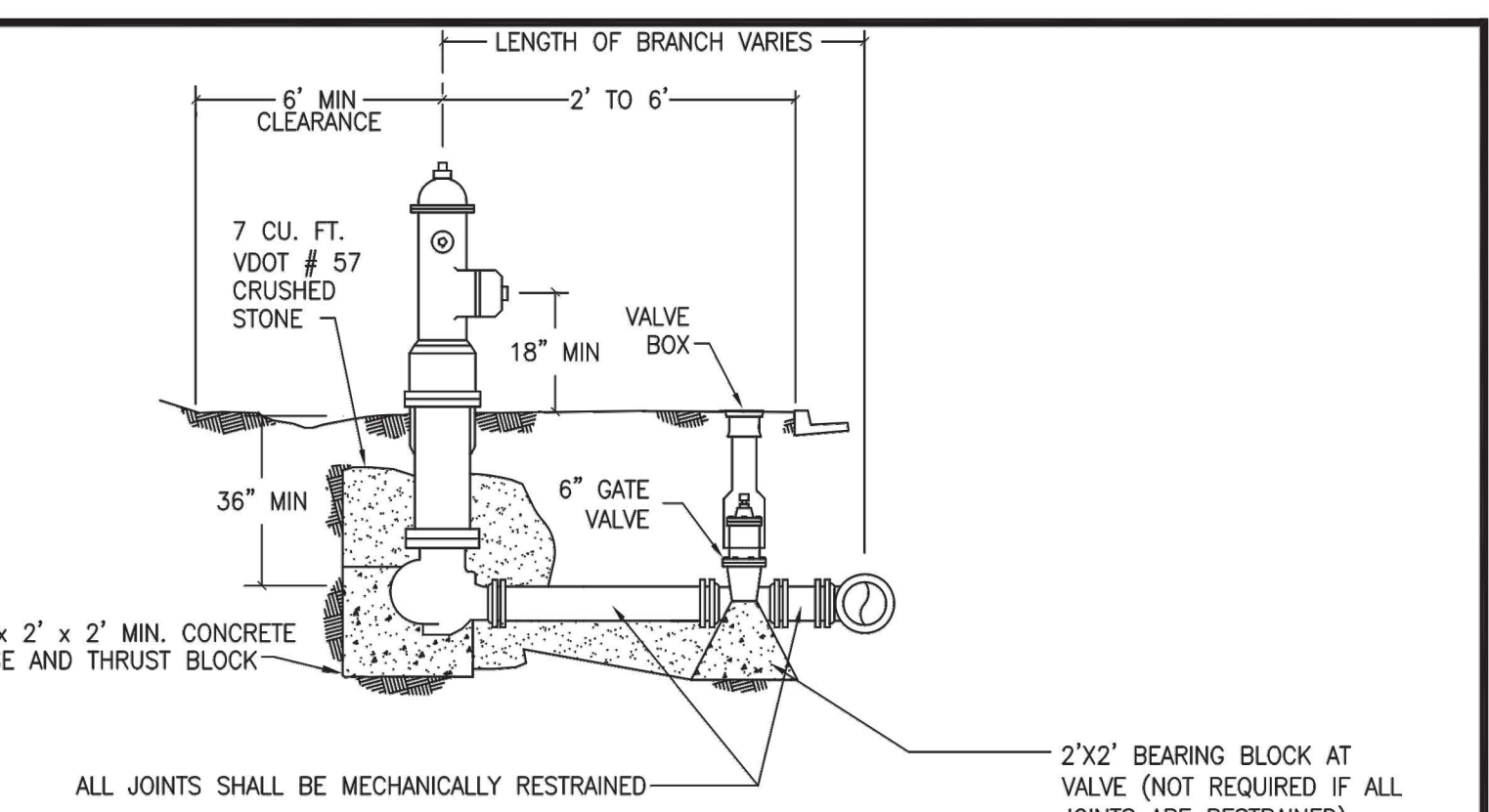
CITY OF CHARLOTTESVILLE
CITY STANDARDS
METER BOX - 5/8" AND 1" METERS
REVISION DATE SCALE: N.T.S. STANDARD NUMBER: W 6.0



- NOTES:**
- THE SERVICE LATERAL, 1/4 BEND COUPLING, AND CORPORATION STOP SHALL BE THE SAME SIZE AS THE COPPERSETTER, EXCEPT AS NOTED ABOVE.
 - METER TO BE INSTALLED BY THE CITY.
 - INSTALL WARNING TAPE WITH SERVICE LATERAL.
 - CORPORATION STOPS THREADED INTO IRON PIPES, FITTINGS, OR SPECIALS SHALL HAVE THEIR THREADS WRAPPED IN TEFLON TAPE PRIOR TO ASSEMBLY.
 - TAPS SHALL NOT BE MADE WITHIN TWO (2) FEET OF A BELL JOINT, FITTING, OR OTHER TAP.

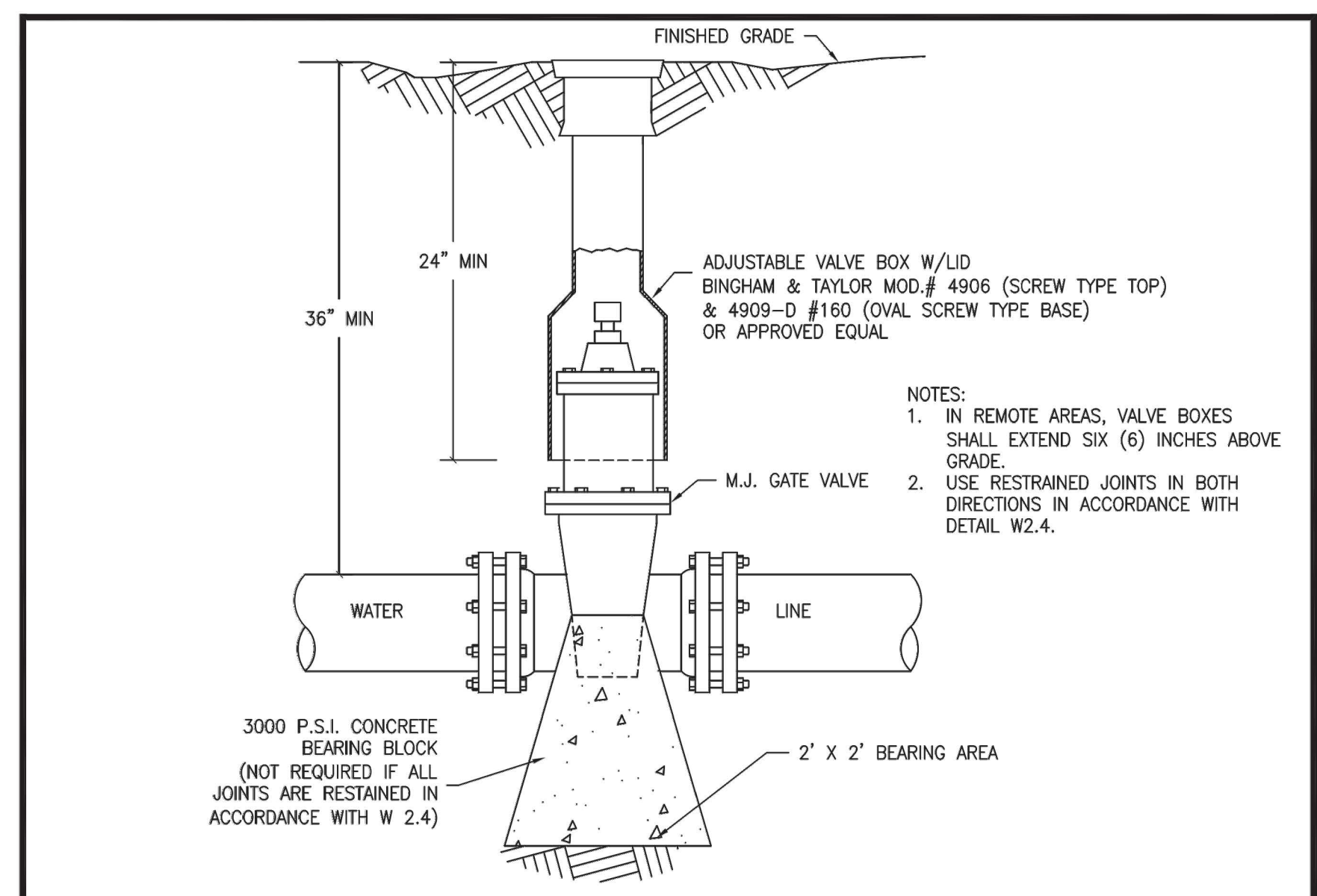


CITY OF CHARLOTTESVILLE
CITY STANDARDS
SERVICE LATERAL - TYPICAL
REVISION DATE SCALE: N.T.S. STANDARD NUMBER: W 5.0

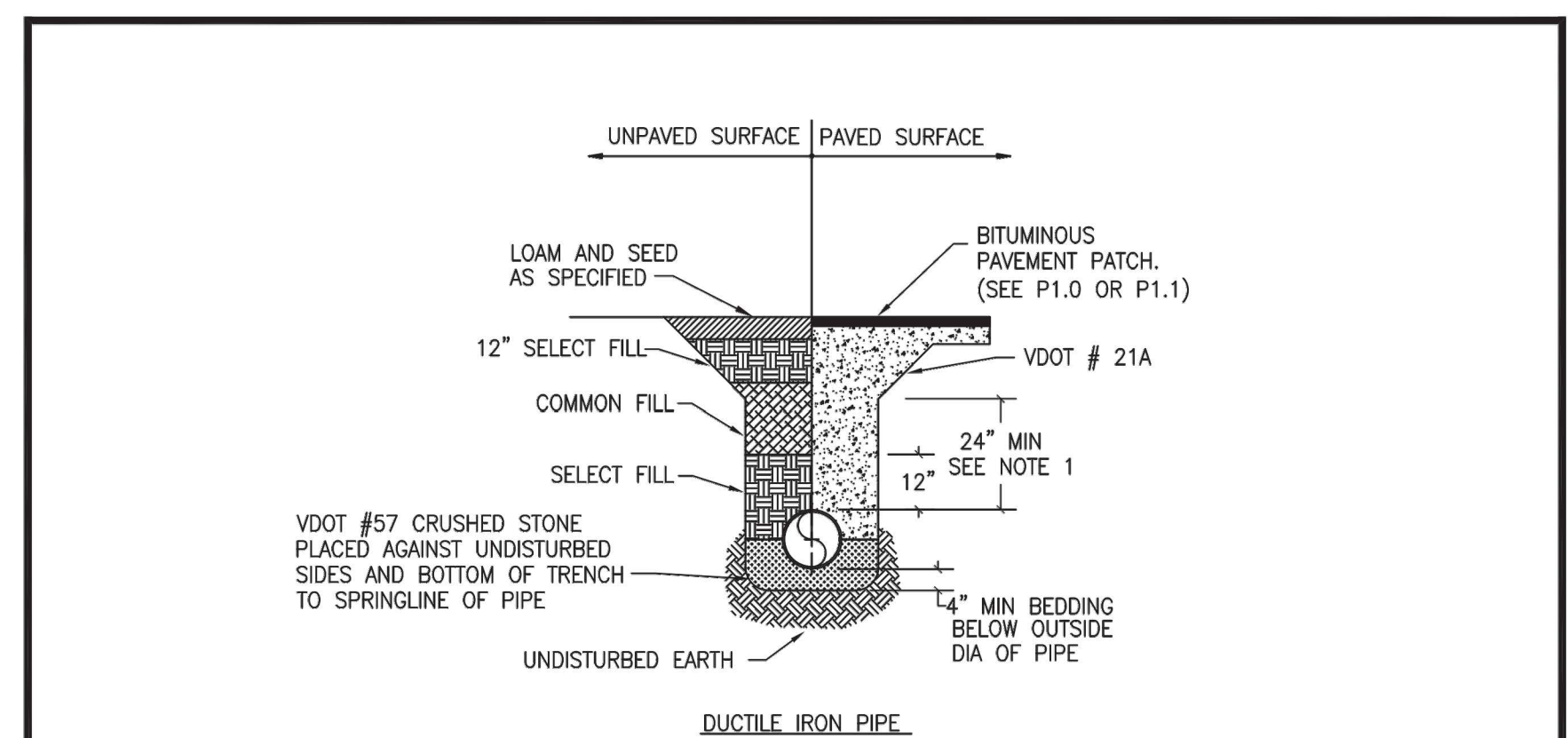


- NOTES:**
- SURROUND WEEP HOLES WITH GRAVEL AND KEEP FREE OF CONCRETE.
 - MAINTAIN A 3" MIN. COVER FROM THE MAIN TO THE FIRE HYDRANT (INCLUDING DITCHES).
 - FINISHED GRADE SHALL SLOPE AWAY FROM THE FIRE HYDRANT AND VALVE BOX.
 - GATE VALVE SHALL NOT BE PLACED WITHIN THE DITCH LINES.
 - IF GROUNDWATER IS PRESENT AT THE INSTALLATION SITE, COORDINATE THE RELOCATION OF THE HYDRANT WITH CITY.
 - EACH NEW FIRE HYDRANT SHALL BE FRESHLY PAINTED WITH "GLID" GUARD #45 SAFETY RED, BY "GLIDDEN" OR APPROVED EQUAL.
 - THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL FIRE HYDRANTS ARE PROVIDED WITH "CITY OF CHARLOTTESVILLE" THREADS.
 - ALL CHAINS SHALL BE REMOVED FOLLOWING INSTALLATION AND TESTING.

CITY OF CHARLOTTESVILLE
CITY STANDARDS
FIRE HYDRANT - TYPICAL
REVISION DATE SCALE: N.T.S. STANDARD NUMBER: W 3.0



CITY OF CHARLOTTESVILLE
CITY STANDARDS
GATE VALVE - TYPICAL
REVISION DATE SCALE: N.T.S. STANDARD NUMBER: W 4.0

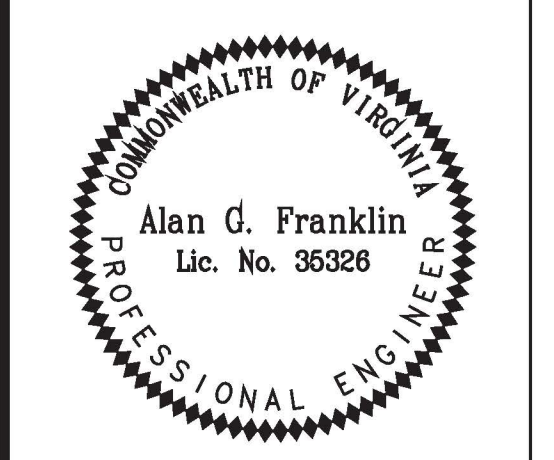


- NOTES:**
- MAINTAIN VERTICAL TRENCH WALLS FROM BOTTOM OF TRENCH TO 24" ABOVE CROWN OF PIPE. TRENCH WIDTH IN THIS AREA: PIPE O.D. + 24".
 - FOR EXCAVATIONS OVER 5 FT. DEEP, SLOPE TRENCH WALLS AS REQUIRED AND/OR PROVIDE OTHER SAFETY MEASURES IN ACCORDANCE WITH OSHA GUIDELINES.
 - ROCK SHALL BE REMOVED TO A MINIMUM OF 6-INCH CLEARANCE AROUND THE BOTTOM AND 12-INCH MINIMUM CLEARANCE TO THE SIDES OF PIPE.

CITY OF CHARLOTTESVILLE
CITY STANDARDS
PIPE TRENCH UNIVERSAL STANDARD SUBGRADE - TYPICAL
REVISION DATE SCALE: N.T.S. STANDARD NUMBER: W 1.0

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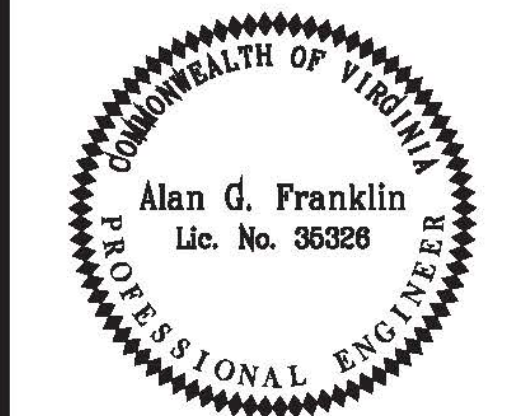
SPECIAL USE PERMIT/PRELIMINARY SITE PLAN
167 CHANCELLOR STREET
CHARLOTTESVILLE, VIRGINIA
PROFILES & DETAILS



SCALE:
ISSUED: 10-01-19
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REVISIONS:
1 01.06.20 - CITY COMMENTS
2 02.27.20 - CITY COMMENTS
3 04.17.20 - CITY COMMENTS

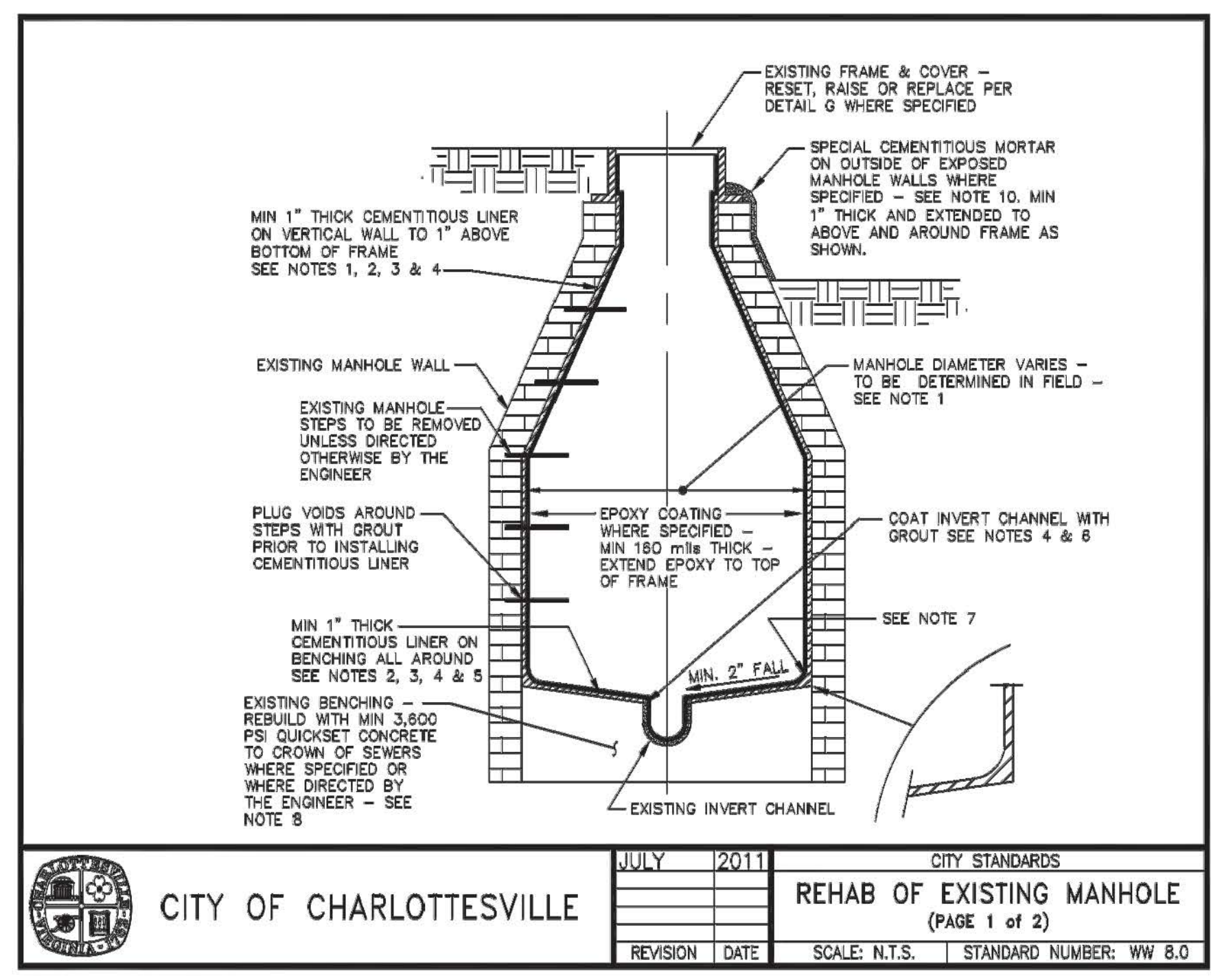
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SHEET
5
OF 6

