

Agenda

PLANNING COMMISSION REGULAR DOCKET WEDNESDAY, September 9, 2020 at 5:30 P.M. Virtual Meeting

I. Commission Pre-Meeting (Agenda discussion(s))

Beginning: 5:00 p.m.

Location: (Electronic/Virtual)

II. Commission Regular Meeting

Beginning: 5:30 p.m.

Location: (Electronic/Virtual)

A. COMMISSIONERS' REPORTS

B. UNIVERSITY REPORT

C. CHAIR'S REPORT

1. Annual Meeting

A. Election of officers

D. DEPARTMENT OF NDS

E. MATTERS TO BE PRESENTED BY THE PUBLIC NOT ON THE FORMAL AGENDA

F. CONSENT AGENDA

(Items removed from the consent agenda will be considered at the end of the regular agenda)

1. Minutes – July 14, 2020 – Pre- meeting and Regular meeting

2. Site Plan –Kappa Kappa Gamma (503 Rugby Rd)

3. Site Plan - Chick-fil-A Barracks Rd

4. Entrance Corridor - Chick-fil-A Barracks Rd

G. Presentation - JAUNT

III. JOINT MEETING OF COMMISSION/ COUNCIL

Beginning: 6:00 p.m.

Continuing: until all public hearings are completed

Format: (i) Staff Report, (ii) Applicant, (iii) Hearing

No hearings scheduled

IV. COMMISSION'S ACTION ITEMS

Continuing: until all action items are concluded.

H. Family Day Home – Discussion

I. 240 Stribling site – Work Session

V. FUTURE MEETING SCHEDULE/ADJOURN

Tuesday October 13, 2020 – 5:00 PM	Pre-Meeting	
Tuesday October 13, 2020 – 5:30 PM	Regular Meeting	<u>Minutes</u> – August 11, 2020 – Pre-meeting and Regular meeting ZTA - Family Day Home

Anticipated Items on Future Agendas

Zoning Text Amendments –Off-street parking facilities requirements along streets designated as “framework streets” (initiated May 8, 2018), Site Plan Requirements, Accessory Dwelling Unit, Middle Density zoning and Affordable Dwelling Unit, Family Day Home

Comp Plan Amendment – Small Area Plan –Cherry Avenue, Community Vision Plan – Starr Hill

Rezoning – 817 Nassau Street, 1000 Monticello

PLEASE NOTE: THIS AGENDA IS SUBJECT TO CHANGE PRIOR TO THE MEETING.

PLEASE NOTE: We are including suggested time frames on Agenda items. These times are subject to change at any time during the meeting.

Individuals with disabilities who require assistance or special arrangements to participate in the public meeting may call the ADA Coordinator at (434) 970-3182 or submit a request via email to ada@charlottesville.gov. The City of Charlottesville requests that you provide a 48 hour notice so that proper arrangements may be made.

During the local state of emergency related to the Coronavirus (COVID19), City Hall and City Council Chambers are closed to the public and meetings are being conducted virtually via a Zoom webinar. The webinar is broadcast on Comcast Channel 10 and on all the City's streaming platforms including: Facebook, Twitter, and www.charlottesville.gov/streaming. Public hearings and other matters from the public will be heard via the Zoom webinar which requires advanced registration here: www.charlottesville.gov/zoom . You may also participate via telephone and a number is provided with the Zoom registration or by contacting staff at 434-970-3182 to ask for the dial in number for each meeting.

**LIST OF SITE PLANS AND SUBDIVISIONS APPROVED ADMINISTRATIVELY
8/1/2020 TO 8/31/2020**

1. Preliminary Site Plans

2. Final Site Plans

- a. 400 Rugby Road – Westminster Church Frontage Improvements – August 10, 2020
- b. 1532 & 1534 Virginia Avenue - Apartment Building – August 25, 2020
- c. Segra Emmet Street Utility Plan – August 25, 2020

3. Site Plan Amendments

4. Subdivision

- a. BLA – 104 & 105 Baylor Place (TMP 26-45.21 & 26-45.22) – August 4, 2020

July 14, 2020 Planning Commission Minutes are included as the last document in this packet

CITY OF CHARLOTTESVILLE

DEPT. OF NEIGHBORHOOD DEVELOPMENT SERVICES

STAFF REPORT



APPLICATION FOR APPROVAL OF A FINAL SITE PLAN

PLANNING COMMISSION REGULAR MEETING

MEETING DATE:	Wednesday, September 9, 2020
DEVELOPMENT NAME:	Kappa Kappa Gamma - 503 Rugby Road Final Site Plan
APPLICATION NUMBER:	P19-0164
Reason for Planning Commission Review:	Final site plan reflects the proposed development of a property that is the subject of an existing or proposed special permit
Planner:	Joey Winter
Date of Staff Report:	August 27, 2020
Applicant:	Timmons Group
Applicant's Representative:	Mr. Craig Kotarski, PE
Owner of Record:	Epsilon Sigma House Corporation of Kappa Kappa Gamma
<u>Application Information</u>	
Property Street Address:	503 Rugby Road ("Subject Property")
Tax Map Parcel Number:	TM 5-52 050052000
Site Area (per GIS):	0.3440 acres (14,985 ft ²)
Comprehensive Plan (Land Use Plan):	High Density Residential
Zoning District:	R-3H
Overlay District(s):	Rugby Road—University Circle—Venable Neighborhood Architectural Design Control District

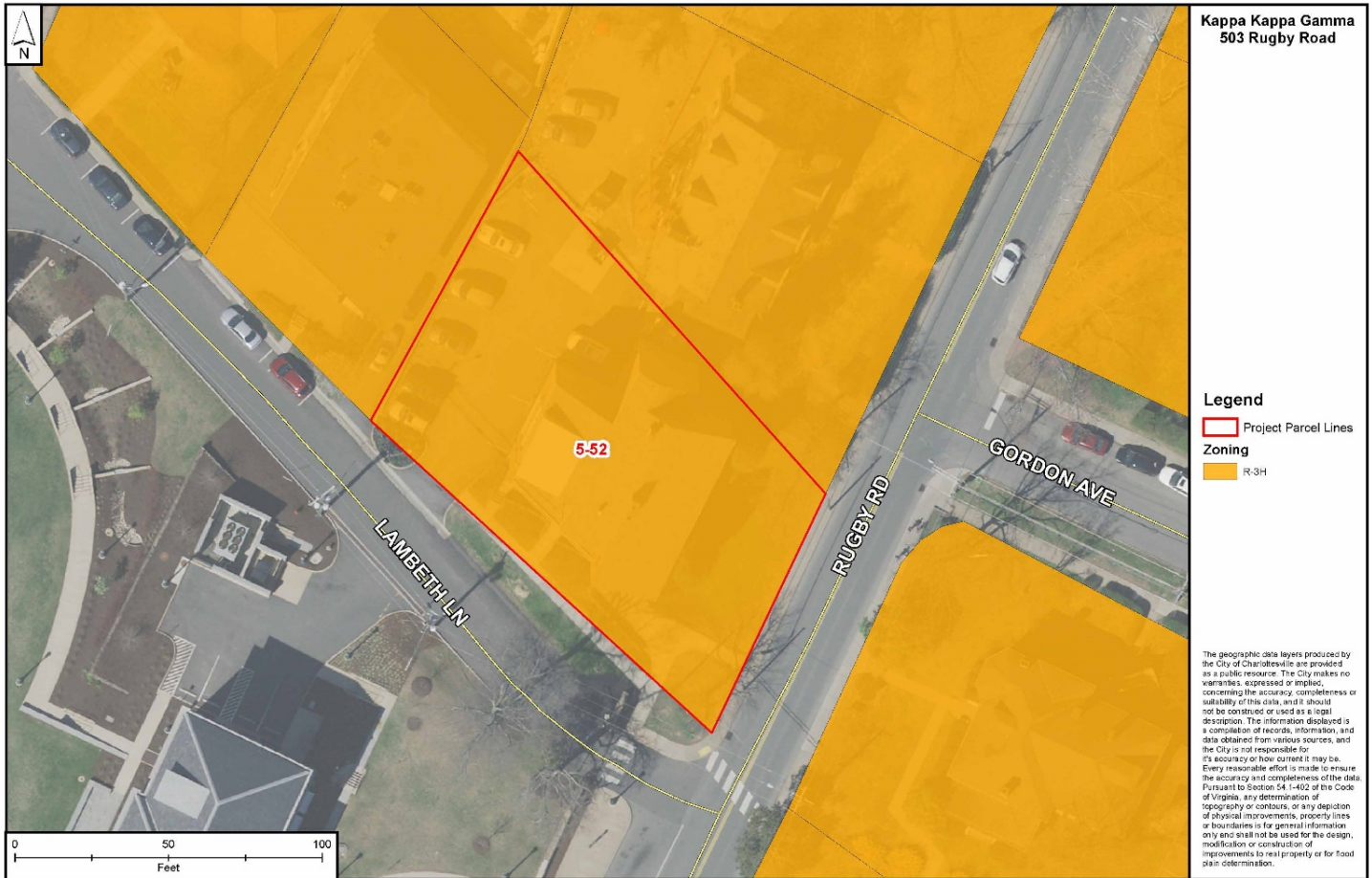
Applicant's Request

Mr. Craig Kotarski of Timmons Group, on behalf of the Epsilon Sigma House Corporation of Kappa Kappa Gamma, is seeking Planning Commission approval for the 503 Rugby Road - Kappa Kappa Gamma Final Site Plan. This final site plan proposes renovation, expansion, and upgrades to the existing sorority house at 503 Rugby Road. On October 7, 2019, City Council approved Special Use Permit SP19-00004 authorizing a sorority house at 503 Rugby Road for up to 37 occupants. As per the City's Zoning Ordinance, Planning Commission shall review this final site plan because it reflects the proposed development of property that is subject to a Special Use Permit.

Vicinity Map



Zoning Map



Standard of Review

Site plan approval is a ministerial function of Planning Commission in which no discretion is involved. If this final site plan contains all required information then it must be granted approval. If Planning Commission disapproves this plan, it shall set forth in writing the specific reasons therefor. The reasons for disapproval shall identify deficiencies in this plan which cause the disapproval, by reference to specific ordinances, laws or regulations. If this plan is disapproved, Planning Commission must also generally identify modifications or corrections that will permit approval of this plan.

Site Plan Requirements

A. Compliance with applicable zoning district regulations [City Code - Chapter 34]

Staff has determined that this site plan complies with requirements of the R-3H Zoning District.

B. Compliance with the City's Erosion and Sediment Control ordinance [City Code - Chapter 10]

Staff has determined that this final site plan complies with the City's Erosion and Sediment Control ordinance. Erosion and Sediment Control plans are included as site plan Sheets C3.0 through C3.3 and Stormwater Management Plans are included as site plan Sheets C6.0 through C6.3.

C. Compliance with the City's site plan requirements [City Code - Sec. 34-827 and Sec. 34-828]

Staff has determined that this site plan contains the following information as required:

PRELIMINARY SITE PLAN REQUIREMENTS [Sec. 34-827(d)]	SHEET(S)
1. General site plan information	C0.0
2. Existing condition and adjacent property information	C2.0
3. Phasing plan	N/A
4. Topography and grading	C5.0
5. Existing landscape and trees	C2.0
6. Name and location of all water features	N/A
7. One hundred-year flood plain limits	N/A
8. Existing and proposed streets and associated traffic information	C0.0
9. Location and size of existing water and sewer infrastructure	C2.0
10. Proposed layout for water/sanitary sewer facilities & storm drain facilities	C4.0
11. Location of other existing and proposed utilities and utility easements	C2.0, C4.0
12. Location of existing and proposed ingress to and egress from the property	C2.0, C4.0
13. Location and dimensions of all existing and proposed improvements	C4.0
14. All areas intended to be dedicated or reserved for public use	N/A
15. Landscape plan (if subject to entrance corridor review)	N/A
16. Where deemed appropriate due to intensity of development:	
a. Estimated traffic generation figures based upon current ITE rates	C0.0
b. Estimated vehicles per day	C0.0
FINAL SITE PLAN REQUIREMENTS [Sec. 34-828(d)]	SHEET(S)
2. Signage information	N/A
3. Specific written schedules or notes (as necessary)	C0.0-C1.3
4. Residential unit information (if applicable list affordable housing details)	C0.0
5. Proposed grading: maximum two-foot contours	C3.2
6. Detailed plans for proposed water and sanitary sewer facilities	C4.0, L500-L530
7. Detailed stormwater management plans	
a. Profiles proposed and existing ditches and channels	C7.0
b. Profiles proposed and existing storm drainage systems	C7.0
c. Plan view of all drainage systems	C3.2, C3.3
d. Drainage summary table for culverts, storm drainage facilities and channels	C6.2, C6.3
e. Legend showing all symbols and abbreviations used on the plan	C3.2, C3.3
f. Final stormwater management plan	C6.0-C6.2
g. erosion and sediment control plan	C3.0-C3.3
8. Parking details	C4.0
9. Final landscape plan	L600
10. Signature panel for the preparer	ALL SHEETS
11. Signature panel for the NDS Director and City Engineer	C0.0

D. Additional information to be shown on the site plan as deemed necessary by the director or Commission in order to provide sufficient information for the director or Commission to adequately review the site plan.

The Special Use Permit approved by City Council on October 7, 2019 includes the following conditions for the 503 Rugby Road - Kappa Kappa Gamma Final Site Plan:

1. The “boarding, fraternity and sorority house” use approved by this special use permit shall have a maximum of thirty-seven (37) residents.

COMPLIES – See Sheet C0.0

2. For the building containing the use referenced in ¶(1), above:

(a) The following side yards shall be required:

- i. North Side Yard abutting TMP 5-53: A side yard of five (5) feet, minimum will be required instead of one (1) foot of side yard per every two (2) feet of building height with a minimum of ten (10) feet.

COMPLIES – See Sheet C0.0

- ii. South Side Yard Corner, street side abutting Lambeth Lane: A side yard of fifteen (15) feet, minimum will be required instead of twenty (20) feet, minimum.

COMPLIES – See Sheet C0.0

(b) The following front yard shall be required:

- i. East Front Yard abutting Rugby Road: A front yard of twenty-five (25) feet, minimum will be required instead of the average depth of the existing front yards within five hundred (500) feet.

COMPLIES – See Sheet C0.0

3. On-site parking will be provided, in the general location and configuration shown within the preliminary site plan dated July 16, 2019. The final site plan shall demonstrate compliance with the following: (a) on-site parking shall be used exclusively by residents of the sorority house and their guests (no sale or leasing of on-site parking for off-site functions is permitted) and (b) signage and pavement markings, including both lane lines and text, may be required by the City’s Traffic Engineer, in order to designate travel ways and specify the direction of traffic in on-site parking area(s).

COMPLIES – See Sheet C4.0

4. All trash receptacles must be hidden from view when not set out for curbside pickup.

COMPLIES – See Sheets C4.0 & L410

5. The “boarding, fraternity or sorority house” use approved by this special use permit, and (except as specifically modified within condition (2), above), all buildings and structures located on the Subject Property, shall comply with the provisions of City Code Sec. 34-353 and all other applicable provisions of Chapter 34 (Zoning) of the Code of the City of Charlottesville.

COMPLIES – See All Sheets

PUBLIC COMMENTS RECEIVED

No public comment was received during the final site plan review process. A public site plan conference was held on August 7, 2019.

STAFF’S RECOMMENDATION

Staff recommends that the 503 Rugby Road - Kappa Kappa Gamma Final Site Plan be approved.

ATTACHMENTS

- 1) **SP19-00004 - RESOLUTION AUTHORIZING A SORORITY HOUSE AT 503 RUGBY ROAD FOR UP TO 37 OCCUPANTS** – *approved by City Council on October 7, 2019*
- 2) **CITY CODE SECTIONS 34-827 & 34-828** – *Preliminary and final site plan content requirements*
- 3) **503 RUGBY ROAD - KAPPA KAPPA GAMMA FINAL SITE PLAN** – *for approval*

**RESOLUTION
AUTHORIZING A SORORITY HOUSE
AT 503 RUGBY ROAD FOR UP TO 37 OCCUPANTS**

WHEREAS, pursuant to City Code §34-420 and §34-162, landowner Epsilon Sigma House Corporation/ Kappa Kappa Gamma Sorority has submitted an application seeking a special use permit to authorize a “boarding, fraternity and sorority house”, as defined within City Code §34-1200, to be used as a place of room and board for up to thirty-seven (37) members of a fraternity or sorority, and a modification of certain yard requirements (the proposed “Special Use”); and

WHEREAS, the proposed Special Use will be located at 503 Rugby Road (the “Subject Property”), which is further identified on 2019 City Tax Map 5 as Parcel 52 (City Parcel ID No. 050052000) and is located within the City’s R-3 zoning district, and the area proposed to be subject to the proposed Special Use Permit will be 0.3440 acre, or approximately 14,985 square feet; and

WHEREAS, previously, on February 21, 1978, City Council granted a special use permit to authorize a sorority house with thirty-six (36) rooms on the Subject Property, and the Subject Property has been used as such since that time; and

WHEREAS, the proposed Special Use is generally described within written materials submitted in connection with SP19-00004, including: (i) the application materials dated July 13, 2019, and related narrative; and (ii) a proposed preliminary site plan submitted July 16, 2019 as required by City Code §34-158 (collectively, the “Application Materials”); and

WHEREAS, the Planning Commission reviewed the Application Materials, and the City’s Staff Report pertaining thereto, and then, following a joint public hearing duly advertised and conducted by the Planning Commission and City Council on September 10, 2019, the Planning Commission voted to recommend that City Council should approve this proposed Special Use, subject to certain conditions; and

WHEREAS, upon consideration of the comments received during the joint public hearing, the Planning Commission’s recommendation, and the Staff Report, as well as the factors set forth within Sec. 34-157 of the City’s Zoning Ordinance, this Council finds and determines that granting the proposed Special Use subject to suitable conditions would serve the public necessity, convenience, general welfare or good zoning practice; now, therefore,

BE IT RESOLVED by the Council of the City of Charlottesville, Virginia that, pursuant to City Code Sec. 34-480, the proposed Special Use is granted, subject to the following conditions:

1. The “boarding, fraternity and sorority house” use approved by this special use permit shall have a maximum of thirty-seven (37) ~~occupants~~ ~~rooms~~.

2. For the building containing the use referenced in ¶(1), above:
 - (a) The following side yards shall be required:
 - i. North Side Yard abutting TMP 5-53: A side yard of five (5) feet, minimum will be required instead of one (1) foot of side yard per every two (2) feet of building height with a minimum of ten (10) feet.
 - ii. South Side Yard Corner, street side abutting Lambeth Lane: A side yard of fifteen (15) feet, minimum will be required instead of twenty (20) feet, minimum.
 - (b) The following front yard shall be required:
 - i. East Front Yard abutting Rugby Road: A front yard of twenty-five (25) feet, minimum will be required instead of the average depth of the existing front yards within five hundred (500) feet.
3. On-site parking will be provided, in the general location and configuration shown within the preliminary site plan dated July 16, 2019. The final site plan shall demonstrate compliance with the following: (a) on-site parking shall be used exclusively by residents of the sorority house and their guests (no sale or leasing of on-site parking for off-site functions is permitted) and (b) signage and pavement markings, including both lane lines and text, may be required by the City's Traffic Engineer, in order to designate travel ways and specify the direction of traffic in on-site parking area(s).
4. All trash receptacles must be hidden from view when not set out for curbside pickup.
5. The "boarding, fraternity or sorority house" use approved by this special use permit, and (except as specifically modified within condition (2), above), all buildings and structures located on the Subject Property, shall comply with the provisions of City Code Sec. 34-353 and all other applicable provisions of Chapter 34 (Zoning) of the Code of the City of Charlottesville.

BE IT FURTHER RESOLVED THAT the Special Use Permit approved by this Resolution amends and supersedes the special use permit approved by resolution dated February 21, 1978 for the Subject Property.

Sec. 34-827. - Preliminary site plan contents.

- (a) Sixteen (16) clearly legible blue or black line copies of a preliminary site plan shall be submitted along with an application for approval. In addition, a three-dimensional drawing or model of the proposed site and the surrounding areas showing massing in context shall be submitted along with any preliminary site plan that is to be reviewed by the planning commission. If revisions to the submitted preliminary site plan are necessary, then sixteen (16) full-sized revised copies, and, if the preliminary site plan is to be reviewed by the planning commission, an additional ten (10) revised copies shall be submitted by the revision deadline.
- (b) All waiver, variation and substitution requests shall be submitted with the preliminary site plan, and the applicant shall clearly state the specific items being requested for waiver, variation or substitution.
- (c) The preliminary site plan shall be prepared to an engineering scale of 1:20, unless, in the determination of the director a different scale will allow a better representation of the development.
- (d) The preliminary site plan shall contain the following information:
 - (1) The name of the development; names of the owner(s), developer(s) and individual(s) who prepared the plan; tax map and parcel number; zoning district classification(s); descriptions of all variances, zoning proffers and bonus factors applicable to the site; description of affordable dwelling unit requirements applicable to the subject property pursuant to section 34-12(a) or section 34-12(d)(1); city and state; north point; scale; one (1) datum reference for elevation (where a flood hazard overlay district is involved, U.S. Geological Survey vertical datum shall be shown and/or correlated to plan topography); source of the topography; source of the survey; sheet number and total number of sheets; date of drawing; date and description of latest revision; zoning district, tax map and parcel number, and present use, of each adjacent parcel; departing lot lines; minimum setback lines, yard and building separation requirements; a vicinity sketch showing the property and its relationship with adjoining streets, subdivisions and other landmarks; and boundary dimensions.
 - (2) Written schedules or data as necessary to demonstrate that the site can accommodate the proposed use, including: proposed uses and maximum acreage occupied by each use; maximum number of dwelling units by type; gross residential density; square footage of recreation area(s); percent and acreage of open space; maximum square footage for non-residential uses; maximum lot coverage; maximum height of all structures; schedule of parking, including maximum amount required and amount provided; maximum amount of impervious cover on the site; and if a landscape plan is required, maximum amount of paved parking and vehicular circulation areas.
 - (3) If phasing is planned, phase lines and proposed timing of development;
 - (4) Existing topography for the entire site at maximum five-foot contours; proposed grading (maximum two-foot contours), supplemented where necessary by spot elevations; and sufficient offsite topography to describe prominent and pertinent offsite features and physical characteristics, but in no case less than fifty (50) feet outside of the site unless otherwise approved by the director. Topographic information submitted with a preliminary plat shall be in the form of a topographic survey, which shall identify areas of critical slopes, as defined in section 29-3, natural streams, natural drainage areas, and other topographic features of the site.
 - (5) Existing landscape features as described in section 34-867 (requirements of landscape plans), including all individual trees of six (6) inch caliper or greater.
 - (6) The name and location of all watercourses, waterways, wetlands and other bodies of water adjacent to or on the site.

- (7) One hundred-year flood plain limits, as shown on the official flood insurance maps for the City of Charlottesville, as well as the limits of all floodway areas and base flood elevation data required by section 34-253.
- (8) Existing and proposed streets, access easements, alley easements and rights-of-way, and other vehicular travelways, together with street names, highway route numbers, right-of-way lines and widths, centerline radii, and pavement widths.
- (9) Location and size of drainage channels, and existing and proposed drainage easements; and a stormwater management concept detailing how the applicant will achieve adequate drainage post-development, including a description of the specific design concept the applicant plans to apply. References to specific types of stormwater management facilities, specific treatments, BMPs, LID techniques, etc. shall be provided, The stormwater management concept shall be prepared by a professional engineer or landscape architect, as those terms are defined within Virginia Code § 54.1-400, and shall describe the manner in which stormwater runoff from the subdivision will be controlled in order to minimize the damage to neighboring properties and receiving streams, and prevent the discharge of pollutants into surface waters, in accordance with the requirements of City Code Chapter 10.
- (10) Location and size of existing water, sanitary and storm sewer facilities and easements, and proposed conceptual layout for water and sanitary sewer facilities and public storm sewer facilities.
- (11) Location of other existing and proposed utilities and utility easements.
- (12) Location of existing and proposed ingress to and egress from the property, showing the distance to the centerline of the nearest existing street intersection.
- (13) Location and dimensions of all existing and proposed improvements, including: buildings (maximum footprint and height) and other structures (principal as well as accessory); walkways; fences; walls; trash containers; outdoor lighting; landscaped areas and open space; recreational areas and facilities; parking lots and other paved areas; loading and service areas, together with the proposed paving material types for all walks, parking lots and driveways.
- (14) All areas intended to be dedicated or reserved for public use.
- (15) Landscape plan, in accordance with section 34-867, if the proposed site plan is subject to entrance corridor review.
- (16) Where deemed appropriate by the director due to intensity of development, estimated traffic generation figures for the site based upon current VDOT rates, indicating the estimated vehicles per day and the direction of travel for all connections to a public road.

The director or the commission may require additional information to be shown on the preliminary site plan as deemed necessary in order to provide sufficient information for the director or commission to adequately review the preliminary site plan.

(9-15-03(3); 6-6-05(2); 1-20-09; 11-18-13; 5-19-14, § 2, eff. 7-1-14)

Sec. 34-828. - Final site plan contents.

- (a) A final site plan, together with any amendments thereto, shall be prepared and sealed, signed and dated by an architect, professional engineer, land surveyor or certified landscape architect licensed to practice within the Commonwealth of Virginia.
- (b) Ten (10) clearly legible blue or black line copies of the master drawing shall be submitted to the department of neighborhood development services, along with an application for approval of the final site plan. If review is required by the commission, then the applicant shall also provide one (1) reduced copy of the final site plan, no larger than eleven (11) inches by seventeen (17) inches in size.
- (c) The final site plan shall be prepared to the scale of one (1) inch equals twenty (20) feet or larger, or to such a scale as may be approved by the agent in a particular case. No sheet shall exceed thirty-six (36) inches by forty-two (42) inches in size. The final site plan may be prepared on one (1) or more sheets. If prepared on more than one (1) sheet, match lines shall clearly indicate where the sheets join. The top of the sheet shall be approximately either north or east.
- (d) The final site plan shall reflect conditions of approval of the preliminary site plan, and shall meet all requirements set forth within Code of Virginia § 15.2-2240 et seq. In addition, the final site plan shall contain the following information:
 - (1) The location, character, size, height and orientation of proposed signs, as proposed to be installed or erected in accordance with Article IX, sections 34-1020, et seq. of this chapter; and elevations of buildings showing signs to be placed on exterior walls. Signs which are approved in accordance with this section shall be considered a part of the approved site plan. Thereafter, signs shall not be installed, erected, painted, constructed, structurally altered, hung, rehung or replaced except in conformity with the approved site plan. Any changes in signs from the approved site plan or any additions to the number of signs as shown on the site plan shall be allowed only after amendment of the site plan by the director of neighborhood development services or the planning commission.
 - (2) Specific written schedules or notes as necessary to demonstrate that the requirements of this chapter are being satisfied.
 - (3) Indicate if residential units are sale or rental units; number of bedrooms per unit; and number of units per building if multifamily; specifications for recreational facilities; and reference to the specific deed(s), agreement(s) or other evidence of the property owner's binding obligation to provide affordable dwelling units applicable to the subject property pursuant to section 34-12(a) or section 34-12(d)(1), consistent with regulations approved pursuant to section 34-12(d).
 - (4) Proposed grading: maximum two-foot contours.
 - (5) Detailed plans for proposed water and sanitary sewer facilities, including: all pipe sizes, types and grades; proposed connections to existing or proposed systems; location and dimensions of proposed easements and whether such easements are to be publicly or privately maintained; profiles and cross sections of all water and sewer lines including clearance where lines cross; all water main locations and sizes; valves and fire hydrant locations; all sanitary sewer appurtenances by type and number; the station on the plan to conform to the station shown on the profile, and indicate the top and invert elevation of each structure.

- (6) Detailed stormwater management plans, and construction drainage and grading plans, showing:
 - a. Profiles of all ditches and channels, whether proposed or existing, with existing and proposed grades; invert of ditches, cross pipes or utilities; typical channel cross sections for new construction; and actual cross sections for existing channels intended to remain.
 - b. Profiles of all storm drainage systems showing existing and proposed grades.
 - c. Plan view of all drainage systems with all structures, pipes and channels numbered or lettered on the plan and profile views. Show sufficient dimensions and bench marks to allow field stake out of all proposed work from the boundary lines.
 - d. A drainage summary table for culverts, storm drainage facilities and channels.
 - e. A legend showing all symbols and abbreviations used on the plan.
 - f. Information, details, calculations, construction plans and other documents or data required by Chapter 10 for a final stormwater management plan shall be included, along with such other information, plans, calculations, and details sufficient to demonstrate compliance with the standards for drainage set forth within Article IV of the city's subdivision ordinance.
 - g. Information, details, calculations, plans and other documents or data required by Chapter 10 for an erosion and sediment control plan.
- (7) Typical street sections together with specific street sections where street cut or fill is five (5) feet or greater; centerline curve data; radius of curb returns or edge of pavement; location, type and size of proposed ingress to and egress from the site; together with culvert size; symmetrical transition of pavement at intersection with existing street; the edge of street surface or face of curb for full-length of proposed street; when proposed streets intersect with or adjoin existing streets or travel-ways, both edges of existing pavement or travelway together with curb and gutter indicated for a minimum of one hundred (100) feet or the length of connection, whichever is the greater distance.
- (8) For all parking and loading areas, indicate: size, angle of stalls; width of aisles and specific number of spaces required and provided, and method of computation, indicating type of surfacing for all paved or gravel areas.
- (9) A final landscape plan.
- (10) Signature panel for the preparer, consistent with the requirements of paragraph (a), above.
- (11) Signature panels for the director and the city engineer.

(9-15-03(3); 6-6-05(2); 1-20-09; 4-20-09; 11-18-13; 5-19-14, § 2, eff. 7-1-14)



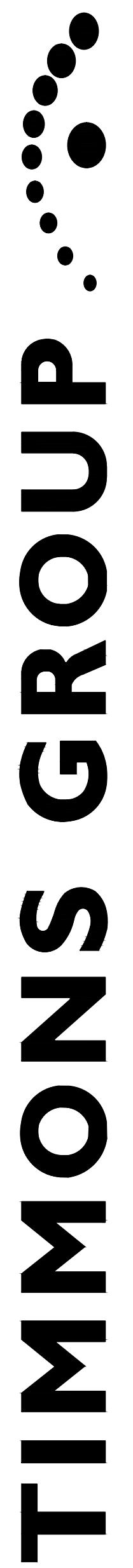
KAPPA KAPPA GAMMA HOUSE

FINAL SITE PLAN 503 RUGBY ROAD CITY OF CHARLOTTESVILLE, VIRGINIA

11/11/2019

THIS DRAWING PREPARED AT THE
CHARLOTTEVILLE OFFICE
608 Preston Avenue, Suite 200 | Charlottesville, VA 22903
TEL: 434-293-5624 FAX: 434-293-8317 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.