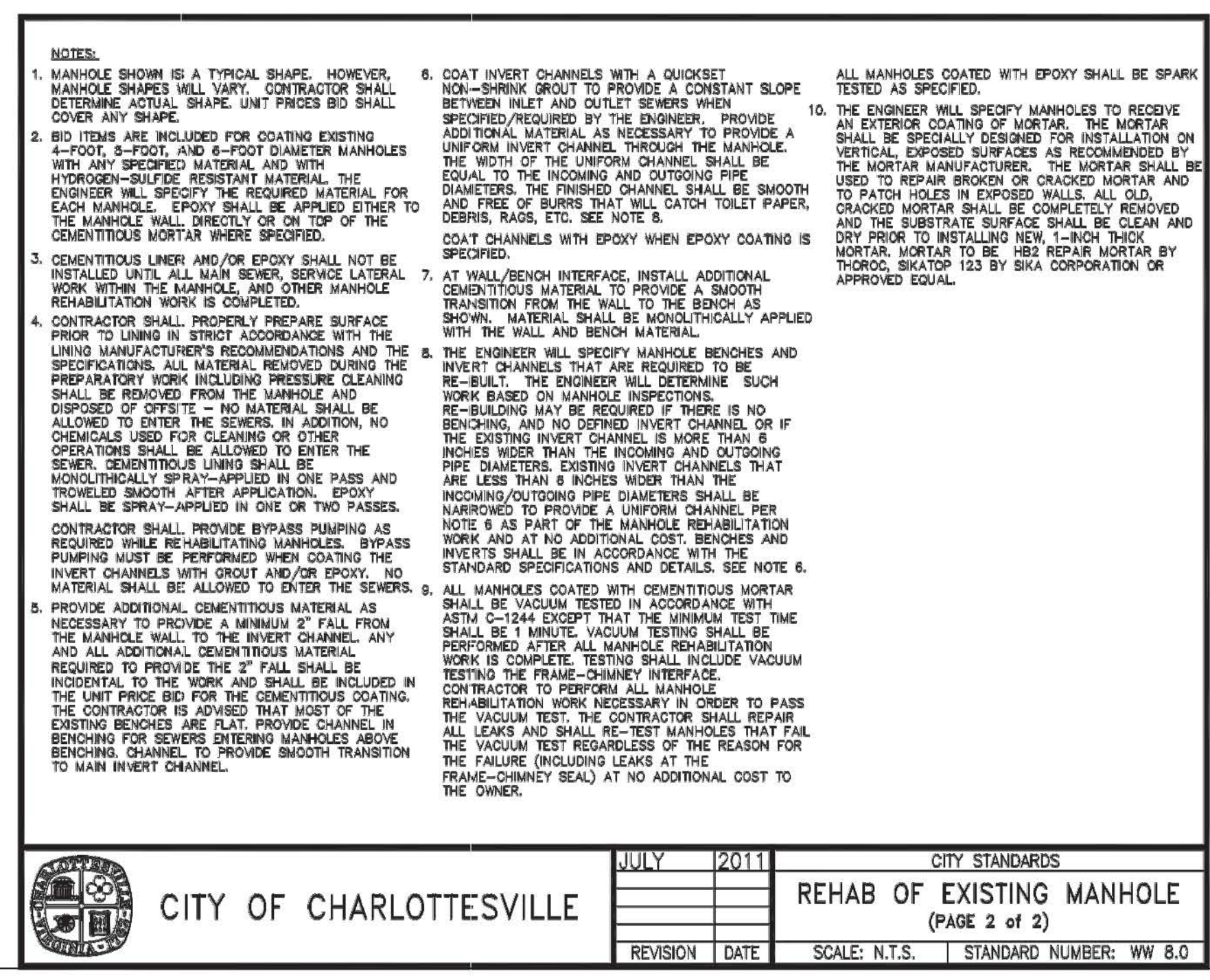


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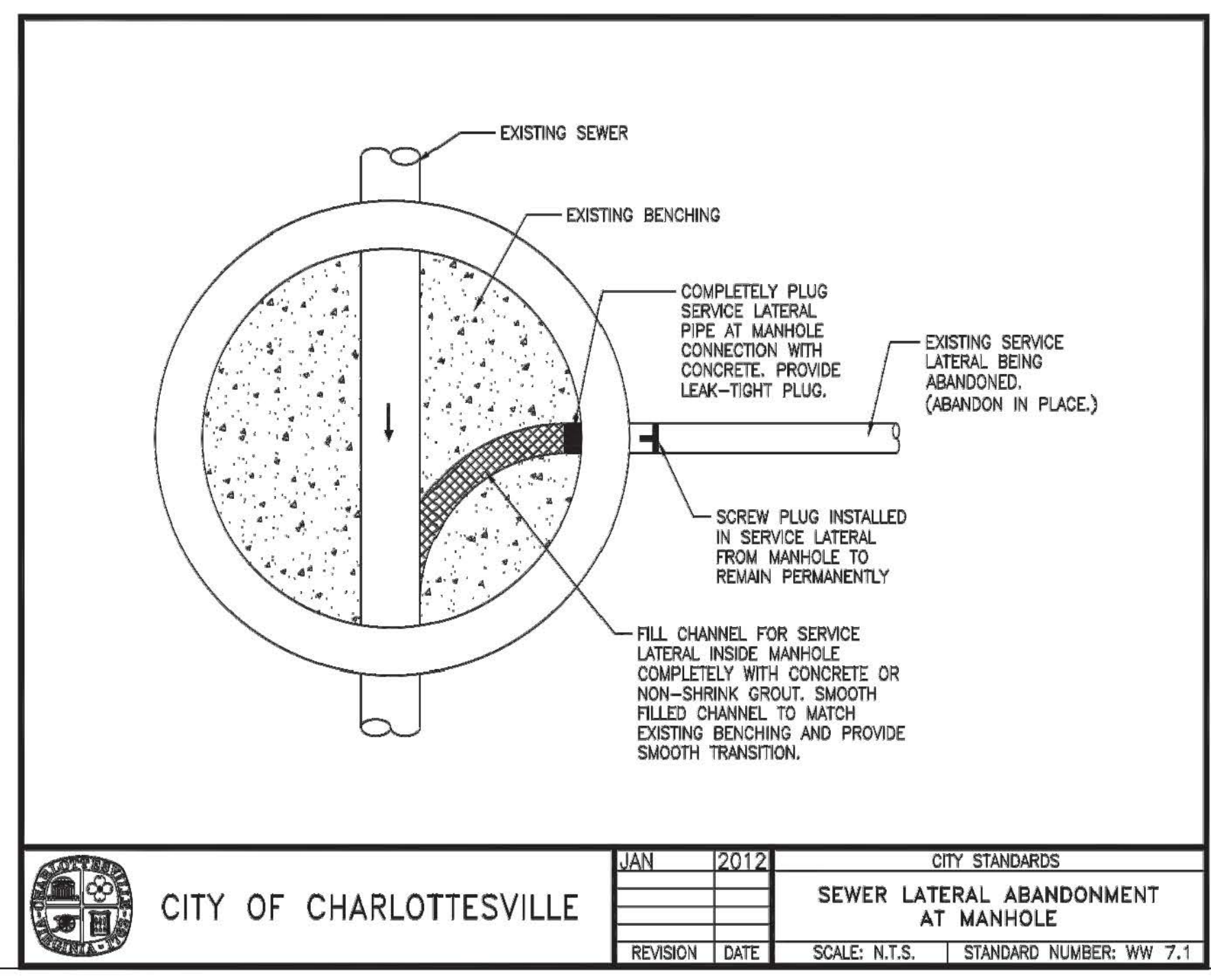
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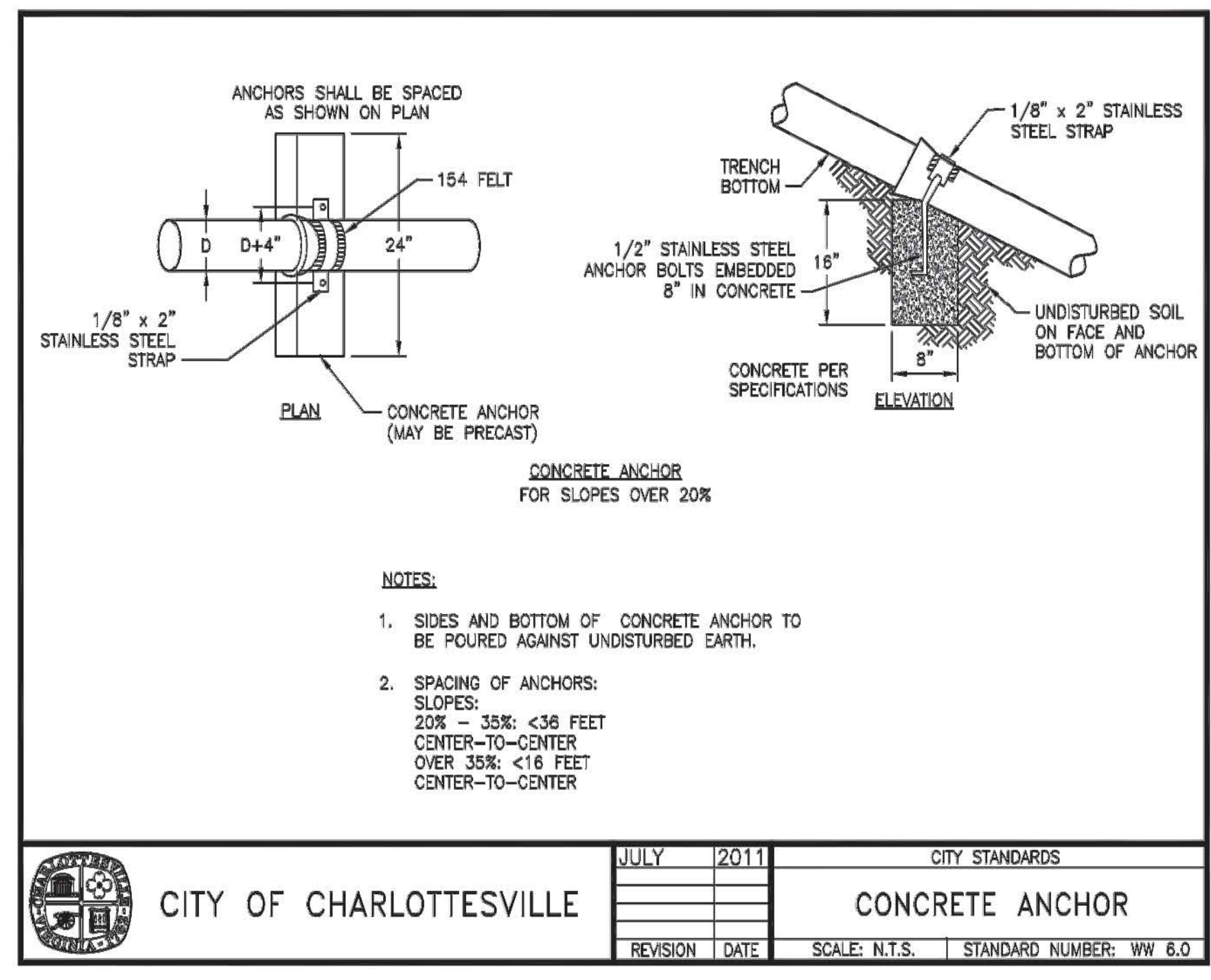
CITY OF CHARLOTTESVILLE	JULY 2011	CITY STANDARDS
REHAB OF EXISTING MANHOLE		(PAGE 1 of 2)
REVISION	DATE	SCALE: N.T.S. STANDARD NUMBER: WW 8.0



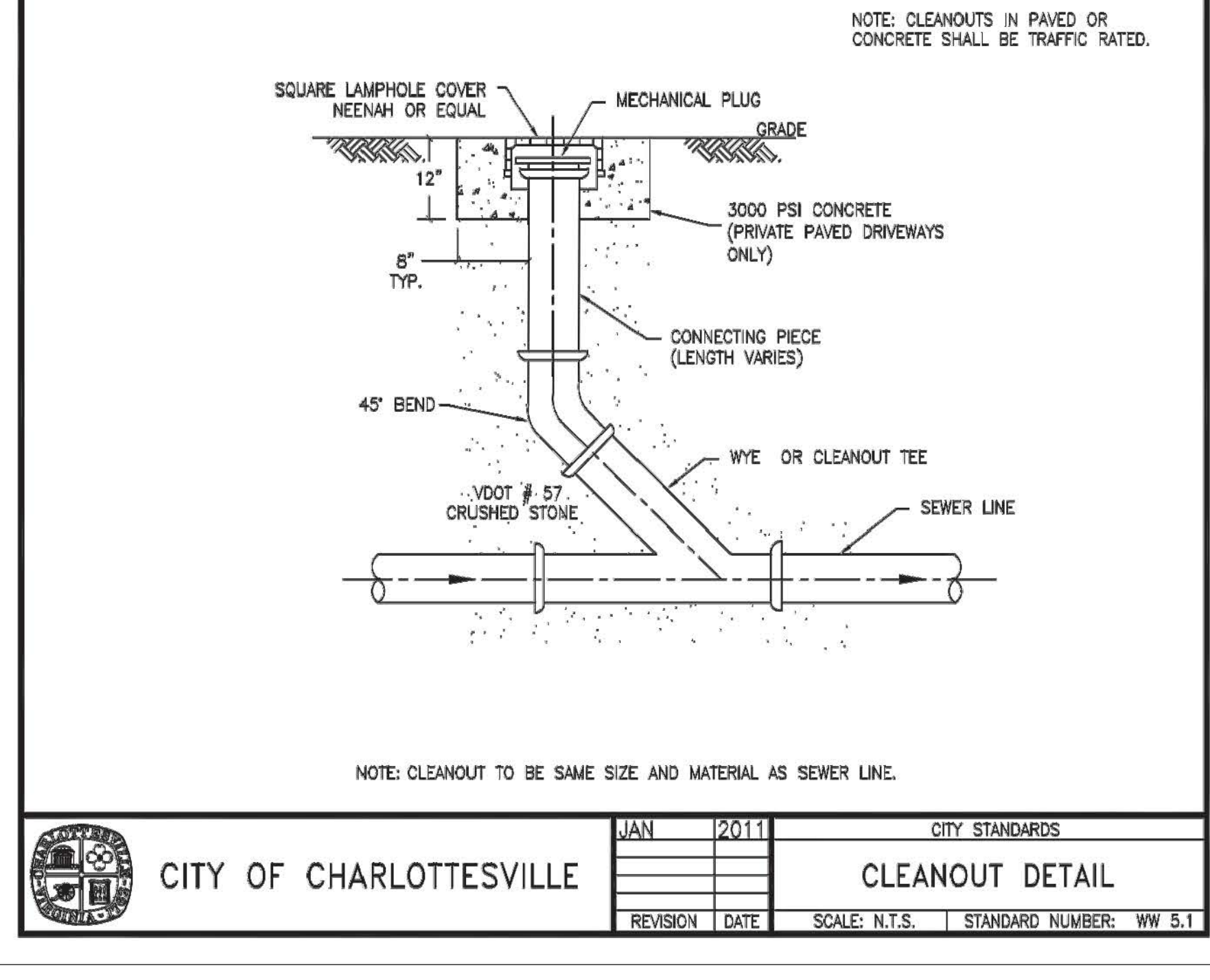
CITY OF CHARLOTTESVILLE	JULY 2011	CITY STANDARDS
REHAB OF EXISTING MANHOLE		(PAGE 2 of 2)
REVISION	DATE	SCALE: N.T.S. STANDARD NUMBER: WW 8.0



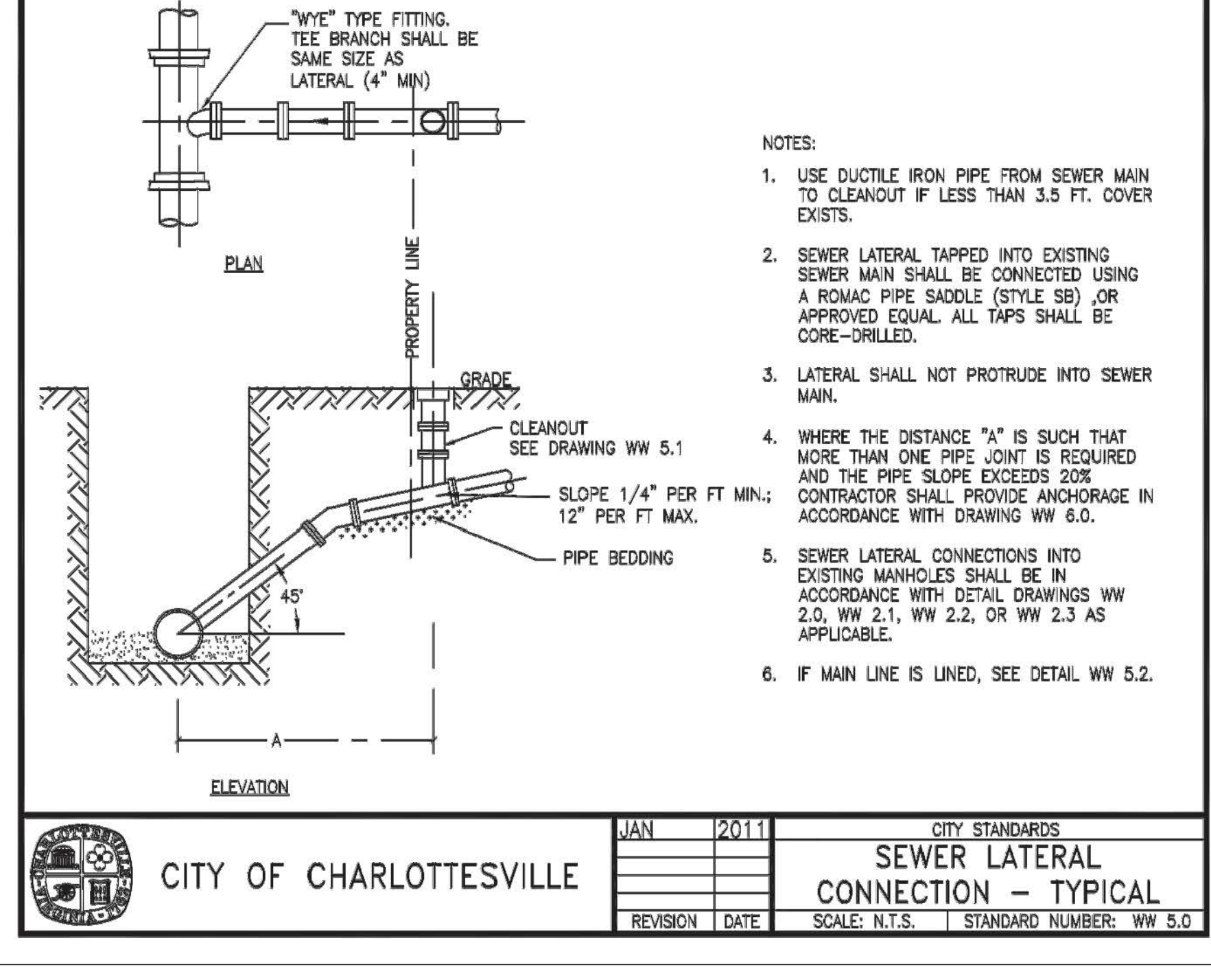
CITY OF CHARLOTTESVILLE	JAN 2012	CITY STANDARDS
SEWER LATERAL ABANDONMENT AT MANHOLE		
REVISION	DATE	SCALE: N.T.S. STANDARD NUMBER: WW 7.1