SITE DATA:

TAX MAP PARCEL AND OWNER INFO: PARCEL 050052000
EPSILON SIGMA HOUSE
CORPORATION OF KAPPA KAPPA GAMMA
3466 KESWICK ROAD
KESWICK, VA 22947

TOTAL PARCEL AREA: 0.34 ACRES
LIMITS OF DISTURBANCE: 0.26 ACRES
PRE-DEVELOPED IMPERVIOUS AREA: 0.18 ACRES
POST-DEVELOPED IMPERVIOUS AREA: 0.18 ACRES

SOURCE OF SURVEY, BOUNDARY, AND TOPOGRAPHY: ROUDABUSH, GALE & ASSOCIATES, INC.
914 MONTICELLO ROAD
CHARLOTTESVILLE, VA 22902
(434) 977-0205
CONTACT: DAVID A. JORDAN
CONDUCTED: 8/6/2018

HORIZONTAL DATUM REFERENCE: NAD83
MISS UTILITY TICKET NUMBER: A817901981-00A (SUBMITTED 6/28/2018)
CURRENT USE: BOARDING - SORORITY HOUSE (11 BEDROOMS)
PROPOSED USE: BOARDING - SORORITY HOUSE (17 BEDROOMS)
±6,220 GSF EXPANSION

RESIDENTIAL UNITS: 1 RESIDENTIAL UNIT (17 BEDROOMS) FOR RENT
RECREATION AREA: NONE
OPEN SPACE: NONE
ZONED: R-3H
HISTORICAL DISTRICT (RUGBY ROAD - UNIVERSITY CIRCLE - VENABLE NEIGHBORHOOD ADC DISTRICT)

SETBACKS (PER SP19-00004, APPROVED 10/7/19): FRONT YARD: 25 FT
SIDE YARD (CORNER, STREET): 15 FT
SIDE YARD: 5 FT
REAR YARD: 25 FT

ADJACENT AREAS: NORTH - RESIDENTIAL (SORORITY/FRATERNITY HOUSE)
EAST - COMMERCIAL (DAYCARE FACILITY)
SOUTH - EDUCATIONAL FACILITY
WEST - RESIDENTIAL (SORORITY/FRATERNITY HOUSE)

PARKING SPACES REQUIRED: (2.5 SPACES / 3 BEDROOMS) x 17 BEDROOMS = 14 SPACES
MAXIMUM SPACE REDUCTION (20%)* = -3 SPACES
TOTAL REQUIRED = 11 SPACES

*20% PARKING REDUCTION: 5 BICYCLE LOCKERS PROVIDED = -1 SPACE
MARKED VAN SPACE PROVIDED = -2 SPACES
TOTAL = -3 SPACES

PARKING SPACES PROVIDED: 10 PARKING SPACES

REQUIRED OFFSITE PARKING SPACES: 1 PARKING SPACE*
*TO BE LOCATED AT 1604 GRADY AVENUE

REQUIRED BICYCLE PARKING SPACES: (1 SPACE / 500 SF OF BEDROOM AREA) * 2,818 SF = 6 SPACES

BICYCLE PARKING SPACES PROVIDED: 6 SPACES (3 RACKS) + 5 BICYCLE LOCKERS

MAXIMUM PAVED PARKING/VEHICULAR CIRCULATION AREA: 0.10 ACRES

MAXIMUM BUILDING HEIGHT: 45 FT

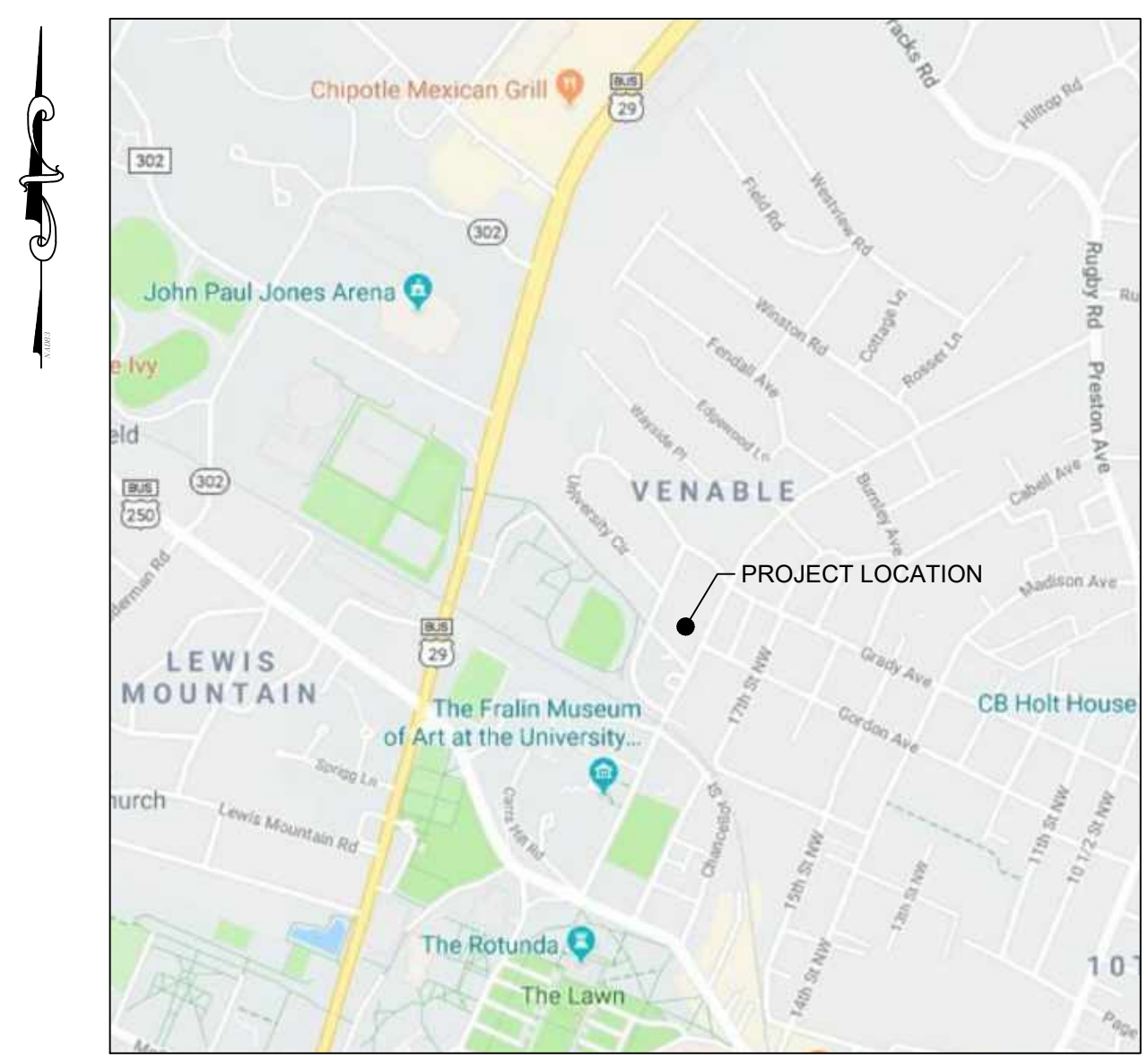
PROPOSED BUILDING HEIGHT: 40.3 FT

*NEAREST EXISTING FIRE HYDRANT IS APPROXIMATELY 70 FT FROM THE EXISTING BUILDING. IT IS LOCATED ACROSS LAMBETH LANE FROM THE PROPOSED ENTRANCE. ADDITIONAL FIRE HYDRANT IS PROPOSED WITH THIS PROJECT NORTHWEST OF THE RUGBY ROAD/LAMBETH LANE INTERSECTION.
**AFFORDABLE DWELLING UNIT REQUIREMENTS OF CITY CODE SECTION 34-12(a) AND CITY CODE SECTION 34-12(d)(1) ARE NOT APPLICABLE TO THE SUBJECT PROPERTY.

TRIP GENERATION

LAND USE: OFF-CAMPUS STUDENT APARTMENT
ITE CODE: 225
AMOUNT: 17
UNITS: BEDROOMS

ADT 50	WEEKDAY					
	IN	OUT	TOTAL	IN	OUT	TOTAL
	1	1	2	2	2	4



VICINITY MAP

SCALE: 1" = 1,000'

OWNER:
EPSILON SIGMA HOUSE
CORPORATION OF KAPPA KAPPA GAMMA
3466 KESWICK ROAD
KESWICK, VA 22947

ENGINEER OF RECORD:
TIMMONS GROUP
608 PRESTON AVENUE SUITE 200
CHARLOTTESVILLE, VA 22902
CONTACT: CRAIG KOTARSKI, P.E.
TELEPHONE: 434-327-1688

Sheet List Table

Sheet Number	Description
C0.0	
C1.0	
C1.1	
C1.2	
C1.3	SPECIAL USE PERMIT CONDITIONS
C2.0	
C2.1	
C3.0	EROSION AND SEDIMENT CONTROL NOTES
C3.1	EROSION AND SEDIMENT CONTROL DETAILS
C3.2	EROSION AND SEDIMENT CONTROL - PHASE 1
C3.3	EROSION AND SEDIMENT CONTROL - PHASE 2
C4.0	
C5.0	
C6.0	STORMWATER MANAGEMENT PLAN
C6.1	
C6.2	
C7.0	
L100	
L110	LAYOUT AND MATERIALS PLAN WEST
L120	LAYOUT AND MATERIALS PLAN EAST
L310	
L320	
L400	
L410	
L500	
L510	
L520	
L530	
L600	
L700	
A0.0	
A1.0	
A1.1	
A1.2	

TOTAL SHEETS = 34

UTILITY DEMANDS:

WATER FLOW (AVERAGE DAILY DEMAND)
RESIDENTIAL SPACE (17 BEDROOMS)
TOTAL OCCUPANTS = MAXIMUM 37 PEOPLE

AVERAGE DAILY DEMAND = (75 GPD/PERSON X 37 PEOPLE) = 2,775 GPD
AVERAGE HOURLY DEMAND = 2,775 GPD / 24 HOURS = 115.6 GPH
MAXIMUM HOURLY DEMAND = 115.6 GPH X 300% = 346.8 GPH
PEAK HOURLY DEMAND = 346.8 X 150% = 520.2 GPH
520.2 GPH / 60 MIN = 8.7 GPM

SEWER FLOW (AVERAGE DAILY FLOW)
AVERAGE FLOW RATE: 2,775 GPD

APPROVALS

DIRECTOR OF NEIGHBORHOOD DEVELOPMENT SERVICES

CITY ENGINEER

GENERAL NOTES:

UTILITIES

- 1. ANY DAMAGE TO EXISTING UTILITIES CAUSED BY CONTRACTOR OR ITS SUBCONTRACTORS SHALL BE CONTRACTOR'S SOLE RESPONSIBILITY AND REPAIRED AT CONTRACTOR'S EXPENSE.
2. THE CONTRACT DOCUMENTS DO NOT GUARANTEE THE EXISTENCE, NON-EXISTENCE OR LOCATION OF UTILITIES.
3. WHEN THE WORK CROSSES EXISTING UTILITIES, THE EXISTING UTILITIES SHALL BE ADEQUATELY SUPPORTED AND PROTECTED FROM DAMAGE DUE TO THE WORK.

- 3. CONCRETE SHALL NOT BE PLACED UNLESS THE AIR TEMPERATURE IS AT LEAST 40 DEGREES FAHRENHEIT (F) IN THE SHADE AND RISING.
4. CONCRETE SHALL NOT BE PLACED UNTIL STEEL DOWELS HAVE BEEN INSTALLED IN EXISTING CONCRETE IN ACCORDANCE WITH CITY STANDARDS.
5. 1/2" PREMOLED EXPANSION JOINT MATERIAL SHALL BE PLACED AT A MAXIMUM OF 30' INTERVALS ON NEW SIDEWALK, CURB, CURB & GUTTER.

DRAINAGE

- 1. CONTRACTOR SHALL EXERCISE CARE, ESPECIALLY AT INTERSECTIONS AND GUTTER LINES, TO PROVIDE POSITIVE DRAINAGE. ANY AREAS WHERE WATER IS IMPOUNDED SHALL BE CORRECTED BY CONTRACTOR AT NO ADDITIONAL COST.
2. CONTRACTOR SHALL MAINTAIN EXISTING STREAMS, DITCHES, DRAINAGE STRUCTURES, CULVERTS AND FLOWS AT ALL TIMES DURING THE WORK.
3. ALL PIPES, D'S AND OTHER STRUCTURES SHALL BE INSPECTED BY THE ENGINEERING INSPECTOR BEFORE BEING BACKFILLED OR BURIED.

VEGETATION

- 1. PRIOR TO REMOVING ANY VEGETATION, CONTRACTOR SHALL MEET WITH THE PROPERTY OWNERS, THE LANDSCAPE ARCHITECT, AND THE ENGINEER TO REVIEW THE LIMITS OF CONSTRUCTION AND OBTAIN PERMISSION TO REMOVE VEGETATION REQUIRED TO DO THE WORK.
2. TREE AND PLANT ROOTS OR BRANCHES THAT MAY INTERFERE WITH THE WORK SHALL BE TRIMMED OR CUT ONLY WITH THE APPROVAL OF THE OWNER, LANDSCAPE ARCHITECT, AND ENGINEER.

TRAFFIC AND SIGNAGE

- 1. ALL TEMPORARY NO PARKING REQUIREMENTS SHALL BE PROVIDED BY CONTRACTOR WITH APPROVAL OF THE TRAFFIC ENGINEER.
2. CONTRACTOR SHALL PROVIDE NECESSARY REFLECTORS, BARRICADES, TRAFFIC CONTROL DEVICES AND/OR FLAG PERSONS TO INSURE THE SAFETY OF ITS WORKERS AND THE PUBLIC.
3. CONTRACTOR SHALL MAINTAIN SAFE AND PASSABLE PUBLIC ACCESS TO PROPERTIES AND THE PUBLIC RIGHT-OF-WAY DURING CONSTRUCTION.

MISCELLANEOUS

- 1. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS, INSPECTIONS, BONDS, AND OTHER APPROVAL RELATED ITEMS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, LOCAL, STATE, AND FEDERAL POLICIES.
2. THE CONTRACTOR WILL BE REQUIRED TO PLACE "DEAR NEIGHBOR" DOOR HANGER NOTIFICATIONS ON THE FRONT DOOR OF ALL RESIDENCES AFFECTED BY THE CONSTRUCTION AND "SIDEWALK" SAFETY SIGNS AT EACH LOCATION WITH WORKING CREWS.

GENERAL NOTES

- 1. ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT VIRGINIA DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS AND STANDARDS.
2. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CONSULT THE ENGINEER AND VERIFY THE APPROVAL OF THE PLANS BY ALL FEDERAL, STATE AND LOCAL AGENCIES.
3. THE CONTRACTOR SHALL VERIFY THE ELEVATIONS OF ALL POINTS OF CONNECTION OR PROPOSED WORK TO EXISTING CURBS, SANITARY LINES, WATERLINES, ETC.

FIRE DEPARTMENT

- 1. BUILDING STREET NUMBERS SHALL BE PLAINLY VISIBLE FROM STREET.
2. A KNOXBOX KEY BOX SHALL BE MOUNTED TO THE SIDE OF THE FRONT OR MAIN ENTRANCE.
3. AN ELEVATOR KEYBOX WILL BE REQUIRED.
4. OVERHEAD WIRING OR OTHER OBSTRUCTIONS SHALL BE HIGHER THAN 13'5".

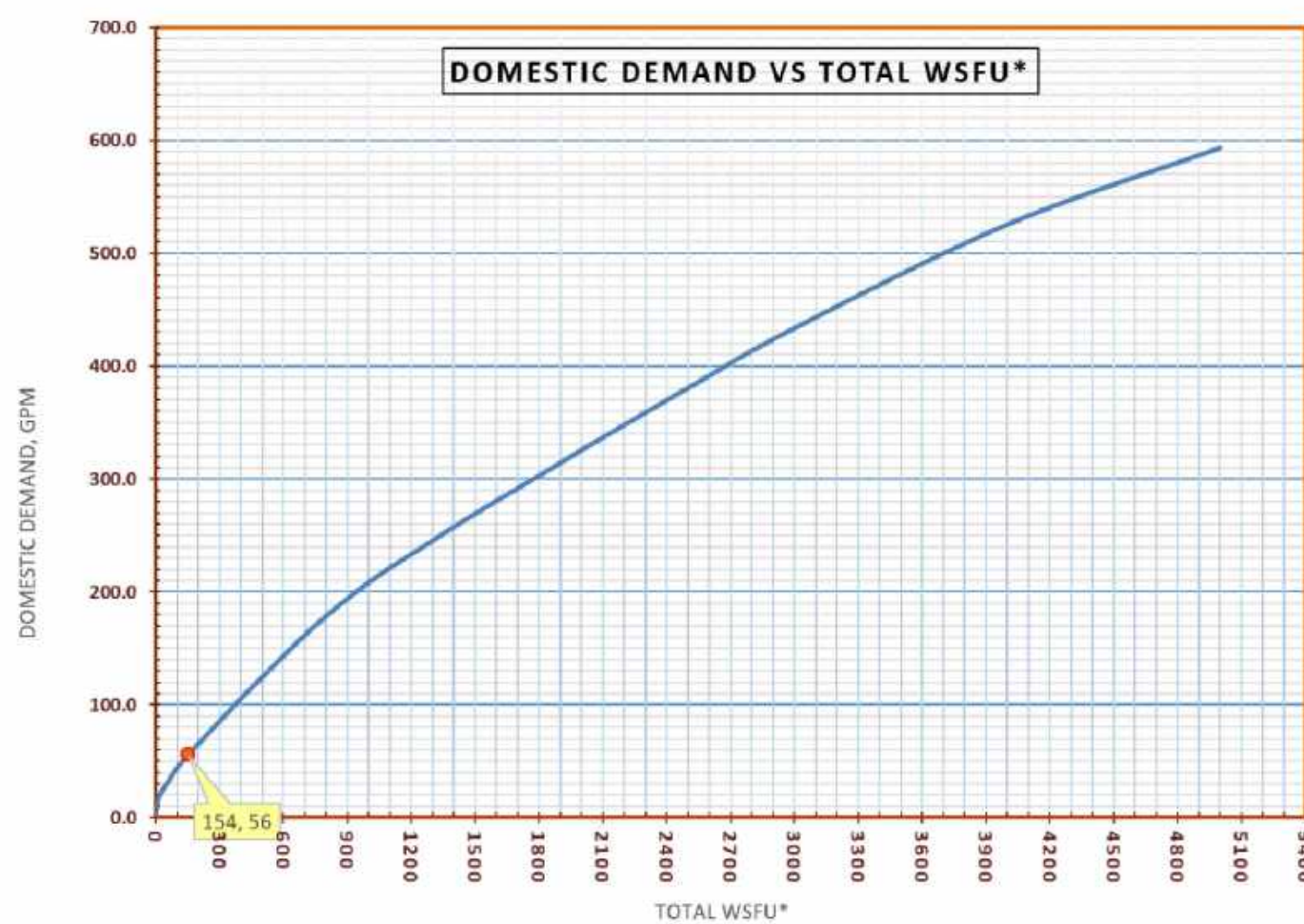
DETENTION PIPE MAINTENANCE

Table with 2 columns: Inspection Activities, Suggested Schedule. Includes rows for clogging, erosion, and structural repairs.

Predominant Supply Systems: Flush Tanks Type of Occupancy: Residential Building

Table with 6 columns: Fixture Type, Occupancy, Type of Supply Control, Number of Fixtures, Load Value, WSFU. Lists various fixtures like Full-bath group, Bathroom, Sink, etc.

*Domestic demand is calculated as per International Plumbing Code 2012 edition.



EROSION CONTROL & WORK AREA PROTECTION AND MAINTENANCE

- 1. ALL FENCES REQUIRED TO BE REMOVED OR DISTURBED BY CONSTRUCTION SHALL BE SALVAGED, STORED, PROTECTED AND RE-INSTALLED BY CONTRACTOR.
2. CONTRACTOR IS PERMITTED TO WORK IN THE PUBLIC RIGHT-OF-WAY AND ANY TEMPORARY OR PERMANENT EASEMENT SHOWN ON THE PLANS.
3. CONTRACTOR SHALL, AT HIS EXPENSE, MAINTAIN THE WORK SITE IN A CLEAN AND ORDERLY APPEARANCE AT ALL TIMES.

EARTHWORK AND SITE CONDITIONS

- 1. EXCEPT AS OTHERWISE SHOWN ON THE PLANS, ALL CUTS AND FILLS SHALL MATCH EXISTING SLOPES OR BE NO GREATER THAN 2:1.
2. NO NEW SIDEWALK SHALL EXCEED 2.0% CROSS-SLOPE (PERPENDICULAR TO THE DIRECTION OF PEDESTRIAN TRAFFIC).
3. ALL GRADING AND IMPROVEMENTS TO BE CONFINED TO THE PROJECT AREA UNLESS OTHERWISE INDICATED.

CONCRETE AND ASPHALT

- 1. ALL FORMS SHALL BE INSPECTED BY THE ENGINEERING INSPECTOR BEFORE ANY CONCRETE IS PLACED. THE ENGINEER INSPECTOR MAY REQUIRE CONTRACTOR, AT NO ADDITIONAL COST, TO REMOVE AND REPLACE CONCRETE PLACED PRIOR TO OR WITHOUT SUCH INSPECTION.
2. ALL MATERIAL INSIDE FORMS SHALL BE CLEAN AND FREE OF ALL ROCKS AND OTHER LOOSE DEBRIS. SUB-BASE MATERIAL SHALL BE COMPACTED BY MECHANICAL MEANS.



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YOUR VISION ACHIEVED THROUGH OURS.

Table with 2 columns: DATE, DRAWN BY, DESIGNED BY, CHECKED BY. Includes dates and names like K. MELLON and C. KOTARSKI.

SCALE N/A

TIMMONS GROUP logo and vertical text: KAPPA KAPPA GAMMA HOUSE CITY OF CHARLOTTEVILLE, VA NOTES AND DETAILS

Table with 2 columns: JOB NO. 43800, SHEET NO. C1.0

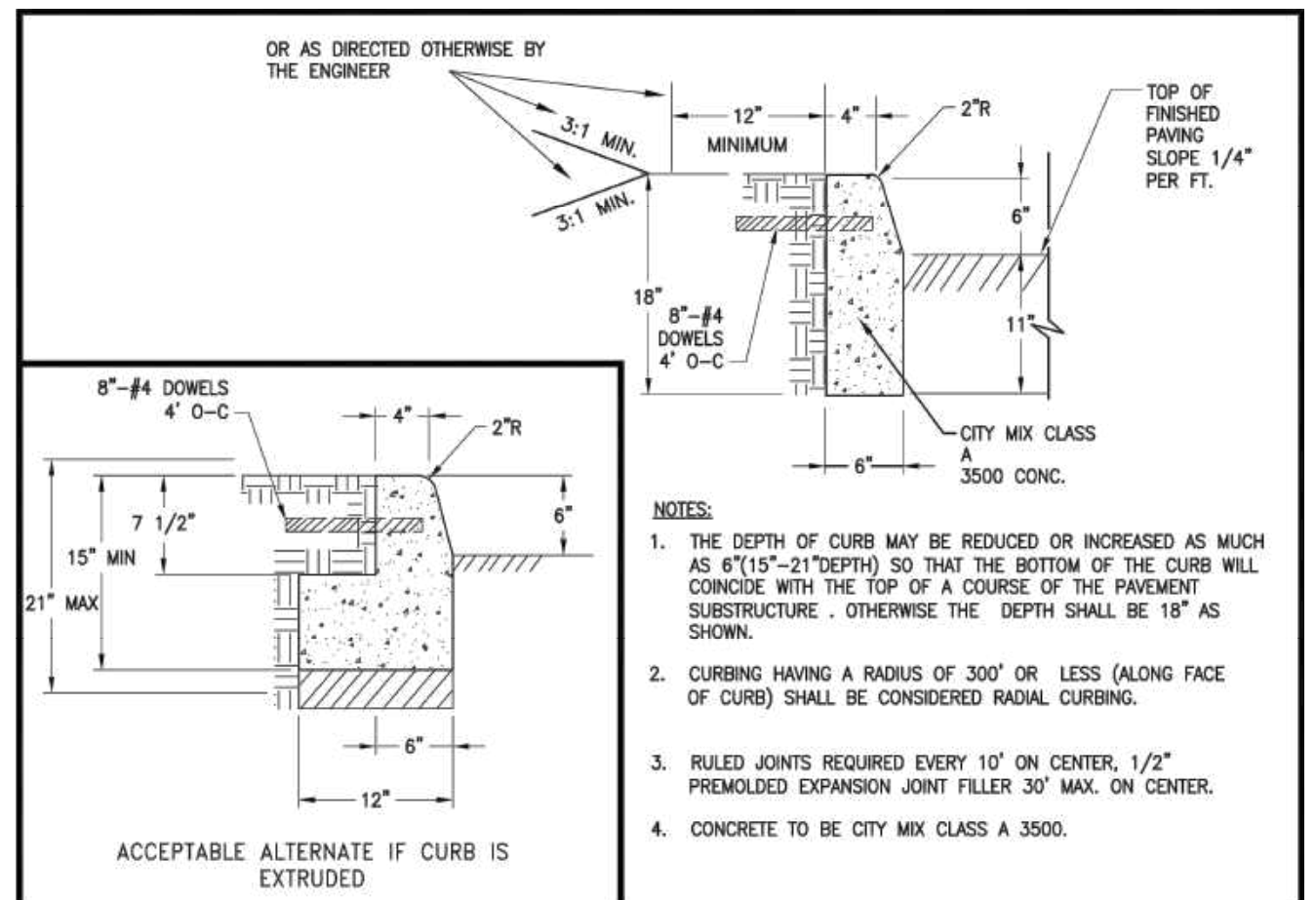
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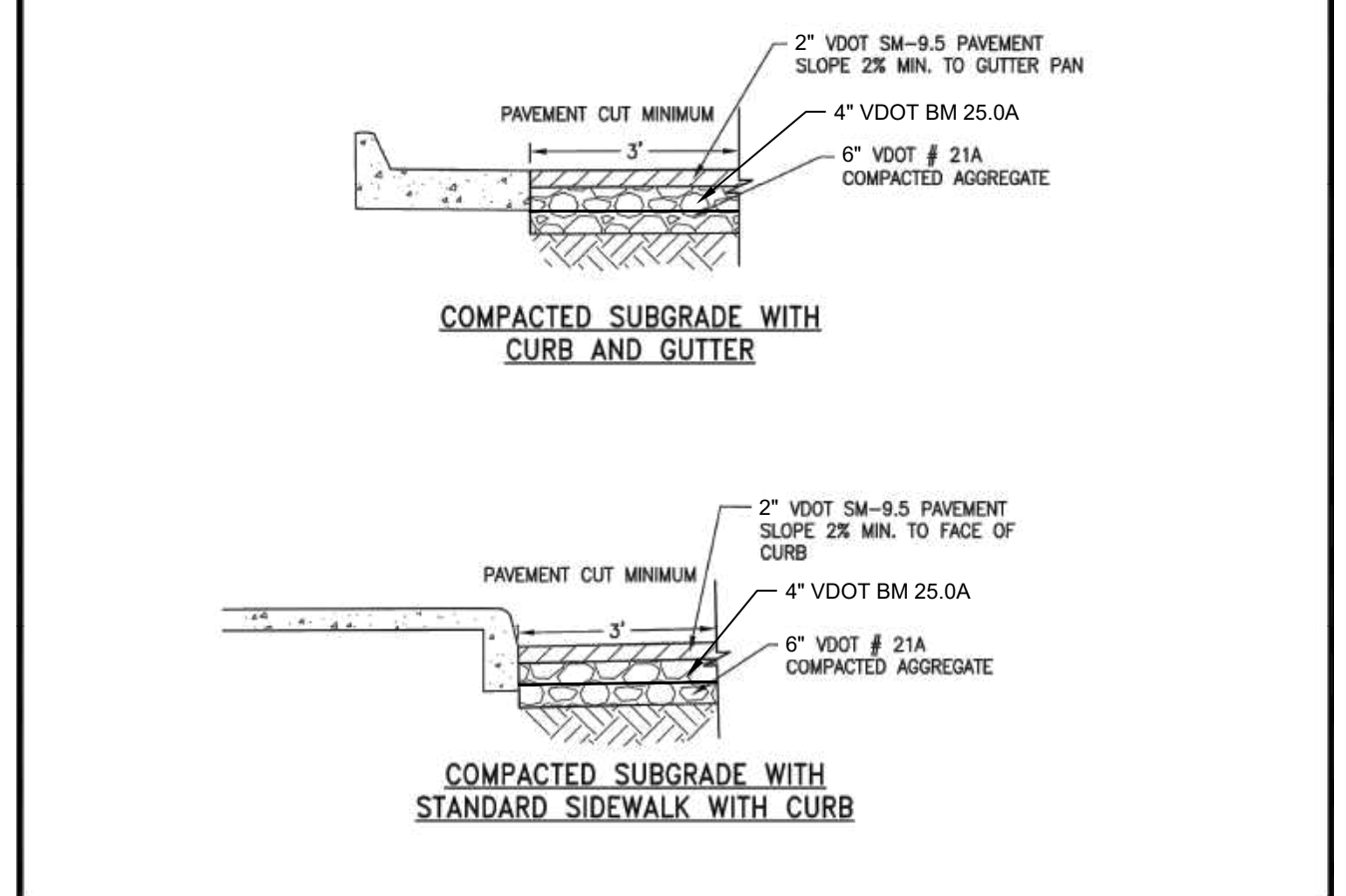
THIS DRAWING PREPARED AT THE
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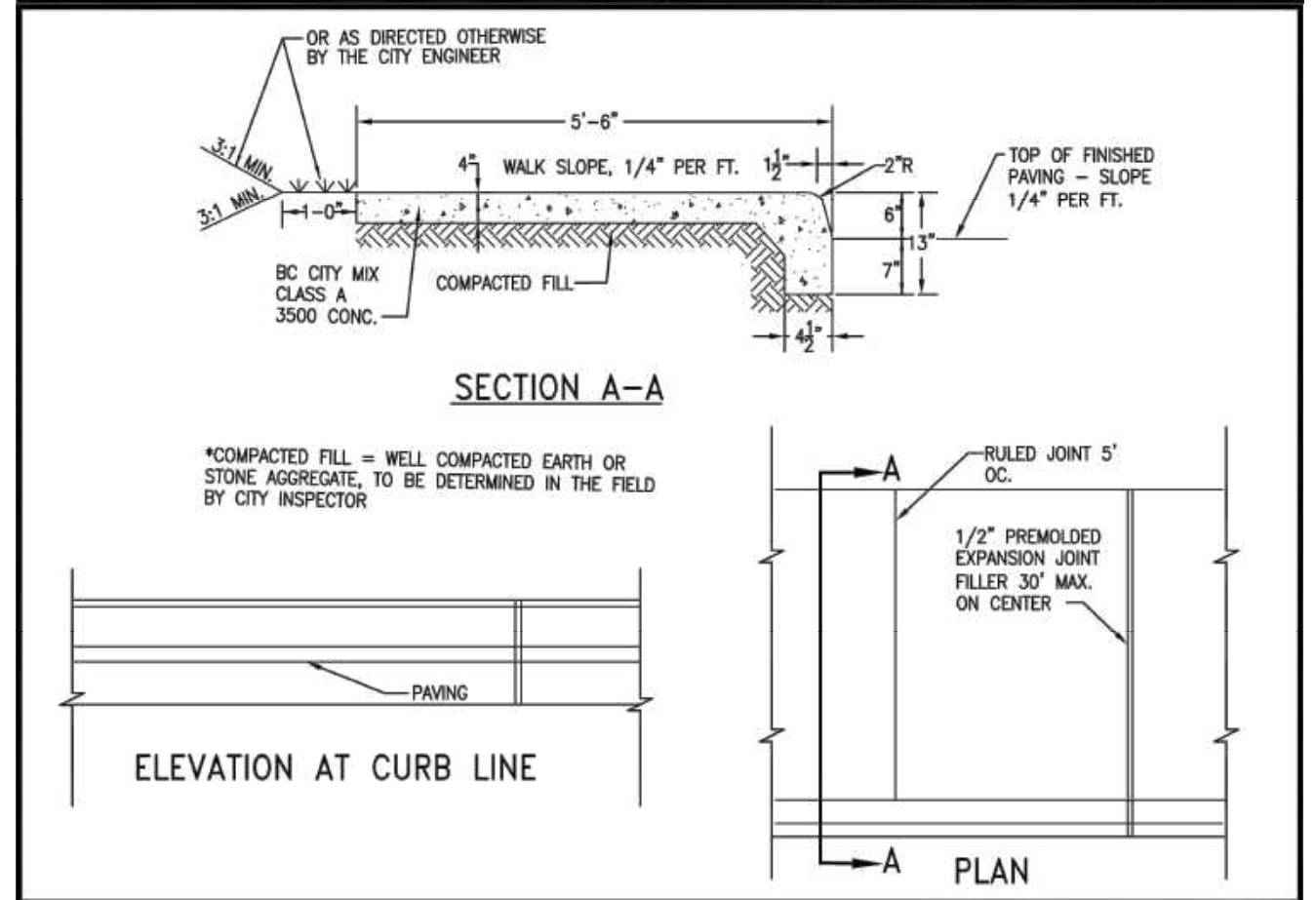
TIMMONS GROUP



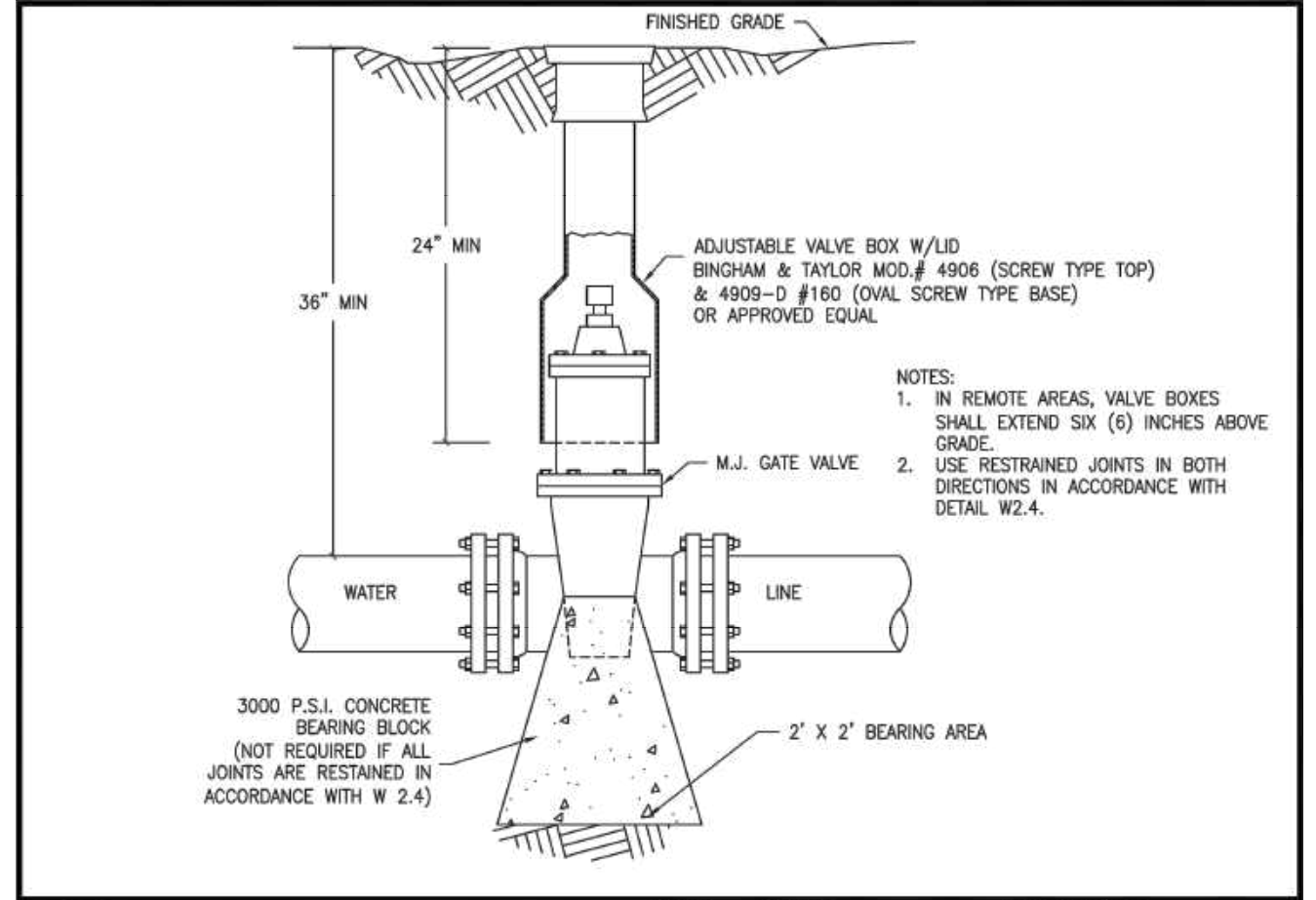
CITY OF CHARLOTTEVILLE
 CITY STANDARDS
STANDARD CURBING
 REVISION DATE SCALE: N.T.S. STANDARD NUMBER: CC-2



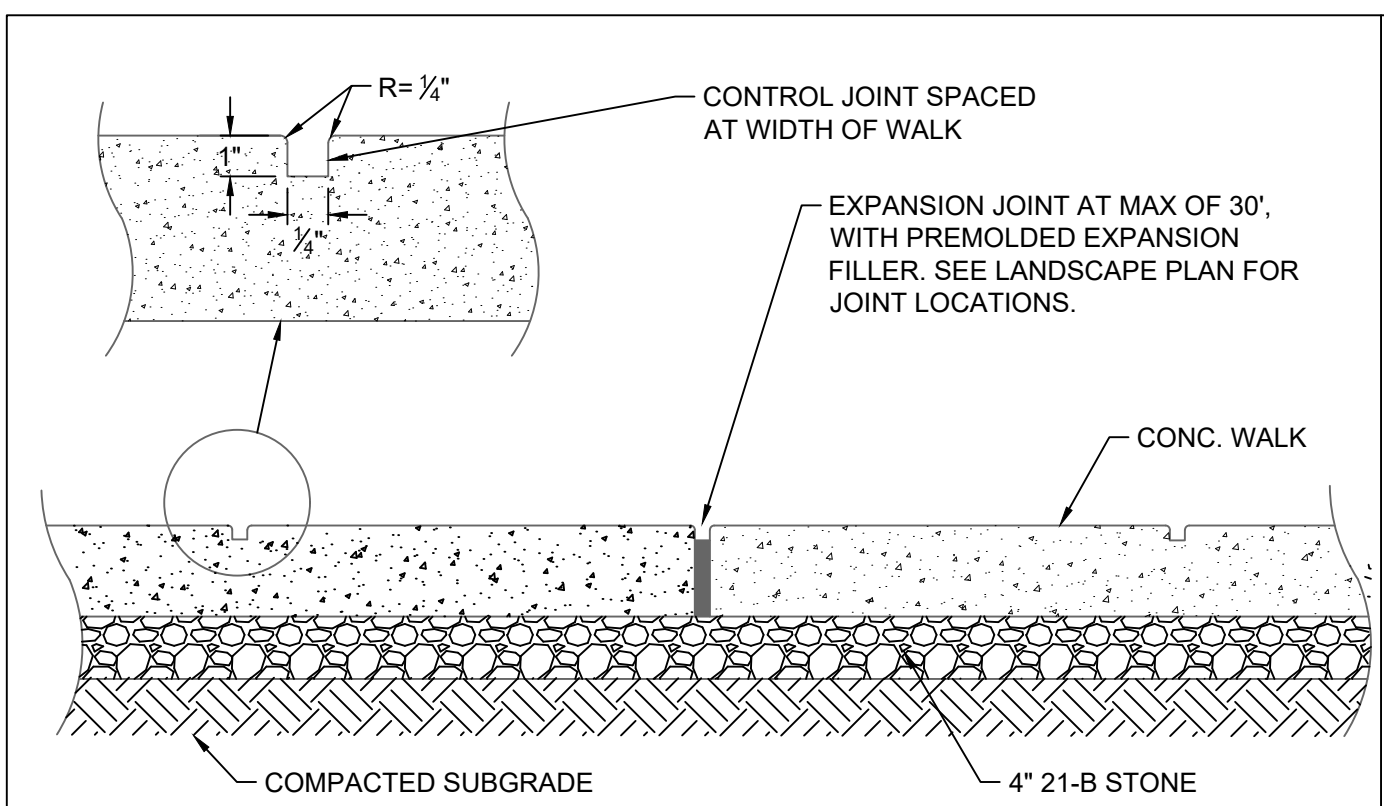
CITY OF CHARLOTTEVILLE
 CITY STANDARDS
MINIMUM PAVEMENT PATCH
 REVISION DATE SCALE: N.T.S. STANDARD NUMBER: PP-1



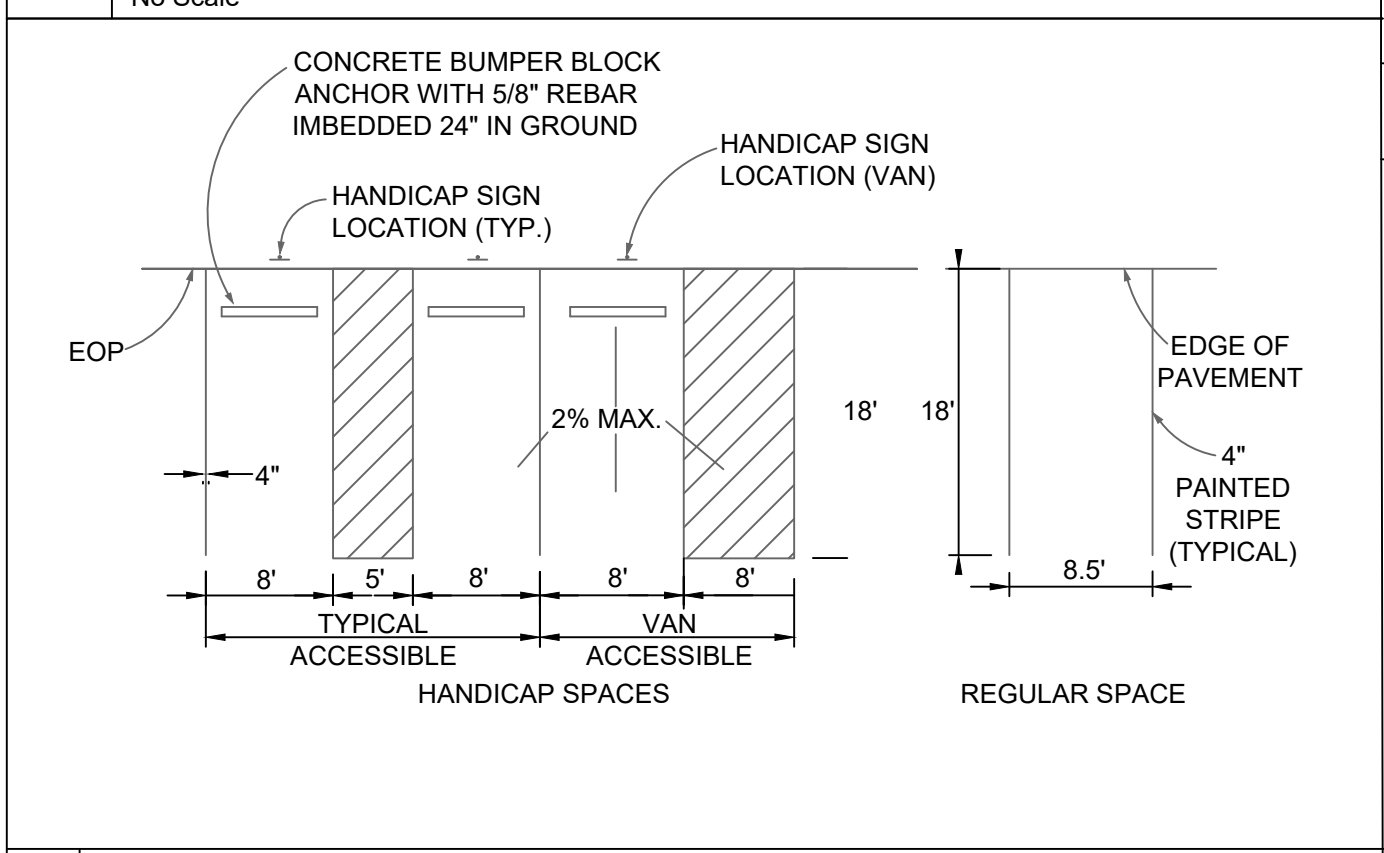
CITY OF CHARLOTTEVILLE
 CITY STANDARDS
STANDARD SIDEWALK MONOLITHIC WITH CURB
 REVISION DATE SCALE: N.T.S. STANDARD NUMBER: SW-2



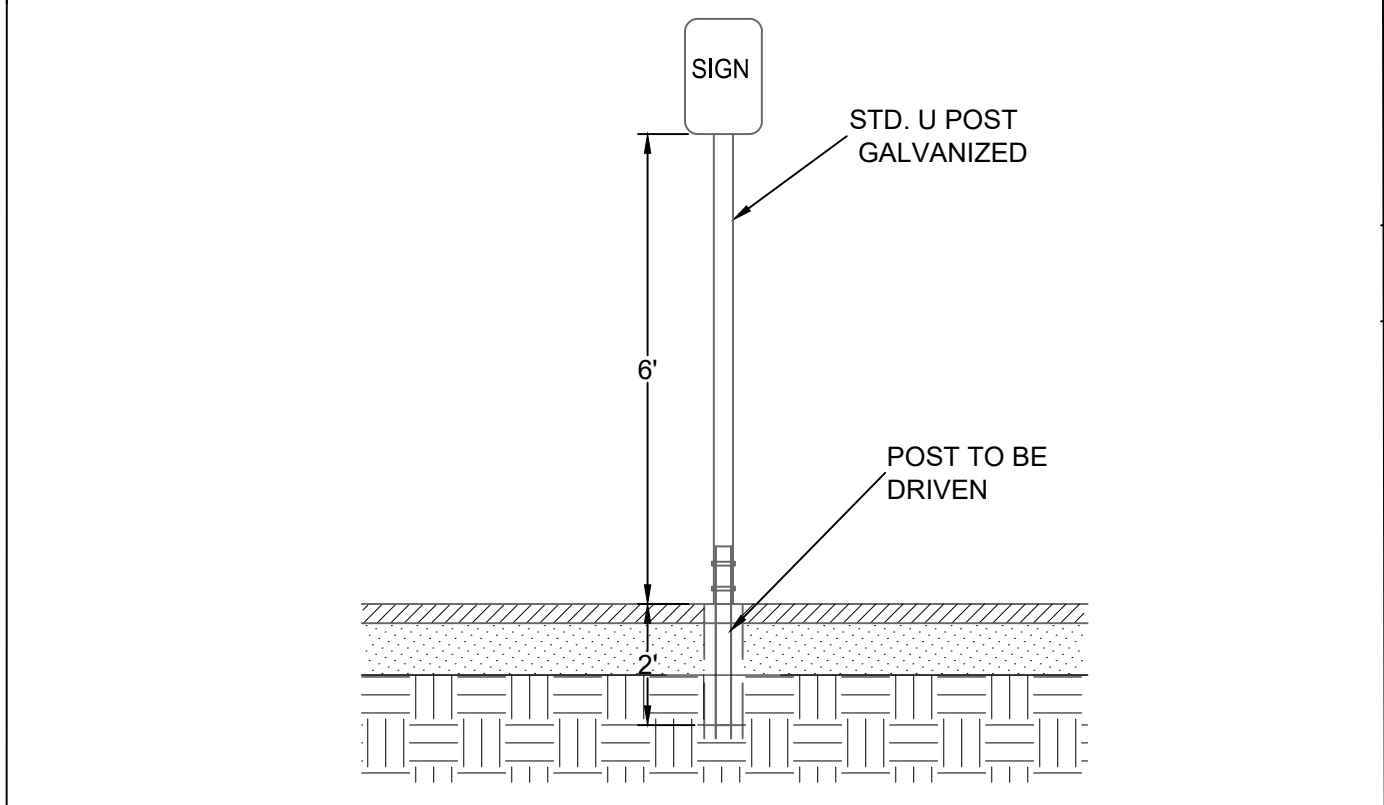
CITY OF CHARLOTTEVILLE
 CITY STANDARDS
GATE VALVE - TYPICAL
 JULY 2011
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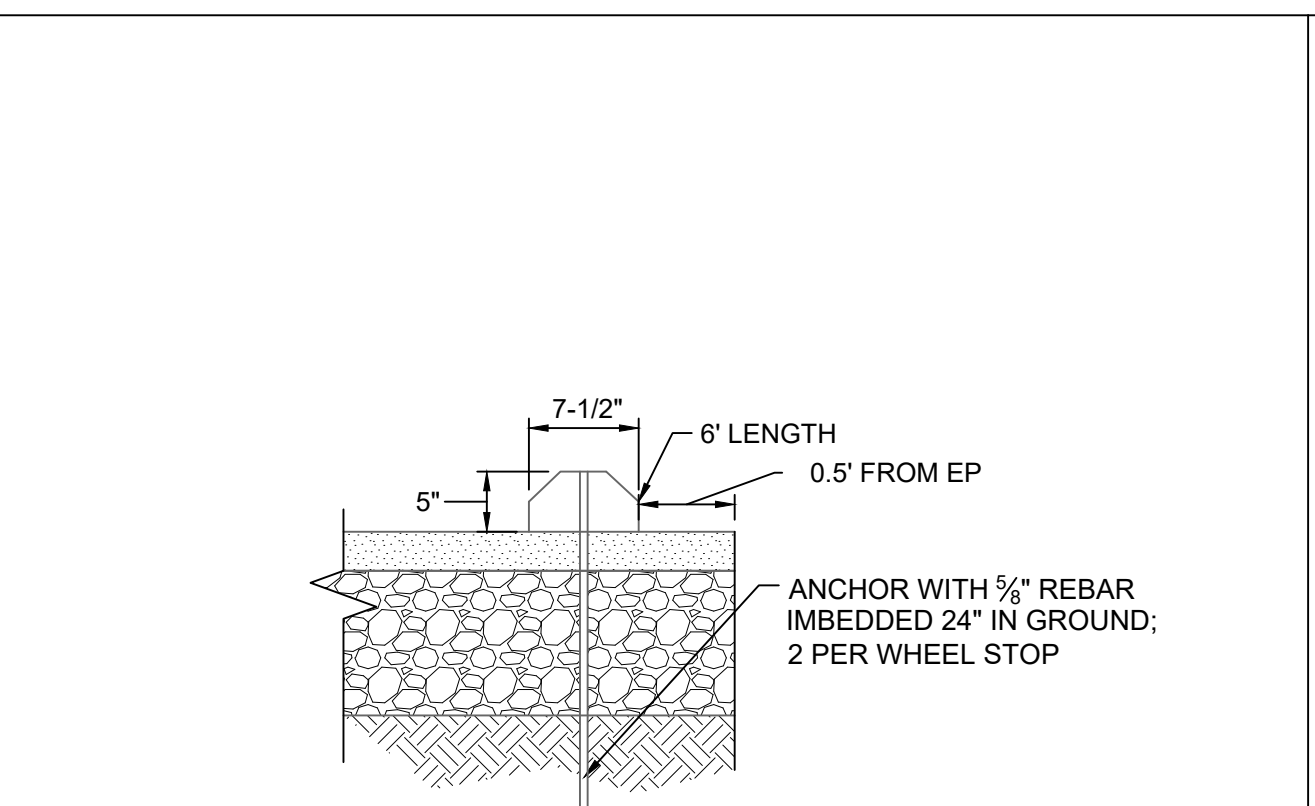
CONCRETE SIDEWALK JOINT DETAIL
 No Scale



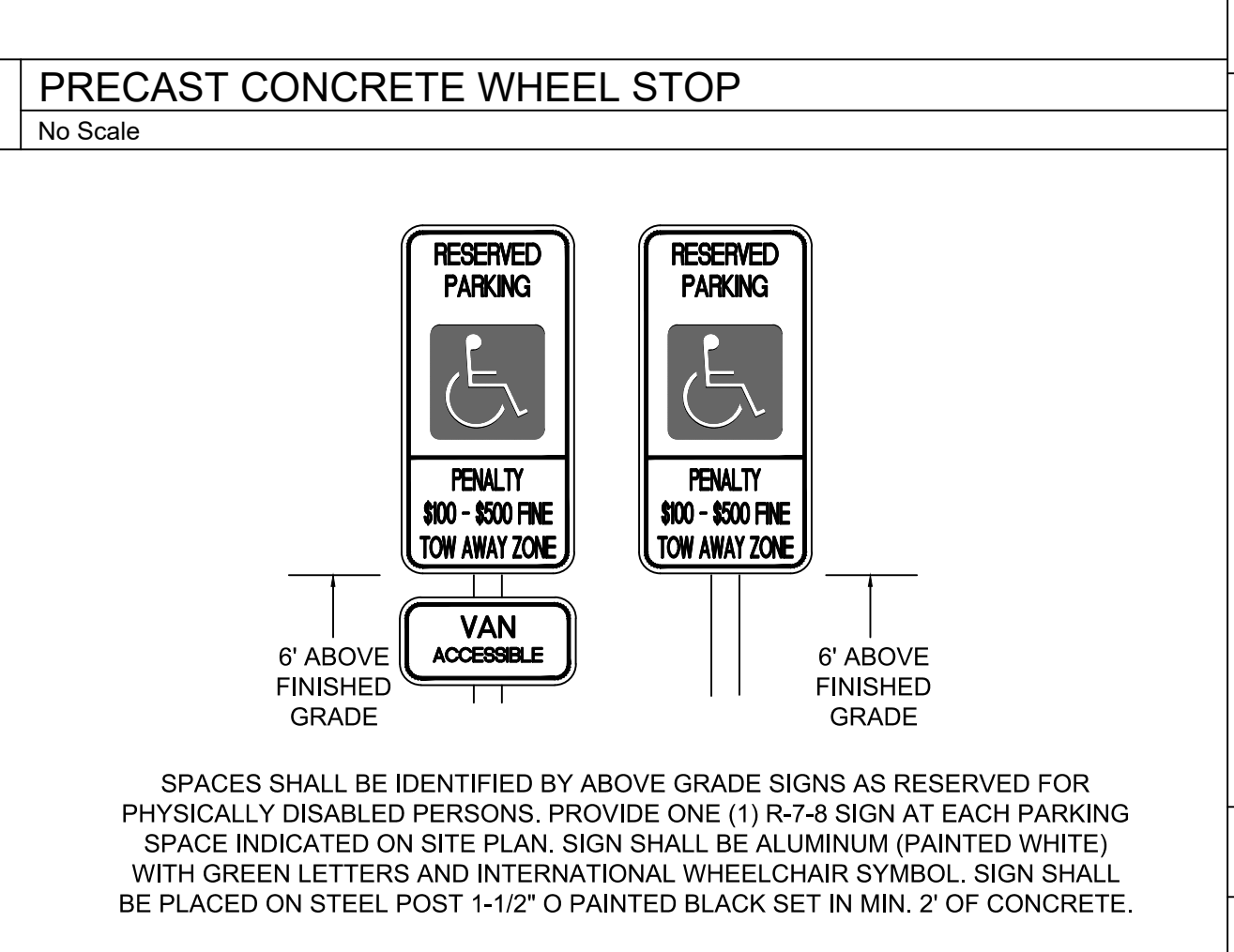
TYPICAL PARKING SPACE DETAILS
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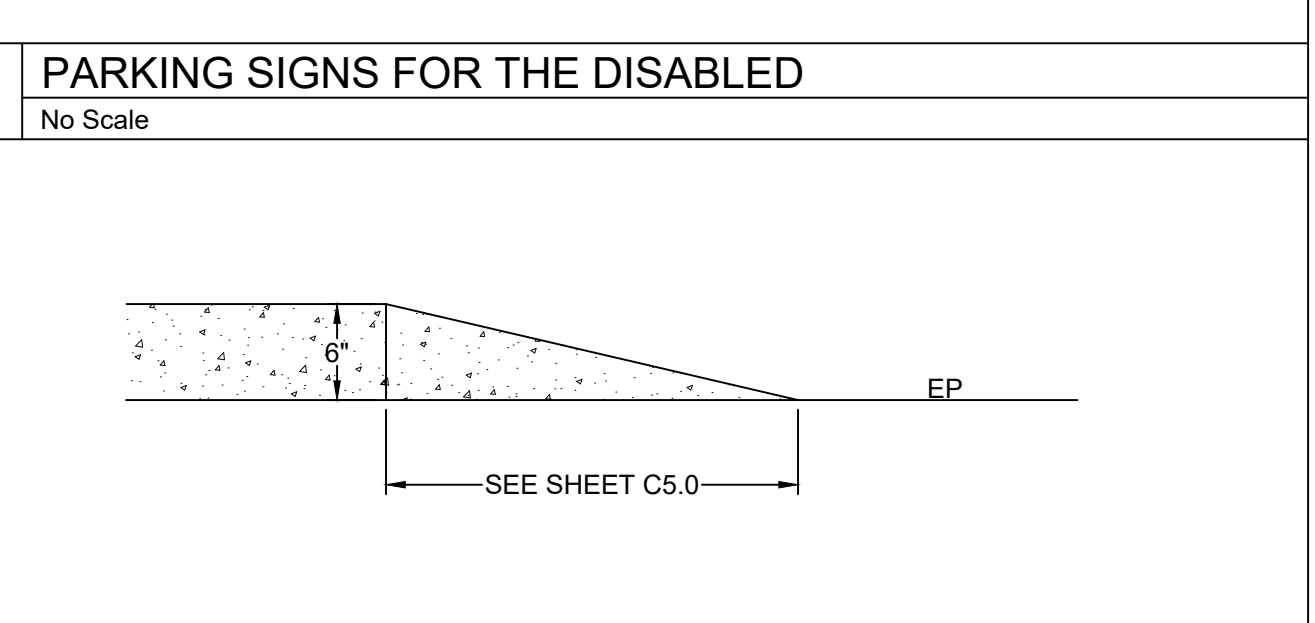
SIGN AND POST DETAIL
 No Scale



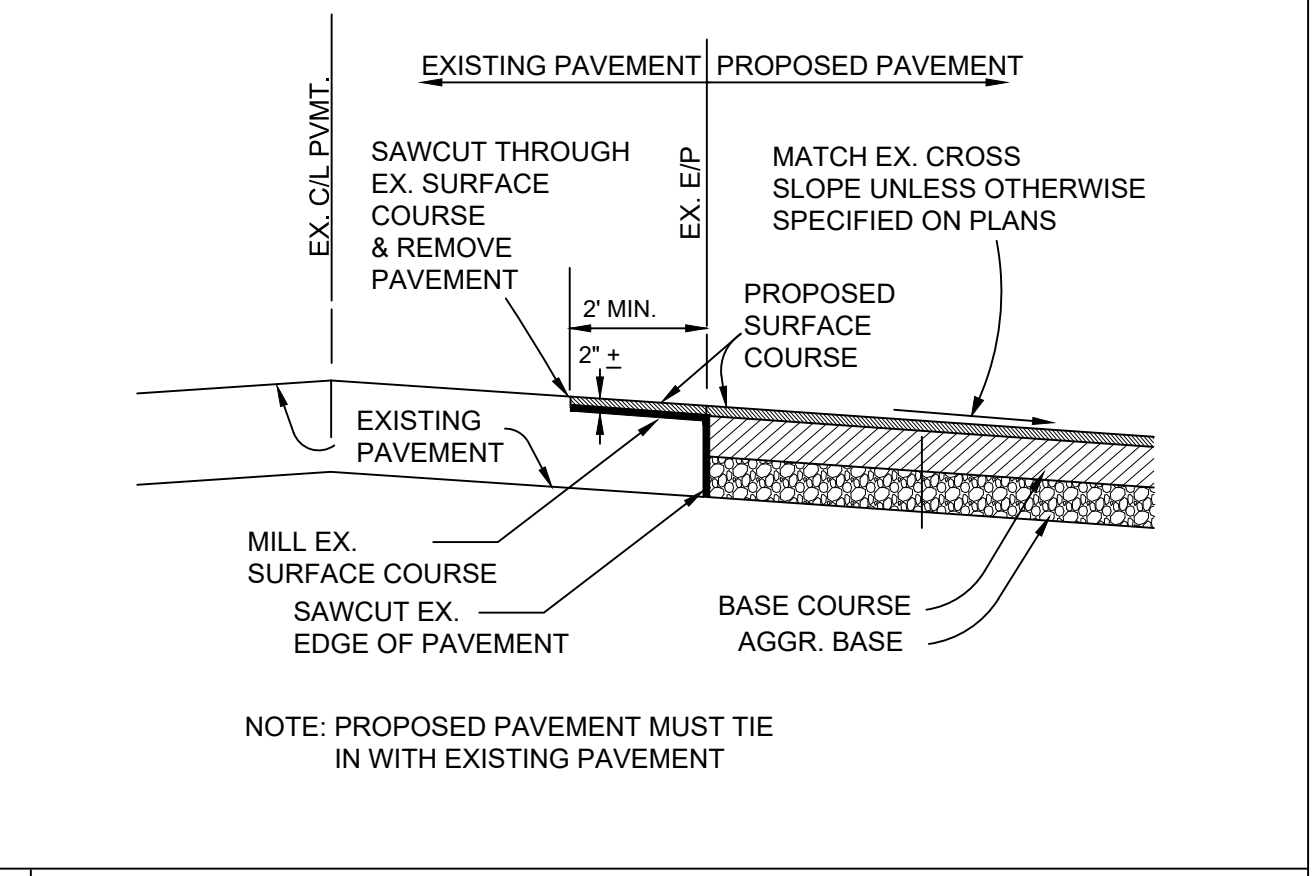
PRECAST CONCRETE WHEEL STOP
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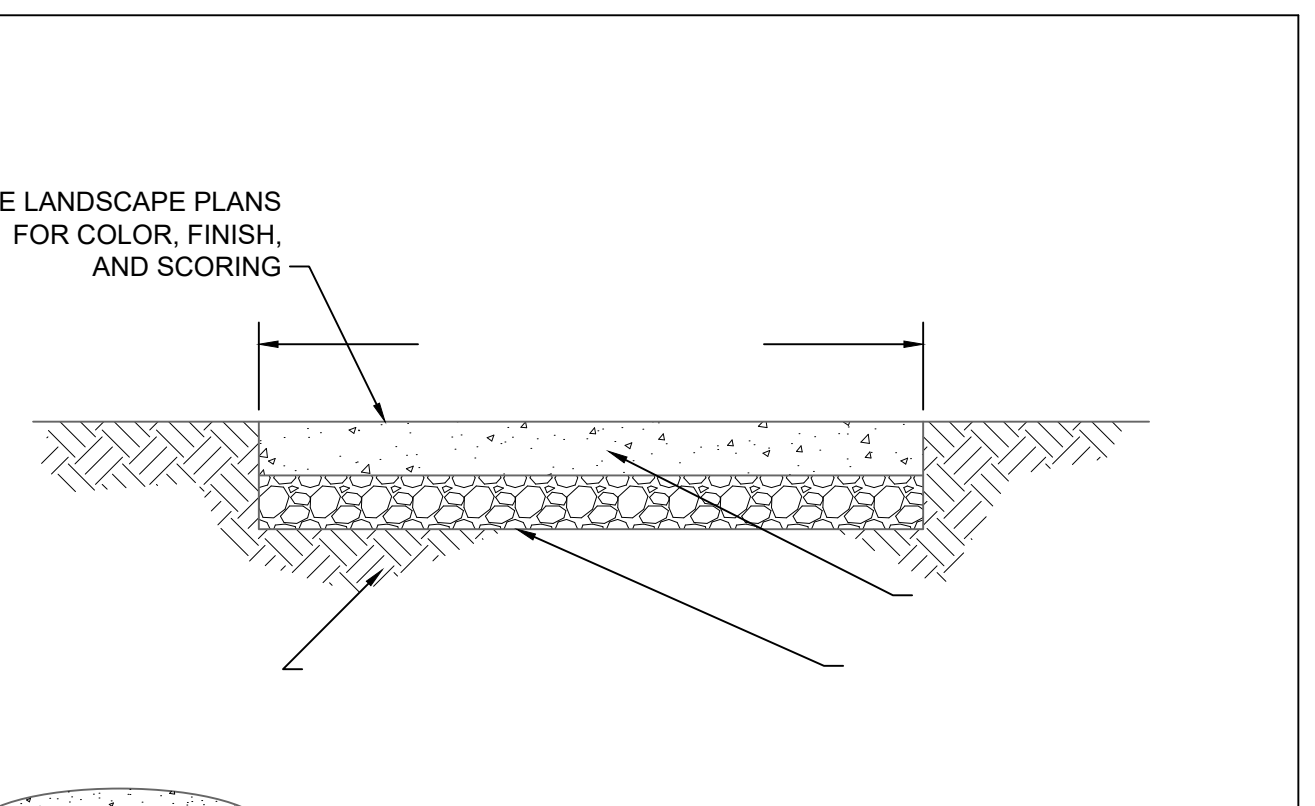
PARKING SIGNS FOR THE DISABLED
 No Scale