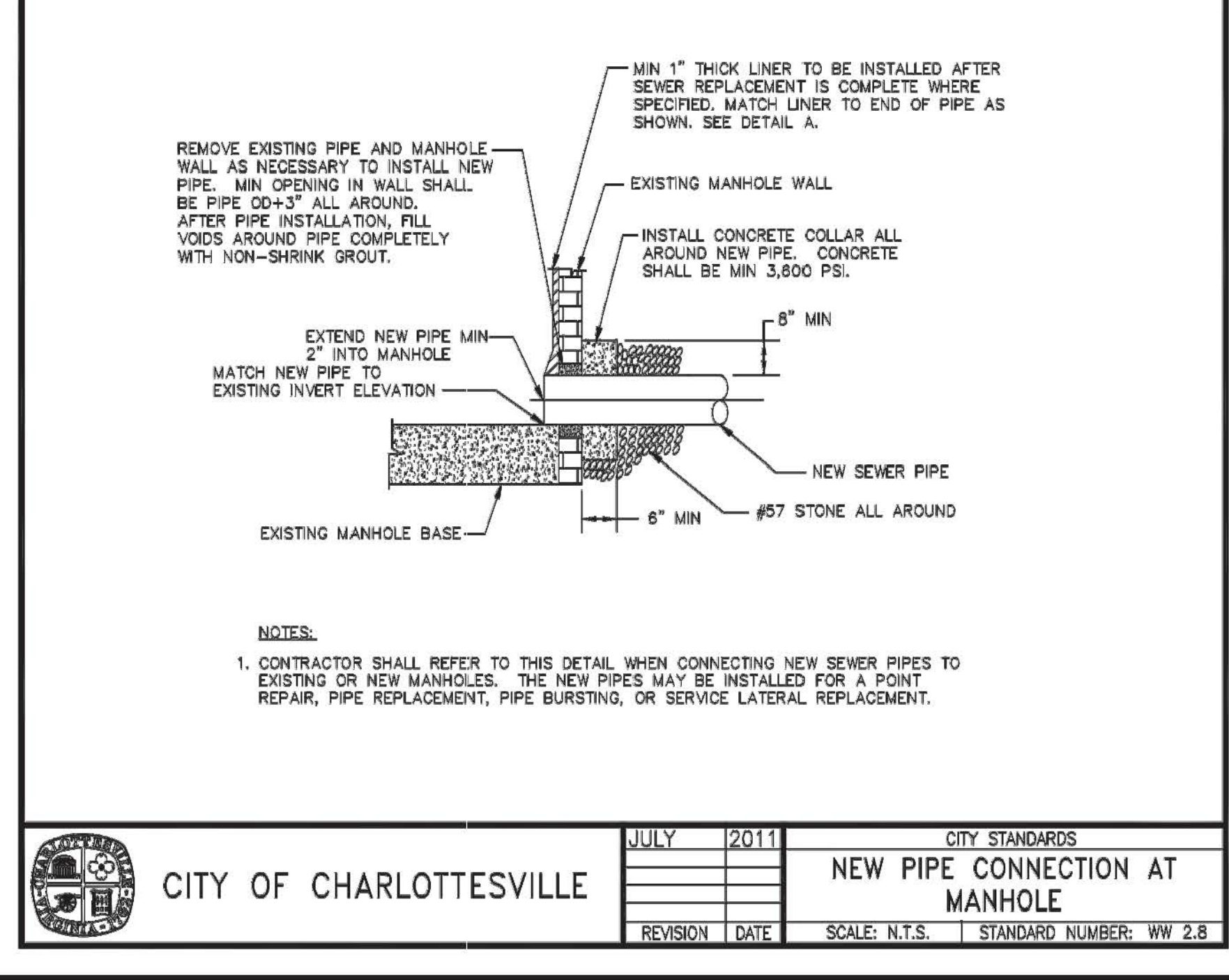
CITY OF CHARLOTTESVILLE	JULY 2011	CITY STANDARDS
CONCRETE ANCHOR		
REVISION	DATE	SCALE: N.T.S. STANDARD NUMBER: WW 6.0



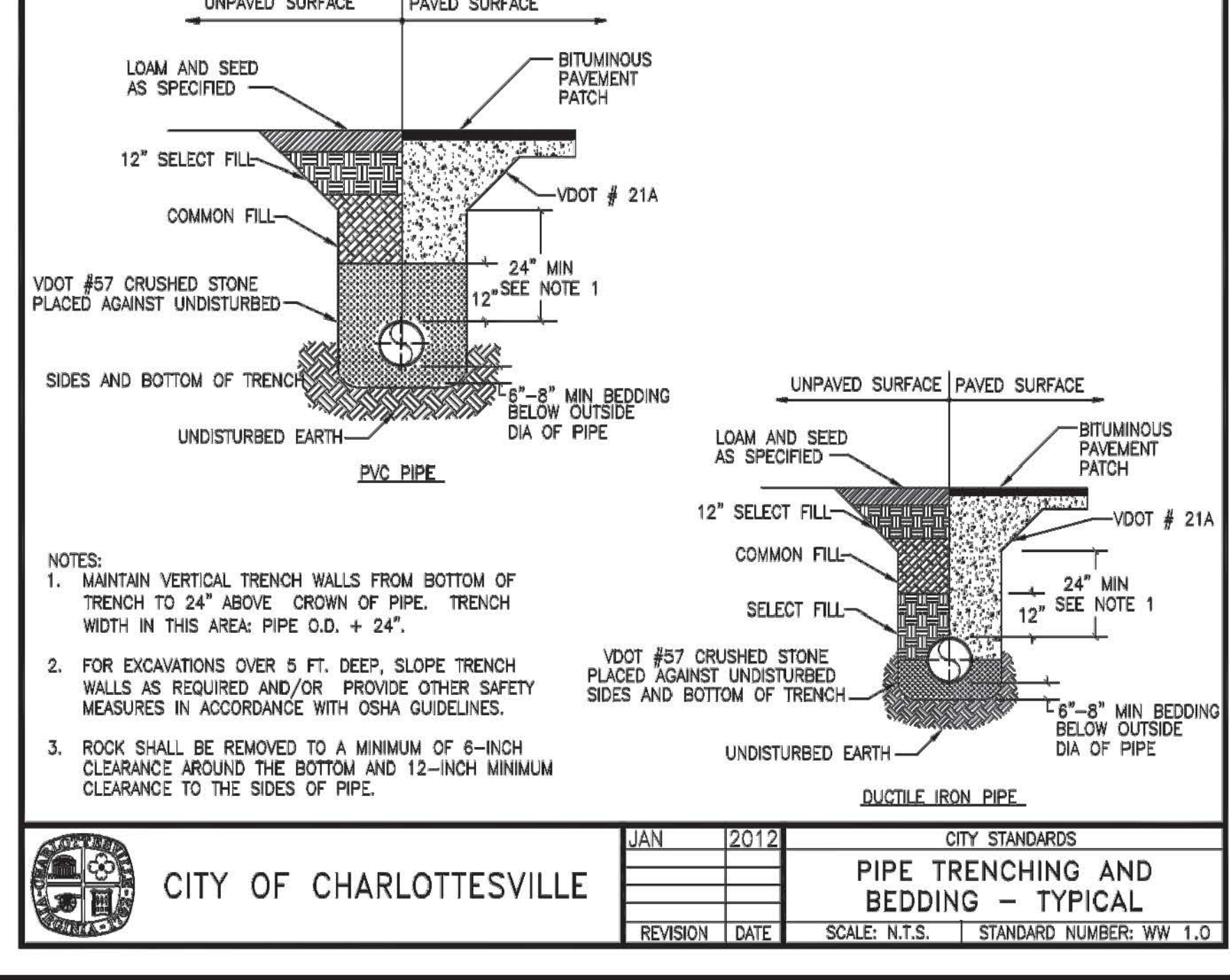
CITY OF CHARLOTTESVILLE	JAN 2011	CITY STANDARDS
CLEANOUT DETAIL		
REVISION	DATE	SCALE: N.T.S. STANDARD NUMBER: WW 5.1



CITY OF CHARLOTTESVILLE	JAN 2011	CITY STANDARDS
SEWER LATERAL CONNECTION - TYPICAL		
REVISION	DATE	SCALE: N.T.S. STANDARD NUMBER: WW 5.0



CITY OF CHARLOTTESVILLE	JULY 2011	CITY STANDARDS
NEW PIPE CONNECTION AT MANHOLE		
REVISION	DATE	SCALE: N.T.S. STANDARD NUMBER: WW 2.8



CITY OF CHARLOTTESVILLE	JAN 2012	CITY STANDARDS
PIPE TRENCHING AND BEDDING - TYPICAL		
REVISION	DATE	SCALE: N.T.S. STANDARD NUMBER: WW 1.0

**RESOLUTION
AUTHORIZING A FRATERNITY HOUSE
AT 167 CHANCELLOR STREET FOR UP TO 16 OCCUPANTS**

WHEREAS, pursuant to City Code §34-420, landowner Alpha Omicron of Chi Psi Corporation has submitted an application seeking to modify a special use permit previously approved in 1985, for the purposes of authorizing a “*boarding, fraternity and sorority house*”, as defined within City Code §34-1200, at 165 and 167 Chancellor Street (the proposed “Special Use Permit”); and

WHEREAS, the proposed Special Use Permit will apply to the land, buildings and structures located at 165 and 167 Chancellor Street (the “Subject Property”), which is further identified on 2019 City Tax Map 9 as Parcels 126 and 127 (City Parcel ID Nos. 090126000 and 090127000, respectively) and both lots are located within the City’s R-3 zoning district, subject to an historic district overlay (the Corner major design control district, per §34-272(6); and

WHEREAS, previously, on July 15, 1985 City Council granted a special use permit to authorize a “sorority complex” to be established at 165 and 167 Chancellor Street, consisting of two buildings: one, at 165 Chancellor, another at 167 Chancellor, together, having thirty-three (33) residents, total. The current owner of the land, buildings and structures located at 165 Chancellor Street (WADS Holdings, LLC) has confirmed in writing that it does not object to this application, which will update and modify the previously-granted special use permit as to both 165 and 167 Chancellor Street; and

WHEREAS, the proposed Special Use is generally described within written materials submitted in connection with SP19-00007, including: the application materials dated September 17, 2019, and related narrative; and a proposed preliminary site plan *dated* September 17, 2019 as required by City Code §34-158 (collectively, the “Application Materials”); and

WHEREAS, the Planning Commission reviewed the Application Materials, and the City’s Staff Report pertaining thereto, and then, following a joint public hearing duly advertised and conducted by the Planning Commission and City Council on November 12, 2019, the Planning Commission voted to recommend that City Council should approve this proposed Special Use, subject to certain conditions; and

WHEREAS, upon consideration of the comments received during the joint public hearing, the Planning Commission’s recommendation, and the Staff Report, as well as the factors set forth within Sec. 34-157 of the City’s Zoning Ordinance, this Council finds and determines that granting the proposed Special Use subject to suitable conditions would serve the public necessity, convenience, general welfare or good zoning practice; now, therefore,

BE IT RESOLVED by the Council of the City of Charlottesville, Virginia that, pursuant to City Code Sec. 34-420, the proposed Special Use is granted, subject to the following conditions:

1. The fraternity house located at 167 Chancellor Street shall have a maximum of sixteen (16) residents. Any expansion of the fraternity house beyond sixteen (16) residents will require an amendment to this Special Use Permit.
2. 165 Chancellor Street: Special Use Permit approval for the land, buildings and structures located at 165 Chancellor Street to be used for a “boarding, fraternity and sorority house”, as that term is defined in City Code §34-1200 is expired and no longer valid. However, yard regulations for this lot will remain modified as follows:
 - a. Building setback (front), adjacent to Madison Lane: the required building setback along Madison Lane shall remain modified as shown on the site plan for 165 and 167 Chancellor Street approved on November 4, 1985.
3. 167 Chancellor Street: The land, buildings and structures located at 167 Chancellor Street may be used for a “boarding, fraternity and sorority house”, as that term is defined in City Code §34-1200. The number of residents shall not exceed 16 at 167 Chancellor Street.
 - a. Building setback (front), adjacent to Madison Lane: the required building setback along Madison Lane shall be 8 feet.
 - b. Building setback (corner side), adjacent to Chancellor Street: the required building setback along Chancellor Street shall be 4 feet.
 - c. Building setback (side), adjacent to 165 Chancellor Street: the required building setback along the property line shared with 165 Chancellor Street shall be 4 feet.
 - d. Building setback (rear), property corner adjacent to Chancellor Street and 165 Chancellor Street: the required building setback from property corner adjacent to Chancellor Street and 165 Chancellor Street shall be 25 feet.
4. The “boarding, fraternity or sorority house” use approved by this special use permit, and (except as specifically modified within condition (2) and condition (3), above), all buildings and structures located on the Subject Property, shall comply with the provisions of City Code Sec. 34-353 and all other applicable provisions of Chapter 34 (Zoning) of the Code of the City of Charlottesville.
5. Bicycle storage facilities shall be provided at 167 Chancellor Street at a rate of one (1) bicycle storage facility per resident, and all such facilities shall be a type permitted by the zoning ordinance.

6. Sidewalk shall be extended along the frontage of Madison Lane as shown on the proposed preliminary site plan for 167 Chancellor Street dated September 17, 2019.
7. Curb ramps shall be installed at the end of any proposed sidewalk on Madison Lane to align with the existing curb ramp on the east side of Chancellor Street.
8. The elevated sidewalk to the south on Chancellor Street must be repaired and vegetation cleared to remove obstructions. If this work is not done prior to requesting an updated Certificate of Occupancy for 167 Chancellor Street then the landowner shall provide a development agreement specifying the timing for completion of sidewalk work.
9. An accessible route from the public sidewalk to 167 Chancellor Street shall be required.

BE IT FURTHER RESOLVED THAT the Special Use Permit approved by this Resolution amends and supersedes the special use permit previously approved by resolution dated July 15, 1985 for the buildings and structures located at 165 and 167 Chancellor Street.

Sec. 34-827. - Preliminary site plan contents.

- (a) Sixteen (16) clearly legible blue or black line copies of a preliminary site plan shall be submitted along with an application for approval. In addition, a three-dimensional drawing or model of the proposed site and the surrounding areas showing massing in context shall be submitted along with any preliminary site plan that is to be reviewed by the planning commission. If revisions to the submitted preliminary site plan are necessary, then sixteen (16) full-sized revised copies, and, if the preliminary site plan is to be reviewed by the planning commission, an additional ten (10) revised copies shall be submitted by the revision deadline.
- (b) All waiver, variation and substitution requests shall be submitted with the preliminary site plan, and the applicant shall clearly state the specific items being requested for waiver, variation or substitution.
- (c) The preliminary site plan shall be prepared to an engineering scale of 1:20, unless, in the determination of the director a different scale will allow a better representation of the development.
- (d) The preliminary site plan shall contain the following information:
 - (1) The name of the development; names of the owner(s), developer(s) and individual(s) who prepared the plan; tax map and parcel number; zoning district classification(s); descriptions of all variances, zoning proffers and bonus factors applicable to the site; description of affordable dwelling unit requirements applicable to the subject property pursuant to section 34-12(a) or section 34-12(d)(1); city and state; north point; scale; one (1) datum reference for elevation (where a flood hazard overlay district is involved, U.S. Geological Survey vertical datum shall be shown and/or correlated to plan topography); source of the topography; source of the survey; sheet number and total number of sheets; date of drawing; date and description of latest revision; zoning district, tax map and parcel number, and present use, of each adjacent parcel; departing lot lines; minimum setback lines, yard and building separation requirements; a vicinity sketch showing the property and its relationship with adjoining streets, subdivisions and other landmarks; and boundary dimensions.
 - (2) Written schedules or data as necessary to demonstrate that the site can accommodate the proposed use, including: proposed uses and maximum acreage occupied by each use; maximum number of dwelling units by type; gross residential density; square footage of recreation area(s); percent and acreage of open space; maximum square footage for non-residential uses; maximum lot coverage; maximum height of all structures; schedule of parking, including maximum amount required and amount provided; maximum amount of impervious cover on the site; and if a landscape plan is required, maximum amount of paved parking and vehicular circulation areas.
 - (3) If phasing is planned, phase lines and proposed timing of development;
 - (4) Existing topography for the entire site at maximum five-foot contours; proposed grading (maximum two-foot contours), supplemented where necessary by spot elevations; and sufficient offsite topography to describe prominent and pertinent offsite features and physical characteristics, but in no case less than fifty (50) feet outside of the site unless otherwise approved by the director. Topographic information submitted with a preliminary plat shall be in the form of a topographic survey, which shall identify areas of critical slopes, as defined in section 29-3, natural streams, natural drainage areas, and other topographic features of the site.
 - (5) Existing landscape features as described in section 34-867 (requirements of landscape plans), including all individual trees of six (6) inch caliper or greater.
 - (6) The name and location of all watercourses, waterways, wetlands and other bodies of water adjacent to or on the site.

- (7) One hundred-year flood plain limits, as shown on the official flood insurance maps for the City of Charlottesville, as well as the limits of all floodway areas and base flood elevation data required by section 34-253.
- (8) Existing and proposed streets, access easements, alley easements and rights-of-way, and other vehicular travelways, together with street names, highway route numbers, right-of-way lines and widths, centerline radii, and pavement widths.
- (9) Location and size of drainage channels, and existing and proposed drainage easements; and a stormwater management concept detailing how the applicant will achieve adequate drainage post-development, including a description of the specific design concept the applicant plans to apply. References to specific types of stormwater management facilities, specific treatments, BMPs, LID techniques, etc. shall be provided, The stormwater management concept shall be prepared by a professional engineer or landscape architect, as those terms are defined within Virginia Code § 54.1-400, and shall describe the manner in which stormwater runoff from the subdivision will be controlled in order to minimize the damage to neighboring properties and receiving streams, and prevent the discharge of pollutants into surface waters, in accordance with the requirements of City Code Chapter 10.
- (10) Location and size of existing water, sanitary and storm sewer facilities and easements, and proposed conceptual layout for water and sanitary sewer facilities and public storm sewer facilities.
- (11) Location of other existing and proposed utilities and utility easements.
- (12) Location of existing and proposed ingress to and egress from the property, showing the distance to the centerline of the nearest existing street intersection.
- (13) Location and dimensions of all existing and proposed improvements, including: buildings (maximum footprint and height) and other structures (principal as well as accessory); walkways; fences; walls; trash containers; outdoor lighting; landscaped areas and open space; recreational areas and facilities; parking lots and other paved areas; loading and service areas, together with the proposed paving material types for all walks, parking lots and driveways.
- (14) All areas intended to be dedicated or reserved for public use.
- (15) Landscape plan, in accordance with section 34-867, if the proposed site plan is subject to entrance corridor review.
- (16) Where deemed appropriate by the director due to intensity of development, estimated traffic generation figures for the site based upon current VDOT rates, indicating the estimated vehicles per day and the direction of travel for all connections to a public road.

The director or the commission may require additional information to be shown on the preliminary site plan as deemed necessary in order to provide sufficient information for the director or commission to adequately review the preliminary site plan.

(9-15-03(3); 6-6-05(2); 1-20-09; 11-18-13; 5-19-14, § 2, eff. 7-1-14)

City of Charlottesville

MEMO



TO: Planning Commission
FROM: Erin Atak, Grants Coordinator
DATE: July 14, 2020
SUBJECT: Public hearing for proposed FY 2020-2021 CDBG-CV Budget Allocations for the Amended FY 2021 Annual Plan of the Consolidated Plan

As part of the CDBG public participation process, the Planning Commission must provide recommendations to City Council on all Community Development Block Grant (CDBG) and funding recommendations.

Attached you will find the proposed allocations for FY 20-21 CDBG-CV program. According to [HUD priorities](#), CDBG-CV grant funds are recommended to be used to prevent, prepare for, and respond to the coronavirus (COVID-19). This recommendation is based on CDBG Task Force recommendations for Public Service activities, and the Strategic Action Team for Economic Development activities to respond to the growing effects of the historic public health crisis.

Also attached you will find copies of meeting minutes where these recommendations were made.

Other attachments include a memo of explanation and a list of all the projects reviewed as a result of the Request for Proposal (RFP) process.

Following the public hearing, staff is asking for a recommendation to City Council concerning the CDBG-CV budget allocations.

If you have any questions or concerns, please contact Erin Atak at 434-970-3093

Cc: ~~City Council~~ Richardson, City Manager
Alexander Ikefuna, Director of NDS
Brenda Kelley, Redevelopment Manager
CDBG/HOME Task Force

City of Charlottesville

MEMO



TO: Planning Commission
FROM: Erin Atak, Grants Coordinator of Charlottesville
DATE: July 14, 2020
SUBJECT: Proposed FY 2020-2021 CDBG-CV Budget Allocations

CDBG-CV Project Recommendations for FY 2020-2021:

The City of Charlottesville has been authorized a special allocation of Community Development Block Grant Coronavirus Funds (CDBG-CV) to be used to prevent, prepare for, and respond to the coronavirus (COVID-19). This allocation was authorized by the Coronavirus Aid, Relief, and Economic Security Act (CARES Act), Public Law 116-136; to respond to the growing effects of this historic public health crisis. The City of Charlottesville CDBG-CV program total has an estimated \$246,699 for the 2020-2021 program year. Minutes from the meetings are attached which outline the recommendations made. It is important to note that all projects went through an extensive review by the CDBG/HOME Task Force as a result of an RFP process.

Economic Development – In accordance with [HUD's Quick Guide to CDBG Eligible Activities to Support Infectious Disease Response](#), Revised April 6, 2020; FY 20-21 CDBG-CV funds were set aside for Economic Development Activities to align with Council priorities for microenterprise assistance. Members of the Strategic Action Team reviewed one application for Economic Development and made one funding recommendation of \$98,679.60 to the Community Investment Collaborative (CIC). Funds are proposed to be used to administer 24 grants and technical support to eligible microenterprises. Said grants will help businesses cover expenses including rent, payroll, replacing inventory, etc. Technical support will help owners access services to adapt to the economic environment: support in bringing businesses online, financial planning, additional cleaning, etc.

Public Service Programs – The CDBG/HOME Task Force has recommended two public service programs. Programs were evaluated based on [HUD's Quick Guide to CDBG Eligible Activities to Support Coronavirus and Other Infectious Disease Response](#), and Council priorities for affordable housing (priority for persons who are 0-50 percent AMI), support for the homelessness and those at risk of homelessness, workforce development (including but not limited to efforts to bolster Section 3 training opportunities and partnerships with the City's GO programs, support for programs that aid in self-sufficiency, including but not limited to quality childcare), and mental health and substance abuse services. Programs were also evaluated based upon metrics included in the RFP evaluation scoring rubric. Funding will enable the organizations to prevent and respond to the spread of infectious diseases such as the coronavirus.

The Taskforce made a funding recommendation of \$49,661.78 for the Thomas Jefferson Health District for COVID-19 Outreach, Testing, and Linkage to Care. Estimated benefits include hiring two full-time Community Health workers to engage priority populations in COVID-19 prevention, act as liaison for testing and wrap around services, and inform the health department's COVID-19 strategy.

The Taskforce also made a funding recommendation of \$49,017.82 for the Thomas Jefferson Area Coalition (TJACH) for the COVID-19 Homeless Prevention Response. Estimated benefits include providing rental and utility assistance to 25 households under 30% of AMI at imminent risk of homelessness due to income loss from COVID-19 and hiring one additional staff person to assist with homeless prevention assistance.

Administration and Planning: To pay for the costs of staff working with CDBG-CV projects, citizen participation, and other grant related costs directly related to CDBG-CV funds, \$49,339.80 is budgeted.

Attachments:

- A. HUD Quick Guide to CDBG Eligible Activities to Support Coronavirus and Other Infectious Disease Response
- B. Proposed FY 20-21 CDBG-CV budget
- C. FY 20-21 List of RFPs received
- D. CDBG/HOME Task Force Minutes
- E. RFP Scoring Rubric Template
- F. Taskforce Scores

Quick Guide to CDBG Eligible Activities to Support Coronavirus and Other Infectious Disease Response

REVISED April 6, 2020

Grantees should coordinate with local health authorities before undertaking any activity to support state or local pandemic response. Grantees may use Community Development Block Grant (CDBG) funds for a range of eligible activities that prevent and respond to the spread of infectious diseases such as the coronavirus.

Examples of Eligible Activities to Support Coronavirus and Other Infectious Disease Response

<i>For more information, refer to applicable sections of the Housing and Community Development Act of 1974 (for State CDBG Grantees) and CDBG regulations (for Entitlement CDBG grantees).</i>	
Buildings and Improvements, Including Public Facilities	
Acquisition, construction, reconstruction, or installation of public works, facilities, and site or other improvements. <i>See section 105(a)(2) (42 U.S.C. 5305(a)(2)); 24 CFR 570.201(c).</i>	Construct a facility for testing, diagnosis, or treatment.
	Rehabilitate a community facility to establish an infectious disease treatment clinic.
	Acquire and rehabilitate, or construct, a group living facility that may be used to centralize patients undergoing treatment.
Rehabilitation of buildings and improvements (including interim assistance). <i>See section 105(a)(4) (42 U.S.C. 5305(a)(4)); 24 CFR 570.201(f); 570.202(b).</i>	Rehabilitate a commercial building or closed school building to establish an infectious disease treatment clinic, e.g., by replacing the HVAC system.
	Acquire, and quickly rehabilitate (if necessary) a motel or hotel building to expand capacity of hospitals to accommodate isolation of patients during recovery.
	Make interim improvements to private properties to enable an individual patient to remain quarantined on a temporary basis.
Assistance to Businesses, including Special Economic Development Assistance	
Provision of assistance to private, for-profit entities, when appropriate to carry out an economic development project. <i>See section 105(a)(17) (42 U.S.C. 5305(a)(17)); 24 CFR 570.203(b).</i>	Provide grants or loans to support new businesses or business expansion to create jobs and manufacture medical supplies necessary to respond to infectious disease.
	Avoid job loss caused by business closures related to social distancing by providing short-term working capital assistance to small businesses to enable retention of jobs held by low- and moderate-income persons.
Provision of assistance to microenterprises. <i>See section 105(a)(22) (42 U.S.C. 5305(a)(22)); 24 CFR 570.201(o).</i>	Provide technical assistance, grants, loans, and other financial assistance to establish, stabilize, and expand microenterprises that provide medical, food delivery, cleaning, and other services to support home health and quarantine.

Provision of New or Quantifiably Increased Public Services	
<p>Following enactment of the CARES Act¹, the public services cap² has no effect on CDBG-CV grants and no effect on FY 2019 and 2020 CDBG grant funds used for coronavirus efforts.</p> <p><i>See section 105(a)(8) (42 U.S.C. 5305(a)(8)); 24 CFR 570.201(e).</i></p>	Carry out job training to expand the pool of health care workers and technicians that are available to treat disease within a community.
	Provide testing, diagnosis or other services at a fixed or mobile location.
	Increase the capacity and availability of targeted health services for infectious disease response within existing health facilities.
	Provide equipment, supplies, and materials necessary to carry-out a public service.
	Deliver meals on wheels to quarantined individuals or individuals that need to maintain social distancing due to medical vulnerabilities.
Planning, Capacity Building, and Technical Assistance	
<p>States only: planning grants and planning only grants.</p> <p><i>See section 105(a)(12).</i></p>	Grant funds to units of general local government may be used for planning activities in conjunction with an activity, they may also be used for planning only as an activity. These activities must meet or demonstrate that they would meet a national objective. These activities are subject to the State's 20 percent administration, planning and technical assistance cap.
<p>States only: use a part of to support TA and capacity building.</p> <p><i>See section 106(d)(5) (42 U.S.C. 5306(d)(5)).</i></p>	Grant funds to units of general local government to hire technical assistance providers to deliver CDBG training to new subrecipients and local government departments that are administering CDBG funds for the first time to assist with infectious disease response. This activity is subject to the State's 3 percent administration, planning and technical assistance cap.
<p>Entitlement only: data gathering, studies, analysis, and preparation of plans and the identification of actions that will implement such plans. <i>See 24 CFR 570.205.</i></p>	Gather data and develop non-project specific emergency infectious disease response plans.

Planning Considerations

Infectious disease response conditions rapidly evolve and may require changes to the planned use of funds:

- CDBG grantees must amend their Consolidated Annual Action Plan (Con Plan) when there is a change to the allocation priorities or method of distribution of funds; an addition of an activity not described in the plan; or a change to the purpose, scope, location, or beneficiaries of an activity (24 CFR 91.505).
- If the changes meet the criteria for a “substantial amendment” in the grantee’s citizen participation plan, the grantee must follow its citizen participation process for amendments (24 CFR 91.105 and 91.115).
- Under the CARES Act, CDBG grantees may amend citizen participation and Con Plans concurrently in order to establish and implement expedited procedures with a comment period of no less than 5-days.

Resources

The Department has technical assistance providers that may be available to assist grantees in their implementation of CDBG funds for activities to prevent or respond to the spread of infectious disease. Please contact your local CPD Field Office Director to request technical assistance from HUD staff or a TA provider.

- Submit your questions to: CPDQuestionsAnswered@hud.gov
- Coronavirus (COVID-19) Information and Resources: <https://www.hud.gov/coronavirus>
- CPD Program Guidance and Training: <https://www.hudexchange.info/program-support/>

¹ On March 27, 2020, President Trump approved the Coronavirus Aid, Relief, and Economic Security Act (Public Law 116-136) (CARES Act). The CARES Act makes available \$5 billion in CDBG coronavirus response (CDBG-CV) funds to prevent, prepare for, and respond to coronavirus.

² Section 105(a)(8) of the HCD Act caps public service activities at 15 percent of most CDBG grants. Some grantees have a different percentage cap.

2020-2021 CDBG-CV BUDGET ALLOCATIONS
RECOMMENDED BY CDBG/HOME TASK FORCE and SAT: 6/11/2020, 6/15/2020
RECOMMENDED BY PLANNING COMMISSION:
APPROVED BY CITY COUNCIL:

A. ECONOMIC DEVELOPMENT PROJECTS

A. Community Investment Collaborative – Entrepreneur Scholarships \$98,679.60
ECONOMIC DEVELOPMENT TOTAL: \$98,679.60

B. PUBLIC SERVICE PROJECTS

A. TJACH - Coordinated Entry System \$49,017.82
B. Thomas Jefferson Health District \$49,661.78
SOCIAL PROGRAMS TOTAL: \$98,679.60

C. ADMINISTRATION AND PLANNING:

A. Admin and Planning \$49,339.80 (20% EN)

GRAND TOTAL: \$246,699
ESTIMATED NEW ENTITLEMENT AMOUNT: \$246,699

CDBG-CV FY20/21 RFP Submissions

		Organization, Program Title	Project Contact	Program Description	Submittal	Funding Requested
		Public Services	Office of Economic Development (OED)	Hollie Lee	GO Delivery/S.E.L.F Odyssey	On Time
Thomas Jefferson Health District	Rebecca Schmidt		COVID-19 Outreach, Testing and Linkage to Care	On Time	\$99,323.56	
Thomas Jefferson Area Coalition for the Homeless (TJACH)	Anthony Haro		COVID-19 Homeless Prevention Response	On-Time	\$60,000.00	
Habitat for Humanity	Ruth Stone		Mortgage Forbearance Loan	Late	\$40,000.00	
Charlottesville Redevelopment and Housing Authority (CRHA)	Kathleen Glenn-Matthews		CRHA Rental Assistance Program	On Time	\$70,000.00	
Total Amount of Request					\$304,324	
Total Projected Budget					\$98,679.60	
Request Overage					\$205,644	
		Organization, Program Title	Project Contact	Program Description	Submittal	Funding Requested
		Econ	Community Investment Collaborative (CIC)	Stephen Davis	CIC COVID Microbusiness Grant	On Time
Total Amount of Request					\$98,640	
Total Projected Budget					\$98,679.60	
Request Overage					(\$40)	

Meeting registration/participation available at www.charlottesville.gov/zoom
Individuals with disabilities who require assistance or special arrangements to participate in the public meeting may call the ADA Coordinator at (434) 970-3182 or submit a request via email to ada@charlottesville.gov. The City of Charlottesville requests that you provide a 48-hour notice so that proper arrangements may be made.



CDBG Taskforce

Monday, June 15th, 2020

3:30-5:00 PM

Virtual Meeting

AGENDA

1. Introductions/Housekeeping/Minutes
2. Review Application Scores & Create proposal budget.
3. Other Business
4. Public Comment

Staff Contact:

Erin Atak, Grants Coordinator (atake@charlottesville.gov), (434) 970-3093

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CDBG Taskforce Meeting Minutes

Monday, June 15th, 2020
 3:30-5:00 PM
 Virtual Meeting

AGENDA

1. Introductions/Housekeeping/Minutes

City Staff member Erin Atak (EA), Grants Coordinator, begins meeting with CDBG Taskforce attendance. Meeting commences at 3:32 PM on Monday July 15, 2020.

<i>CDBG/HOME Taskforce Roster</i>	<i>Attendance</i>
<i>Howard Evergreen</i>	Present
<i>Helen Kimble</i>	Present
<i>Nancy Carpenter</i>	Present
<i>Emily Cone Miller</i>	Absent
<i>James Bryant</i>	Present
<i>Kem Lea Spaulding</i>	Present
<i>Taneaia Dowell</i>	Absent
<i>Matthew Gillikin</i>	Present
<i>Olivia Gabbay</i>	Absent

Other City Staff members present: Symia Tabron, Brenda Kelley, John Sales.

EA begins to explain the CDBG-CV program to Taskforce members and viewers at home: The main goal of the CDBG-CV grant is to prevent, prepare for, and respond to the Coronavirus. HUD priorities are to fund activities towards infectious disease response. The City of Charlottesville was awarded \$246,699 in CDBG-CV funds authorized by the CARES Act. The CDBG-CV award is divided into three funding categories. All qualifying applicants are able to apply for public services and economic development funds. The Administrative/Planning portion of the CDBG-CV grant is

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designated for City of Charlottesville to cover all grant related expenses (ex: Davis Bacon, Section 3, Environmental Reviews, Citizen Participation, etc.)

- a. Public Service: \$98,679.60
- b. Economic Development: \$98,679.60
- c. Administrative/Planning: \$49,339.80

On June 11, 2020 the economic development CDBG taskforce subcommittee, the Strategic Action Team (SAT), convened discussed one application the City received applying for the econ funds. The SAT made a funding recommendation to award the application all \$98,679.60 to the one economic development CDBG-CV applicant.

The job of the CDBG/HOME Taskforce is to create a funding recommendation for the public services fund of the CDBG-CV grant.

2. Review Application Scores & Create proposal budget.

EA shares CDBG/HOME Taskforce Score Spreadsheet on screen.

Average score rankings:

Thomas Jefferson Health District (TJHD): 33.33

Thomas Jefferson Area Coalition for the Homeless (THACH): 30

Charlottesville Redevelopment Housing Authority (CRHA): 28

Office of Economic Development (OED): 25.17

Taskforce opens for discussion:

Taskforce member Matthew Gillikin begins meeting with clarification question for city staff member Erin Atak. Question concerns Staff Organization Capacity scores for all applicants and the relation to COVID-19 situation.

City Staff Erin Atak, Grants Coordinator, clarifies to Taskforce members that Staff Organizational Capacity Scores for all organizations is not included in the final score averaging. Staff Organizational Capacity scores review previous audits, how previous invoices were processed, quarterly reports, and whether organizations were able to follow HUD protocol. With COVID-19, jurisdictions were more lenient with grading, however, City Staff cannot overlook HUD procedures and paperwork requirements. Scores were given accordingly.

Taskforce member Matthew Gillikin request additional information on CRHA's staff organizational capacity score.

Meeting registration/participation available at www.charlottesville.gov/zoom

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City Staff Erin Atak explains that detailed explanation is written on staff sheet of the Taskforce binder, however the CRHA applicant had to repay the City HOME and CDBG funding back to HUD in the past. The concern with the applicant is focused on the inability to spend funds in a timely manner. The concern was raised during the CRHA technical assistance meeting with CRHA staff, and was not addressed in the CDBG-CV application. Additionally, CRHA received a copy of the last CDBG/HOME audit to address concerns. Said concerns were not addressed in the application.

Taskforce member Nancy Carpenter states that CDBG-CV and CDBG funding is meant for low income people. Ms. Carpenter recounts listening to weekly calls with the National Low-Income Housing Coalition during the months of April and May. She adds that CRHA has the infrastructure to provide rental assistance as 22-23% of rental households nationwide will face risk of eviction starting July. CRHA wanting to provide housing stability for families outside of public housing is an important cause.

Staff Member Erin Atak comments to Taskforce Member Nancy Carpenter stating that CRHA application was not marked down from the lack of subject importance, but concern for administration. She reminded all taskforce members again that the staff organizational capacity score is not included into the final average score of each organization.

City Staff Housing Coordinator John Sales introduces himself to the Taskforce and provides additional information concerning the housing related applications (CRHA and TJACH). Mr. Sales also discusses the four housing initiatives being proposed for City Council on June 15, 2020. Mr. Sales notes the funding request for CRHA CDBG-CV application may not be able to serve three months' worth of rent for 50 families, and is similar to city's housing proposal.

Taskforce member Nancy Carpenter highlights the importance of housing during the COVID-19 pandemic.

Housing Coordinator provides a hypothetical breakdown of three months' worth of rent using CRHA's funding request. Grants Coordinator explains to the Taskforce that even with partial funding awarded to an organization, she would need to use the total goal amount written on the application for HUD reporting purposes.

Taskforce member Matthew Gillikin poses Housing Coordinator a question on TJACH's application and whether the applicant would be able to achieve their goal for the funding amount requested.

Meeting registration/participation available at www.charlottesville.gov/zoom

Individuals with disabilities who require assistance or special arrangements to participate in the public meeting may call the ADA Coordinator at (434) 970-3182 or submit a request via email to ada@charlottesville.gov. The City of Charlottesville requests that you provide a 48-hour notice so that proper arrangements may be made.

Housing Coordinator replies “yes” as TJACH is proposing to partner CDBG-CV funds with outside sources. Mr. Sales elaborates and states all program proposals submitted for the CDBG-CV program appear to be important needs for the community.

Discussion continues around fair market rent prices and three-months’ worth of rent. Taskforce member Howard Evergreen notes that many residents that would be receiving assistance through the CRHA program would be living outside the fair market rate rental prices. Taskforce members note the concerns for applicant CRHA meeting the conditions of the grant.

City Staff member Symia Tabron raises a question of whether CRHA would undergo or submit another audit.

Grants Coordinator Erin Atak explains that CRHA has not submitted an audit for the CDBG-HOME program since 2015.

Taskforce member Nancy Carpenter states the importance of funding housing initiatives over other priorities such as health initiatives currently. Taskforce member James Bryant agrees and proposes to divide the \$98,679.60 among all applicants.

Taskforce member Howard Evergreen reminds the committee that the discussion on scoring is repeated each year. Scores are overlooked and there is never enough CDBG money. Mr. Evergreen reminds everyone that health priorities were included with the CDBG-CV funds specifically with the new release of the funds as an equal priority to housing. Mr. Evergreen continues and states that the scoring method cannot be disregarded.

Taskforce member Mattew Gillikin makes funding recommendation #1: Not funding OED, not funding CRHA due to hurdles identified by City Staff, fully funding TJACH to support housing initiatives at \$60,000, and give TJHD the remaining \$38,678.60.

Taskforce member Helen Kimble reminds the rest of the committee that the TJHD community health worker salary was around \$44,000 in addition to supervisory fees added on. Funding recommendation #1 would not support the cost of one community health worker. Potentially a part-time community health worker. Ms. Kimble asks City Staff whether they would be able to guarantee the living wage contract to community workers if TJHD was awarded funds.

City Staff Erin Atak states the CDBG program would not be able to dictate salary contracts for community health workers but could hold TJHD accountable for having provided a salary for community health workers in accordance to the program application.

Meeting registration/participation available at www.charlottesville.gov/zoom

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Taskforce member Howard Evergreen offers a counter funding recommendation #2, to either flip the recommendation #1 or give TJHD 2/3 of the funding and give TJACH 1/3 of the CDBG-CV funding in accordance to the application scores. Taskforce member Nancy Carpenter states that Mr. Evergreen makes a point about rubric indexing.

Taskforce member Matthew Gillikin proposed funding recommendation #3 to award TJHD 50% (\$49,661.78) of the funding request and award TJACH (\$49,017.82) the remaining CDBG-CV funds.

Taskforce members agree with funding proposal #3.

Public Services CDBG-CV: \$98,679.60 (Breakdown of Funding Recommendation #3)

Thomas Jefferson Health District: \$49,661.78

Thomas Jefferson Area Coalition for the Homeless: \$49,017.82

Office of Economic Development: \$0.00

Charlottesville Redevelopment Housing Authority: \$0.00

Funding Recommendation Approval – CDBG/HOME Taskforce Roll Call

<i>CDBG/HOME Taskforce Roster</i>	<i>Vote – Funding Recommendation of Award</i>
	3
<i>Howard Evergreen</i>	Approve
<i>Helen Kimble</i>	Approve
<i>Nancy Carpenter</i>	Approve
<i>Emily Cone Miller</i>	
<i>James Bryant</i>	Approve
<i>Kem Lea Spaulding</i>	Approve
<i>Tanea Dowell</i>	
<i>Matthew Gillikin</i>	Approve
<i>Olivia Gabbay</i>	

3. Other Business

None

4. Public Comment

None

Meeting Adjourned.