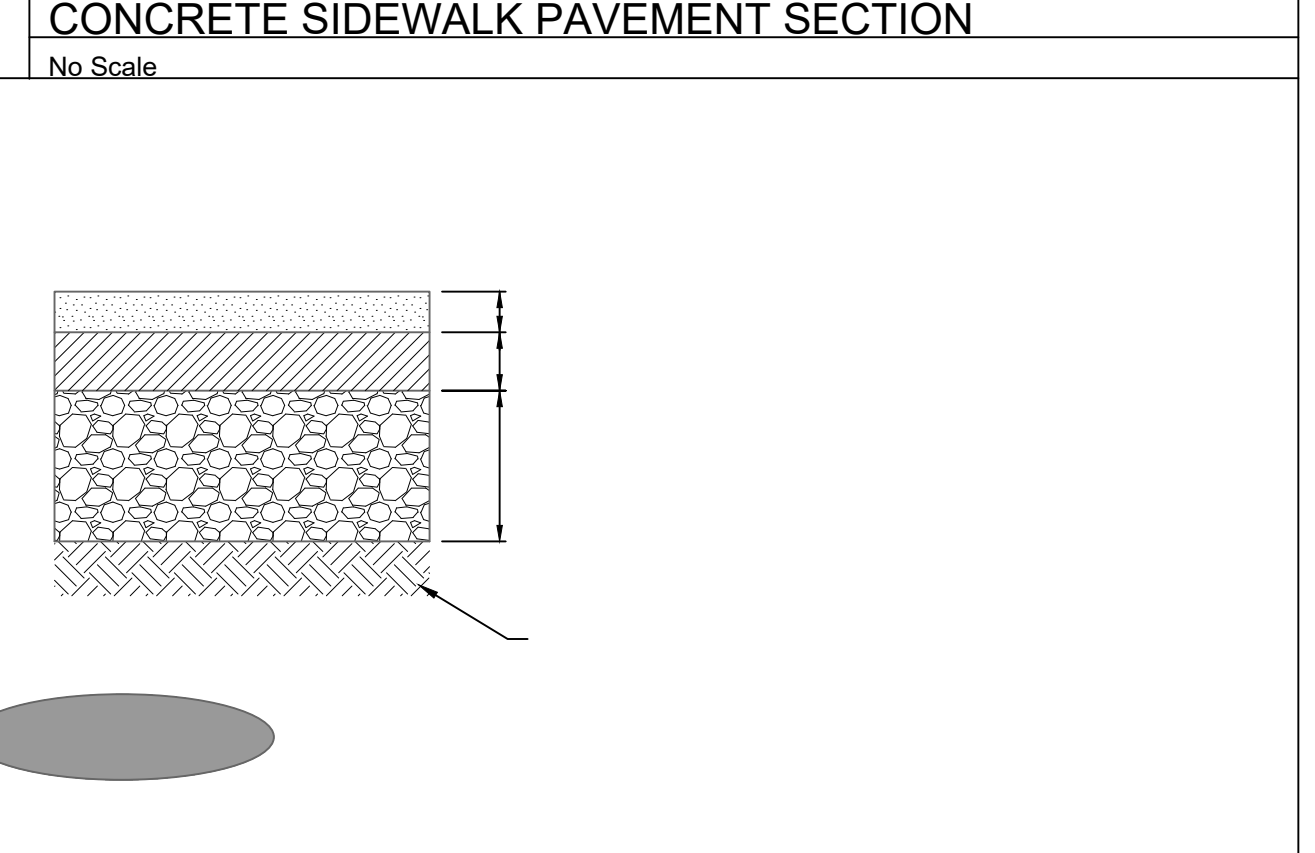
CURB TRANSITION DETAIL
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PAVEMENT REPLACEMENT JOINT DETAIL
 No Scale



CONCRETE SIDEWALK PAVEMENT SECTION
 No Scale



HEAVY DUTY ASPHALT PAVEMENT SECTION
 No Scale

MADRAX DIVISION
 GRABER MANUFACTURING, INC.
 1080 LINER DRIVE
 WAUKESHA, WI 53095
 (800) 448-7931, (908) 848-1089, (908) 848-1081
 WWW.MADRAX.COM, E-MAIL: SALES@MADRAX.COM

SHOW WITH TOP REMOVED

3"

17"

48" ASSE

ALLOW FOR LOADING OF BIKE. SUGGESTED CLEARANCE OF 67" (MINIMUM OF 48")

EXPLODED COMPONENT VIEW

□ SOLID DOOR

□ SHOWN WITH FLOOR OPTION

□ BICYCLE REPAIRATION DOOR

□ FULL REPAIRATION DOOR

PRODUCT: MLN-1
 DESCRIPTION: MACLOCKER, NARROW BIKE LOCKER
 DATE: 10/3/08
 ENG: SMC

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CHECK LOCKING STYLE

- HEAVY DUTY 486 POK-OUT™ HANDLE WITH 2 USER KEYS (KEYED DIFFERENTLY)
- STEEL U-LOCK AND PADLOCK STYLE HANDLE (PADLOCK AND U-LOCK NOT INCLUDED)

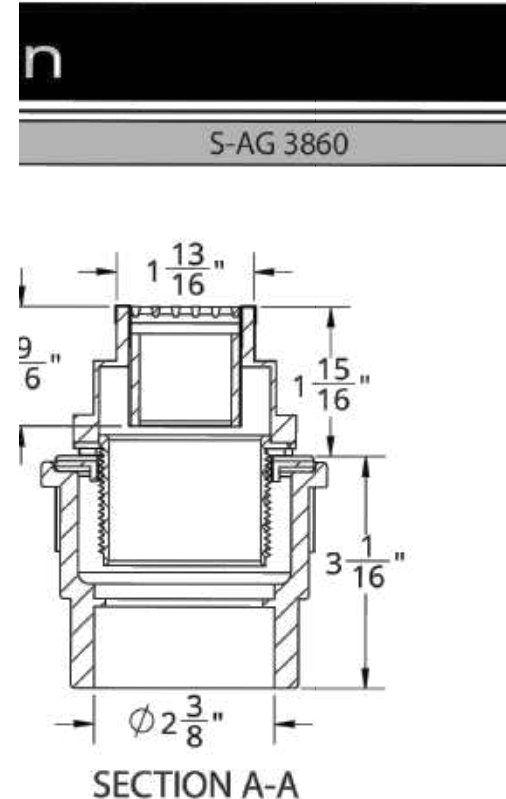
OTHER AVAILABLE OPTIONS:

- NUMBER PLATE
- GRAFFITI RESISTANT ADDITIONAL COATING

NOTES:

1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. CONSULT WITH US TO SELECT COLOR FINISH. SEE MANUFACTURER'S SPECIFICATIONS.
3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.

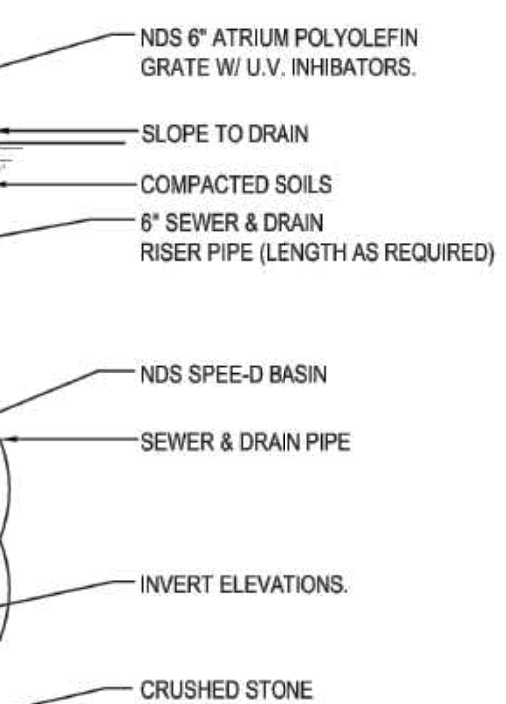
S:\10343800-KKCG_House\DMG\Sheet\CD\1 - NOTES AND DETAILS 2.dwg | Plotted on 6/24/2020 10:55 AM | 1 by Kim Melton



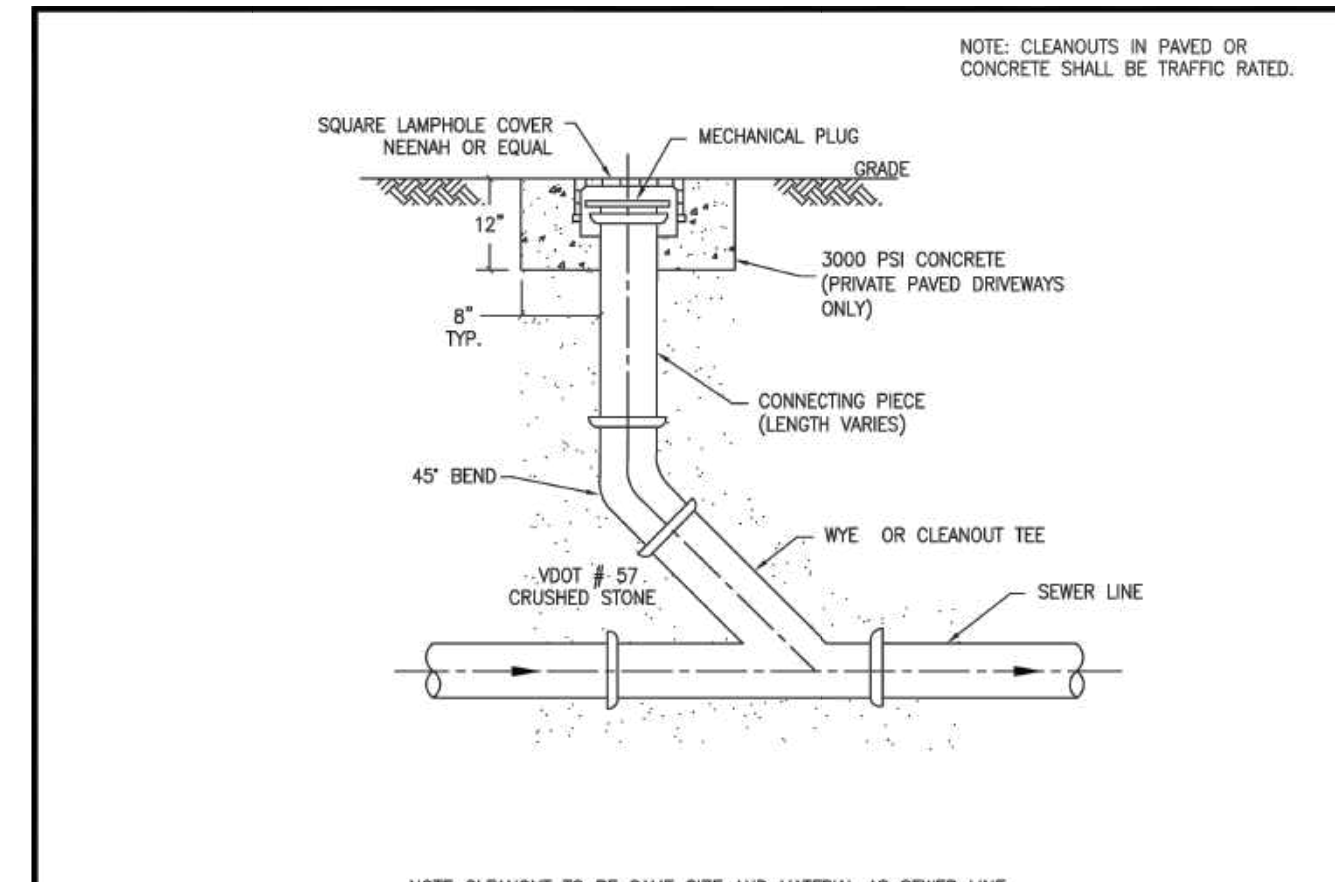
REV	DESCRIPTION
B	(Maximum Grade Length)
1	35 7/8"
2	47 7/8"
3	59 7/8"

NOTE: Installer must verify all rough-in dimensions prior to installation and consult local and national codes. Conformity and compliance to local and national codes are the responsibility of the installer.

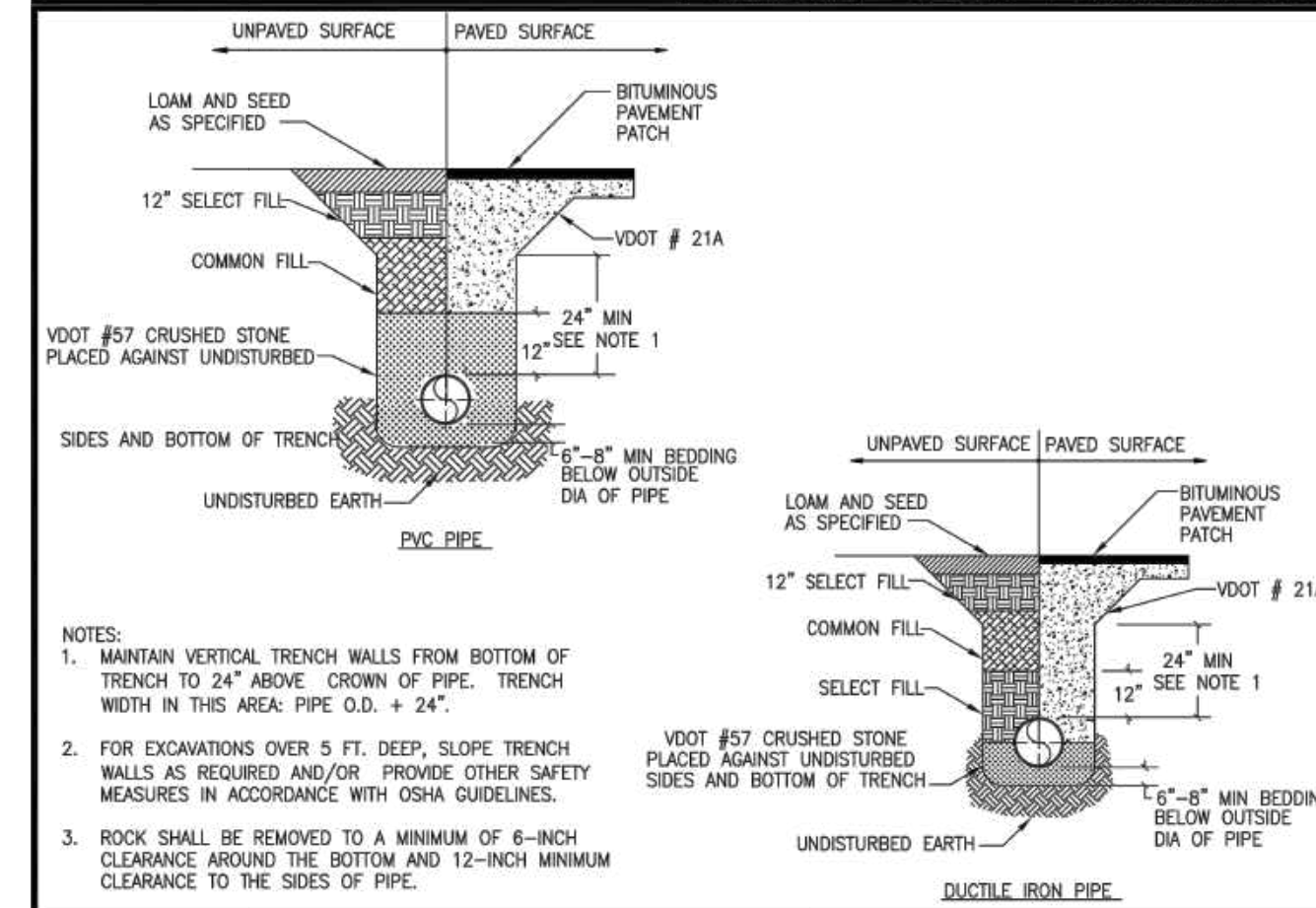
NDS, INC.
851 NORTH HARVARD AVE.
LINDSAY, CA 93247
TOLL FREE: 1-800-726-1994
PHONE: (559) 562-9888
FAX: (559) 562-4488
www.ndspro.com



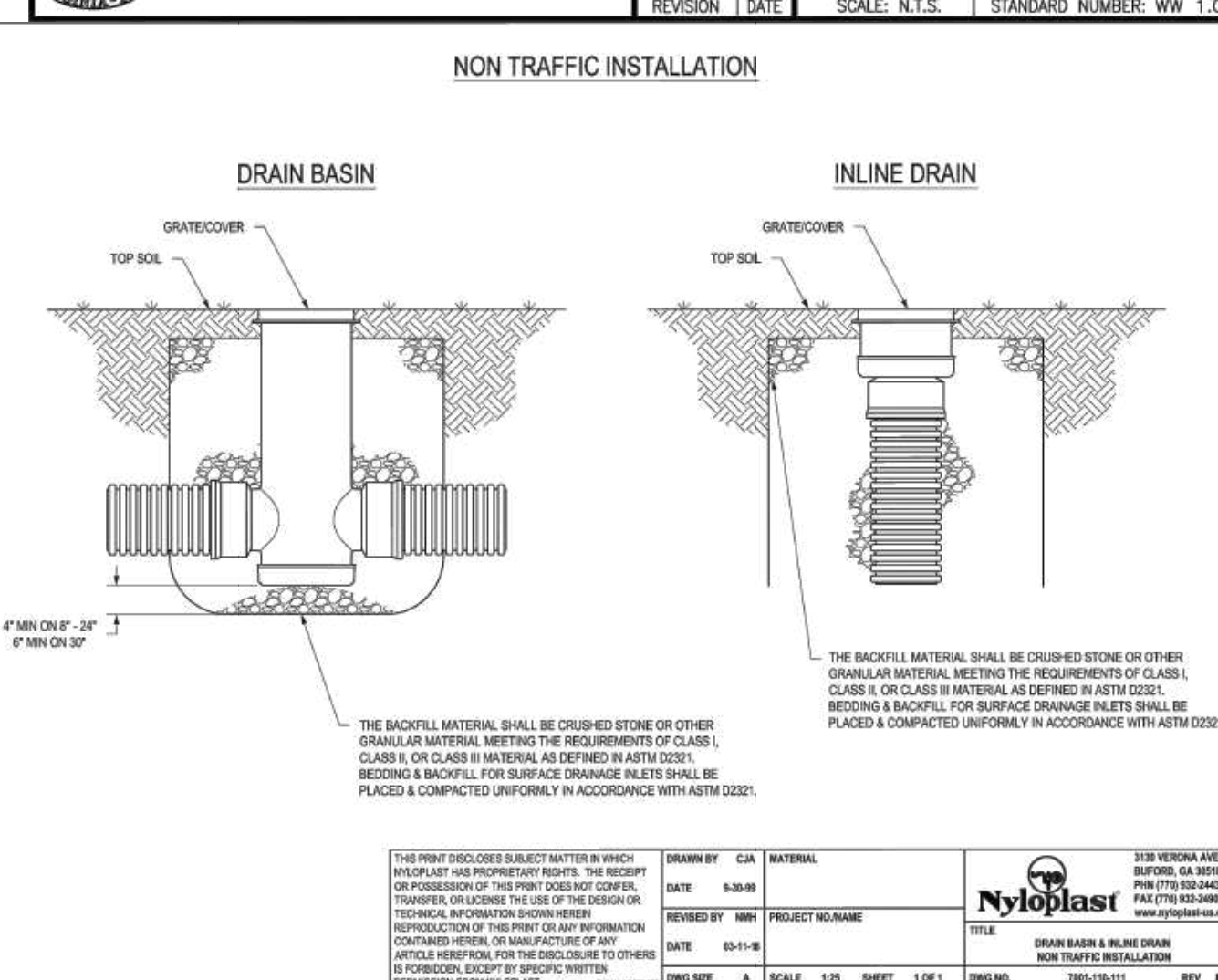
NOTATIONS:
DESIGNERS, CONSULTANTS AND DESIGN
REVIEW BUT MUST BE REVIEWED AND APPROVED



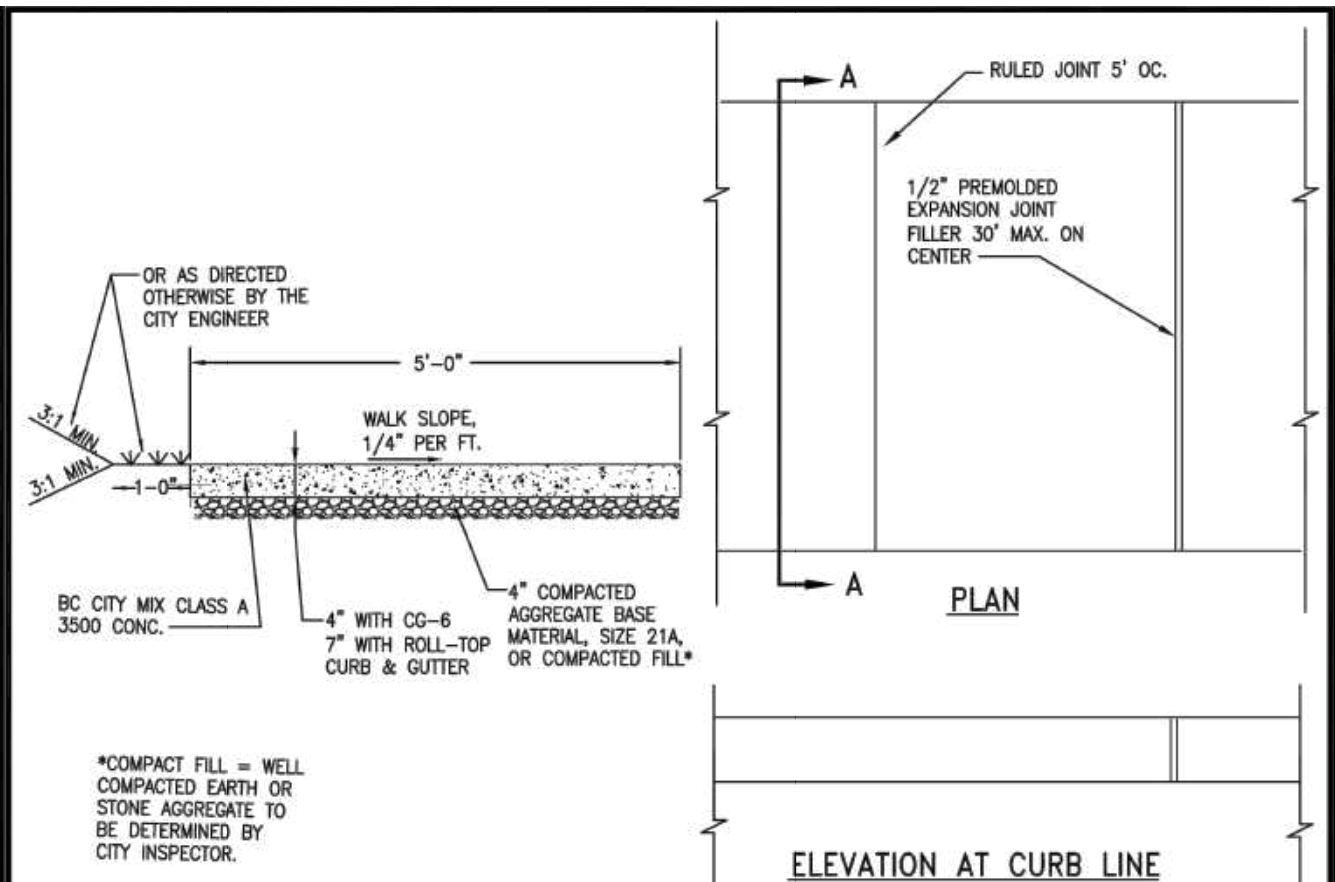
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JAN 2011			



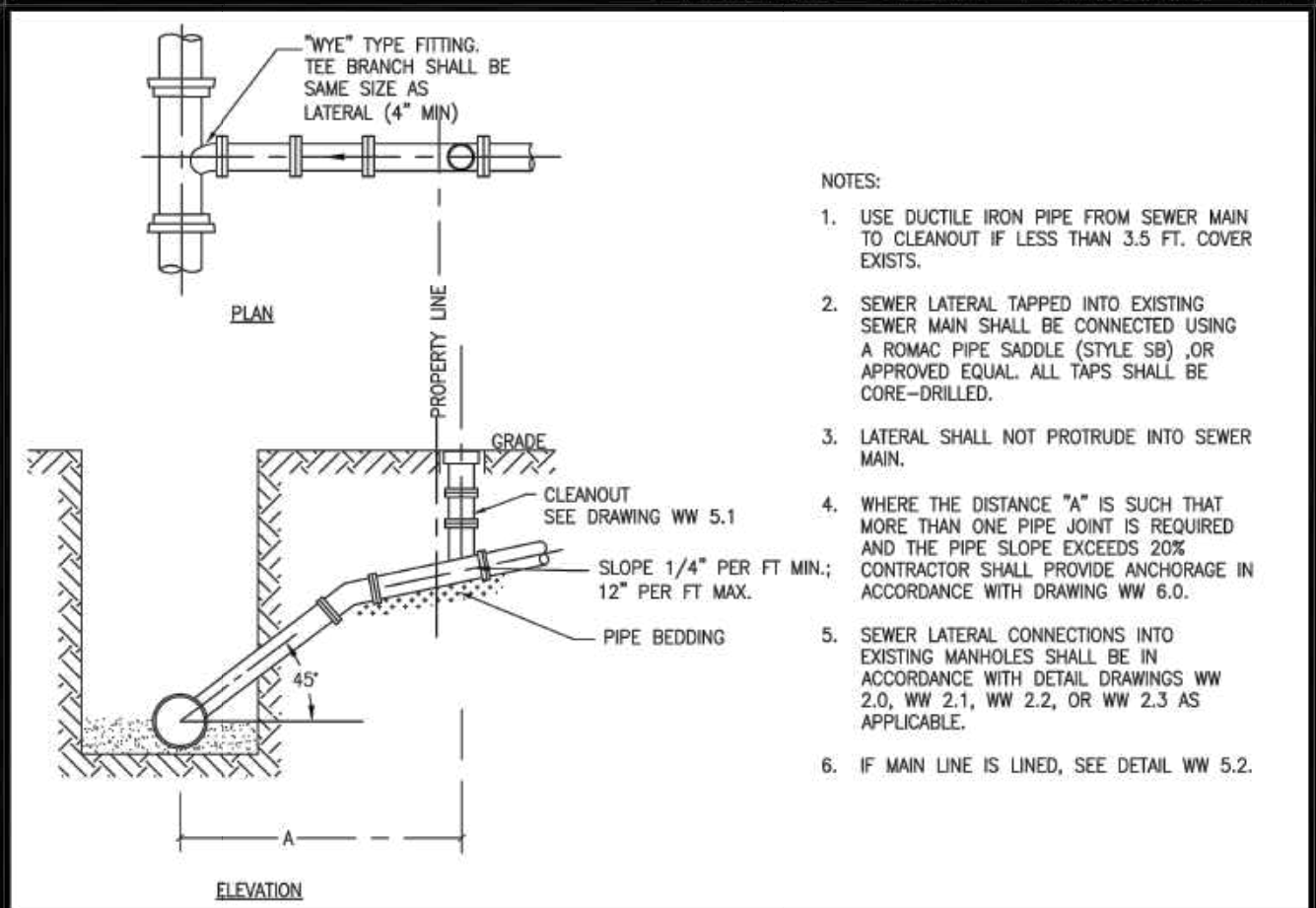
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JAN 2012			



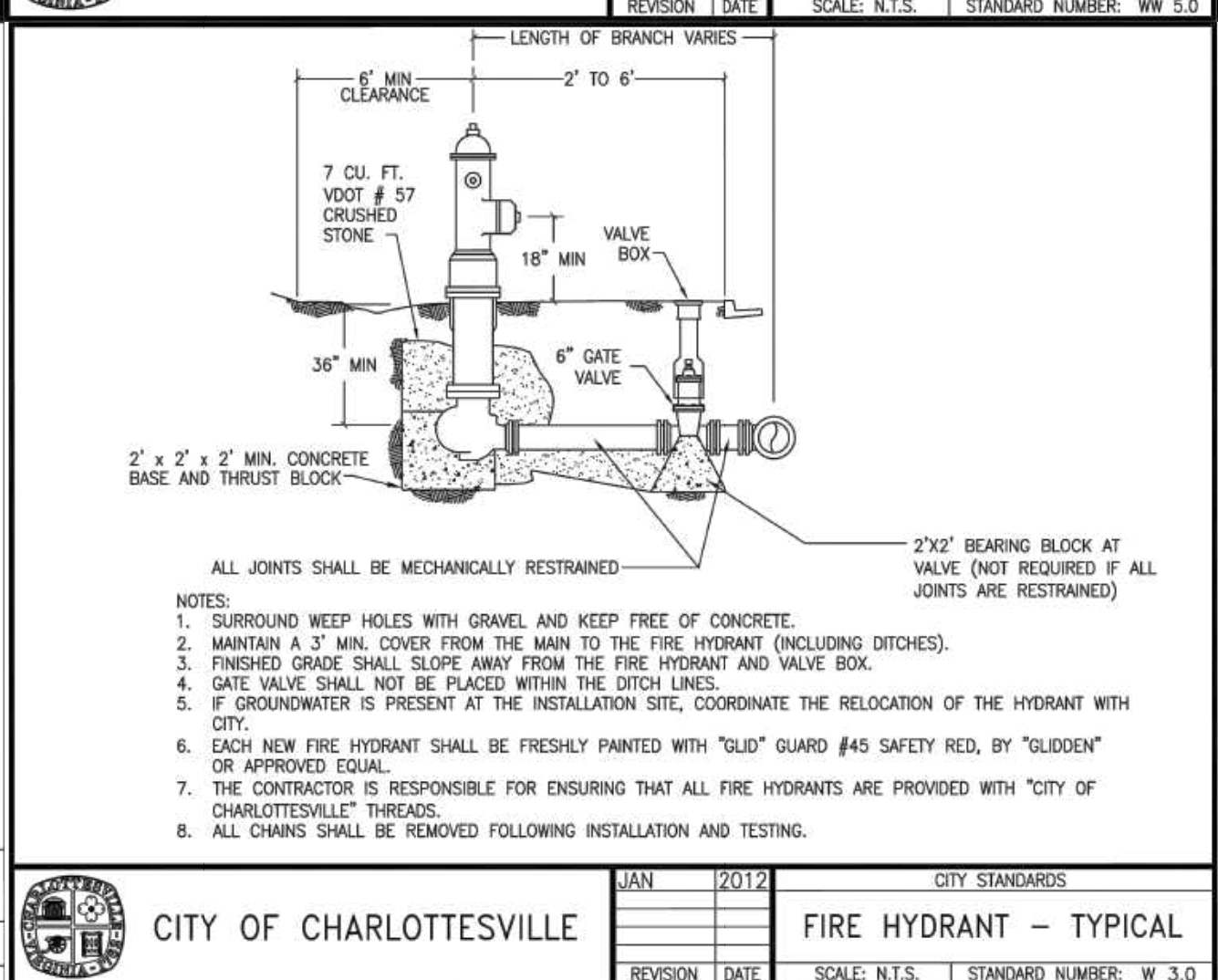
REVISION	DATE	SCALE: N.T.S.	SHEET: 1 OF 1	DATE: 08/14/11	REV: E
JAN 2012					