SCORING RUBRIC FOR CDBG-CV PROPOSALS

Name of Applicant:

Name of Project:

	Exemplary (3 Points)	Adequate (2 Points)	Needs Improvement (1 Point)	Missing Information (0 Points)	Score	Comments
Program/Project Description	Provides a clear description and clearly explains how it will address a Council Priority	Provides a description that adequately explains how it will address a Council Priority	Program/project description needs improvement	Proposal does not describe how it will address a Council Priority		
Program/Project Goal	Provides a clear explanation of the goal. Identifies what will be provided to whom, how many. Provides demographic information of the beneficiaries and how they will meet the income guidelines	Provides an adequate explanation of the goal	Program/Project goal needs improvement. Barely identifies what will be provided to whom and how many. Barely provides demographic information and how the beneficiaries will meet the income guidelines	Goal is missing and/or not explained. Identification of beneficiaries, number of beneficiaries, demographic information, and information about how the beneficiaries will meet the income guidelines is missing		
Need	Clearly describes how the program will directly address the needs.	Adequately describes how the program will directly address the needs using some local	Description of need needs improvement. Only state, regional, or national data	Does not describe how the program will directly address the needs and/or		

	Provides local data to describe the needs of the community <u>and</u> the beneficiaries	data to describe the needs of the community <u>and</u> the beneficiaries	provided, data not specific to clients	does not provide data to describe the needs of the community and the beneficiaries		
Outcomes	Clearly explains how proposed outcomes will be meaningful, client-focused and related to the service	Adequately explains how proposed outcomes will be meaningful, client-focused and related to the service	Explanation of how proposed outcomes will be meaningful, client-focused and related to the service needs improvement	Does not explain how proposed outcomes will be meaningful, client-focused and/or related to the service		
Strategies	Provides evidence-based strategies for how the program/project will address the need	Adequately describes how strategies address need using researched best practices strategies at a minimum	Describes how strategies address need without information about best practices or research	Does not identify how strategies directly address need		
Implementation Timeline	Timeline is detailed and realistic	Timeline is adequate	Timeline is limited or not realistic	No timeline provided and information is missing		
Evaluation Plan	Provides a rigorous evaluation plan which informs ongoing work, explains metrics and why they are used	Provides a solid evaluation plan	Evaluates some elements of its work, but the evaluation is not thorough	Proposal does not provide an evaluation plan or the plan is insufficient		
Demographic Verification	Proposal clearly describes how the agency will collect and verify <u>all</u> required information	Proposal adequately describes how the agency will collect and verify all required information	Proposal describes how the agency will collect and verify <u>some</u> required information	Proposal does not describe how the agency will collect and verify any required information		

Financial Benefits	Proposal describes how the program fully meets two financial benefits	Proposal describes how the program fully meets one financial benefit	Proposal describes how the program <u>partially</u> meets one to two financial benefits	Proposal does not describe how the program will provide a financial benefit		
Collaboration	Proposal describes how the program collaborates with other organizations to achieve a common goal using defined deliverables and metrics (ex. Clear accountability, shared management, such as MOU's or formal partnership agreements)	Proposal describes formal agreements with more than two organizations describing how they cooperate, but does not share common deliverables or metrics.	Proposal describes collaboration informally with other organizations (ex. information sharing, resource sharing)	Proposal does not describe collaboration with other entities		
Engagement/ Outreach Strategy	Proposal describes complete outreach and engagement strategies and explains how it will serve needy and underserved populations	Proposal describes some outreach and engagement strategies and how it will serve needy and underserved populations	Proposal explains that services are available to needy and underserved populations but program/project does not conduct outreach or engagement	Proposal does not provide strategies for outreach and engagement to needy and underserved populations		
Priority Neighborhood Ridge Street	Proposal describes complete outreach strategies and program/project serves residents in the Priority Neighborhood	Proposal describes some outreach and program/project serves residents in the Priority Neighborhood	Proposal explains that services are available to priority neighborhood residents but program/project does not conduct outreach	Proposal does not provide strategies for outreach to priority neighborhood residents		

Organizational Capacity (STAFF ONLY)	Organization demonstrated sufficient capacity and fully met projected outcomes in previous grant year	Organization demonstrated adequate capacity and almost met projected outcomes in previous grant year	Organization capacity needs improvement, did not meet projected outcomes	The organization demonstrated a lack of a capacity		
Organizational Capacity	Proposal provides clear evidence of the capacity and ability to ensure timely performance and reporting	Proposal provides adequate evidence of the capacity and ability to ensure timely performance and reporting	Evidence of capacity and ability needs improvement. Does not address the question fully	Proposal does not provide evidence of the capacity and ability		
Budget	Proposal clearly demonstrates: <ul style="list-style-type: none"> A. How requested funds will be applied to expense line items B. How the amount requested is reasonable C. That the overall program budget shows a direct relationship with proposed service items 	Proposal provides an adequate budget. Adequately addresses A, B, and C	Proposed budget needs improvement and barely addresses A, B, and/or C. Proposed budget needs improvement.	The proposal does not demonstrate how the requested funds will be applied to expense line items, how the amount requested is reasonable, and does not show a direct relationship with proposed service items		
TOTAL SCORE (MAX SCORE = 42 PTS)						

	Description	Goal	Need	Outcomes	Strategies	Implement	Eval	Demogr	Financial	Collab	Engage	PN	STAFF Org	Org Capa	Budget	Subtotal	Total Score	Final Average	
CRHA																			
TD																0			
ECM		2	2	2	2	2	2	2	2	2	2	2	2	0	2	2	28		
HE		1	2	2	1	1	1	1	1	1	2	2	0	0	1	1	17		
JB		2	3	3	2	3	2	2	2	3	2	2	2	0	2	2	32		
HK		2	2	2	3	1	2	0	0	2	1	2	2	0	1	2	22		
MG		2	3	3	3	3	3	2	3	3	3	3	2	0	2	3	38		
NC		2	2	2	2	3	3	2	3	2	2	2	2	0	1	3	31		
OG																0			
KLS																0	168	28	
TJHD																			
TD																0			
ECM		3	3	3	3	2	2	2	2	2	2	2	2	3	2	2	32		
HE		3	3	3	3	3	3	2	1	3	3	3	2	3	3	3	38		
JB		3	3	3	2	2	2	2	2	2	3	2	2	3	3	3	34		
HK		3	3	2	3	2	2	2	2	3	2	3	3	3	3	2	35		
MG		1	3	2	2	2	3	2	2	2	3	2	2	3	3	3	32		
NC		1	3	2	2	2	3	1	2	2	3	2	2	3	2	2	29		
OG																0			
KLS																0	200	33.33333	
TJACH																			
TD																0			
ECM		3	3	3	2	2	2	2	2	2	2	2	2	3	2	2	31		
HE		1	1	1	1	2	2	2	1	1	2	2	0	3	1	0	17		
JB		2	2	2	2	2	2	2	2	3	3	3	2	3	3	2	32		
HK		3	2	2	2	3	2	1	3	2	2	2	1	3	1	2	28		
MG		3	3	3	3	3	2	3	3	3	3	3	1	3	3	2	38		
NC		3	2	3	3	2	3	3	3	2	3	2	0	3	3	2	34		
OG																0			
KLS																0	180	30	
OED																			
TD																0			
ECM		2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	28		
HE		1	1	1	1	1	1	1	2	1	2	1	0	2	1	1	15		
JB		3	3	3	3	2	3	2	3	2	2	2	2	2	2	2	34		
HK		3	1	2	3	2	1	1	2	0	2	2	0	2	3	1	23		
MG		3	3	3	3	2	1	2	3	2	2	3	1	2	3	3	34		
NC		1	2	2	1	1	2	1	2	1	1	2	0	2	0	1	17		
OG																0			
KLS																0	151	25.16667	
Econ Scores below																			
CIC																			
EG		2	3	3	3	2	3	2	3	2	2	3	0	2	3	2	33		
KL		3	3	3	3	2	3	2	3	3	3	3	2	2	3	3	39		
SM		3	3	2	2	2	3	2	3	2	2	3	1	2	3	2	33		
DK		3	3	3	3	1	2	3	3	1	2	3	0	2	2	3	32		
LS		2	2	2	2	2	2	2	2	2	2	2	0	2	2	2	26	163	32.6

CITY OF CHARLOTTESVILLE
DEPARTMENT OF NEIGHBORHOOD DEVELOPMENT SERVICES
STAFF REPORT



APPLICATION FOR A REZONING OF PROPERTY

JOINT CITY COUNCIL AND PLANNING COMMISSION PUBLIC HEARING

DATE OF HEARING: July 14, 2020
APPLICATION NUMBER: ZM19-00004

Project Planner: Joey Winter
Date of Staff Report: July 6, 2020
Applicant: Long Street LLC by Stockbridge OPCO LLC
Applicants Representative: Aaron Revere
Current Property Owner: Long Street LLC

Application Information

Property Street Address: 909 Landonia Circle
Tax Map/Parcels #: 490079000
Total Square Footage/ Acreage Site: Approx. 0.6790 acres
Comprehensive Plan (General Land Use Plan): Low Density Residential
Current Zoning Classification: B-1 (Business)
Proposed Zoning Classification: B-2 (Business)
Completeness: The application generally contains all of the information required by Zoning Ordinance (Z.O.) Sec. 34-41.

Applicant's Request (Summary)

Mr. Aaron Revere, on behalf of Long Street LLC, has submitted a Rezoning Petition for 909 Landonia Circle. The petition proposes a change in zoning from B-1 Business to B-2 Business with a proffer. The property is further identified on City Real Property Tax Map 49 Parcel 79 (Parcel ID: 490079000), is approximately .679 acres, and has approximately 378 feet of frontage on Landonia Circle. The rezoning application proposes to change the zoning district classification of the Subject Property from B-1 Business to B-2 Business subject to a proffered development condition ("Proffer"). The Proffer states the following shall not be permitted on the Subject Property: Amusement Center; Auditoriums, Theaters; Bowling Alleys; Clubs, Private; Dry Cleaning Establishments; Movie Theaters; Dance Hall / all night; Pharmacies >1,700 SF, GFA. The Comprehensive Land Use Map for this area calls for Low Density Residential Development.

The owner of the All-American Car Wash located at 1315 Long Street intends to modernize and expand their business which has operated at this location for over 25 years. The All-American Car Wash currently exists on two parcels fronting Long Street (Route 250 Bypass) and contains a self-serve car wash with vacuuming, an automated car wash, and a propane refilling kiosk. The owner purchased the Subject Property in 2019 and intends to expand the car wash use onto the parcel. (See the applicant's conceptual layout in **ATTACHMENT 4** for more information.)

The expansion of the car wash onto the Subject Property requires a zoning map amendment since car wash is not a permitted use in the B-1 district. Car wash is a by-right use in the proposed new zoning district (B-2). The proposed use of the expanded All-American Car wash will be identical to the use at the existing car wash. However, a site plan is not being proffered with this rezoning application so this owner (or any future owner) would theoretically be free to redevelop the Subject Property with a different use in the future. It is important to emphasize that the applicant has indicated that their intent is to develop the Subject Property as part of the expanded car wash and no other redevelopment is planned for the property.

Standard of Review

City Council may grant an applicant a rezoning request, giving consideration to a number of factors set forth within Z.O. Sec. 34-41. The role of the Planning Commission is and make an advisory recommendation to the City Council, as to whether or not Council should approve a proposed rezoning based on the factors listed in Z.O. Sec. 34-41(a):

- (a)** All proposed amendments shall be reviewed by the planning commission. The planning commission shall review and study each proposed amendment to determine:
 - (1)** Whether the proposed amendment conforms to the general guidelines and policies contained in the comprehensive plan;
 - (2)** Whether the proposed amendment will further the purposes of this chapter and the general welfare of the entire community;
 - (3)** Whether there is a need and justification for the change; and
 - (4)** When pertaining to a change in the zoning district classification of property, the effect of the proposed change, if any, on the property itself, on surrounding property, and on public services and facilities. In addition, the commission shall consider the appropriateness of the property for inclusion within the proposed zoning district, relating to the purposes set forth at the beginning of the proposed district classification.

Staff Analysis

Staff analysis is based off the highest intensities and densities that would be permitted in the B-2 zoning district other than uses that have been proffered out. The applicant is proposing to rezone the Subject Properties from B-1 to B-2 with the following eight uses proffered out:

Amusement Center	Auditoriums, Theaters	Bowling Alleys
Clubs, Private	Dry Cleaning Establishments	Movie Theaters
Dance Hall / all night	Pharmacies >1,700 SF, GFA	

Dimensional Requirements by Zoning District

There is no change to the dimensional requirements for the B-1 and B-2 zoning districts.

Zoning	Height Restrictions	Required Front Yard	Required Side Yard	Required Rear Yard
B-1	45 feet, max.	20 feet, min.	None Req'd.	None Req'd.
B-2	45 feet, max.	20 feet, min.	None Req'd.	None Req'd.

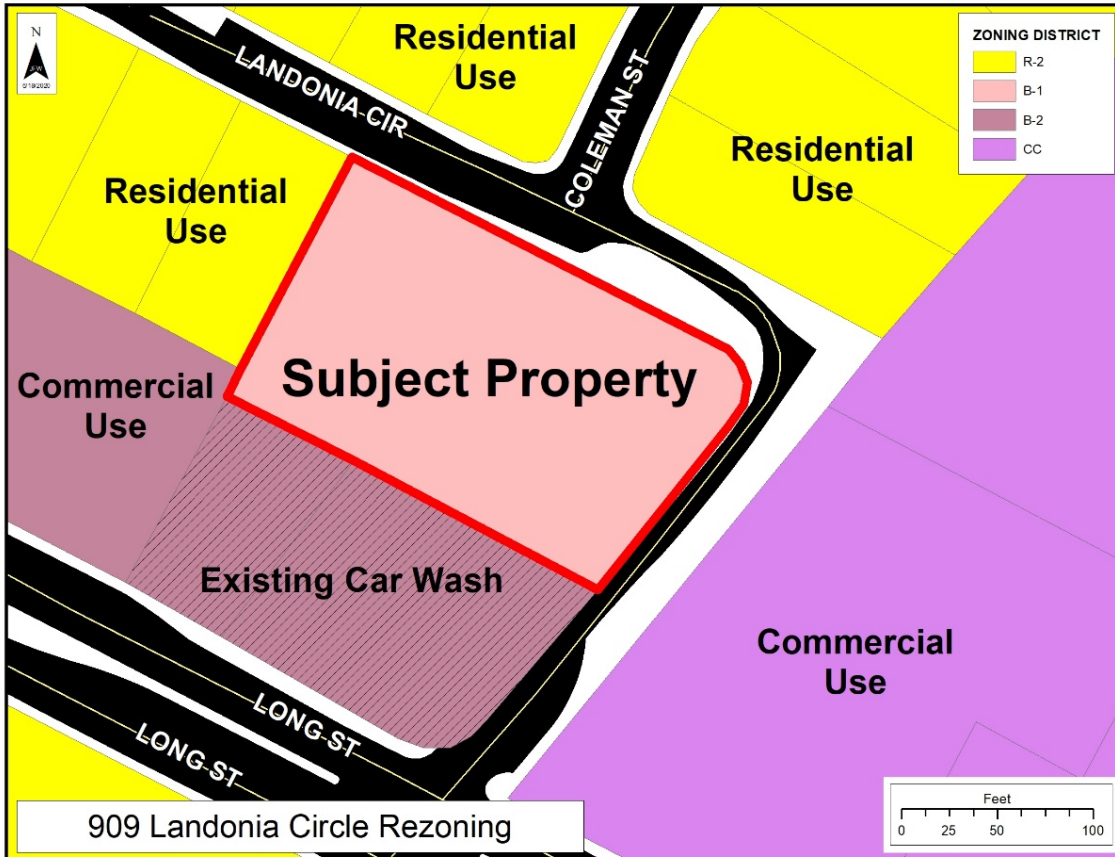
Zoning History of the Subject Property

Year	Zoning District
1949	A-1 Residence
1958	R-2 Residential
1976	R-2 Residential
1991	B-1 Business
2003	B-1 Business

Vicinity Map



Zoning Map



Use Comparison – B-1 vs. B-2: As per the use matrix in City Code Sec. 34-480, certain uses permitted in the B-2 district are not permitted in the B-1 district. Uses proffered out by the applicant are crossed out.

NON-RESIDENTIAL: GENERAL and MISC. COMMERCIAL	B-1	B-2
Amusement center	Not permitted	Special use permit
Assembly (indoor) – Auditoriums, theaters	Not permitted	By-right use
Automobile uses: Gas station	Not permitted	By-right use
Automobile uses: Parts and equipment sales	Not permitted	By-right use
Automobile uses: Repair/servicing business	Not permitted	By-right use
Bakery, wholesale: GFA 4,000 SF or less	Not permitted	By-right use
Bowling alleys	Not permitted	By-right use
Car wash	Not permitted	By-right use
Clubs, private	Special use permit	By-right use
Data center > 4,000 sq ft	Not permitted	By-right use
Dry cleaning establishments	Special use permit	By-right use
Educational facilities (non-residential): Artistic up to 4,000 SF, GFA	Not permitted	By-right use
Educational facilities (non-residential): Artistic up to 10,000 SF, GFA	Not permitted	By-right use
Educational facilities (non-residential): Vocational, up to 4,000 SF, GFA	Not permitted	By-right use
Educational facilities (non-residential): Vocational, up to 10,000 SF, GFA	Not permitted	By-right use
Hotels/motels: Up to 100 guest rooms	Special use permit	By-right use
Hotels/motels: 100+ guest rooms	Not permitted	Special use permit
Laundromats	Ancillary use	By-right use
Micro-producers	Not permitted	By-right use
Small Breweries	Not permitted	Special use permit
Movie theaters	Not permitted	By-right use*
Museums: Up to 4,000 SF, GFA	Special use permit	By-right use
Museums: Up to 10,000 SF, GFA	Not permitted	Special use permit
Music halls	Not permitted	Provisional use permit
Indoor Recreational facilities on private property (GFA between 4,000 SF and 10,000 SF): health/sports clubs; tennis club; swimming club; yoga studios; dance studios, skating rinks, recreation centers, etc.	Special use permit	By-right use
Indoor Recreational facilities on private property (GFA more than 10,000 SF): health/sports clubs; tennis club; swimming club; yoga studios; dance studios, skating rinks, recreation centers, etc.	Not permitted	Special use permit
Restaurants: Dance hall/all night	Not permitted	Provisional use permit
Restaurants: Drive-through windows	Not permitted	Special use permit
Restaurants: Fast food	Not permitted	By-right use
Restaurants: Full service	Not permitted	By-right use
Restaurants: 24-hour	Not permitted	Provisional use permit
NON-RESIDENTIAL USES: RETAIL	B-1	B-2
Consumer service businesses: between 4,000 SF, GFA and 10,000 SF, GFA	Special use permit	By-right use
Farmer's market	Not permitted	Special use permit
Grocery stores: Convenience	Not permitted	By-right use

NON-RESIDENTIAL USES: RETAIL	B-1	B-2
Grocery stores: General, up to 10,000 SF, GFA	Not permitted	By-right use
Grocery stores: General, 10,001+ SF, GFA	Not permitted	By-right use
Pharmacies: 1,701—4,000 SF, GFA	Special use permit	By-right use
Pharmacies: 4,001+ SF, GFA	Special use permit	By-right use
Shopping centers	Not permitted	By-right use
Shopping malls	Not permitted	Special use permit
Temporary sales, outdoor (flea markets, craft fairs, promotional sales, etc.)	Not permitted	Temporary use permit
Other retail stores (non-specified): Up to 20,000 SF GFA	Not permitted	Special use permit

NON-RESIDENTIAL: INDUSTRIAL	B-1	B-2
Assembly, industrial	Special use permit*	Special use permit
Frozen food lockers	Not permitted	By-right use
Laundries	Not permitted	By-right use

Although the Comprehensive Land Use Map for this area calls for Low Density Residential Development, the Subject property has been zoned for business since 1991. The applicant’s plans for development of the Subject Property should this rezoning be approved are to expand the car wash use onto the neighboring property.