REVISION	DATE	SCALE: N.T.S.	STANDARD NUMBER: SW-1
JAN 2011			



REVISION	DATE	SCALE: N.T.S.	STANDARD NUMBER: WW 5.0
JAN 2011			

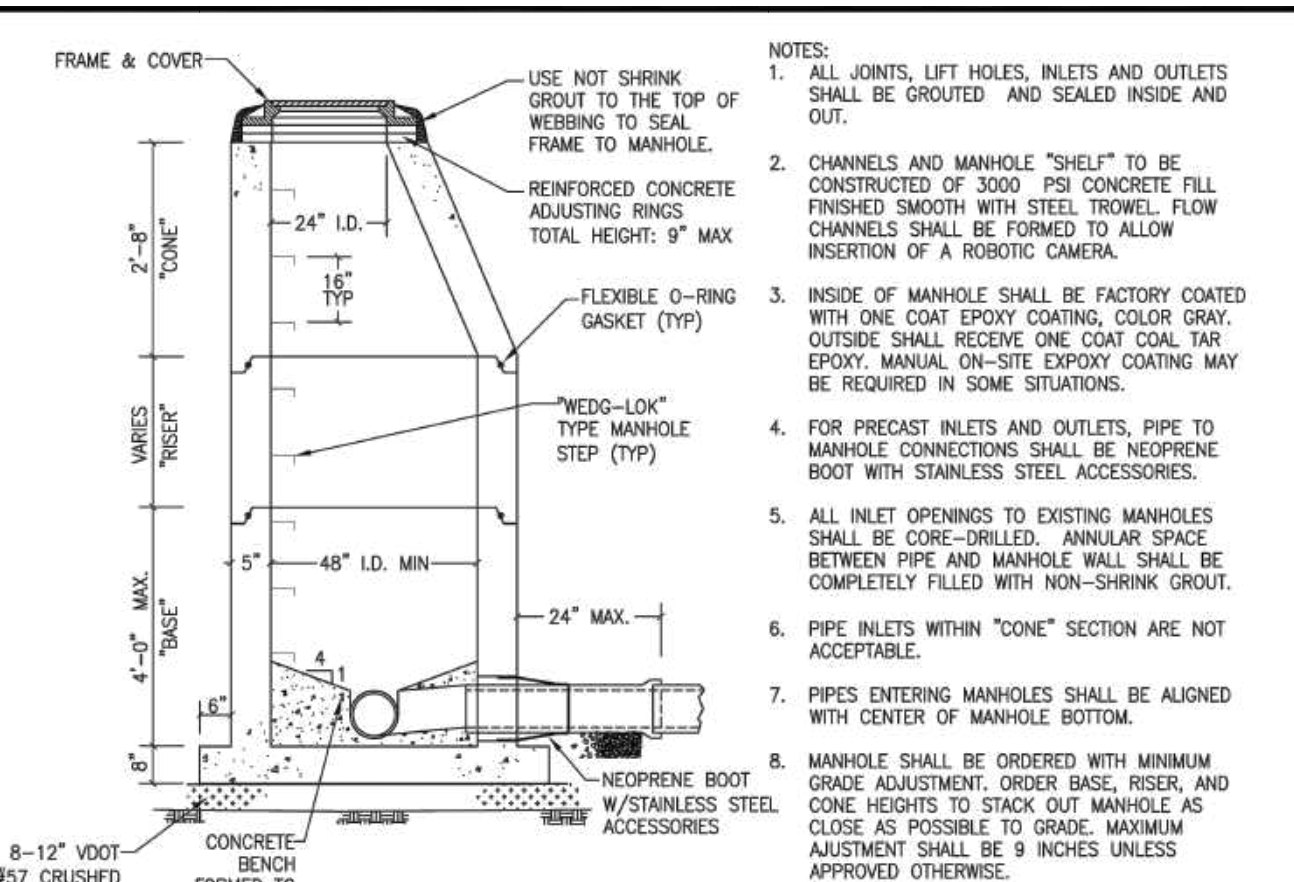


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JAN 2012			

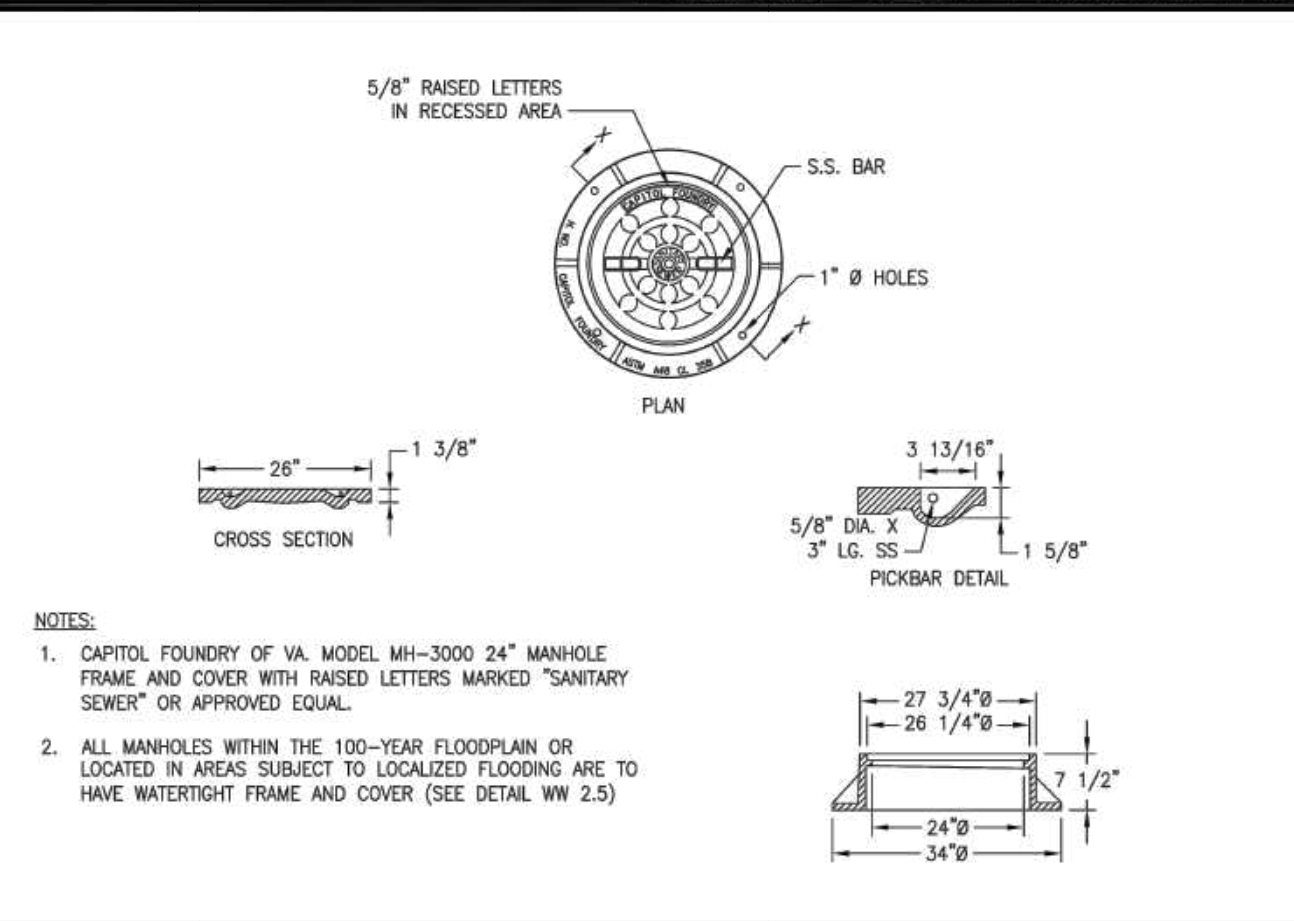
BAYSAYER NOTES AND MAINTENANCE:

BAYSAYER BAYFILTER SPECIFICATIONS

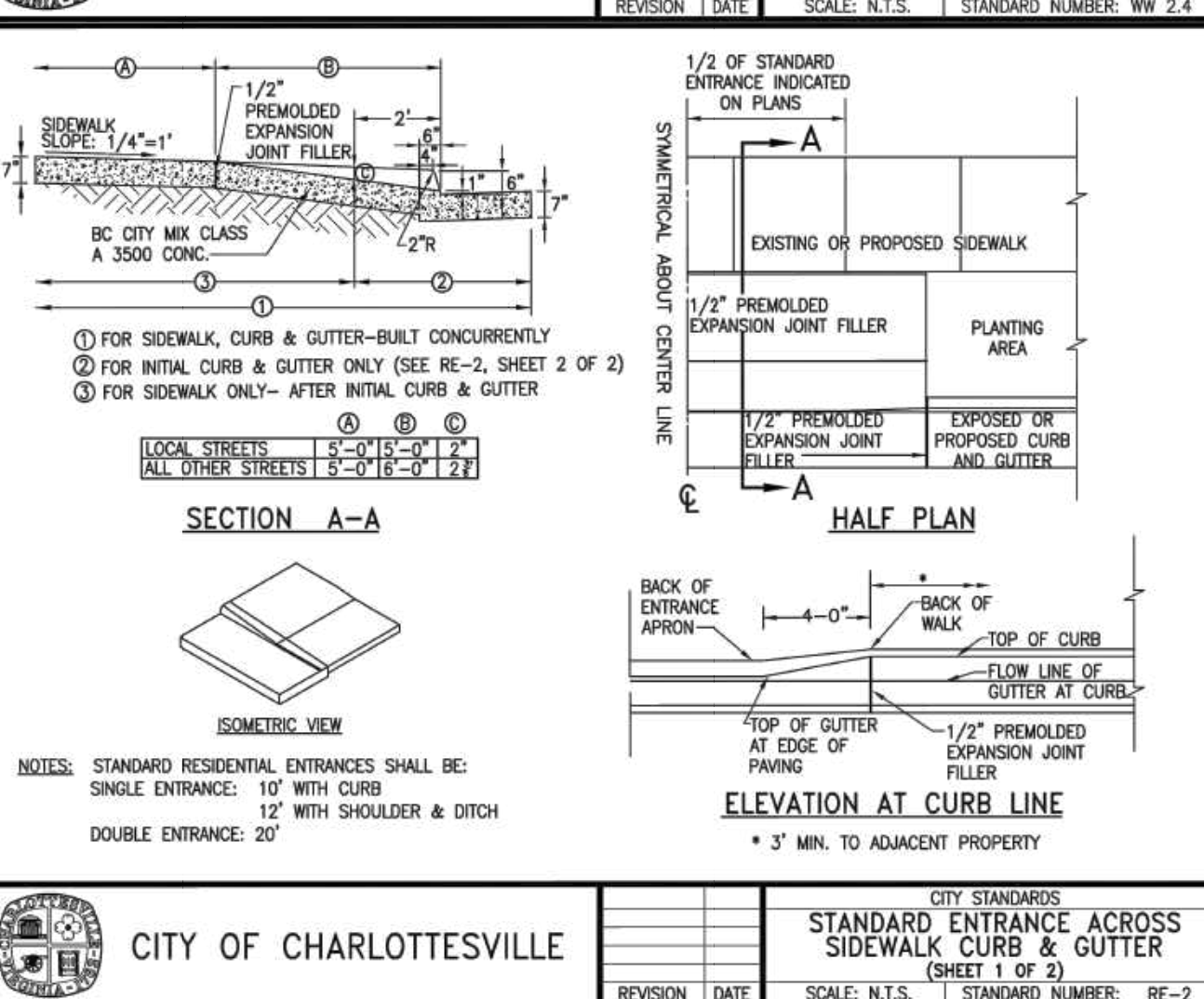
- INTERNAL COMPONENTS:** ALL COMPONENTS INCLUDING CONCRETE STRUCTURES, PVC MANHOLE PIPING AND FILTER CARTRIDGES, SHALL BE PROVIDED BY BAYSAYER TECHNOLOGIES LLC, 1000 GREEN HOLLOW DRIVE, MOUNTAIN VIEW, MO 64082-2783.
 - PVC MANHOLE PIPING:** ALL INTERNAL PVC PIPE AND FITTINGS SHALL MEET ASTM D1795. MANHOLE PIPING SHALL BE PROVIDED TO THE CONTRACTOR PARTIALLY PRE-CUT AND PRE-ASSEMBLED.
 - FILTER CARTRIDGES:** EXTERNAL SHELL OF THE FILTER CARTRIDGES SHALL BE SUBSTANTIALLY CONSTRUCTED OF POLYETHYLENE OR EQUIVALENT MATERIAL ACCEPTABLE TO THE MANUFACTURER. FILTRATION MEDIA SHALL BE ARRANGED IN A SPIRAL LAYERED FASHION TO MAXIMIZE AVAILABLE FILTRATION AREA. AN ORIFICE PLATE SHALL BE SUPPLIED WITH EACH CARTRIDGE TO RESTRICT THE FLOW RATE TO A MAXIMUM OF 45 GPM.
 - FILTER MEDIA:** FILTER MEDIA SHALL BE BY BAYSAYER TECHNOLOGIES LLC AND SHALL CONSIST OF THE FOLLOWING MIX: A BLEND OF ZEOLITE, PERLITE AND ACTIVATED ALUMINA.
 - PRECAST CONCRETE VAULT:** CONCRETE STRUCTURES SHALL BE PROVIDED ACCORDING TO ASTM C. MATERIALS AND STRUCTURAL DESIGN OF THE DEVICES SHALL BE PER ASTM C478, C887 AND C884. PRECAST CONCRETE SHALL BE PROVIDED BY BAYSAYER TECHNOLOGIES, LLC.
- PERFORMANCE:**
- THE STORMWATER FILTER SYSTEM SHALL BE AN OFFLINE DESIGN CAPABLE OF TREATING 100% OF THE REQUIRED TREATMENT FLOW AT FULL SEDIMENT LOAD CONDITIONS.
 - THE STORMWATER FILTER SYSTEMS CARTRIDGES SHALL HAVE NO MOVING PARTS.
 - THE STORMWATER TREATMENT UNIT SHALL BE DESIGNED TO REMOVE AT LEAST 85% OF SUSPENDED SOLIDS, 85% OF TOTAL PHOSPHORUS, 65% OF TURBIDITY, 40% OF TOTAL COPPER, AND 40% OF TOTAL ZINC BASED ON FIELD DATA COLLECTED IN COMPLIANCE WITH THE TECHNOLOGY ACCEPTANCE RECIPROCALITY PARTNERSHIP TIER II TEST PROTOCOL.
 - THE STORMWATER FILTRATION SYSTEM SHALL REDUCE INCOMING TURBIDITY (MEASURED AS NTU) BY 50% OR MORE AND SHALL NOT HAVE ANY COMPONENTS THAT LEACH NITRATES OR PHOSPHATES.
 - THE STORMWATER FILTRATION SYSTEM SHALL BE EQUIPPED WITH A HYDRODYNAMIC BACKWASH MECHANISM TO EXTEND THE FILTER'S LIFE AND OPTIMIZE ITS PERFORMANCE.
 - THE STORMWATER FILTRATION SYSTEM SHALL BE DESIGNED TO REMOVE A MINIMUM OF 65% OF THE INCOMING TOTAL PHOSPHORUS (TP) LOAD.
 - THE STORMWATER FILTRATION SYSTEMS CARTRIDGES SHALL HAVE A TREATED SEDIMENT CAPACITY FOR 80% TSS REMOVAL BETWEEN 150-300 LBS.



REVISION	DATE	SCALE: N.T.S.	STANDARD NUMBER: WW 2.0
JAN 2012			



REVISION	DATE	SCALE: N.T.S.	STANDARD NUMBER: WW 2.4
JULY 2011			



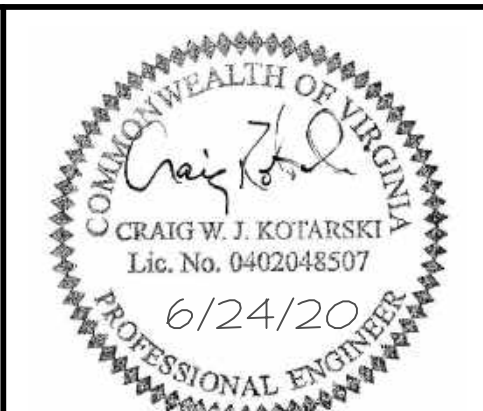
REVISION	DATE	SCALE: N.T.S.	STANDARD NUMBER: RE-2
JAN 2012			

BAYFILTER MAINTENANCE

- THE BAYFILTER SYSTEM REQUIRES PERIODIC MAINTENANCE TO CONTINUE OPERATING AT ITS PEAK EFFICIENCY DESIGN. THE MAINTENANCE PROCESS COMPRISES THE REMOVAL AND REPLACEMENT OF EACH BAYFILTER CARTRIDGE AND THE CLEANING OF THE VAULT OR MANHOLE WITH A VACUUM TRUCK FOR BEST RESULTS. BAYFILTER MAINTENANCE SHOULD BE PERFORMED BY A CERTIFIED MAINTENANCE CONTRACTOR. A GUYOT CALL TO AN AEB ENGINEER OR CUSTOMER SERVICE REPRESENTATIVE WILL PROVIDE YOU WITH A LIST OF RELIABLE CONTRACTORS IN YOUR AREA.
 - WHEN BAYFILTER IS INITIALLY INSTALLED, WE RECOMMEND THAT AN INSPECTION BE PERFORMED ON THE SYSTEM IN THE FIRST SIX (6) MONTHS. AFTER THAT, THE INSPECTION CYCLE TYPICALLY FALLS INTO A BIENNIAL PATTERN GIVEN NORMAL STORM OCCURRENCE AND ACTUAL SOLIDS LOADS.
 - WHEN BAYFILTER EXHIBITS FLOWS BELOW DESIGN LEVELS, THE SYSTEM SHOULD BE INSPECTED AND MAINTAINED AS SOON AS PRACTICAL. REPLACING A BAYFILTER CARTRIDGE SHOULD BE CONSIDERED AT OR ABOVE THE LEVEL OF THE MANHOLE.
- MAINTENANCE PROCEDURES:**
- REMOVE THE MANHOLE COVERS AND OPEN ALL ACCESS HATCHES.
 - BEFORE ENTERING THE SYSTEM MAKE SURE THE AIR IS SAFE PER OSHA STANDARDS OR USE A BREATHING APPARATUS. USE LOW OD, HIGH CO, OR OTHER APPLICABLE WARNING DEVICES PER REGULATORY REQUIREMENTS.
 - USING A VACUUM TRUCK, REMOVE ANY LIQUID AND SEDIMENTS THAT CAN BE REMOVED PRIOR TO ENTRY.
 - USING A SMALL LIFT OR THE BOOM OF THE VACUUM TRUCK, REMOVE THE USED CARTRIDGES BY LIFTING THEM OUT.
 - CHECK THE LEVEL AND ELEVATION OF THE FIRST SECTION TO ENSURE IT IS CORRECT BEFORE ADDING ANY RISER SECTIONS.
 - IF ADDITIONAL SECTIONS ARE REQUIRED, ADD A WATERPROOF SEAL TO THE FIRST SECTION OF THE BAYFILTER VAULT. SET ADDITIONAL SECTIONS BY THE ELEVATION OF THE FIRST SECTION.
 - INSTALL THE PVC OUTLET MANHOLE.
 - INSTALL THE PVC INLET IN BAYFILTER VAULT.
 - INSTALL THE INLET PIPE TO THE BAYFILTER VAULT.
 - AFTER THE SITE IS STABILIZED, REMOVE ANY ACCUMULATED SEDIMENT OR DEBRIS FROM THE VAULT AND INSTALL THE FLOW DISKS, DRANDOWN MODULES (IF APPLICABLE), AND THE BAYFILTER CARTRIDGES.
 - PLACE FULL SET OF HOLD DOWN BARS AND BRACKETS INTO PLACE.

BAYFILTER INSTALLATION NOTES

- CONTACT UTILITY LOCATOR TO MARK ANY NEARBY UNDERGROUND UTILITIES AND MAKE SURE IT IS SAFE TO EXCAVATE.
- REFERENCE THE SITE PLAN AND STAKE OUT THE LOCATION OF THE BAYFILTER VAULT.
- EXCAVATE THE HOLE, PROVIDING ANY SHEETING AND SHORING NECESSARY TO COMPLY WITH ALL FEDERAL, STATE AND LOCAL SAFETY REGULATIONS.
- LEVEL THE SUB-GRADE TO THE PROPER ELEVATION. VERIFY THE ELEVATION AGAINST THE MANHOLE DIMENSIONS, THE INVERT ELEVATIONS, AND THE SITE PLANS. ADJUST THE BASE AGGREGATE, IF NECESSARY.
- HAVE THE SOIL BEARING CAPACITY VERIFIED BY A LICENSED ENGINEER FOR THE REQUIRED LOAD BEARING CAPACITY, ON SOILD SUB-GRADE. SET THE FIRST SECTION OF THE BAYFILTER PRE-CAST VAULT.
- CHECK THE LEVEL AND ELEVATION OF THE FIRST SECTION TO ENSURE IT IS CORRECT BEFORE ADDING ANY RISER SECTIONS.
- IF ADDITIONAL SECTIONS ARE REQUIRED, ADD A WATERPROOF SEAL TO THE FIRST SECTION OF THE BAYFILTER VAULT. SET ADDITIONAL SECTIONS BY THE ELEVATION OF THE FIRST SECTION.
- INSTALL THE PVC INLET MANHOLE.
- INSTALL THE INLET PIPE TO THE BAYFILTER VAULT.
- AFTER THE SITE IS STABILIZED, REMOVE ANY ACCUMULATED SEDIMENT OR DEBRIS FROM THE VAULT AND INSTALL THE FLOW DISKS, DRANDOWN MODULES (IF APPLICABLE), AND THE BAYFILTER CARTRIDGES.
- PLACE FULL SET OF HOLD DOWN BARS AND BRACKETS INTO PLACE.



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TEL 434

REVISION DESCRIPTION	DATE
CITY COMMENTS #1	02/18/2020
CITY COMMENTS #2	04/28/2020
CITY COMMENTS #3	06/24/2020

YOUR VISION ACHIEVED THROUGH OUR
K. MELLON
DESIGNED BY
K. MELLON
CHECKED BY
C. KOTARSKI
SCALE
N/A

KAPPA KAPPA GAMMA HOUSE
CITY OF CHARLOTTEVILLE, VA
NOTES AND DETAILS

JOB NO.	43800
SHEET NO.	C1.2

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SP19-00004

**RESOLUTION
AUTHORIZING A SORORITY HOUSE
AT 503 RUGBY ROAD FOR UP TO 37 OCCUPANTS**

WHEREAS, pursuant to City Code §34-420 and §34-162, landowner Epsilon Sigma House Corporation/ Kappa Kappa Gamma Sorority has submitted an application seeking a special use permit to authorize a “boarding, fraternity and sorority house”, as defined within City Code §34-1200, to be used as a place of room and board for up to thirty-seven (37) members of a fraternity or sorority, and a modification of certain yard requirements (the proposed “Special Use”); and

WHEREAS, the proposed Special Use will be located at 503 Rugby Road (the “Subject Property”), which is further identified on 2019 City Tax Map 5 as Parcel 52 (City Parcel ID No. 150052000) and is located within the City’s R-3 zoning district, and the area proposed to be subject to the proposed Special Use Permit will be 0.3440 acre, or approximately 14,985 square feet; and

WHEREAS, previously, on February 21, 1978, City Council granted a special use permit to authorize a sorority house with thirty-six (36) rooms on the Subject Property, and the Subject Property has been used as such since that time; and

WHEREAS, the proposed Special Use is generally described within written materials submitted in connection with SP19-00004, including: (i) the application materials dated July 13, 2019, and related narrative; and (ii) a proposed preliminary site plan submitted July 16, 2019 as required by City Code §34-158 (collectively, the “Application Materials”); and

WHEREAS, the Planning Commission reviewed the Application Materials, and the City’s Staff Report pertaining thereto, and then, following a joint public hearing duly advertised and conducted by the Planning Commission and City Council on September 10, 2019, the Planning Commission voted to recommend that City Council should approve this proposed Special Use, subject to certain conditions; and

WHEREAS, upon consideration of the comments received during the joint public hearing, the Planning Commission’s recommendation, and the Staff Report, as well as the factors set forth within Sec. 34-157 of the City’s Zoning Ordinance, this Council finds and determines that granting the proposed Special Use subject to suitable conditions would serve the public necessity, convenience, general welfare or good zoning practice; now, therefore,

BE IT RESOLVED by the Council of the City of Charlottesville, Virginia that, pursuant to City Code Sec. 34-480, the proposed Special Use is granted, subject to the following conditions:

1. The “boarding, fraternity and sorority house” use approved by this special use permit shall have a maximum of thirty-seven (37) occupants~~rooms~~.

2. For the building containing the use referenced in ¶(1), above:
 - (a) The following side yards shall be required:
 - i. North Side Yard abutting TMP 5-53: A side yard of five (5) feet, minimum will be required instead of one (1) foot of side yard per every two (2) feet of building height with a minimum of ten (10) feet.
 - ii. South Side Yard Corner, street side abutting Lambeth Lane: A side yard of fifteen (15) feet, minimum will be required instead of twenty (20) feet, minimum.
 - (b) The following front yard shall be required:
 - i. East Front Yard abutting Rugby Road: A front yard of twenty-five (25) feet, minimum will be required instead of the average depth of the existing front yards within five hundred (500) feet.
3. On-site parking will be provided, in the general location and configuration shown within the preliminary site plan dated July 16, 2019. The final site plan shall demonstrate compliance with the following: (a) on-site parking shall be used exclusively by residents of the sorority house and their guests (no sale or leasing of on-site parking for off-site functions is permitted) and (b) signage and pavement markings, including both lane lines and text, may be required by the City’s Traffic Engineer, in order to designate travel ways and specify the direction of traffic in on-site parking area(s).
4. All trash receptacles must be hidden from view when not set out for curbside pickup.
5. The “boarding, fraternity or sorority house” use approved by this special use permit, and (except as specifically modified within condition (2), above), all buildings and structures located on the Subject Property, shall comply with the provisions of City Code Sec. 34-353 and all other applicable provisions of Chapter 34 (Zoning) of the Code of the City of Charlottesville.

BE IT FURTHER RESOLVED THAT the Special Use Permit approved by this Resolution amends and supersedes the special use permit approved by resolution dated February 21, 1978 for the Subject Property.

Approved by Council
October 7, 2019

Kyna Thomas, CMC
Clerk of Council

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608 Preston Avenue, S. Ste. 200 | Charlottesville, VA 22903
TEL: 434-977-1100

YOUR VISION ACHIEVED THROUGH OUR
DESIGN

DATE
11/11/2019
DRAWN BY
K. MELLON
DESIGNED BY
K. MELLON
CHECKED BY
C. KOTARSKI
SCALE
N/A

ONS GPOL
KAPPA KAPPA GAMMA HOUSE
CITY OF CHARLOTTESVILLE, VA
SPECIAL USE PERMIT CONDITIONS

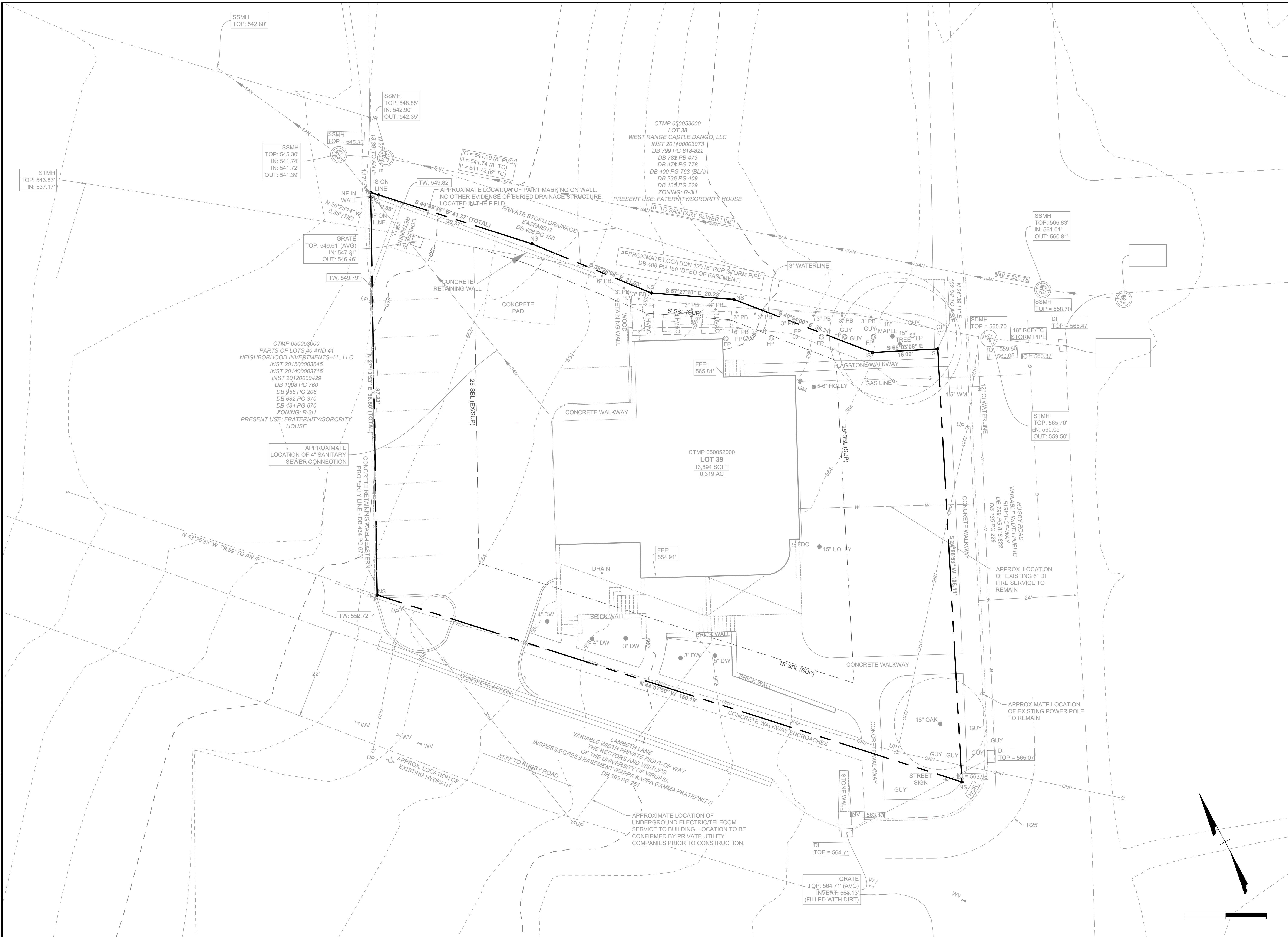
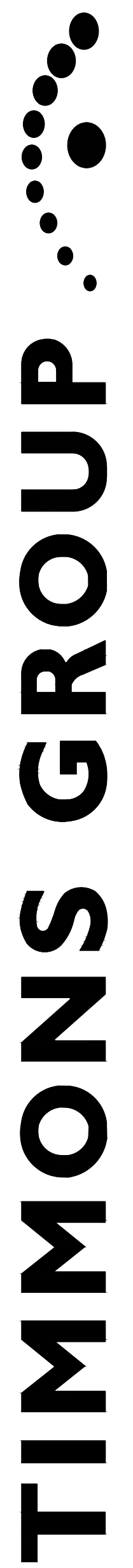
JOB NO.
43800
SHEET NO.
C1.3

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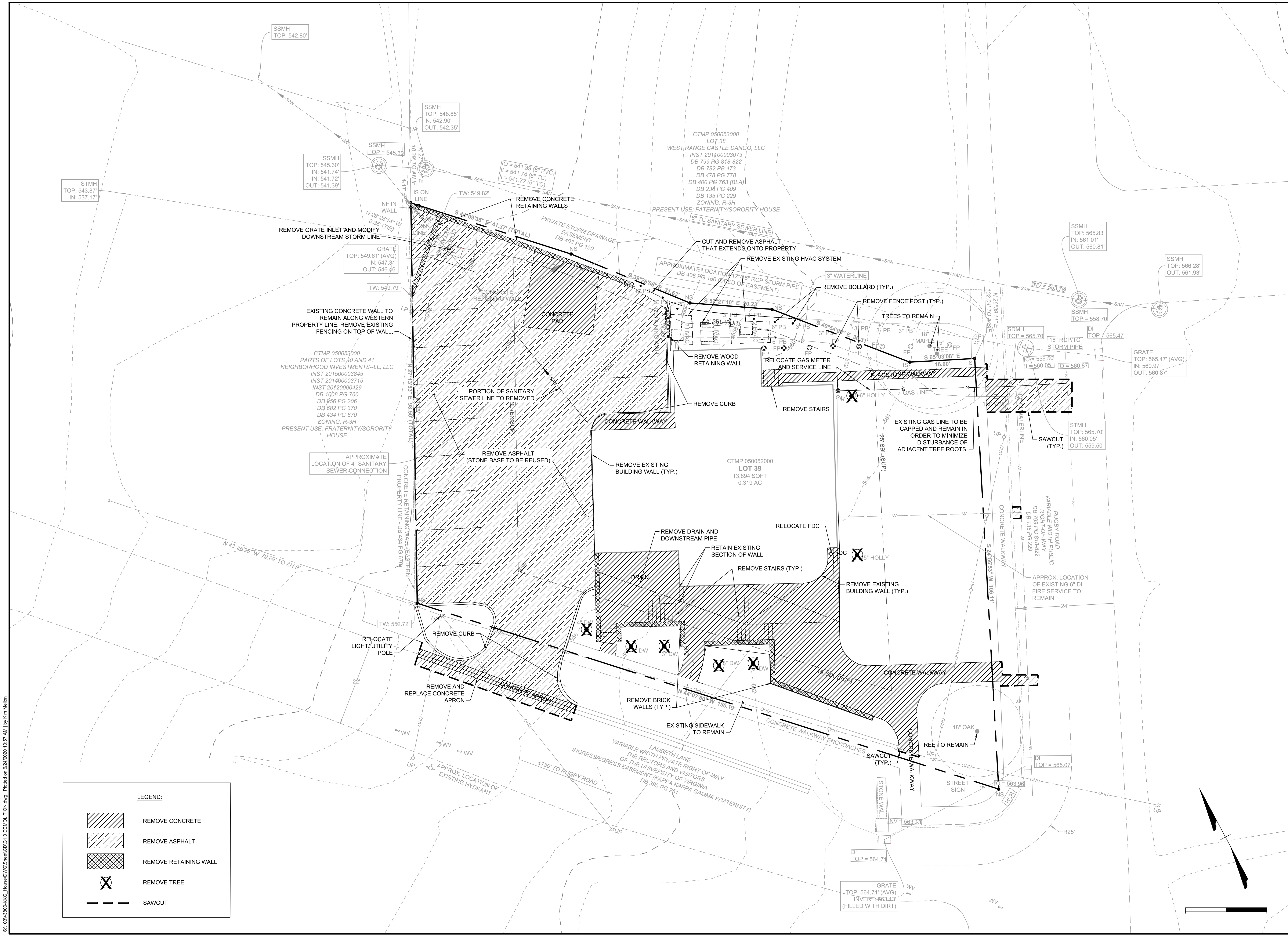
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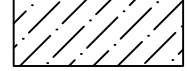



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LEGEND:

-  REMOVE CONCRETE
-  REMOVE ASPHALT
-  REMOVE RETAINING WALL
-  REMOVE TREE
-  SAWCUT

S:\10343800-KKCG_House\DWG\Sheet\CD\CD DEMOLITION.dwg | Printed on 6/24/2020 10:57 AM | by Kim Mellon

EROSION AND SEDIMENT CONTROL NARRATIVE:

PROJECT DESCRIPTION

THIS PROJECT INCLUDES THE CONSTRUCTION OF AN ADDITION TO THE EXISTING BUILDING AND PARKING LOT MODIFICATIONS, AS WELL AS MODIFICATIONS TO THE EXISTING HARDSCAPING AND LANDSCAPING AROUND THE BUILDING. THE LIMITS OF DISTURBANCE IS 0.26 ACRES.