Sec. 34-42

1. Whether the proposed amendment conforms to the general guidelines and policies contained in the comprehensive plan;

The applicant’s own analysis of the proposed amendment’s consistency with the Comprehensive Plan, as required by City Code Sec. 34-41(d)(2), is provided in the application materials **ATTACHMENT 2**. Below (a–g) is staff’s analysis.

a. Land Use

Staff Analysis

The Subject Property is bordered by:

Direction	Zoning	Current Use
East	CC	Automobile repair/servicing business
South	B-2	Car wash
South/West	B-2	Shopping center
West	R-2	Residential
North	R-2	Residential

The Subject Property is currently zoned B-1, the most restrictive commercial zoning classification in the City. All by-right, provisional, and special uses allowed within this zoning district are also allowed in the B-2 district. The applicant intends to use the Subject Property as a car wash; though the absence of a proffered site plan creates the possibility that the Subject Property can be redeveloped with any of the uses listed above in the future. To alleviate concerns about hypothetical future redevelopment, the applicant has proffered out eight uses that they feel would not be consistent with the character of the neighborhood.

The 2013 Comprehensive Plan's Land Use Map indicates the Subject Property should be the site of low-density residential development which would not be consistent with the proposed rezoning. However, the 2013 Comprehensive Plan directly contradicts the stated intent of both the current zoning district (B-1) and the proposed new zoning district (B-2). The change in topography between the Subject Property and the properties to the north and west creates a natural transition from commercial uses along the 250 Bypass and residential uses to the north.

b. Community Facilities

Staff Analysis

When the All-American Car Wash is expanded, the applicant will be required to provide sidewalk improvements along the entire frontage of the Subject Property on Landonia Circle. This will greatly increase pedestrian connectivity between residential areas to the north and west and commercial areas to the southeast.

c. Economic Sustainability

Staff Analysis

A change in zoning from B-1 to B-2 to facilitate the expansion of a locally-owned business will align with the stated goals in Chapter 3 (Economic Sustainability) of the Comprehensive Plan.

d. Environment

Staff Analysis

There will be no conflict with Chapter 4 (Environment) of the Comprehensive Plan with a change in zoning from B-1 to B-2.

e. Housing

Staff Analysis

There will be no impact on housing stock by rezoning the Subject Property from B-1 to B-2. The residential uses permitted in the B-1 district are identical to the residential uses permitted in the B-2 district.

f. Transportation

Staff Analysis

A rezoning of the Subject Property from B-1 to B-2 would have minimal impact on traffic. No new points of ingress are proposed so vehicle traffic would continue to come almost exclusively from Long Street. The applicant was supportive of closing the portion of Landonia Circle where the property has frontage, but the City Traffic Engineer ruled out this option since several residences up the hill rely on Landonia Circle for access. Any by-right development on the site would need to meet current parking standards.

g. Historic Preservation & Urban Design

Staff Analysis

The Subject Property is not in an Entrance Corridor, but the two parcels which contain the existing car wash are. The expanded All-American Car Wash will therefore have to comply with Entrance Corridor guidelines and materials standards.

2. Whether the proposed amendment will further the purposes of this chapter and the general welfare of the entire community;

The applicant's own analysis of can be found in the application materials (**ATTACHMENT 2**).

Staff Analysis

The All-American Car Wash is a local business which has been part of the Charlottesville community for several decades. Rezoning the Subject Property to facilitate the expansion of the business will be a positive for the entire community. Other improvements that will be required during the site plan approval process will benefit pedestrian connectivity and urban design of the entire community.

3. Whether there is a need and justification for the change;

The applicant has provided information on the factors that led to a request to rezone the subject properties from B-1 to B-2 in the narrative section of their application (**ATTACHMENT 2**).

Staff Analysis

According to the City's 2013 Land Use Map, development of the Subject Property should be Low Density Residential with a DUA under (15). However, the site has not been zoned for residential use since 1991 and the previous use of the property (daycare facility) was also commercial. An adequate transition exists between the commercial use of this property and the residential uses to the north and west due to the change in elevation and the landscaping buffer which must remain in place. There is justification for the change considering that the City's Zoning Map does not align with the Comprehensive Land Use Map and the proposed use relates to the expansion of an existing business.

4. When pertaining to a change in the zoning district classification of property, the effect of the proposed change, if any, on the property itself, on surrounding property, and on public services and facilities. In addition, the commission shall consider the appropriateness of the property for inclusion within the proposed zoning district, relating to the purposes set forth at the beginning of the proposed district classification.

The location of the subject properties are currently served by existing public utilities and facilities. The applicant has provided a narrative statement on adverse effects and mitigation in their application materials (**Attachment B**).

Staff Analysis

Any proposed development would be evaluated during site plan review and need to meet all current zoning regulations. Due to the location of the Subject Property, staff believes all public services and facilities would be adequate to support development.

The purposes set forth in City Code Sec. 34-440 are:

B-1: The B-1 business district is established to provide for service-type businesses and office uses of a limited size, which are open primarily during daytime hours. The intent of the B-1 regulations is to provide a transitional district between residential areas and other commercial areas of the city. The uses permitted within this district are those which will have only minimal traffic impacts, and only minimal noise, odors, smoke, fumes, fire or explosion hazards, lighting glare, heat or vibration.

B-2: The B-2 business district is established to provide for commercial uses of limited size, primarily serving neighborhood needs for convenience goods. The intent of the B-2 regulations is to encourage clustering of these neighborhood-serving commercial uses. The uses permitted within this district are those which will generate minimal traffic originating outside the neighborhood areas served, and that will generate minimal noise, odors and fumes, smoke, fire or explosion hazards, lighting glare, heat or vibration.

It is most likely that any development proposed on the Subject Property would comply with the purposes set forth at the beginning of the proposed district classification. This cannot be fully determined until a proposed development is under site plan review.

Public Comments Received

The applicant held a community meeting as required by City Code Sec. 34-41(c)(2) on February 13, 2020 at Burnley-Moran Elementary School. Two members of the public attended the meeting and were generally supportive of the applicant's plans for the property. To this point staff has received no written feedback in favor of or opposed to ZM19-00004.

Staff Recommendation

Staff recommends approval of ZM19-00004. Neighbors have not raised any concerns about rezoning the Subject Property for the purpose of expanding the All-American Car Wash. The benefits to pedestrian connectivity, specifically sidewalk improvements which will be required along Landonia Circle will benefit nearby residential areas. The proposed zoning change could also contribute to goals of the City's 2013 Comprehensive Plan related to Economic Sustainability. The uses permitted within the B-1 district are similar to the uses permitted in the B-2 district and the applicant has proffered out some of the more intense uses permitted in the new proposed new zoning district.

Suggested Motions

1. On the basis that the proposal would service public necessity, convenience, general welfare, and good zoning practice, I move to recommend approval of application ZM19-00004.

OR

2. On the basis that the proposal would NOT service public necessity, convenience, general welfare, and good zoning practice, I move to recommend approval of application ZM19-00004.

Attachments

1. Rezoning Application ZM19-00004
2. Applicant's Narrative Statement
3. Signed Proffer Statement from Landowner
4. Conceptual Site Plan and Layout from Applicant
5. Community Meeting Information



City of Charlottesville

Application for Rezoning

Project Name: Long Street Car Wash

Address of Property: 909 Landonia Circle

Tax Map and Parcel Number(s): Parcel 490079000 ; TRA BK B SEC 1 Riverdale

Current Zoning: B-1

Proposed Zoning: B-2

Comprehensive Plan Land Use Designation: Neighborhood Commercial

Applicant: LONG STREET LLC by StockBridge OPCO LLC

Address: 9830 Mayland Dr., Suite L, Richmond, VA, 23233

Phone: 804-687-6316 Email: arevere@NewBAYLLC.com

Applicant's Role in the Development (check one):

Owner Owner's Agent Contract Purchaser

Owner of Record: LONG STREET LLC

Address: 200 CARLTON ROAD, Charlottesville, VA 22902

Phone: 434-293-6157 Email: sutton@tigerfuel.com

(1) Applicant's and (2) Owner's Signatures

(1) Signature [Signature] Print J. ARIZON REVERE Date 12-16-19

Applicant's (Circle One): LC Member LLC Manager Corporate Officer (specify) _____

Other (specify): _____

(2) Signature [Signature] Print GORDON SUTTON Date 12/16/19

Owner's (Circle One): LLC Member LLC Manager Corporate Officer (specify) _____

Other (specify): _____



City of Charlottesville

Pre-Application Meeting Verification

Project Name: LONG STREET CAR WASH

Pre-Application Meeting Date: Thursday, November 7th, 2019 at 10:00 am

Applicant's Representative: ARZAN REVERE

Planner: JOEY WINTER

Other City Officials in Attendance:

Brennan Duncan - Traffic Engineer

Jeff Werner - Historic Pres. Planner ; Entry Corridor

The following items will be required supplemental information for this application and must be submitted with the completed application package:

1. Elevations / Illustrative materials that show how proposed project fits character of neighborhood / entrance corridor

2. Traffic - information on entrances / trip generation (ITE)

3. _____

4. _____

5. _____

Planner Signature: _____



City of Charlottesville

Application Checklist

Project Name: LONG STREET CAR WASH

I certify that the following documentation is ATTACHED to this application:

- 34-157(a)(2) Narrative statement: applicant's analysis of conformity with the Comprehensive Plan
- 34-157(a)(4) Narrative statement identifying and discussing any potential adverse impacts, as well as any measures included within the development plan, to mitigate those impacts
- 34-158(a)(6): other pertinent information (narrative, illustrative, etc.)
- Completed proffer statement
- All items noted on the Pre-Application Meeting Verification.

Applicant

Signature [Signature] Print J. AARON REVERE Date 12-16-19

By Its: Stockbridge OPco LLC MEMBER (AS Owner's Agent)

(For entities, specify: Officer, Member, Manager, Trustee, etc.)



City of Charlottesville

Community Meeting

Project Name: LONG STREET CAR WASH

Section 34-41(c)(2) of the Code of the City of Charlottesville (adopted October 19, 2015) requires applicants seeking rezonings and special use permits to hold a community meeting. The purpose of a community meeting is to provide citizens an opportunity to receive information about a proposed development, about applicable zoning procedures, about applicable provisions of the comprehensive plan, and to give citizens an opportunity to ask questions. **No application for a rezoning shall be placed on any agenda for a public hearing, until the required community meeting has been held and the director of neighborhood development services determines that the application is ready for final review through the formal public hearing process.**

By signing this document, the applicant acknowledges that it is responsible for the following, in connection to the community meeting required for this project:

1. Following consultation with the city, the applicant will establish a date, time and location for the community meeting. The applicant is responsible for reserving the location, and for all related costs.
2. The applicant will mail, by U.S. mail, first-class, postage pre-paid, a notice of the community meeting to a list of addresses provided by the City. The notice will be mailed at least 14 calendar days prior to the date of the community meeting. The applicant is responsible for the cost of the mailing. At least 7 calendar days prior to the meeting, the applicant will provide the city with an affidavit confirming that the mailing was timely completed.
3. The applicant will attend the community meeting and present the details of the proposed application. If the applicant is a business or other legal entity (as opposed to an individual) then the meeting shall be attended by a corporate officer, an LLC member or manager, or another individual who can speak for the entity that is the applicant. Additionally, the meeting shall be attended by any design professional or consultant who has prepared plans or drawings submitted with the application. The applicant shall be prepared to explain all of the details of the proposed development, and to answer questions from citizens.
4. Depending on the nature and complexity of the application, the City may designate a planner to attend the community meeting. Regardless of whether a planner attends, the City will provide the applicant with guidelines, procedures, materials and recommended topics for the applicant's use in conducting the community meeting.
5. On the date of the meeting, the applicant shall make records of attendance and shall also document that the meeting occurred through photographs, video, or other evidence satisfactory to the City. Records of attendance may include using the mailing list referred to in #1 as a sign-in sheet (requesting attendees to check off their name(s)) and may include a supplemental attendance sheet. The City will provide a format acceptable for use as the supplemental attendance sheet.

Applicant: LONG STREET LLC

By: Stockbridge OPCO LLC (owner's Agent)

Signature [Handwritten Signature] Print J. ARON REVERDE Date 12-16-19

Its: MEMBER (Officer, Member, Trustee, etc.)



City of Charlottesville

Personal Interest Statement

Project Name: LONG STREET CAR WASH

I swear under oath before a notary public that:

A member of the City of Charlottesville Planning Commission (identified below), or their immediate family member, has a personal interest in the property or transaction that is the subject of this application.

Planning Commissioner(s): _____

Or

No member of the City of Charlottesville Planning Commission, or their immediate family member, has a personal interest in the property or transaction that is the subject of this application.

And

A member of the City of Charlottesville City Council (identified below), or their immediate family member, has a personal interest in the property or transaction that is the subject of this application.

City Councilor(s): _____

Or

No member of the City of Charlottesville Planning Commission, or their immediate family member, has a personal interest in the property or transaction that is the subject of this application.

Applicant: _____

By:

Signature _____ Print _____ Date _____

Its: _____ (Officer, Member, Trustee, etc.)

Commonwealth of Virginia

City of Charlottesville

The foregoing instrument was subscribed and sworn before me this _____
day of _____, 20____ by _____.

Notary Signature _____

Registration #: _____ Expires _____



City of Charlottesville

Owner's Authorizations

(Not Required)

Project Name: LONG STREET CAR Wash

Right of Entry- Property Owner Permission

I, the undersigned, hereby grant the City of Charlottesville, its employees and officials, the right to enter the property that is the subject of this application, for the purpose of gathering information for the review of this rezoning application.

Owner: LONG STREET LLC Date: 12-16-19

By (sign name): Stockbridge OPCO LLC  Print Name: J. Aaron Revere
(Owner's Agent)

Owner's: LLC Member LLC Manager Corporate Officer (specify): _____

Other (specific): Owners Agent / member

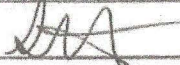
Owner's Agent

I, the undersigned, hereby certify that I have authorized the following named individual or entity to serve as my lawful agent, for the purpose of making application for this rezoning, and for all related purposes, including, without limitation: to make decisions and representations that will be binding upon my property and upon me, my successors and assigns.

Name of Individual Agent: AAaron Revere

Name of Corporate or other legal entity authorized to serve as agent: Stockbridge OPCO LLC

Owner: LONG STREET LLC Date: 12-16-19

By (sign name): Gordon Sutton  Print Name: Gordon Sutton

Circle one:

Owner's: LLC Member LLC Manager Corporate Officer (specify): _____

Other (specific): _____



City of Charlottesville

Disclosure of Equitable Ownership

Project Name: LONG STREET CAR WASH

Section 34-8 of the Code of the City of Charlottesville requires that an applicant for a special use permit make complete disclosure of the equitable ownership "real parties in interest") of the real estate to be affected. Following below I have provided the names and addresses of each of the real parties in interest, including, without limitation: each stockholder or a corporation; each of the individual officers and directors of a corporation; each of the individual members of an LLC (limited liability companies, professional limited liability companies); the trustees and beneficiaries of a trust, etc. Where multiple corporations, companies or trusts are involved, identify real parties in interest for each entity listed.

Name David G. SUTTON TRUST FOR David G. SUTTON, TR Address 200 COLTON RD, CVILLE, 22902

Name David G. SUTTON TRUST FOR Frank T. SUTTON Address 200 COLTON RD, CVILLE, 22902

Name David G. SUTTON TRUST FOR ELIZABETH Y. SUTTON Address 200 COLTON RD, CVILLE, 22902

Name _____ Address _____

Attach additional sheets as needed.

Note: The requirement of listing names of stockholders does not apply to a corporation whose stock is traded on a national or local stock exchange and which corporation has more than five hundred (500) shareholders.

Applicant: _____

By:

Signature Gordon Sutton Print Gordon SUTTON Date _____

Its: _____ (Officer, Member, Trustee, etc.)

Project: Long Street Car Wash

Request: Rezone the 909 Landonia Circle lot (Parcel 490079000) to B-2 to consolidate and enable modernization of existing car wash and propane facilities

Owner: Long Street LLC c/o Tiger Fuel

Address: 1315 Long Street and 909 Landonia Circle

Site: 1.178 acres comprised of Three parcels (490094000, 490094100, 490079000); two are zoned B-2, one is zoned B-1

December 17, 2019

Project Narrative

The objective of our proposed project is to improve the functionality and aesthetics of the existing site and car wash facility. No new use is proposed - this facility has functioned as a car wash for nearly three decades. Today the site provides self-serve car wash and vacuuming, an automated car wash that is nearly obsolete, as well as a propane refilling kiosk. For years, the access and scale of this site has enabled us to accommodate individual and commercial customers alike. We cater to many repeat customers, including local food trucks that regularly need washing and propane.

It is time to improve and modernize facilities to better serve our long-standing customers. Our desire is to 1) integrate a third parcel (back lot) into the site to improve circulation and 2) modernize the propane filling station, self-serve and automated car washes to improve quality of service, safety and water quality standards, while maintaining compatibility with the surrounding area. Self-serve car wash improvements include new building, pulled back away from the road, to better accommodate site circulation and equipment. The automated carwash will have improved queue to enable payment prior to entering modern contained tunnel. Self-serve vacuums are organized between the car wash options with convenient circulation within the center of the site. Propane kiosk is located on the back of the self-serve carwash and will include a small step/pedestal to improve safety and better enable our staff to serve our customers whose trucks often have propane tanks elevated at the back of their vehicle - utilizing the fixed step would enhance our service and improve safety.

To implement these improvements and to best integrate the back parcel into the program, we are seeking a "zoning amendment" to rezone that portion of the site, parcel 490079000, from B-1 to B-2. This parcel appears to be the only "Neighborhood Commercial" parcel that is not already zoned B-2. This project as proposed is consistent with and supportive of the current City of Charlottesville Comprehensive Plan, as well as the working draft for the plan update.

Attached for your initial review we have included:

- A site plan illustrating the improved configuration and facilities.
- Example elevations illustrating the improved architectural aesthetics

We propose to maintain the use of our two current access points, thus avoiding changes to traffic patterns. The former access point to the daycare center, currently located on parcel 490079000, will be removed. The queue for the improved automated car wash is contained within our site, avoiding potential lines impeding traffic flows and allowing the circulation within our own site to be maintained for our other customers. With regard to traffic counts, we have run ITE trip generation number to compare current uses (car wash and child day) to our proposed use (upgraded car wash). These results indicate that traffic count is expected to remain consistent with existing conditions that include our smaller car wash and propane re-fill station in the front portion of the project site, and the Day-Care in the back portion of the project site. The anticipated additional traffic from our improved car wash facility is offset by the elimination of traffic associated with the operating Day Care Center. ITE trip numbers are included on the site plan, but in general reflect a minor reduction during average weekdays, and small increase during weekends.

We plan to incorporate a perimeter sidewalk and do not plan any changes to the adjacent sections of Landonia Circle road. Currently there is a sidewalk along the southern perimeter of our site along Long Street (route 250). We will connect to this sidewalk and bring it northward along the eastern and northern perimeters of our property at existing grade. This will help facilitate pedestrian access down to Long Street, which helps enable connection to the Rivanna Trail just one block to the east. Cross-slope on the sidewalks, including the driveways, will be improved to meet ADA standards. Sidewalk is envisioned to be constructed at grade and conveyed to City upon completion, per common practice.

Per section 34-872, we will incorporate screening from adjacent properties. We plan for vegetated buffers along the western, northern, and eastern perimeters of the site to maintain a visual buffer to which our residential neighbors are accustomed and improve upon the screening to the dinner parking lot to west. This will enhance the pedestrian sidewalk experience as well. Planting will conform to City's recommended tree list.

Similarly, within the site we are integrating thoughtful landscaping to not only enhance the entry corridor, but to break up the visual elements within the project. We will incorporate plantings within/along the retaining system at the rear of the project to provide visual interest and softening of the hardscape. We intend to incorporate vegetated bio-swales within project to meet stormwater requirements, while further enhancing the design aesthetic. A linear bio-swale is planned along the car-wash queue, while a second bio-swale is planned along the front corner of the project to address stormwater requirements and improve the entry corridor.

Further, we fully intend to leave the "Happy Birthday" sign that has served for years as an iconic community element. Site lighting will be appropriately located and provide downlighting helping avoid light trespass. Our dumpster will be screened behind front corner of the car wash exit, providing easy service access. Also, to enhance the entry corridor we propose to locate the self-serve car wash bays further away from Long Street, helping with the street level scale and view corridors. The color palette for the improvements will be neutral tones.

In addition to the Narrative above, below is specific statements regarding Sec. 34-157.

Sec. 34-157. (a) (2) Whether the proposed use or development and associated public facilities will substantially conform to the city's comprehensive plan;

The vision for use of land in Charlottesville is one that “supports human activities and reflects community values. Our land use plan aims to promote harmonious development and support neighborhoods and places that allow residents to live, work, shop and play in proximity. Charlottesville’s land use patterns will create, preserve, and enhance neighborhood character, improve environmental quality, integrate a diversity of uses, encourage various modes of transportation, promote infill development, and increase commercial vitality and density in appropriate areas. These interdependent parts will converge to enhance the social, cultural, recreational and economic needs of our City.”

This project, as proposed, is consistent with and supportive of this Vision, the current City of Charlottesville Comprehensive Plan, as well as the working draft for the plan update. It supports the Neighborhood Commercial character along the Long Street area of Locust Grove. It is a reinvestment in a local business, with local and regional customers, that is providing value added services to individuals and businesses alike. The design and implementation is proposing an aesthetic that positively contributes to the entrance corridor and multi-use trail / sidewalk along Long Street.

Sec. 34-157. (a) (4) Whether the proposed use or development will have any potentially adverse impacts on the surrounding neighborhood, or the community in general; and if so, whether there are any reasonable conditions of approval that would satisfactorily mitigate such impacts. Potential adverse impacts to be considered include, but are not necessarily limited to, the following:

a. Traffic or parking congestion;

We propose to maintain the use of our two current access points, thus avoiding changes to traffic patterns. The former access point to the daycare center will be removed. The queue for the improved automated car wash, as well as all required parking is contained within our site. We have run ITE trip generation numbers and these results indicate that traffic count is expected to remain consistent with existing conditions.

b. Noise, lights, dust, odor, fumes, vibration, and other factors which adversely affect the natural environment;

The site is in an Urbanized setting. The use remains consistent with those that have been here for decades. Site lighting will be appropriately located and provide downlighting helping avoid light trespass.

c. Displacement of existing residents or businesses;

The prior day care facility closed. No residents are being displaced

d. Discouragement of economic development activities that may provide desirable employment or enlarge the tax base;

The proposed project is a reinvestment to modernize and improve in a local business that is providing value added services to individuals and businesses alike.

e. Undue density of population or intensity of use in relation to the community facilities existing or available;

The objective of our proposed project is to improve the functionality and aesthetics of the existing site and facilities thereon. No new use is proposed. This facility has functioned as a car wash for nearly three decades. It is time to modernize and improve it to better serve our long-standing customers. Today the site provides self-serve car wash and vacuuming, an automated car wash that is nearly obsolete, as well as a propane refilling kiosk.

f. Reduction in the availability of affordable housing in the neighborhood;

No impact on affordable housing.

g. Impact on school population and facilities;

No impact on school population.

h. Destruction of or encroachment upon conservation or historic districts;

No impact on Conservation or Historic resources.

i. Conformity with federal, state and local laws, as demonstrated and certified by the applicant; and,
Project is proposed to conform with federal, state, and local laws. For example, stormwater will be treated onsite.

j. Massing and scale of project.

Project scale, massing, and color palate are consistent with and harmonious with those of the entry corridor and the neighboring properties. (see attachments)

BEFORE THE CITY COUNCIL OF THE CITY OF CHARLOTTESVILLE, VIRGINIA
IN RE: PETITION FOR REZONING (City Rezoning Application No. ZM19-00004)
STATEMENT OF PRELIMINARY PROFFER CONDITIONS
For the Long Street Car Wash Rezoning Request
Subject Property: 2020 City Tax Map 49 Parcel 79 (Parcel Id. No. 490079000)

Dated as of June 23, 2020

TO THE HONORABLE MAYOR AND MEMBERS OF THE COUNCIL OF THE CITY OF CHARLOTTESVILLE:

The undersigned limited liability company is the owner of land subject to the above-referenced rezoning petition ("Subject Property"). The Owner seeks to amend the current zoning of the property subject to certain voluntary development conditions set forth below.

The Owner hereby proffers and agrees that if the Subject Property is rezoned as requested, the rezoning will be subject to, and the Owner will abide by, the following conditions:

1. Upon rezoning of the Subject Property all uses currently allowed within the B-2 zoning district will be permitted, except for the following uses that will be restricted as shown in the Table below:

Use Types:	Proffered to:
Amusement Center	Not allowed
Auditoriums, Theaters	Not allowed
Bowling Alleys	Not allowed
Clubs, Private	Not allowed
Dry Cleaning Establishments	Not allowed
Movie Theaters	Not allowed
Dance Hall / all night	Not allowed
Pharmacies >1,700 SF, GFA	Not allowed

WHEREFORE, the undersigned Owner(s) stipulate and agree that the use and development of the Subject Property shall be in conformity with the conditions hereinabove stated, and requests that the Subject Property be rezoned as requested, in accordance with the Zoning Ordinance of the City of Charlottesville.

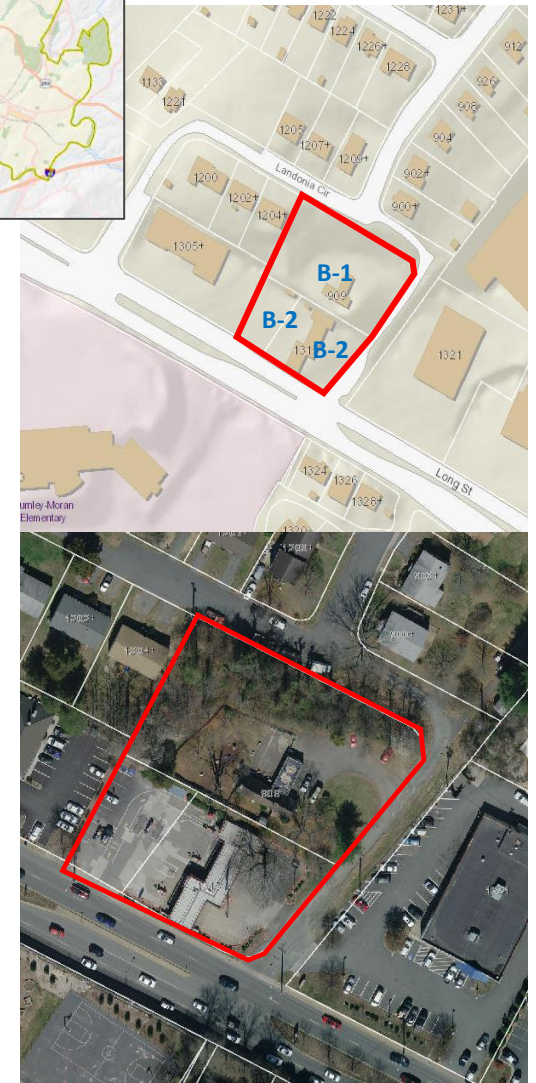
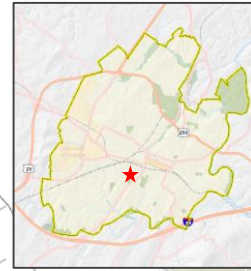
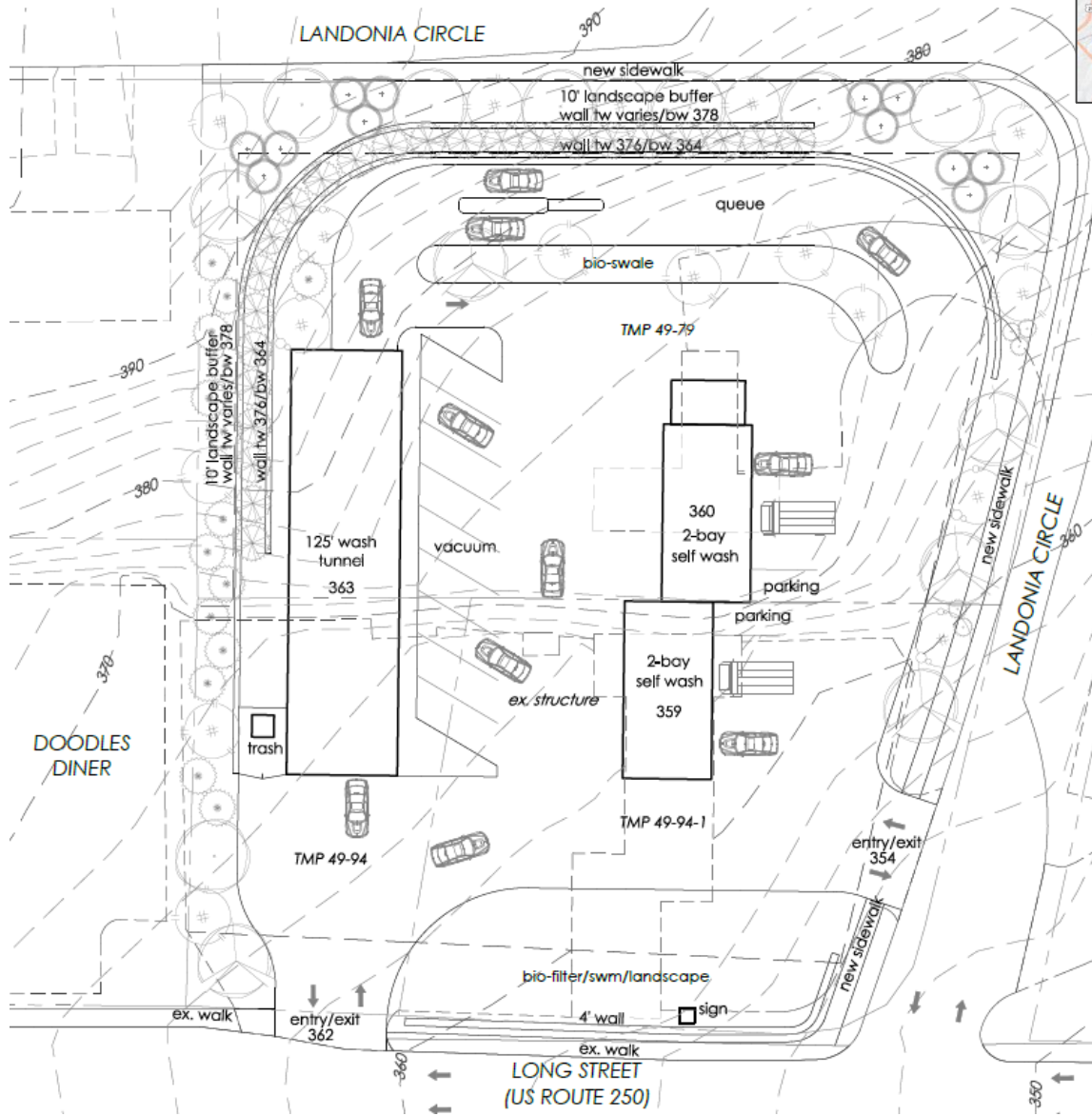
Respectfully submitted this 23rd day of June, 2020 by:

Long Street LLC
200 Carlton Road,
Charlottesville, VA 22902

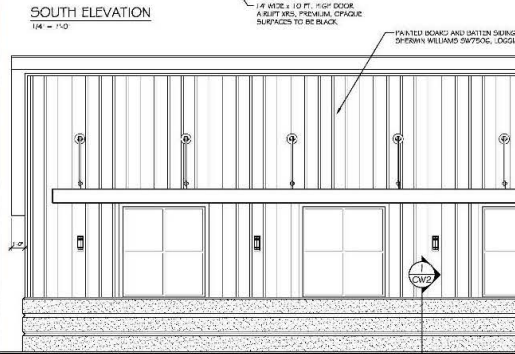
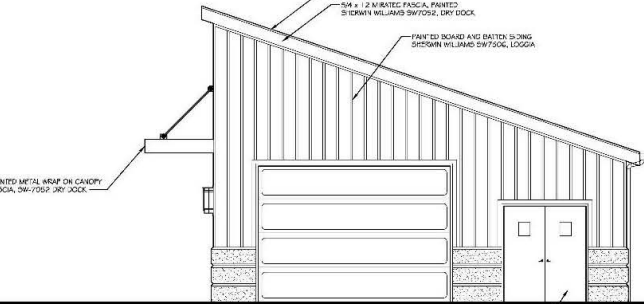
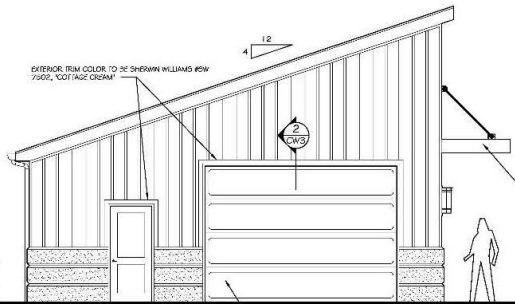
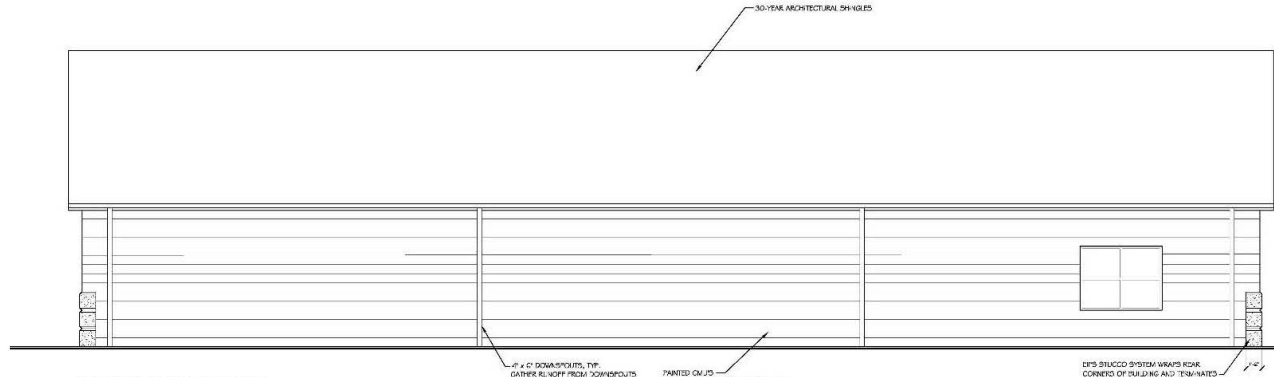
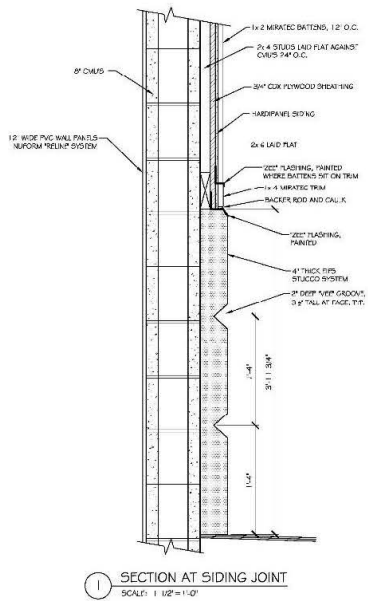
By: 
Gordon Sutton, Owner/Manager

Long Street Car Wash

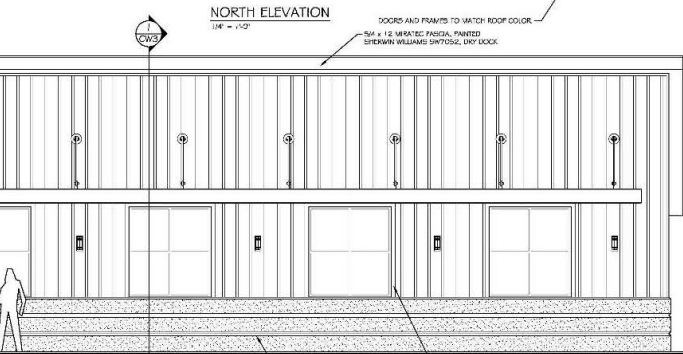
Location & Conceptual Site Plan



Long Street Representative Elevations



CAR WASH EAST ELEVATION
1/4" = 1'-0"



CAR WASH EAST ELEVATION
1/4" = 1'-0"



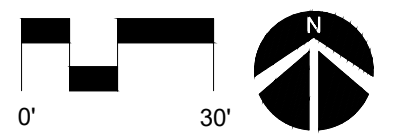
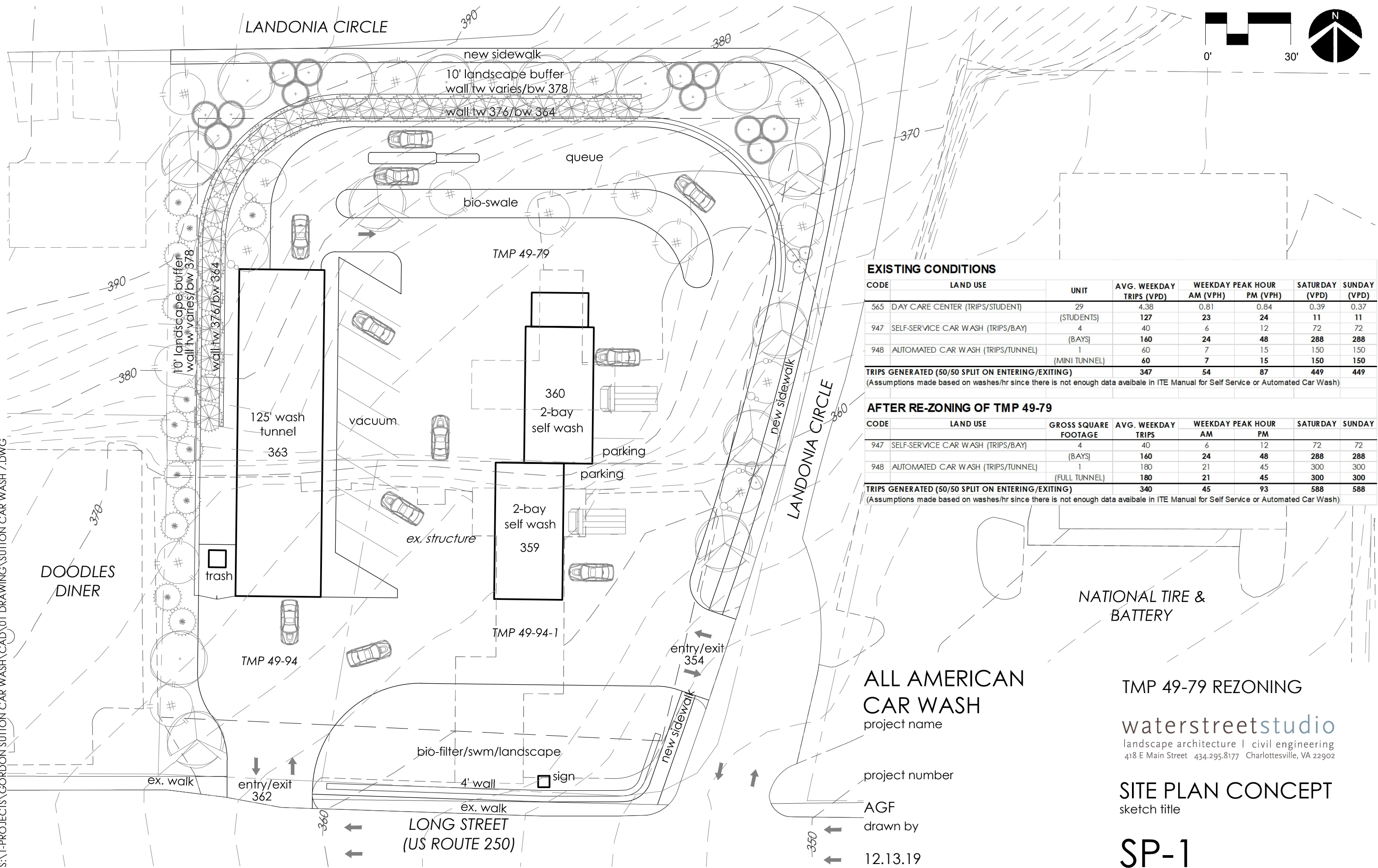
dates
10/27/2019

The Goetz Design Group
968 Mountain Road
Afton, VA 22920
cell: (540) 456-9864, goetz33@aol.com