ADJACENT PROPERTY

THE NORTHEASTERN AND THE NORTHWESTERN PROPERTY LINES ARE BOUNDED BY PRIVATE RESIDENCES. THE SOUTHEASTERN BORDER IS BOUNDED BY RUGBY ROAD. THE SOUTHWESTERN PROPERTY LINE IS BOUNDED BY LAMBETH LANE. ALL EXISTING BUILDING STRUCTURES ADJACENT TO THE PROPERTY SHALL REMAIN AND BE PROTECTED DURING CONSTRUCTION.

EXISTING SITE CONDITIONS

THE SITE CURRENTLY CONSISTS OF ONE (1) BUILDING AND AN ASPHALT PARKING LOT. EXISTING SLOPES ARE APPROXIMATELY 10% IN THE PARKING AREA ON THE PROPERTY. A MAJORITY OF THE SITE DRAINS TOWARDS AN EXISTING GRATE INLET IN THE NORTHERN CORNER OF THE SITE IN BOTH THE PRE AND POST CONDITIONS. SEE SHEET C3.1 FOR DRAINAGE AREA INFORMATION.

ASPHALT PAVEMENT WILL REMAIN IN PLACE FOR AS LONG AS POSSIBLE DURING CONSTRUCTION TO REDUCE THE AMOUNT DISTURBED SOIL ON SITE. SILT FENCE WILL BE USED TO PREVENT ANY STORMWATER RUNOFF FROM EXITING THE SITE UNTREATED.

OFF-SITE AREAS

THE DRIVEWAY INTERSECTING LAMBETH LANE WILL BE DISTURBED AND MODIFIED.

CRITICAL EROSION AREAS

THERE ARE NO CRITICAL EROSION AREAS ON THIS SITE.

EROSION AND SEDIMENT CONTROL MEASURES

UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE CURRENT ADDITION OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK. THE MINIMUM STANDARDS OF THE VESCH SHALL BE ADHERED TO UNLESS OTHERWISE WAIVED OR APPROVED BY A VARIANCE BY LOCAL AUTHORITIES HAVING JURISDICTION.

STORMWATER RUNOFF CONSIDERATIONS

STORMWATER RUNOFF WILL BE DETAINED IN STORAGE PIPES AND TREATED ONSITE USING STORMWATER CARTRIDGE FILTERS. SEE SHEET C5.1 FOR PERMANENT STRUCTURES INFORMATION.

STRUCTURAL PRACTICES:

1. **TEMPORARY CONSTRUCTION ENTRANCE - 3.02** A TEMPORARY CONSTRUCTION ENTRANCE SHALL BE PROVIDED AT THE LOCATION INDICATED ON THE PLANS. IT IS IMPERATIVE THAT THIS MEASURE BE MAINTAINED THROUGHOUT CONSTRUCTION. ITS PURPOSE IS TO REDUCE THE AMOUNT OF MUD TRANSPORTED ONTO PAVED PUBLIC ROADS BY MOTOR VEHICLES OR RUNOFF.
2. **STORM DRAIN INLET PROTECTION - 3.07** STONE FILTERS SHALL BE PLACED AT THE INLET OF ALL DRAINAGE STRUCTURES AS INDICATED ON PLANS. ITS PURPOSE IS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAINAGE SYSTEM PRIOR TO PERMANENT STABILIZATION.
3. **SILT FENCE BARRIER - 3.05** SILT FENCE SEDIMENT BARRIERS SHALL BE INSTALLED DOWNSLOPE OF AREAS WITH MINIMAL GRADES TO FILTER SEDIMENT-LADEN RUNOFF FROM SHEET FLOW AS INDICATED. ITS PURPOSE IS TO INTERCEPT SMALL AMOUNTS OF SEDIMENT FROM DISTURBED AREAS AND PREVENT SEDIMENT FROM LEAVING THE SITE.
4. **DUST CONTROL - 3.39** DUST CONTROL IS TO BE USED THROUGH THE SITE IN AREAS SUBJECT TO SURFACE AND AIR MOVEMENT.

VEGETATIVE PRACTICES:

3. **TOPSOIL (TEMPORARY STOCKPILE) - 3.30** TOPSOIL SHALL BE STRIPPED FROM AREAS TO BE GRADED AND STOCKPILED FOR LATER SPREADING. STOCKPILE LOCATIONS SHALL BE LOCATED ONSITE AND SHALL BE STABILIZED WITH TEMPORARY SILT FENCE AND VEGETATION.
4. **TEMPORARY SEEDING - 3.31** ALL DENUDED AREAS WHICH WILL BE LEFT DORMANT FOR MORE THAN 30 DAYS SHALL BE SEEDED WITH FAST GERMINATING TEMPORARY VEGETATION IMMEDIATELY FOLLOWING GRADING OF THOSE AREAS. SELECTION OF THE SEED MIXTURE SHALL DEPEND ON THE TIME OF YEAR IT IS APPLIED.
5. **PERMANENT SEEDING - 3.32** FOLLOWING GRADING ACTIVITIES, ESTABLISH PERENNIAL VEGETATIVE COVER BY PLANTING SEED TO REDUCE EROSION, STABILIZE DISTURBED AREAS, AND ENHANCE NATURAL BEAUTY.
6. **SOIL STABILIZATION BLANKETS & MATTING - 3.36** A PROTECTIVE COVERING BLANKET OR SOIL STABILIZATION MAT SHALL BE INSTALLED ON PREPARED PLANTING AREAS OF CHANNELS TO PROTECT AND PROMOTE VEGETATION ESTABLISHMENT AND REINFORCE ESTABLISHED TURF.

MANAGEMENT STRATEGIES

1. PROVIDE TEMPORARY SEEDING OR OTHER STABILIZATION IMMEDIATELY AFTER GRADING.
2. ISOLATE TRENCHING FOR UTILITIES AND DRAINAGE FROM DOWNSTREAM CONVEYANCES IN ORDER TO MINIMIZE PERIMETER CONTROLS.
3. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE MAINTAINED UNTIL THEY ARE NO LONGER REQUIRED TO COMPLY WITH THE CONTRACT DOCUMENTS OR STATE LAW.

PERMANENT STABILIZATION

ALL NON-PAVED AREAS DISTURBED BY CONSTRUCTION SHALL BE STABILIZED WITH PERMANENT SEEDING IMMEDIATELY FOLLOWING FINISHED GRADING. SEEDING SHALL BE IN ACCORDANCE WITH STD. & SPEC. 3.32, PERMANENT SEEDING. SEED TYPE SHALL BE AS SPECIFIED FOR "MINIMUM CARE LAWNS" AND "GENERAL SLOPES" IN THE HANDBOOK FOR SLOPES LESS THAN 3:1. FOR SLOPES GREATER THAN 3:1, SEED TYPE SHALL BE AS SPECIFIED FOR "LOW MAINTENANCE SLOPES" IN TABLE 3.32-D OF THE HANDBOOK. FOR MULCH (STRAW OR FIBER) SHALL BE USED ON ALL SEEDED SURFACES. IN ALL SEEDING OPERATIONS SEED, FERTILIZER AND LIME SHALL BE APPLIED PRIOR TO MULCHING.

SEQUENCE OF INSTALLATION

PHASE 1 - SHEET C3.1

1. A PRE-CONSTRUCTION MEETING IS REQUIRED WITH THE CITY OF CHARLOTTESVILLE E&S INSPECTOR, CONTRACTOR, OWNER, AND ENGINEER. THIS MEETING SHALL TAKE PLACE ON SITE.
2. PRIOR TO DEMOLITION BEGINNING, THE CONTRACTOR SHALL INSTALL THE CONSTRUCTION ENTRANCE AS WELL AS ALL INLET PROTECTION AND SILT FENCE.
3. AFTER ALL ESC ITEMS SHOWN ON THE PHASE 1 E&S PLAN ON SHEET C3.1 ARE INSTALLED AND INSPECTED BY THE CITY E&S INSPECTOR, CONTRACTOR CAN BEGIN DEMOLITION, GRADING, AND THE CONSTRUCTION OF PROPOSED RETAINING WALLS.
4. INSPECT SILT FENCE DAILY TO ENSURE THAT IT IS FUNCTIONING PROPERLY. ADDITIONAL MEASURES OR MODIFICATIONS TO EXISTING MEASURES MAY BE REQUESTED BY CITY INSPECTOR TO ENSURE THAT SEDIMENT LADEN RUNOFF IS PREVENTED FROM LEAVING THE SITE.
5. TEMPORARILY SEED DENUDED AREAS PER VESCH STANDARDS.

PHASE 2 - SHEET C3.2

1. RELOCATE CONSTRUCTION ENTRANCE PER PHASE 2 E&S PLAN ON SHEET C3.2.
2. INSTALL ADDITIONAL INLET PROTECTION WHERE SHOWN ON THE PHASE 2 E&S PLAN ON SHEET C3.2, AS THE STORM SYSTEM (INCLUDING UNDERGROUND DETENTION) IS CONSTRUCTED AND BECOMES OPERATIONAL.
3. FINE GRADE PROJECT AREA. APPLY PERMANENT SOIL STABILIZATION WITHIN SEVEN DAYS AFTER FINAL GRADE IS ACHIEVED.
4. ALL STORMWATER PIPING AND STRUCTURES SHALL BE INSPECTED FOR SILT/SEDIMENT. IF PRESENT, SILT/SEDIMENT SHALL BE CLEANED OUT FOR THE SYSTEM TO THE SATISFACTION OF THE E&S INSPECTOR.
5. MULCH AND SEED ALL AREAS TO BE GRASS IN FINAL CONDITION AS SOON AS FINAL GRADE IS ACHIEVED. PREVIOUSLY PAVED AREAS SHALL BE ROTOTILLED WITH 6" OF AMENDED TOP SOIL PRIOR TO PERMANENT SEEDING BEING APPLIED.
6. ONCE CONSTRUCTION IS COMPLETE AND ALL CONTRIBUTING AREAS ARE STABILIZED, EROSION CONTROL MEASURES CAN BE REMOVED UPON APPROVAL FROM THE E&S INSPECTOR.

MAINTENANCE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND REPAIR OF ALL E&S MEASURES INDICATED ON SHEETS C3.1 & C3.2.

MINIMUM STANDARDS:

AN EROSION AND SEDIMENT CONTROL PROGRAM ADOPTED BY A DISTRICT OR LOCALITY MUST BE CONSISTENT WITH THE FOLLOWING CRITERIA, TECHNIQUES AND METHODS:

- MS-1. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 14 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT DORMANT FOR MORE THAN ONE YEAR.
- MS-2. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES AND BORROW AREAS SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS BORROW AREAS AND SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
- MS-3. A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED. PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL A GROUND COVER IS ACHIEVED THAT IS UNIFORM, MATURE ENOUGH TO SURVIVE AND WILL INHIBIT EROSION.
- MS-4. SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCE TAKES PLACE.
- MS-5. STABILIZATION MEASURES SHALL BE APPLIED TO EARTHEN STRUCTURES SUCH AS DAMS, DIKES AND DIVERSIONS IMMEDIATELY AFTER INSTALLATION.
- MS-6. SEDIMENT TRAPS AND SEDIMENT BASINS SHALL BE DESIGNED AND CONSTRUCTED BASED UPON THE TOTAL DRAINAGE AREA TO BE SERVED BY THE TRAP OR BASIN.
 - A. THE MINIMUM STORAGE CAPACITY OF A SEDIMENT TRAP SHALL BE 134 CUBIC YARDS PER ACRE OF DRAINAGE AREA AND THE TRAP SHALL ONLY CONTROL DRAINAGE AREAS LESS THAN THREE ACRES.
 - B. SURFACE RUNOFF FROM DISTURBED AREAS THAT IS COMPRISED OF FLOW FROM DRAINAGE AREAS GREATER THAN OR EQUAL TO THREE ACRES SHALL BE CONTROLLED BY A SEDIMENT BASIN. THE MINIMUM STORAGE CAPACITY OF A SEDIMENT BASIN SHALL BE 134 CUBIC YARDS PER ACRE OF DRAINAGE AREA. THE OUTFALL SYSTEM SHALL, AT A MINIMUM, MAINTAIN THE STRUCTURAL INTEGRITY OF THE BASIN DURING A 25-YEAR STORM OF 24-HOUR DURATION. RUNOFF COEFFICIENTS USED IN RUNOFF CALCULATIONS SHALL CORRESPOND TO A BARE EARTH CONDITION OR THOSE CONDITIONS EXPECTED TO EXIST WHILE THE SEDIMENT BASIN IS UTILIZED.
- MS-7. CUT AND FILL SLOPES SHALL BE DESIGNED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. SLOPES THAT ARE FOUND TO BE ERODING EXCESSIVELY WITHIN ONE YEAR OF PERMANENT STABILIZATION SHALL BE PROVIDED WITH ADDITIONAL SLOPE STABILIZING MEASURES UNTIL THE PROBLEM IS CORRECTED.
- MS-8. CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME OR SLOPE DRAIN STRUCTURE.
- MS-9. WHENEVER WATER SEEPS FROM A SLOPE FACE, ADEQUATE DRAINAGE OR OTHER PROTECTION SHALL BE PROVIDED.
- MS-10. ALL STORM SEWER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
- MS-11. BEFORE NEWLY CONSTRUCTED STORMWATER CONVEYANCE CHANNELS OR PIPES ARE MADE OPERATIONAL, ADEQUATE OUTLET PROTECTION AND ANY REQUIRED TEMPORARY OR PERMANENT CHANNEL LINING SHALL BE INSTALLED IN BOTH THE CONVEYANCE CHANNEL AND RECEIVING CHANNEL.
- MS-12. WHEN WORK IN A LIVE WATERCOURSE IS PERFORMED, PRECAUTIONS SHALL BE TAKEN TO MINIMIZE ENCROACHMENT, CONTROL SEDIMENT TRANSPORT AND STABILIZE THE WORK AREA TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION. NONERODIBLE MATERIAL SHALL BE USED FOR THE CONSTRUCTION OF CAUSEWAYS AND COFFERDAMS. EARTHEN FILL MAY BE USED FOR THESE STRUCTURES IF ARMORED BY NONERODIBLE COVER MATERIALS.
- MS-13. WHEN A LIVE WATERCOURSE MUST BE CROSSED BY CONSTRUCTION VEHICLES MORE THAN TWICE IN ANY SIX-MONTH PERIOD, A TEMPORARY VEHICULAR STREAM CROSSING CONSTRUCTED OF NONERODIBLE MATERIAL SHALL BE PROVIDED.
- MS-14. ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS PERTAINING TO WORKING IN OR CROSSING LIVE WATERCOURSES SHALL BE MET.
- MS-15. THE BED AND BANKS OF A WATERCOURSE SHALL BE STABILIZED IMMEDIATELY AFTER WORK IN THE WATERCOURSE IS COMPLETED.
- MS-16. UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA:
 - A. NO MORE THAN 500 LINEAR FEET OF TRENCH MAY BE OPENED AT ONE TIME.
 - B. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
 - C. EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.
 - D. MATERIAL USED FOR BACKFILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION.
 - E. RESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THESE REGULATIONS.
 - F. APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.
- MS-17. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED OR PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY VEHICULAR TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PAVED OR PUBLIC ROAD SURFACE, THE ROAD SURFACE SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL DEVELOPMENT LOTS AS WELL AS TO LARGER LAND-DISTURBING ACTIVITIES.
- MS-18. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED, UNLESS OTHERWISE AUTHORIZED BY THE LOCAL PROGRAM AUTHORITY. TRAPPED SEDIMENT AND THE DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENTATION.
- MS-19. PROPERTIES AND WATERWAYS DOWNSTREAM FROM DEVELOPMENT SITES SHALL BE PROTECTED FROM SEDIMENT DEPOSITION, EROSION AND DAMAGE DUE TO INCREASES IN VOLUME, VELOCITY AND PEAK FLOW RATE OF STORMWATER RUNOFF FOR THE STATED FREQUENCY STORM OF 24-HOUR DURATION IN ACCORDANCE WITH THE STANDARDS AND CRITERIA LISTED IN THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, CHAPTER 8 PAGES 20-24.

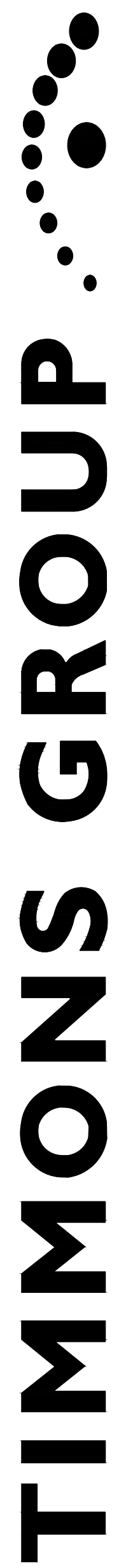
GENERAL EROSION AND SEDIMENT CONTROL NOTES:

- ES-1: UNLESS OTHERWISE INDICATED, CONSTRUCT AND MAINTAIN ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE LATEST EDITION OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK AND VIRGINIA REGULATIONS VR 625-02-00 EROSION AND SEDIMENT CONTROL REGULATIONS.
 - ES-2: THE CONTROLLING EROSION AND SEDIMENT CONTROL AUTHORITY WILL MAKE A CONTINUING REVIEW AND EVALUATION OF THE METHODS AND EFFECTIVENESS OF THE EROSION CONTROL PLAN.
 - ES-3: PLACE ALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO OR AS THE FIRST STEP IN CLEARING, GRADING, OR LAND DISTURBANCE.
 - ES-4: MAINTAIN A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN ON THE SITE AT ALL TIMES.
 - ES-5: PRIOR TO COMMENCING LAND-DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO, OFFSITE BORROW OR WASTE AREA), SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE ARCHITECT/ENGINEER AND THE CONTROLLING EROSION AND SEDIMENT CONTROL AUTHORITY FOR REVIEW AND ACCEPTANCE.
 - ES-6: PROVIDE ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE RESPONSIBLE LAND DISTURBER. (MODIFIED NOTE)
 - ES-7: ALL DISTURBED AREAS SHALL DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND-DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT.
 - ES-8: DURING DEWATERING OPERATIONS, PUMP WATER INTO AN APPROVED FILTERING DEVICE, ENSURE THAT PUMP INLET IS KEPT ABOVE SETTLED SEDIMENT.
 - ES-9: INSPECT ALL EROSION CONTROL MEASURES DAILY AND AFTER EACH RUNOFF-PRODUCING RAINFALL EVENT. MAKE ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES IMMEDIATELY.
- SOILS INFORMATION**
ENTIRE SITE IS CLASSIFIED AS 119- CULLEN - URBAN LAND COMPLEX - 7 TO 15 PERCENT SLOPES, 60 TO 120 INCHES TO RESTRICTIVE FEATURES. HYDROLOGIC SOIL GROUP B.



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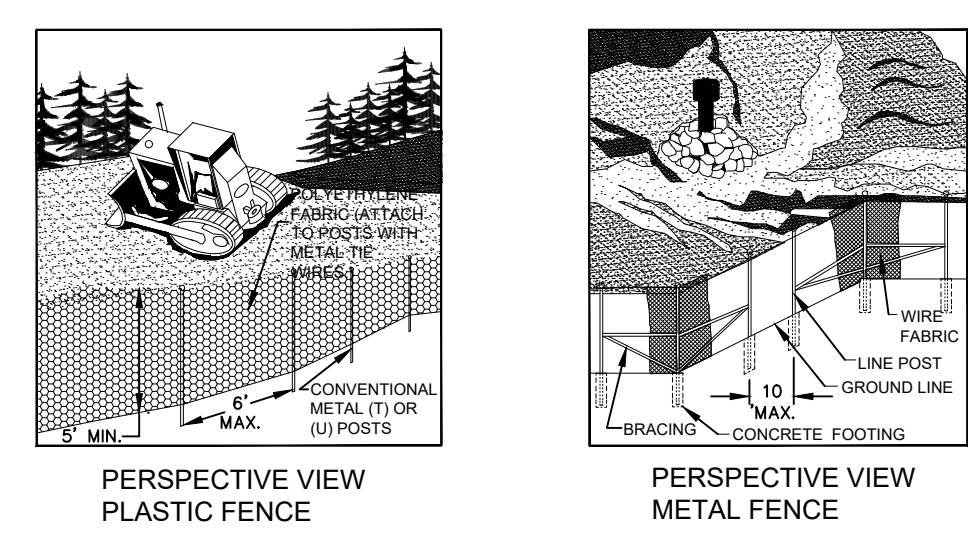
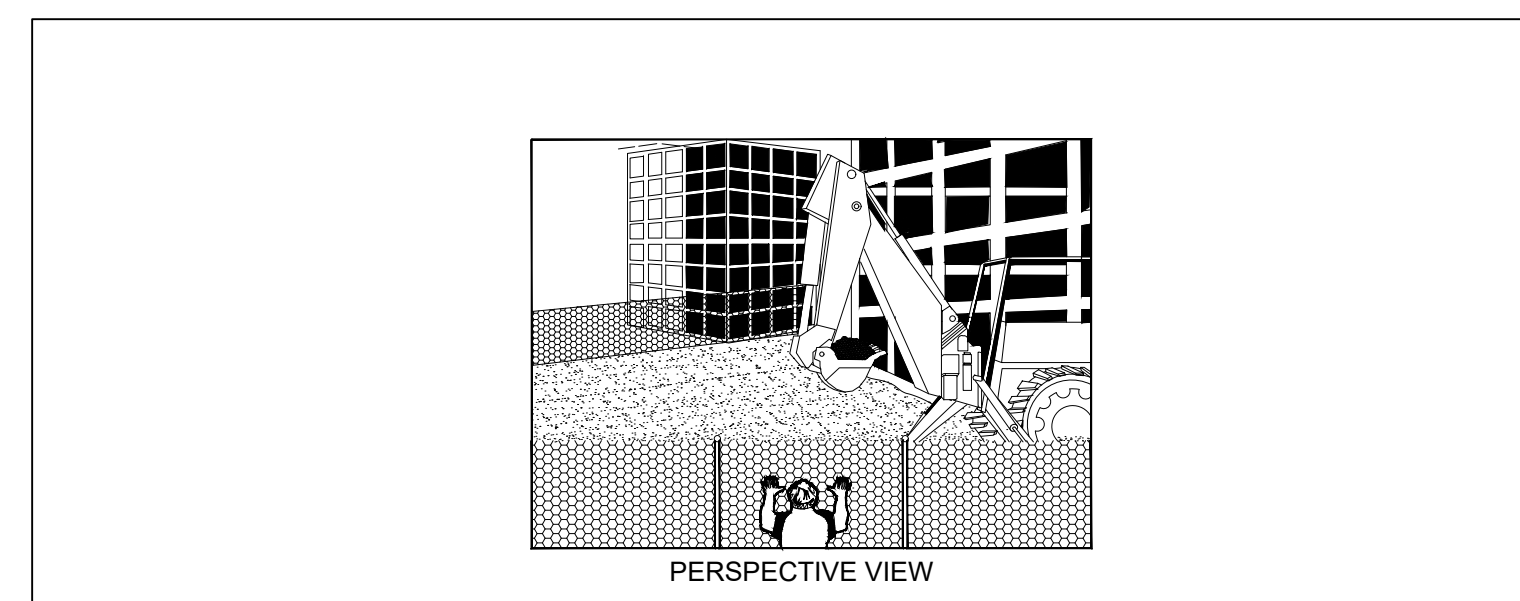




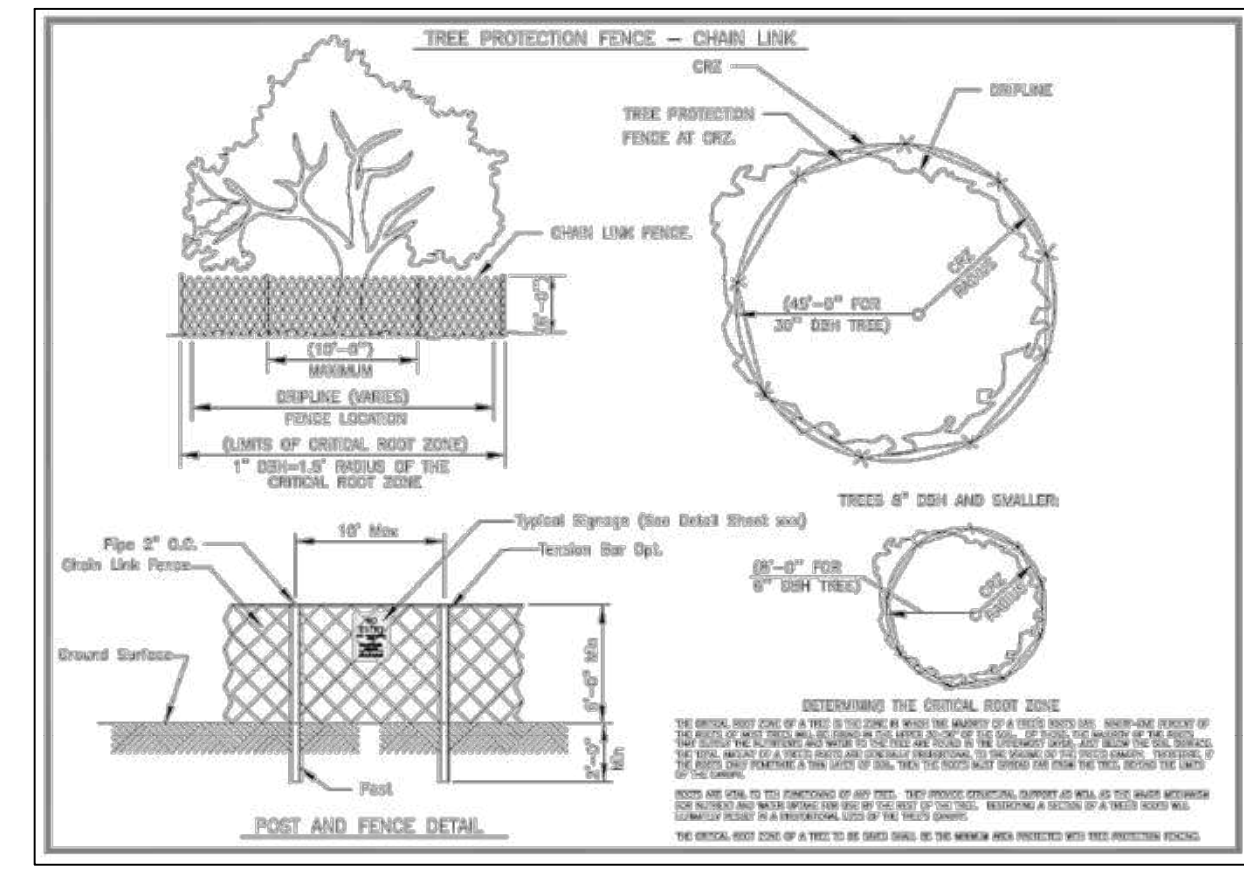
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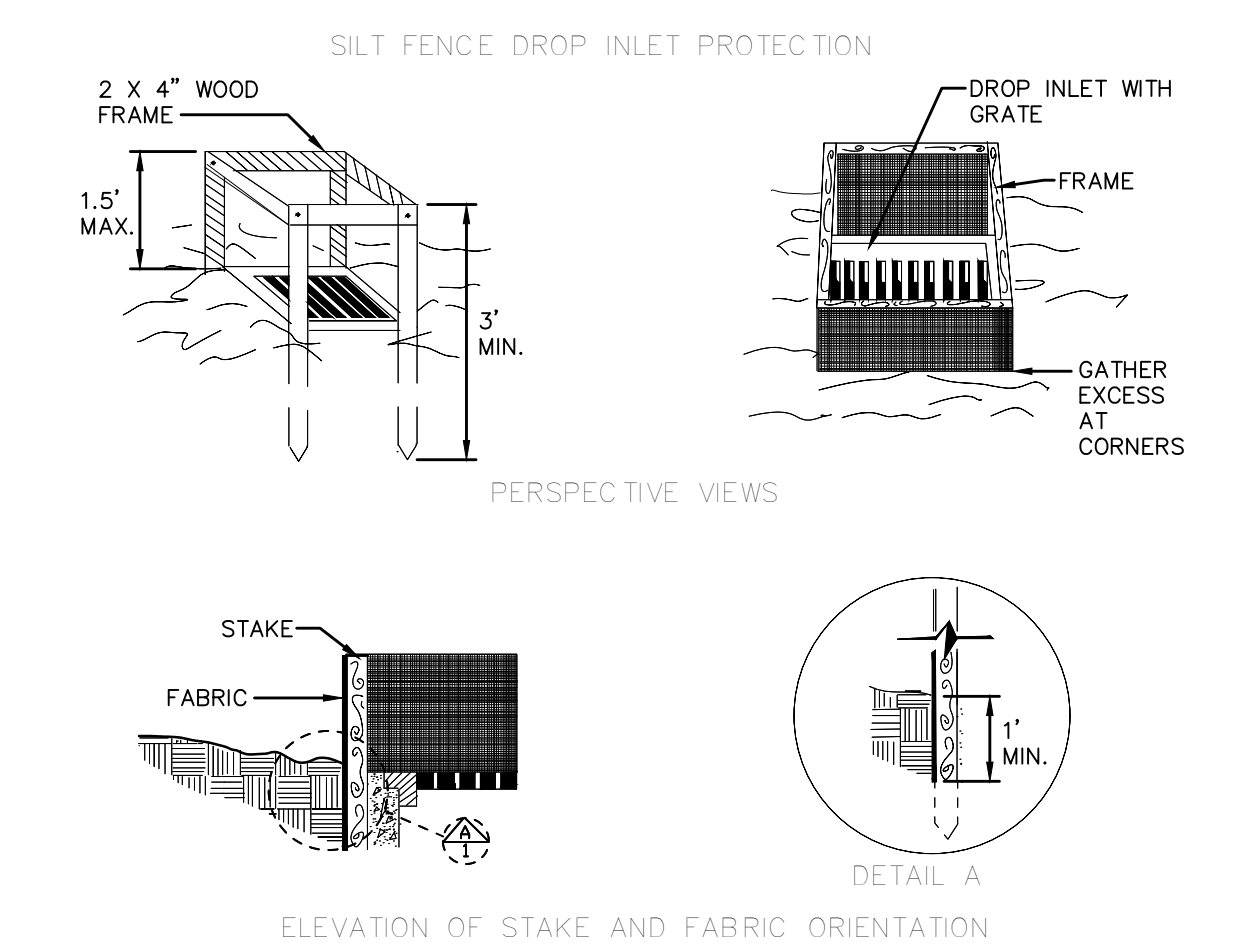
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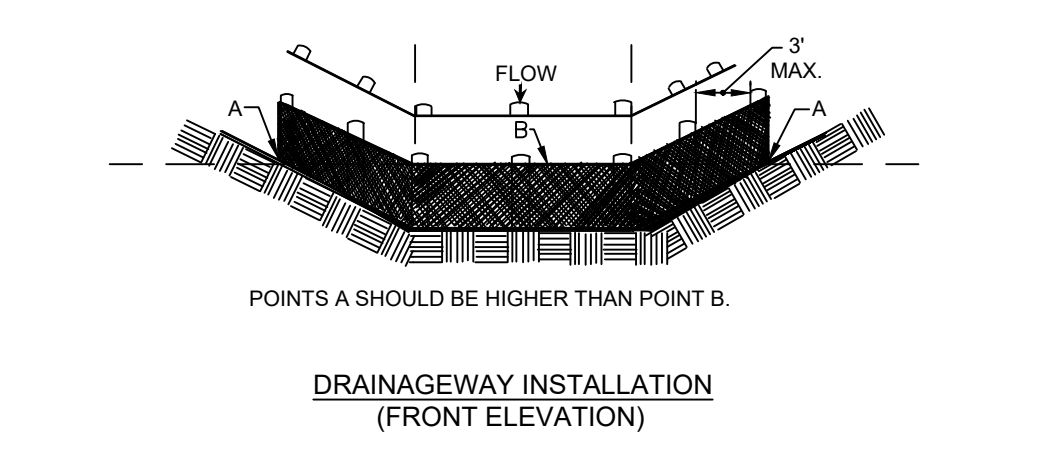
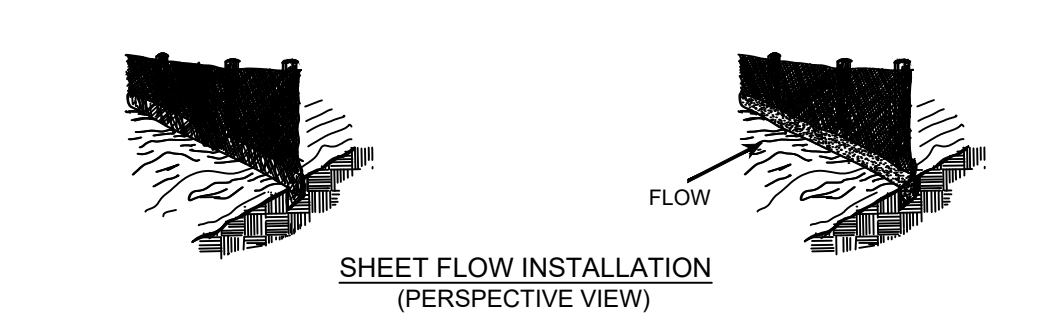
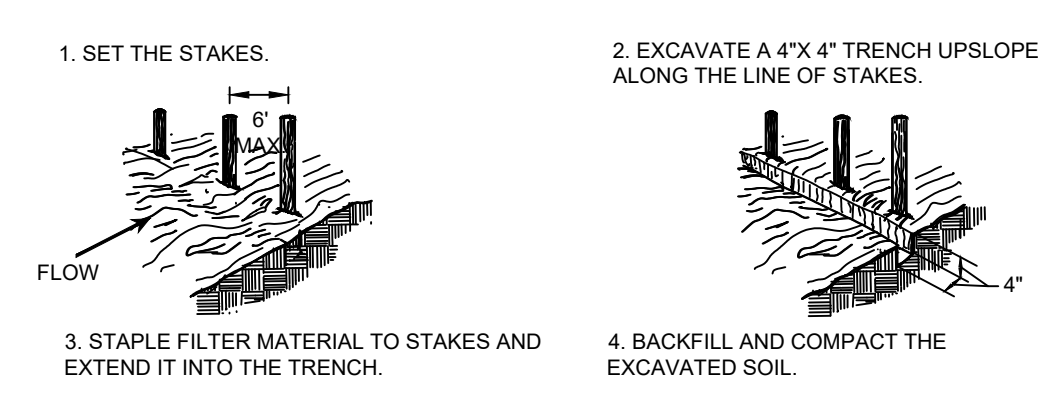
SF SAFETY FENCE
 No Scale 3.10



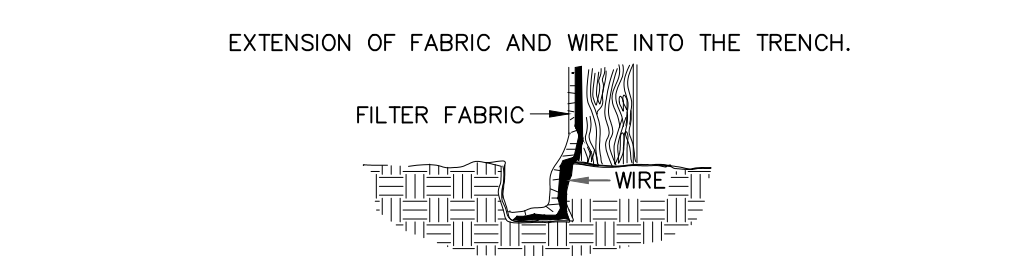
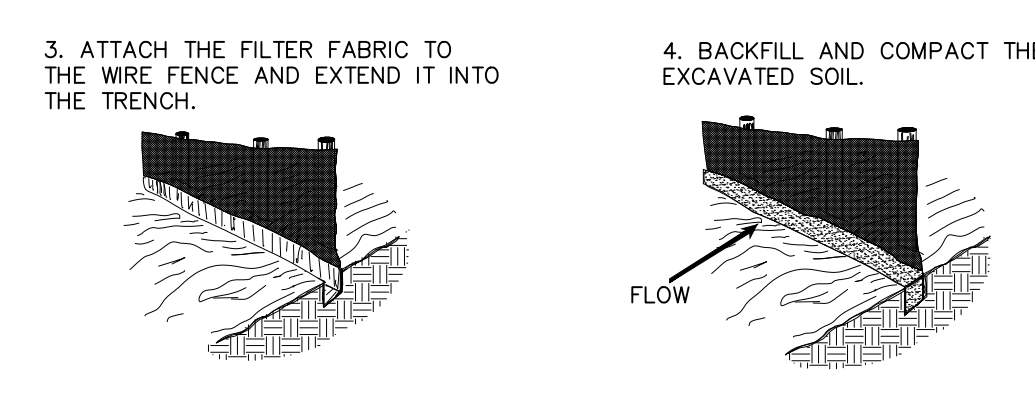
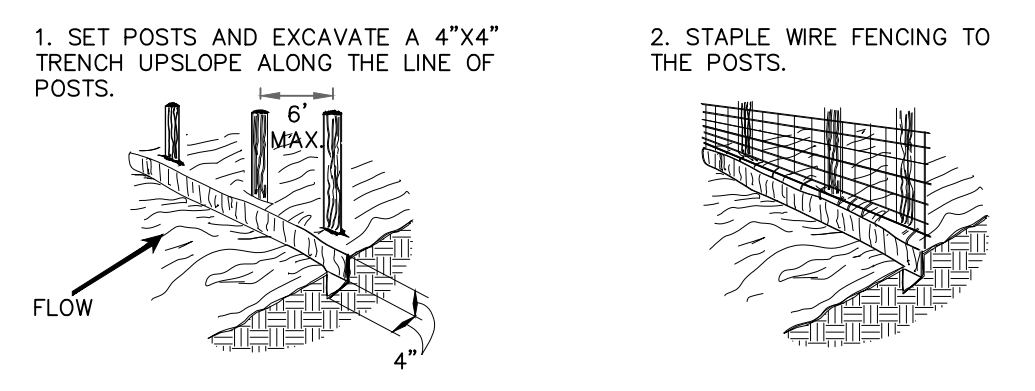
TP TREE PROTECTION
 No Scale 3.38



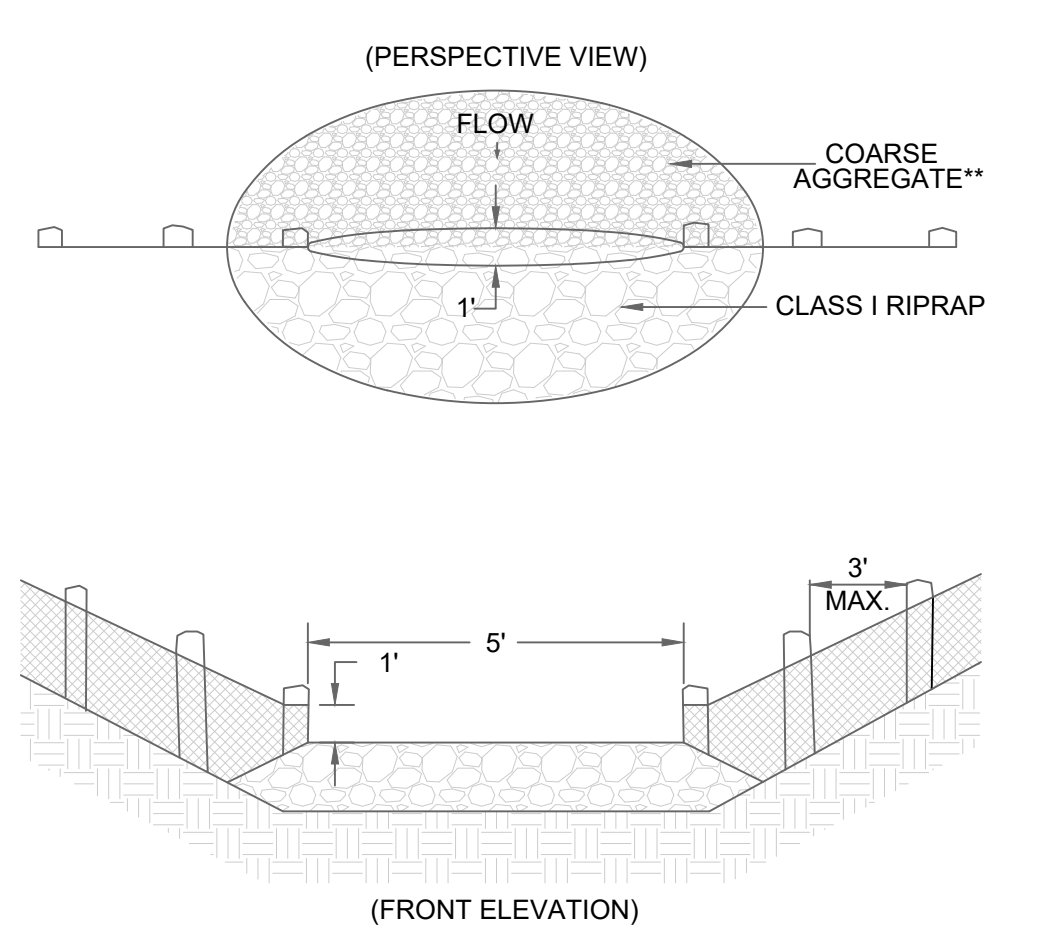
IP STORM DRAIN INLET PROTECTION
 No Scale 3.07-1



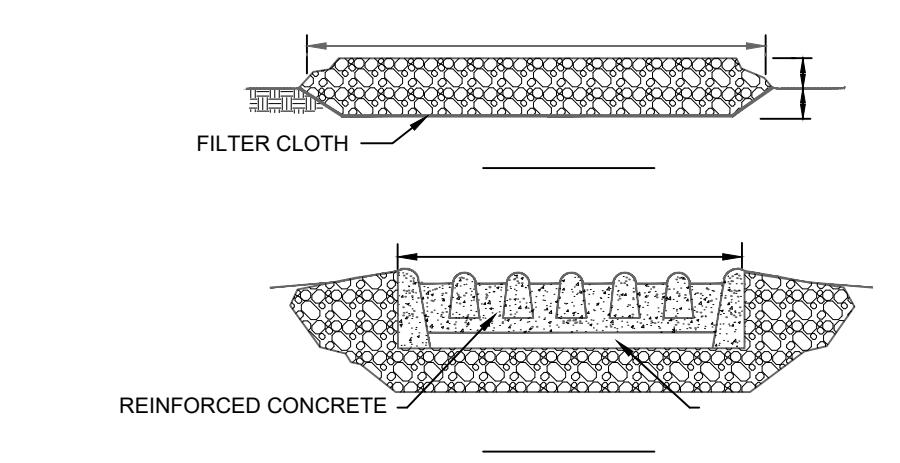
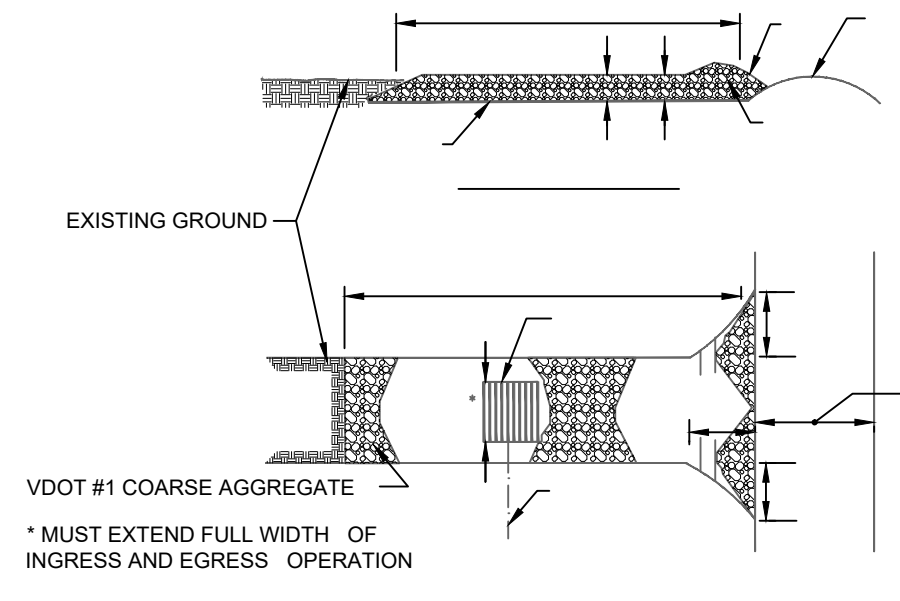
SF SILT FENCE (W/O WIRE SUPPORT)
 No Scale 3.05-2



SF SILT FENCE (WITH WIRE SUPPORT)
 No Scale 3.05-1



SF SILT FENCE BREAK
 No Scale



CE STONE CONSTRUCTION ENTRANCE
 No Scale

ACCEPTABLE TEMPORARY SEEDING PLANT MATERIALS

PLANTING DATES	
SEPT. 1 - FEB. 15	
FEB. 16 - APR. 30	
MAY 1 - AUG. 31	

PS TEMPORARY SEEDING PLANT MATERIALS
 No Scale

SITE SPECIFIC SEEDING MIXTURES FOR PIEDMONT AREA

MINIMUM CARE LAWN	
COMMERCIAL OR RESIDENTIAL	
KENTUCKY 31 OR TURF-TYPE TALL FESCUE	
IMPROVED PERENNIAL RYEGRASS	
KENTUCKY BLUEGRASS	
GENERAL SLOPE (3:1 OR LESS)	
KENTUCKY 31 FESCUE	
RED TOP GRASS	
SEASONAL NURSE CROP *	
LOW-MAINTENANCE SLOPE (STEEPER THAN 3:1)	
* SEE SLOPE STABILIZATION SEED MIX	
* USE SEASONAL NURSE CROP IN ACCORDANCE WITH SEEDING DATES AS STATED BELOW:	
FEBRUARY 16TH THROUGH APRIL..... ANNUAL RYE	
MAY 1ST THROUGH AUGUST 15TH..... FOXTAIL MILLET	
AUGUST 16TH THROUGH OCTOBER..... ANNUAL RYE	
NOVEMBER THROUGH FEBRUARY 15TH..... WINTER RYE	
** SUBSTITUTE SERICEA LESPEDEZA FOR CROWNVELTCH EAST OF FARMVILLE, VA (MAY THROUGH SEPTEMBER USE HULLED SERICEA, ALL OTHER PERIODS, USE UNHULLED SERICEA). IF FLATPEA IS USED IN LIEU OF CROWNVELTCH, INCREASE RATE TO 30 LBS./ACRE. ALL LEGUME SEED MUST BE PROPERLY INOCULATED. WEEPING LOVEGRASS MAY BE ADDED TO ANY SLOPE OR LOW-MAINTENANCE MIX DURING WARMER SEEDING PERIODS; ADD 10-20 LBS./ACRE IN MIXES.	

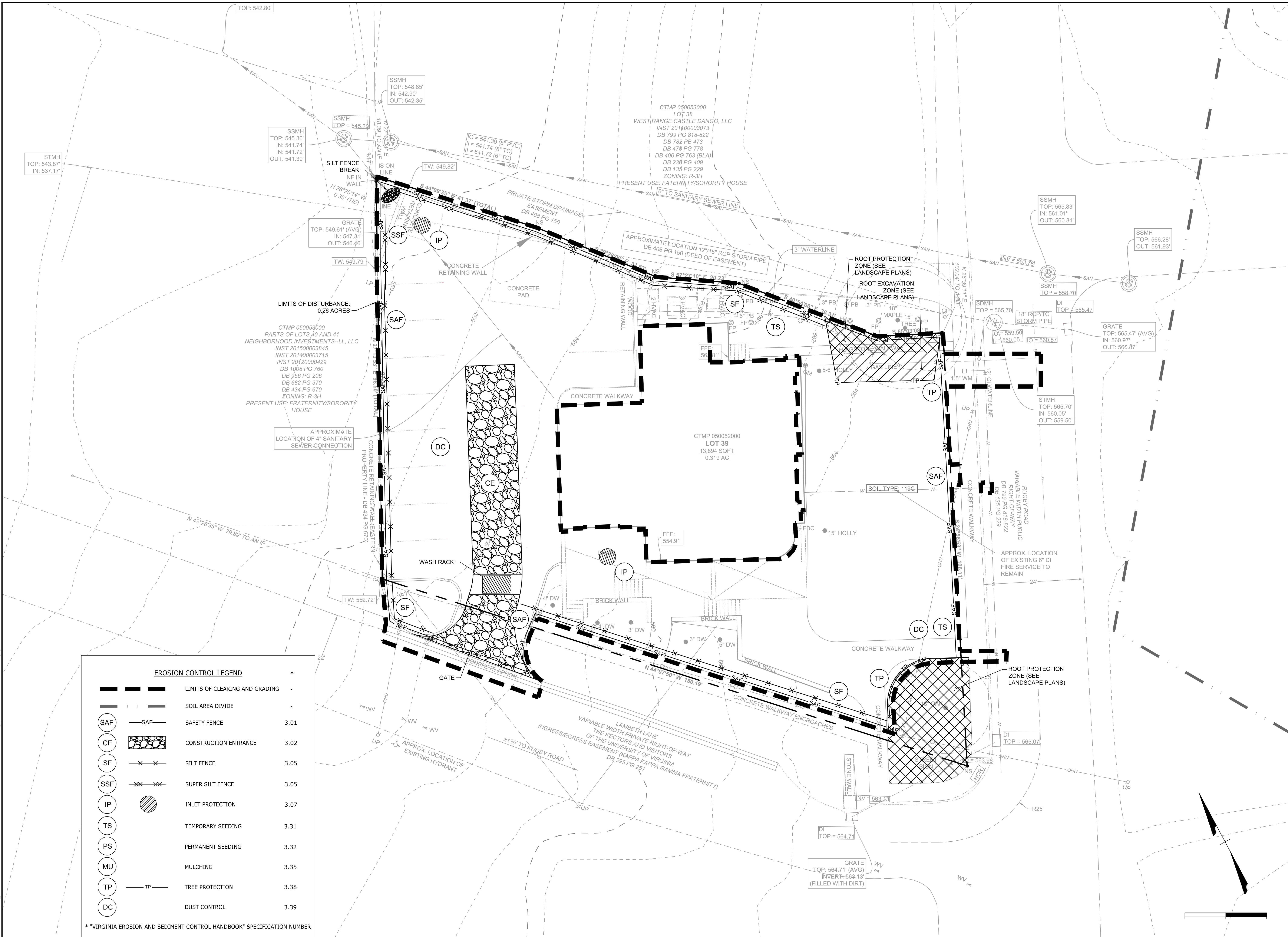
TS PERMANENT SEEDING MIX FOR PIEDMONT AREA
 No Scale



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EROSION CONTROL LEGEND

	LIMITS OF CLEARING AND GRADING	*
	SOIL AREA DIVIDE	-
	SAFETY FENCE	3.01
	CONSTRUCTION ENTRANCE	3.02
	SILT FENCE	3.05
	SUPER SILT FENCE	3.05
	INLET PROTECTION	3.07
	TEMPORARY SEEDING	3.31
	PERMANENT SEEDING	3.32
	MULCHING	3.35
	TREE PROTECTION	3.38
	DUST CONTROL	3.39

* "VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK" SPECIFICATION NUMBER

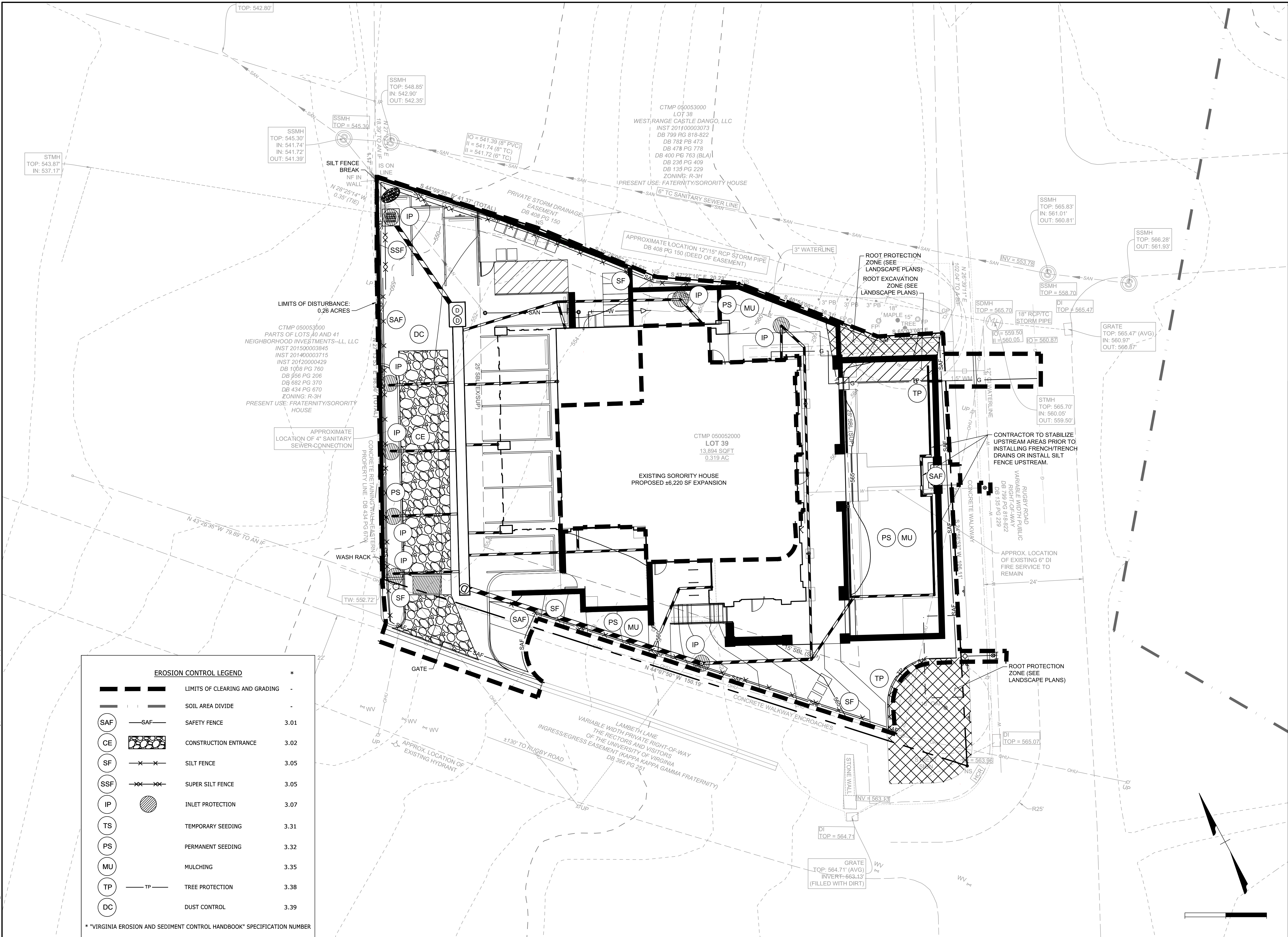
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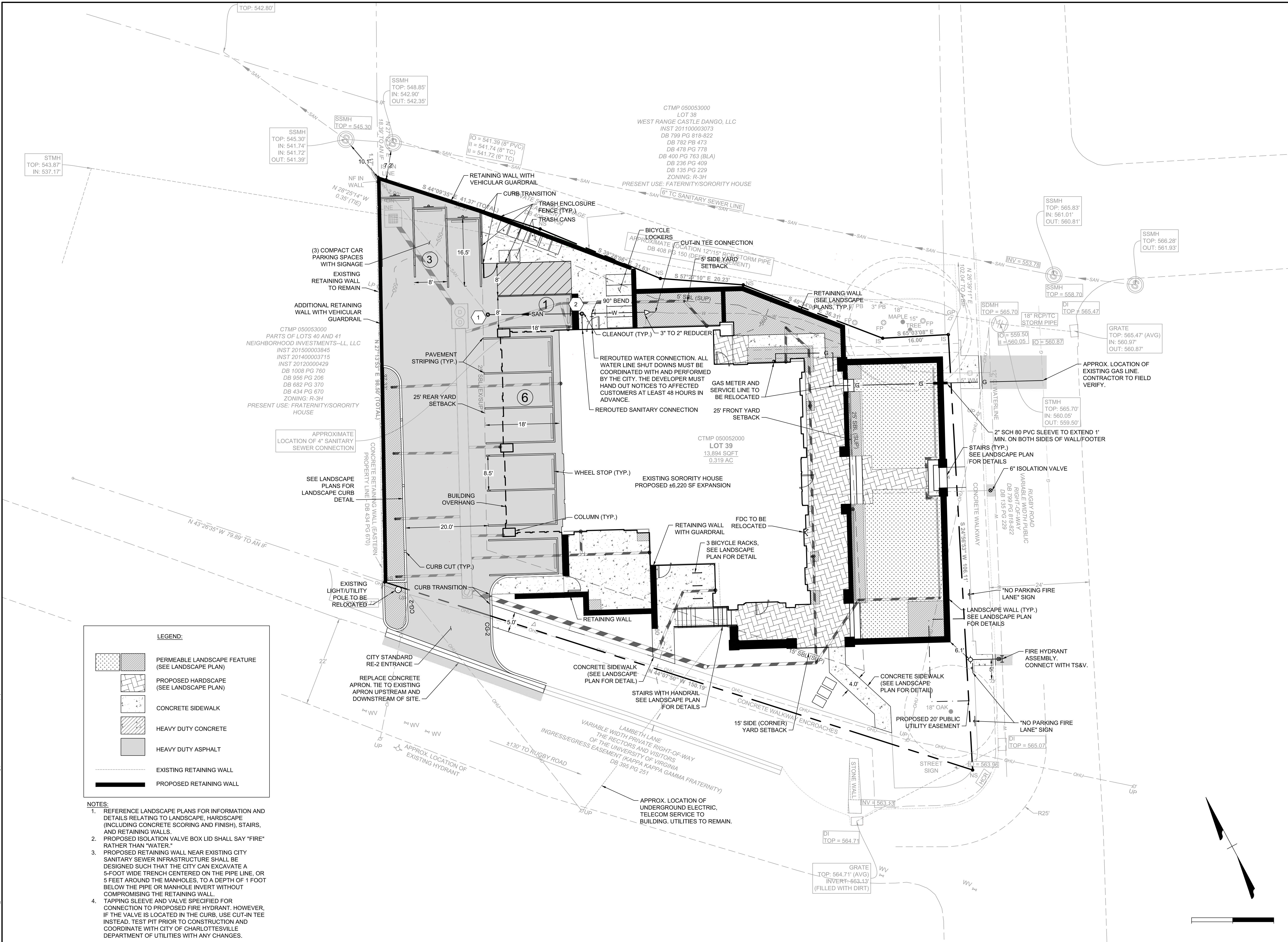


EROSION CONTROL LEGEND

	LIMITS OF CLEARING AND GRADING	-
	SOIL AREA DIVIDE	-
	SAFETY FENCE	3.01
	CONSTRUCTION ENTRANCE	3.02
	SILT FENCE	3.05
	SUPER SILT FENCE	3.05
	INLET PROTECTION	3.07
	TEMPORARY SEEDING	3.31
	PERMANENT SEEDING	3.32
	MULCHING	3.35
	TREE PROTECTION	3.38
	DUST CONTROL	3.39

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LEGEND:

- PERMEABLE LANDSCAPE FEATURE (SEE LANDSCAPE PLAN)
- PROPOSED HARDSCAPE (SEE LANDSCAPE PLAN)
- CONCRETE SIDEWALK
- HEAVY DUTY CONCRETE
- HEAVY DUTY ASPHALT
- EXISTING RETAINING WALL
- PROPOSED RETAINING WALL

- NOTES:**
- REFERENCE LANDSCAPE PLANS FOR INFORMATION AND DETAILS RELATING TO LANDSCAPE, HARDSCAPE (INCLUDING CONCRETE SCORING AND FINISH), STAIRS, AND RETAINING WALLS.
 - PROPOSED ISOLATION VALVE BOX LID SHALL SAY "FIRE" RATHER THAN "WATER."
 - PROPOSED RETAINING WALL NEAR EXISTING CITY SANITARY SEWER INFRASTRUCTURE SHALL BE DESIGNED SUCH THAT THE CITY CAN EXCAVATE A 5-FOOT WIDE TRENCH CENTERED ON THE PIPE LINE, OR 5 FEET AROUND THE MANHOLES, TO A DEPTH OF 1 FOOT BELOW THE PIPE OR MANHOLE INVERT WITHOUT COMPROMISING THE RETAINING WALL.
 - TAPPING SLEEVE AND VALVE SPECIFIED FOR CONNECTION TO PROPOSED FIRE HYDRANT. HOWEVER, IF THE VALVE IS LOCATED IN THE CURB, USE CUT-IN TEE INSTEAD. TEST PIT PRIOR TO CONSTRUCTION AND COORDINATE WITH CITY OF CHARLOTTEVILLE DEPARTMENT OF UTILITIES WITH ANY CHANGES.