Customer: Tiger Fuel Company
Project: Convenience Store and Carwash
Long Street
Charlottesville, Virginia
Subject: Car Wash Exterior Elevations

scale: 1/4" = 1'-0"
drawing file:
Tiger Long Street
sheet no.
CW2

S:\1-PROJECTS\GORDON SUTTON CAR WASH\CAD\01 DRAWING\SUTTON CAR WASH 7.DWG



EXISTING CONDITIONS

CODE	LAND USE	UNIT	AVG. WEEKDAY TRIPS (VPD)	WEEKDAY PEAK HOUR		SATURDAY (VPD)	SUNDAY (VPD)
				AM (VPH)	PM (VPH)		
565	DAY CARE CENTER (TRIPS/STUDENT)	29 (STUDENTS)	4.38	0.81	0.84	0.39	0.37
947	SELF-SERVICE CAR WASH (TRIPS/BAY)	4 (BAYS)	40	6	12	72	72
948	AUTOMATED CAR WASH (TRIPS/TUNNEL)	1 (MINI TUNNEL)	60	7	15	150	150
			160	24	48	288	288
			60	7	15	150	150
TRIPS GENERATED (50/50 SPLIT ON ENTERING/EXITING)			347	54	87	449	449

(Assumptions made based on washes/hr since there is not enough data available in ITE Manual for Self Service or Automated Car Wash)

AFTER RE-ZONING OF TMP 49-79

CODE	LAND USE	GROSS SQUARE FOOTAGE	AVG. WEEKDAY TRIPS	WEEKDAY PEAK HOUR		SATURDAY	SUNDAY
				AM	PM		
947	SELF-SERVICE CAR WASH (TRIPS/BAY)	4 (BAYS)	40	6	12	72	72
948	AUTOMATED CAR WASH (TRIPS/TUNNEL)	1 (FULL TUNNEL)	180	21	45	300	300
			180	21	45	300	300
TRIPS GENERATED (50/50 SPLIT ON ENTERING/EXITING)			340	45	93	588	588

(Assumptions made based on washes/hr since there is not enough data available in ITE Manual for Self Service or Automated Car Wash)

ALL AMERICAN CAR WASH
project name

project number

AGF
drawn by

12.13.19
issue date

NATIONAL TIRE & BATTERY

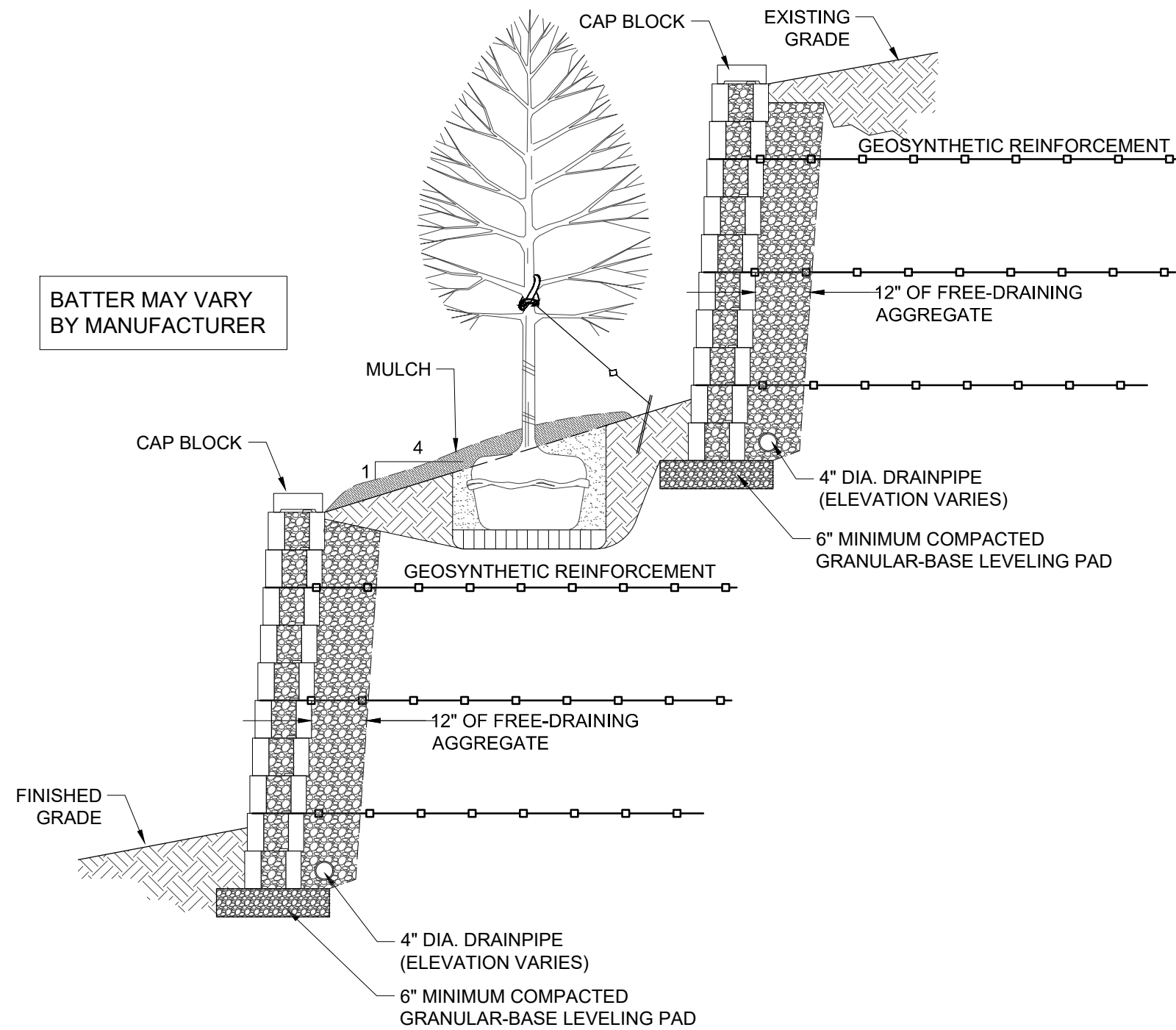
TMP 49-79 REZONING

waterstreetstudio
landscape architecture | civil engineering
418 E Main Street 434.295.8177 Charlottesville, VA 22902

SITE PLAN CONCEPT
sketch title

SP-1
sketch number

S:\1-PROJECTS\GORDON SUTTON CAR WASH\CAD\01 DRAWING\SUTTON CAR WASH DETAIL.DWG



RETAINING WALL SECTION



RETAINING WALL PRECEDENT IMAGE

ALL AMERICAN
CAR WASH
project name

project number

AGF
drawn by

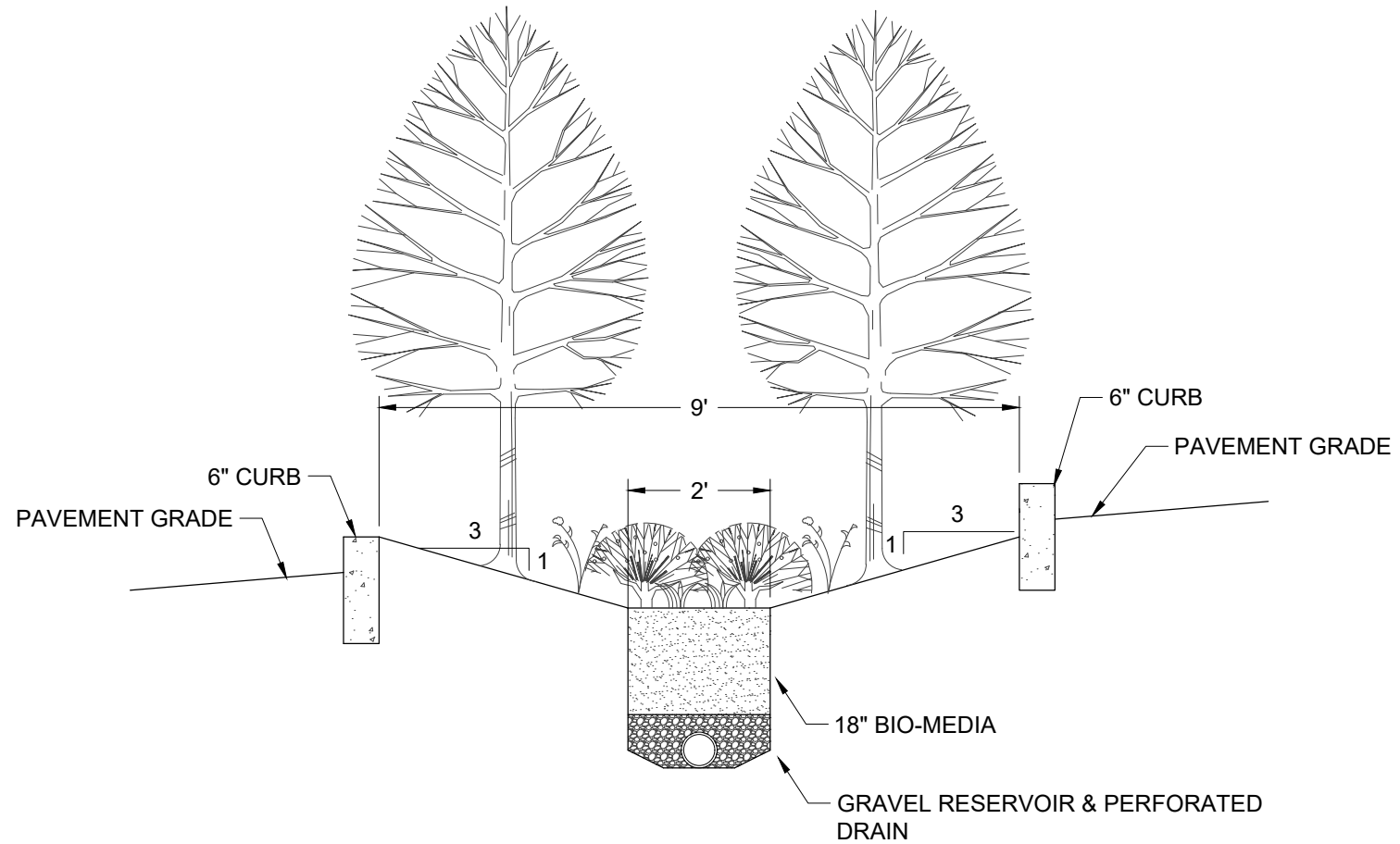
12.13.19
issue date

TMP 49-79 REZONING

waterstreetstudio
landscape architecture | civil engineering
418 E Main Street 434.295.8177 Charlottesville, VA 22902

SITE DETAIL CONCEPTS
sketch title

SP-2
sketch number



PARKING LOT ISLAND BIO-SWALE SECTION



BIO-SWALE PRECEDENT IMAGE



BIO-SWALE PRECEDENT IMAGE

ALL AMERICAN
CAR WASH
project name

project number

AGF
drawn by

12.13.19
issue date

TMP 49-79 REZONING

waterstreetstudio
landscape architecture | civil engineering
418 E Main Street 434.295.8177 Charlottesville, VA 22902

SITE DETAIL CONCEPTS
sketch title

SP-3
sketch number

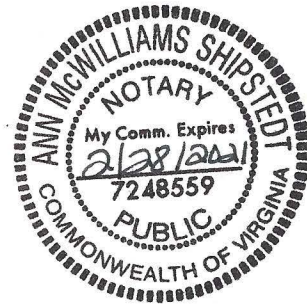
AFFIDAVIT

THIS DAY appeared before me, a Notary Public in and for the Commonwealth of Virginia, Aaron Revere, who, after being first duly sworn, did state as follows:

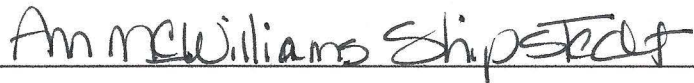
1. I am Aaron Revere, and I have personal knowledge of the facts set forth herein.
2. I am an authorized agent / representative for Long Street LLC, the owner of the property located at 909 Landonia Circle (the "Property") which is the subject of a pending rezoning application from B-1 Business to B-2 Business with the City of Charlottesville.
3. As required by the application process, on **January 21, 2020**, I mailed notices to all property owners within 500 feet of the Property as those addresses determined and provided by Joey Winter of the City of Charlottesville. The letter provided notice of the application and proposed use and of the informational community meeting to be held at **Burnley-Moran Elementary School (Library) on February 13, 2020, from 4:30 to 6:30 pm.**
4. A sample copy of the notification letter is attached hereto as Exhibit A, and a copy of the list of addresses to which the letter was mailed is attached hereto as Exhibit B.

And further the affiant sayeth not.

 (seal)
Aaron Revere



SWORN TO and acknowledged before me on this 21 day of January, 2020 by Aaron Revere.


Notary Public

My Commission expires: 2/28/2021
Notary ID Number: 7248559

January 21, 2020

Dear Neighbor,

You are receiving this letter because you are located within 500 feet of 909 Landonia Circle (the "Property"). We, the owners of the Property, have applied to the City of Charlottesville for change in zoning from B-1 Business to B-2 Business and wish to keep you informed of and involved in that process.

The Property is further identified on City Real Property Tax Map 49 Parcel 79 and has frontage on Landonia Circle. The property is approximately 0.68 acres and the General Land Use Plan calls for Neighborhood Commercial development. Previously the site was operated as a Day Care Center but today sits vacant.

The objective of our proposed project is to integrate this vacant site into our existing cash wash operations that front on Long Street. As you know, our facility has functioned as a car wash for decades. No new use is proposed. Our aim is to modernize and improve the facilities to better serve our long-standing customers. We will continue to provide self-serve car wash and vacuuming, an automated car wash, and a propane refilling kiosk.

We propose to maintain the use of our two current access points, thus avoiding changes to traffic patterns. The former access point to the daycare center will be removed from Landonia circle. Along the northern and eastern perimeter of the Property, we plan to incorporate a sidewalk facilitating pedestrian access down to Long Street. Similarly, we plan for vegetated buffers along the perimeters of the site.

We will be holding an informational meeting for any neighbors with questions or concerns. The details of that meeting are as follows:

Location: **Burnley-Moran Elementary School (Library)**
Date: **February 13, 2020**
Time: **4:30 to 6:30 pm**

There will be no formal presentation at the meeting, but we will be available during the hours of 4:30 to 6:30 pm to answer questions. If you cannot make it to the informational meeting, but have questions, please contact:

Name: Aaron Revere
Email: arevere@newbayllc.com
Phone: (804) 687-6316

Thank you and we look forward to meeting you!

1217 A & B RIVER VISTA AVENUE, LLC
3993 RED HILL SCHOOL RD
NORTH GARDEN VA 22959

BABER, JAMES A & NATALIE A
1227 RIVER VISTA AVE
CHARLOTTESVILLE VA 22901

CARTER, NANCY D & MATTHEW R, JR
1214 LONG ST
CHARLOTTESVILLE VA 22901

COSNER, E GRANT & BARBARA H
1510 EAST HIGH STREET
CHARLOTTESVILLE VA 22902

DEANE, ELLIS R, JR & VIVIAN C
104 FIELDING DR
CHARLOTTESVILLE VA 22902

EASTER, VALORIE LYNN
1304 BELLEVIEW AVE
CHARLOTTESVILLE VA 22901

FREE BRIDGE PROPERTIES, LLC
1510 E HIGH ST
CHARLOTTESVILLE VA 22902

HARVEY, ALLAN LEE
1216 RIVER VISTA AVENUE
CHARLOTTESVILLE VA 22901

HOANG, BICH THUY
1317 RIVERDALE DR
CHARLOTTESVILLE VA 22902

JOHNSON, LENWOOD A & IDA B
152 KENSINGTON DRIVE
FISHERSVILLE VA 22939

AGEE, JOHN B & ELAINE
3029 COVE LANE
CHARLOTTESVILLE VA 22901

BLAKE, LINDA D & DANIEL E
1228 RIVER VISTA AVE
CHARLOTTESVILLE VA 22901

CITY OF, CH'VILLE SCHOOL BOARD
1300 LONG ST
CHARLOTTESVILLE VA 22902

CRITZER, JESSIE
1205 LANDONIA CIR
CHARLOTTESVILLE VA 22901

DIXON, MATTHEW J
1711 CHERRY AVE
CHARLOTTESVILLE VA 22903

FELDMAN, GARY A & DEBRA J TULER
1226 RIVER VISTA AVENUE
CHARLOTTESVILLE VA 22901

GO STORE IT RIVER, LLC
5605 CARNEGIE BLVD STE 420
CHARLOTTE NC 28209

HENRY, THOMAS E, TRUSTEE
1200 LANDONIA CIR
CHARLOTTESVILLE VA 22901

HUCK, JENNIFER A & ADAM F SLEZ
1225 RIVER VISTA AVE
CHARLOTTESVILLE VA 22901

KIMCO, L C
1510 EAST HIGH STREET
CHARLOTTESVILLE VA 22902

ASANTE, AGYA-KOFI D
2000 CITY WALK #2 WAY
CHARLOTTESVILLE VA 22902

BUSHING, CAROL G
1320 RIVERDALE DR
CHARLOTTESVILLE VA 22902

COMFORT, JASON E & CARRIE A
1223 RIVER VISTA AVE
CHARLOTTESVILLE VA 22901

CRITZER, PAUL C
1115 CARDINAL DRIVE
EARLYSVILLE VA 22936

DUFFY, AIMEE E
1221 RIVER VISTA AVE
CHARLOTTESVILLE VA 22901

FOSTER, DWIGHT & IRENE
1821 WILDERNESS RD
REVA VA 22735

GORMAN, TIMOTHY P & SUSAN H &
145 DURRETT TOWN RD
AFTON VA 22920

HILLTOP, DAY CARE CENTER INC
909 LANDONIA CIRCLE
CHARLOTTESVILLE VA 22901

IVESTER, KYLE J & KRISTEN G
1319 RIVERDALE DR
CHARLOTTESVILLE VA 22902

KIRSCHNICK, DAVID M
926 COLEMAN ST
CHARLOTTESVILLE VA 22901

LACE LEAF, LLC
105 KEYSTONE PL
CHARLOTTESVILLE VA 22902

LANDONIA, LLC
3134 BEAU MONT FARM RD
CHARLOTTESVILLE VA 22901

LINDSAY, CHRISTINE M
1222 RIVER VISTA AVE
CHARLOTTESVILLE VA 22901

LONG STREET PROPERTIES, LLC
CVS DRIVE, MC 2320
WOODSOCKET RI 02895

LY, THANH & LOAN MY VUONG
1326 LONG STREET
CHARLOTTESVILLE VA 22901

MAXEY, HAZEL PATTERSON
1218 RIVER VISTA AVENUE
CHARLOTTESVILLE VA 22901

MERRITT, DAVID C & DONNA L
1324 LONG STREET
CHARLOTTESVILLE VA 22901

PACIFIC REALTY ASSOCIATES LP
15350 SW SEQUOIA PKWY #300
PORTLAND OR 97224

RIVERVIEW LAND AND DEVELOPMENT, LLC
P O BOX 48
KESWICK VA 22947

ROWLAND, DONNA & PATTI LONG
1062 RIDGEWAY DRIVE
BARBOURSVILLE VA 22923

SOVRAN BANK
101 N TRYON ST
CHARLOTTE NC 28255

TAYLOR, WILLIAM E & MARGARET C
704 GILLESPIE AVENUE
CHARLOTTESVILLE VA 22902

THOMAS, ROY S JR & NELLIE P
614 BIG OAK ROAD
CHARLOTTESVILLE VA 22903

TIGER FUEL COMPANY
P O BOX 1607
CHARLOTTESVILLE VA 22902

TSERING, PASANG & NGAWANG DOLKAR
904 COLEMAN STREET
CHARLOTTESVILLE VA 22901

VAUGHAN, MELINA R
1220 RIVER VISTA AVE
CHARLOTTESVILLE VA 22901

WALTON, STUART K
1212 RIVER VISTA AVE
CHARLOTTESVILLE VA 22901

WRIGHT & NAPIER, LLC
203 PAUL REVERE DR
FOREST VA 24551

YOUNG, JOSEPH D
1300 BELLEVIEW AVE
CHARLOTTESVILLE VA 22901

Long Street Car Wash

2-13-20

<u>NAME</u>	<u>Phone / email</u>
Diane Blake	(434) 293-5260
Susan Kane	434 882-2103 shk1952@embury.com
Joey Winter	(434) 970-3991 winterj@charlottesville.org

2/13 4:30pm Buxley Manor Elementary library
Long St Car Wash Rezoning Community Meeting

- Concern = homeless people on property
- trucks parked on land
- concern about lighting leaving property toward duplex
- concern about hours → noise at night
- residents want vegetation along top of retaining wall
want more vegetation between site and duplexes
- concern about sightlines for cars entering
and exiting onto bypass
- concern about ~~park~~ street camp
- cleaned up more

2 residents, me, Susan Revere, Alan Franklin, Gordon Sitten (owner)
Diane Blake / Susan Kane