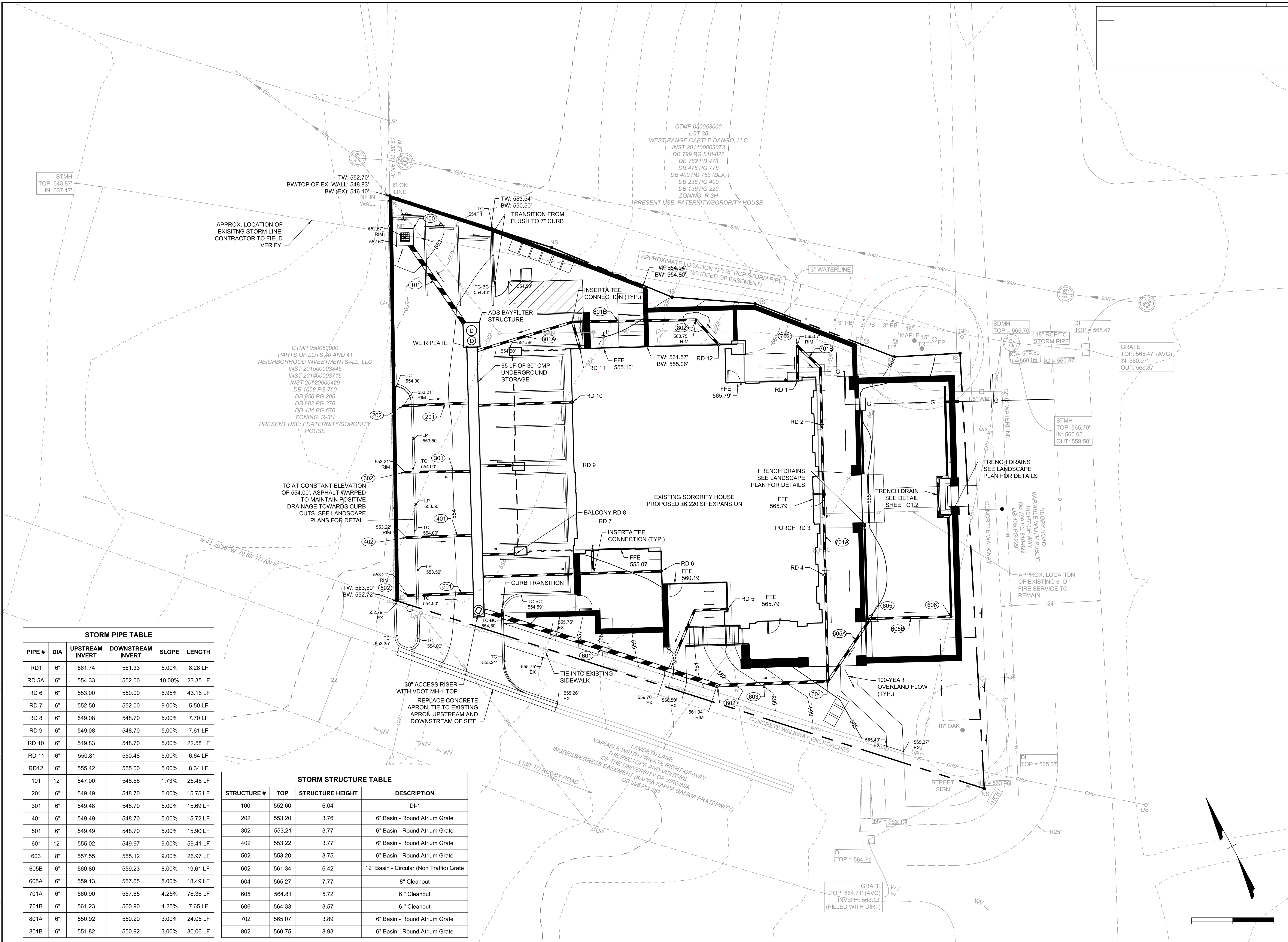
S:\10343800-KKCG_House\DWG\Sheet\CD\CD-1-LAYOUT AND UTILITY PLAN.dwg | Plotted on 6/24/2020 11:04 AM | by Kim Malton



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STORM PIPE TABLE					
PIPE #	DIA	UPSTREAM INVERT	DOWNSTREAM INVERT	LENGTH	
RD 1	6"	561.74	561.33	5.00%	8.28 LF
RD 5A	6"	554.33	552.00	10.00%	23.35 LF
RD 6	6"	553.50	550.00	6.95%	43.16 LF
RD 7	6"	552.50	552.00	9.00%	5.50 LF
RD 8	6"	549.08	548.70	5.00%	7.70 LF
RD 9	6"	549.08	548.70	5.00%	7.61 LF
RD 10	6"	549.83	548.70	5.00%	22.58 LF
RD 11	6"	550.81	550.48	5.00%	6.64 LF
RD 12	6"	555.42	555.00	5.00%	8.34 LF
101	12"	547.00	546.56	1.73%	25.46 LF
201	6"	549.49	548.70	5.00%	15.75 LF
301	6"	549.48	548.70	5.00%	15.69 LF
401	6"	549.49	548.70	5.00%	15.72 LF
501	6"	549.49	548.70	5.00%	15.90 LF
601	12"	555.02	549.67	9.00%	59.41 LF
603	8"	557.55	555.12	9.00%	26.97 LF
605B	6"	560.80	559.23	8.00%	19.61 LF
605A	6"	559.13	557.65	8.00%	18.49 LF
701A	6"	560.90	557.65	4.25%	76.36 LF
701B	6"	561.23	560.90	4.25%	7.65 LF
801A	6"	550.92	550.20	3.00%	24.06 LF
801B	6"	551.82	550.92	3.00%	30.06 LF

STORM STRUCTURE TABLE			
STRUCTURE #	TOP	STRUCTURE HEIGHT	DESCRIPTION
100	552.60	6.04'	DI-1
202	553.20	3.76'	6" Basin - Round Atrium Grate
302	553.21	3.77'	6" Basin - Round Atrium Grate
402	553.22	3.77'	6" Basin - Round Atrium Grate
502	553.20	3.75'	6" Basin - Round Atrium Grate
602	561.34	6.42'	12" Basin - Circular (Non Traffic) Grate
604	565.27	7.77'	8" Cleanout
605	564.81	5.72'	6" Cleanout
606	564.33	3.57'	6" Cleanout
702	565.07	3.89'	6" Basin - Round Atrium Grate
802	560.75	8.93'	6" Basin - Round Atrium Grate

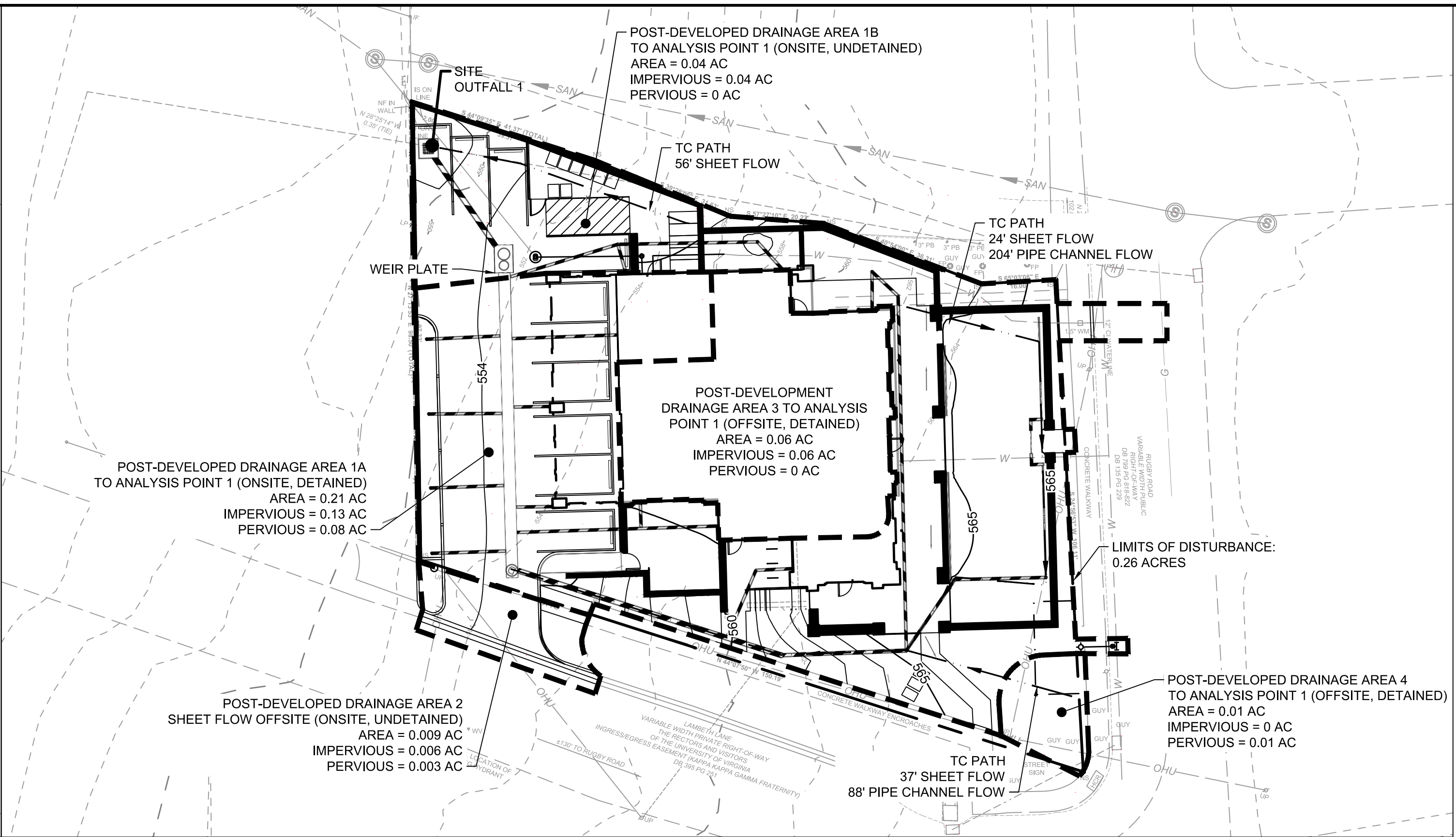
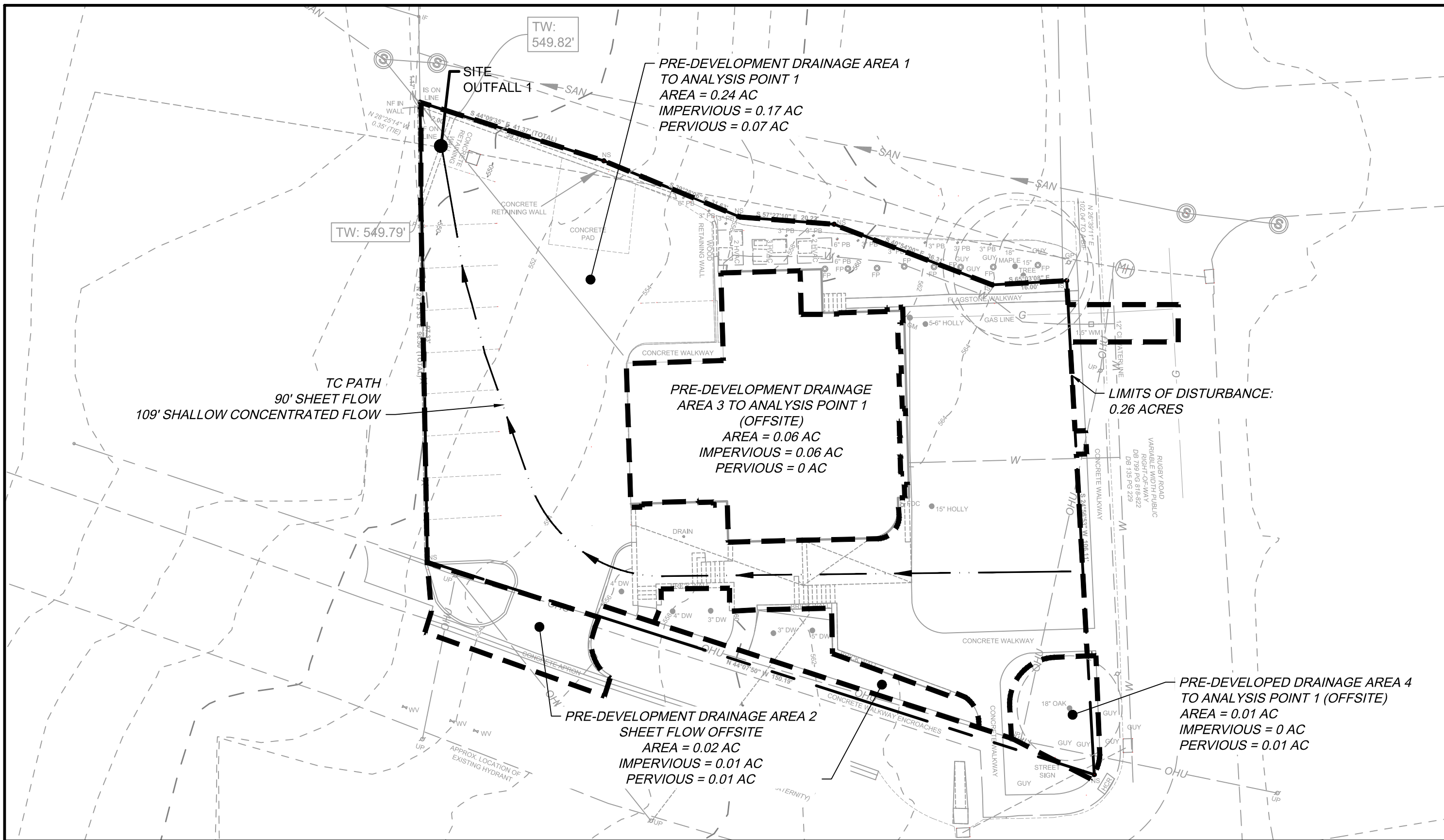
S:\10343800-KKCG_House\DWG\Sheet\CD\CD-1_GROUNDING AND DRAINAGE PLAN.dwg | Printed on 05/24/2021 11:06 AM | by Kim Mellon



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WATER QUALITY ANALYSIS

SITE DATA
 PRE DEVELOPED AREA
 IMPERVIOUS = 0.18 ACRES
 MANAGED TURF = 0.08 ACRES

PRE DEVELOPMENT LOAD (TP) (LB/YR) = 0.43

POST DEVELOPED AREA
 IMPERVIOUS = 0.18 ACRES
 MANAGED TURF = 0.08 ACRES

POST DEVELOPMENT LOAD (TP) (LB/YR) = 0.43
 MAXIMUM PERCENT REDUCTION REQUIRED FOR REDEVELOPMENT = 10%

TOTAL LOAD REDUCTION REQUIRED (LB/YR) = 0.04

ON SITE TREATMENT PROPOSED
 ADS BAYFILTER CARTRIDGES = 0.21 LB/YR
 SEE DETAIL THIS SHEET

WATER QUANTITY ANALYSIS - POINT 1

DRAINAGE AREA ANALYSIS (PRE-DEVELOPMENT)

PRE-DEVELOPMENT DRAINAGE AREA 1 TO ANALYSIS POINT 1
 AREA = 0.24 AC
 0.17 AC (IMPERVIOUS)
 0.07 AC (MANAGED TURF)
 Tc = 6 MIN

	Q (CFS)	V (CUBIC-FT)
1 YEAR	0.73	1,525
10 YEAR	1.61	3,572

PRE-DEVELOPMENT DRAINAGE AREA 3 TO ANALYSIS POINT 1 (OFFSITE)
 AREA = 0.06 AC
 0.06 AC (IMPERVIOUS)
 0 AC (MANAGED TURF)
 Tc = 6 MIN

	Q (CFS)	V (CUBIC-FT)
1 YEAR	0.25	610
10 YEAR	0.46	1,176

PRE-DEVELOPMENT DRAINAGE AREA 4 TO ANALYSIS POINT 1 (OFFSITE)
 AREA = 0.01 AC
 0 AC (IMPERVIOUS)
 0.01 AC (MANAGED TURF)
 Tc = 6 MIN

	Q (CFS)	V (CUBIC-FT)
1 YEAR	0.00	0
10 YEAR	0.03	44

ANALYSIS POINT 1

	Q (CFS)	V (CUBIC-FT)
1 YEAR	0.98	2,135
10 YEAR	2.11	4,792

DRAINAGE AREA ANALYSIS (POST-DEVELOPMENT)

POST-DEVELOPED DRAINAGE AREA 1A TO ANALYSIS POINT 1 (ONSITE, DETAINED)
 AREA = 0.21 AC
 0.13 AC (IMPERVIOUS)
 0.08 AC (MANAGED TURF)
 Tc = 6 MIN

	Q (CFS)	V (CUBIC-FT)
1 YEAR	0.56	1,176
10 YEAR	1.33	2,875

POST-DEVELOPED DRAINAGE AREA 3 TO ANALYSIS POINT 1 (OFFSITE, DETAINED)
 AREA = 0.06 AC
 0.06 AC (IMPERVIOUS)
 0 AC (MANAGED TURF)
 Tc = 6 MIN

	Q (CFS)	V (CUBIC-FT)
1 YEAR	0.25	610
10 YEAR	0.46	1,176

POST-DEVELOPED DRAINAGE AREA 4 TO ANALYSIS POINT 1 (OFFSITE, DETAINED)
 AREA = 0.01 AC
 0 AC (IMPERVIOUS)
 0.01 AC (MANAGED TURF)
 Tc = 6 MIN

	Q (CFS)	V (CUBIC-FT)
1 YEAR	0.00	0
10 YEAR	0.03	44

AREAS TO UNDERGROUND DETENTION (1A + 3 + 4)

	Q (CFS)	V (CUBIC-FT)
1 YEAR	0.64	1,786
10 YEAR	1.79	4,095

POST-DEVELOPED DRAINAGE AREA 1B TO ANALYSIS POINT 1 (ONSITE, UNDETAINED)
 AREA = 0.04 AC
 0.04 AC (IMPERVIOUS)
 0 AC (MANAGED TURF)
 Tc = 6 MIN

	Q (CFS)	V (CUBIC-FT)
1 YEAR	0.17	392
10 YEAR	0.31	784

ANALYSIS POINT 1

	Q (CFS)	V (CUBIC-FT)
1 YEAR	0.77	2,178
10 YEAR	2.09	4,879

CHANNEL PROTECTION (ENERGY BALANCE):

$$Q_{DEVELOPED} \leq [0.90(Q_{PRE-DEVELOPED} \cdot R_{V,PRE-DEVELOPED} / R_{V,DEVELOPED})] + Q_{OFFSITE}$$

$$0.77 \text{ CFS} \leq [0.90(0.73 \text{ CFS} \cdot 1,525 \text{ CF}) / (1,568 \text{ CF})] + 0.25 \text{ CFS} = 0.89 \text{ CFS}$$

FLOOD PROTECTION:

POST-DEVELOPED $Q_{10} \leq$ PRE-DEVELOPED Q_{10}

$$2.09 \text{ CFS (POST-DEVELOPED } Q_{10}) \leq 2.11 \text{ CFS (PRE-DEVELOPED } Q_{10})$$

WATER QUANTITY ANALYSIS - POINT 2

DRAINAGE AREA ANALYSIS (PRE-DEVELOPMENT)

PRE-DEVELOPMENT DRAINAGE AREA 2
 AREA = 0.02 AC
 0.01 AC (IMPERVIOUS)
 0.01 AC (MANAGED TURF)
 Tc = 6 MIN

	Q (CFS)	V (CUBIC-FT)
1 YEAR	0.04	87
10 YEAR	0.12	5,227

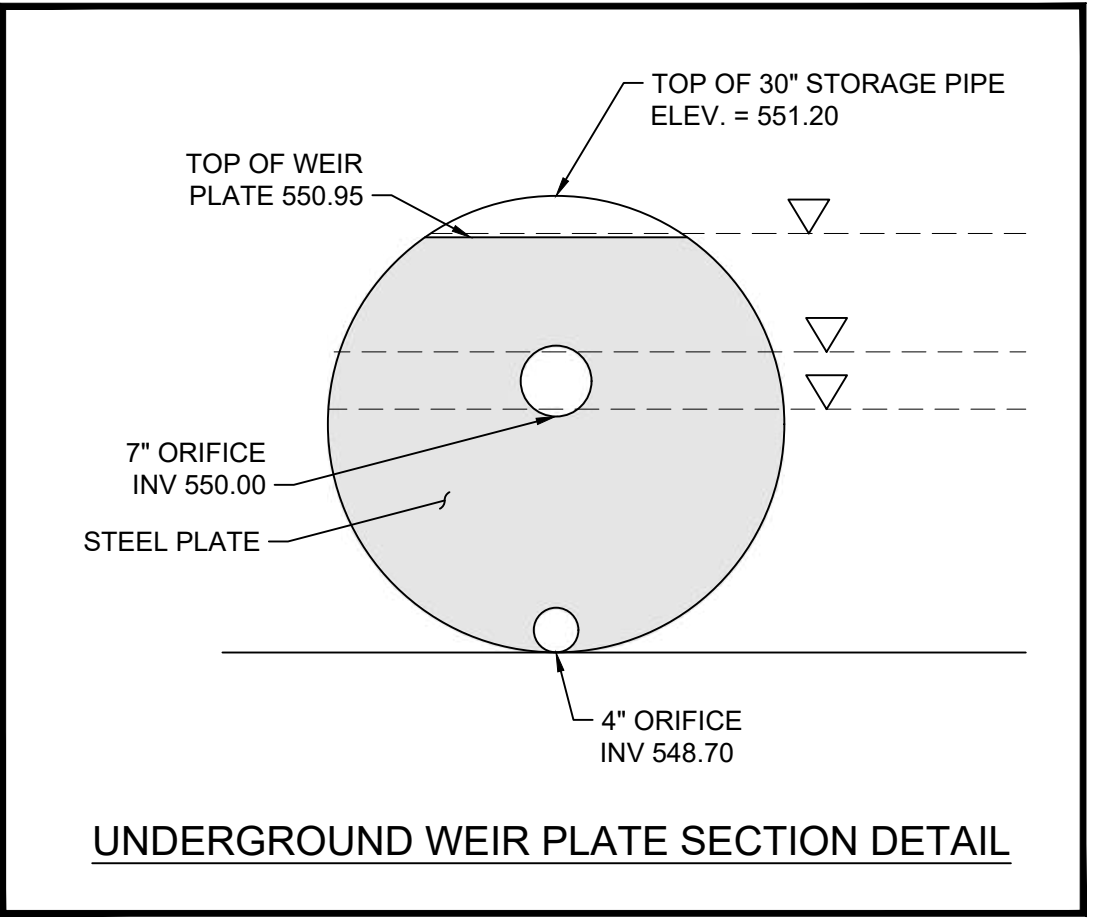
CHANNEL PROTECTION (ENERGY BALANCE):

$$Q_{DEVELOPED} \leq 0.90(Q_{PRE-DEVELOPED} \cdot R_V)$$

$$0.03 \text{ CFS} \leq 0.90(0.04 \text{ CFS} \cdot 87 \text{ CF}) / (44 \text{ CF}) = 0.07 \text{ CFS}$$

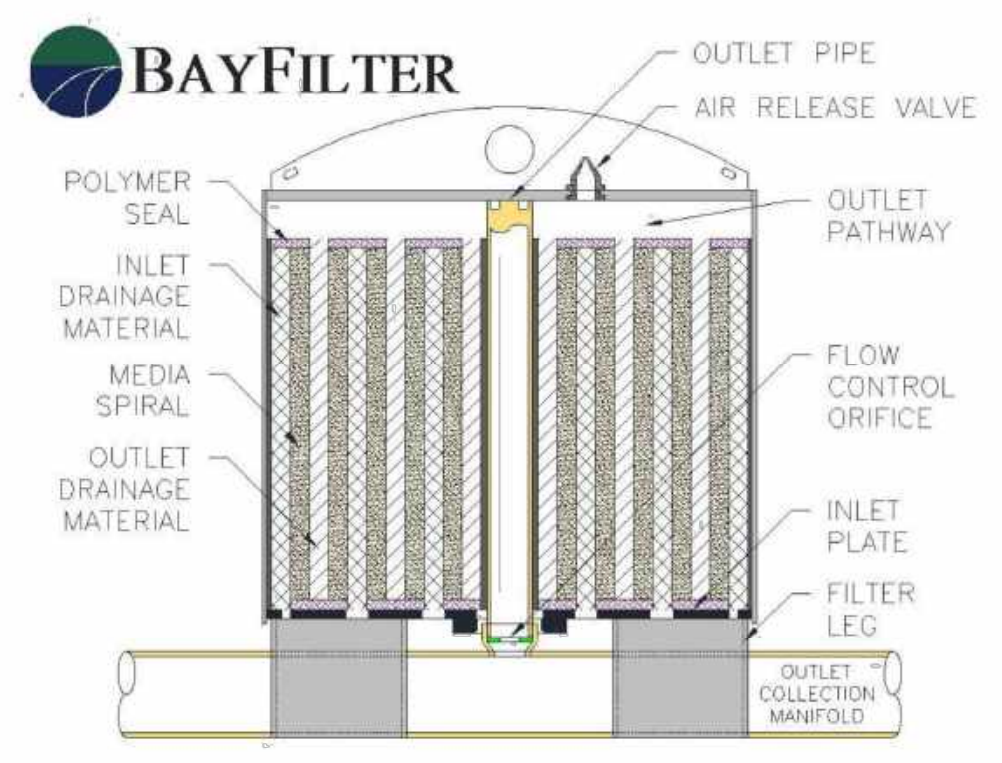
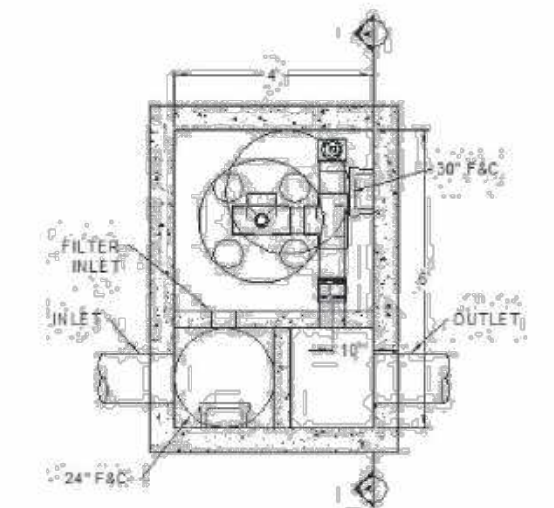
FLOOD PROTECTION:

POST-DEVELOPED $Q_{10} \leq$ PRE-DEVELOPED Q_{10}

$$0.06 \text{ CFS (POST-DEVELOPED } Q_{10}) \leq 0.06 \text{ CFS (PRE-DEVELOPED } Q_{10})$$


Creation Date: 11/5/2019 5:26:51 AM
 Treatment Volume: 635 cf
 Cartridge Type: BayFilter™ 522
 # of Cartridges: 1
 Model Number: BF-4-6-1
 Rim Elevation: 554 ft.
 Inlet Elevation: 548.7 ft.
 Outlet Elevation: 547 ft.
 Drop: 20 in.

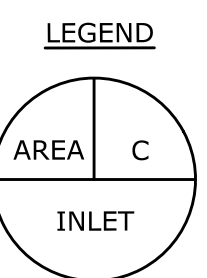
4'x6' Internal Bypass Vault



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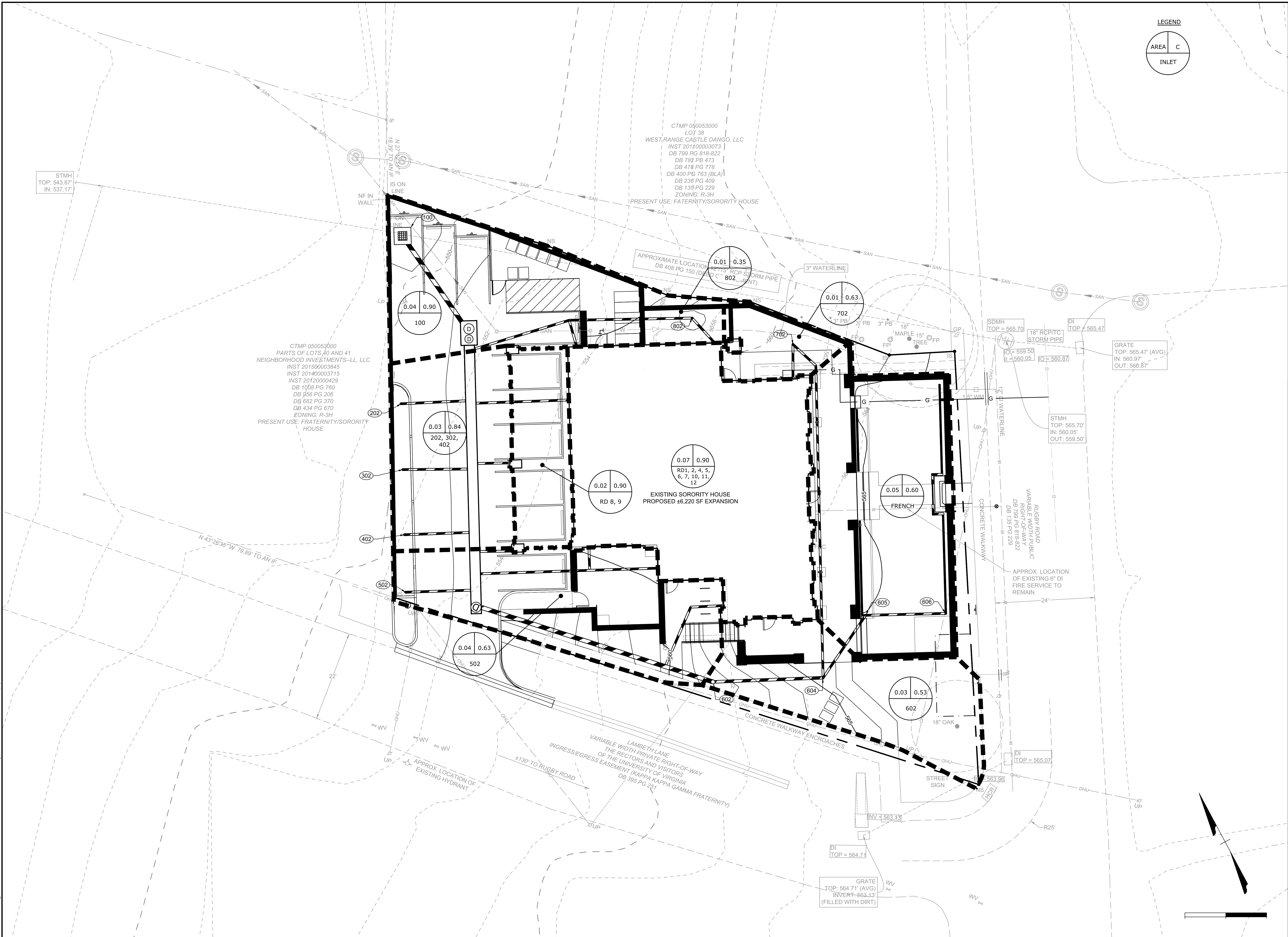
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BMP Design Specifications List: 2013 Draft Stds & Specs

Site Summary

Project Title: KKG House
Date: 43656

Total Rainfall (in):	43
Total Disturbed Acreage:	0.26

Update Summary Sheet

Print Preview Print

Site Land Cover Summary

Pre-ReDevelopment Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals	% of Total
Forest/Open (acres)	0.00	0.00	0.00	0.00	0.00	0
Managed Turf (acres)	0.00	0.08	0.00	0.00	0.08	31
Impervious Cover (acres)	0.00	0.18	0.00	0.00	0.18	69
					0.26	100

Post-ReDevelopment Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals	% of Total
Forest/Open (acres)	0.00	0.00	0.00	0.00	0.00	0
Managed Turf (acres)	0.00	0.08	0.00	0.00	0.08	31
Impervious Cover (acres)	0.00	0.18	0.00	0.00	0.18	69
					0.26	100

Site Tv and Land Cover Nutrient Loads

	Final Post-Development (Post-ReDevelopment & New Impervious)	Post-ReDevelopment	Post-Development (New Impervious)	Adjusted Pre-ReDevelopment
Site Rv	0.72	0.72	--	0.72
Treatment Volume (ft³)	679	679	--	679
TP Load (lb/yr)	0.43	0.43	--	0.43

Pre-ReDevelopment TP Load per acre (lb/acre/yr)	Final Post-Development TP Load per acre (lb/acre/yr)	Post-ReDevelopment TP Load per acre (lb/acre/yr)
1.64	1.64	1.64

Total TP Load Reduction Required (lb/yr)	0.04	0.04	0
--	------	------	---

	Final Post-Development Load (Post-ReDevelopment & New Impervious)	Pre-ReDevelopment
TN Load (lb/yr)	3.05	3.05

Site Compliance Summary

Maximum % Reduction Required Below Pre-ReDevelopment Load	10%
---	-----

Total Runoff Volume Reduction (ft³)	0
Total TP Load Reduction Achieved (lb/yr)	0.21
Total TN Load Reduction Achieved (lb/yr)	0.00
Remaining Post Development TP Load (lb/yr)	0.21
Remaining TP Load Reduction (lb/yr) Required	0.00 ** TARGET TP REDUCTION EXCEEDED BY 0.17 LB/YEAR **

Drainage Area Summary

	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	Total
Forest/Open (acres)	0.00	0.00	0.00	0.00	0.00	0.00
Managed Turf (acres)	0.08	0.00	0.00	0.00	0.00	0.08
Impervious Cover (acres)	0.18	0.00	0.00	0.00	0.00	0.18
Total Area (acres)	0.26	0.00	0.00	0.00	0.00	0.26

Drainage Area Compliance Summary

	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	Total
TP Load Reduced (lb/yr)	0.21	0.00	0.00	0.00	0.00	0.21
TN Load Reduced (lb/yr)	0.00	0.00	0.00	0.00	0.00	0.00

ROUTE PROJECT KKG HOUSE DESIGNER: KAM DATE 6/24/2020

LINE	PIPE	INVERT STA	OUTLET STA	DIAM	LENGTH	AREA	PERCENT	COEFF	CA	INLET TIME	RAIN FALL	RUNOFF	INVERT	ELEVATIONS	LENGTH	SLOPE	SIZE	SHAPE	Number	Capacity	Friction	NORMAL FLOW	FLOW TIME	REMARKS
100	D1-1	2100		0.375	0.90	0.612																		Pack/1

LD-229 STORM SEWER DESIGN COMPUTATIONS PROJECT: KKG HOUSE CITY OF CHARLOTTEVILLE Charottesville
Storm Frequency: 10
Designed by: KAM
Checked by:

PIPE NO.	FROM POINT REFERENCE	TO POINT REFERENCE	DRAIN AREA (A)	RUNOFF COEFF (C)	CA (AxC)	INLET TIME (T)	RAIN FALL (R)	RUNOFF (Q)	INVERT ELEVATIONS		LENGTH (L)	SLOPE (S)	SIZE (D)	SHAPE	Number of Pipes	Capacity (CFS)	Friction (S)	NORMAL FLOW			FLOW TIME (T)	REMARKS		
									UPPER	LOWER								Depth (ft)	Area (ft²)	Vel (ft/s)				
100	SWM OUT	100	0.00	0.00	0.00	0.00	0.00	1.79	547.00	546.56	25.47	0.01728	12	Circular	1	5.07	0.00220	0.41	0.30	0.22	5.90	0.95	0.07	5.07

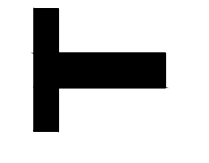
LD-347 HYDRAULIC GRADE LINE ANALYSIS PROJECT: KKG HOUSE DESIGNED BY: KAM
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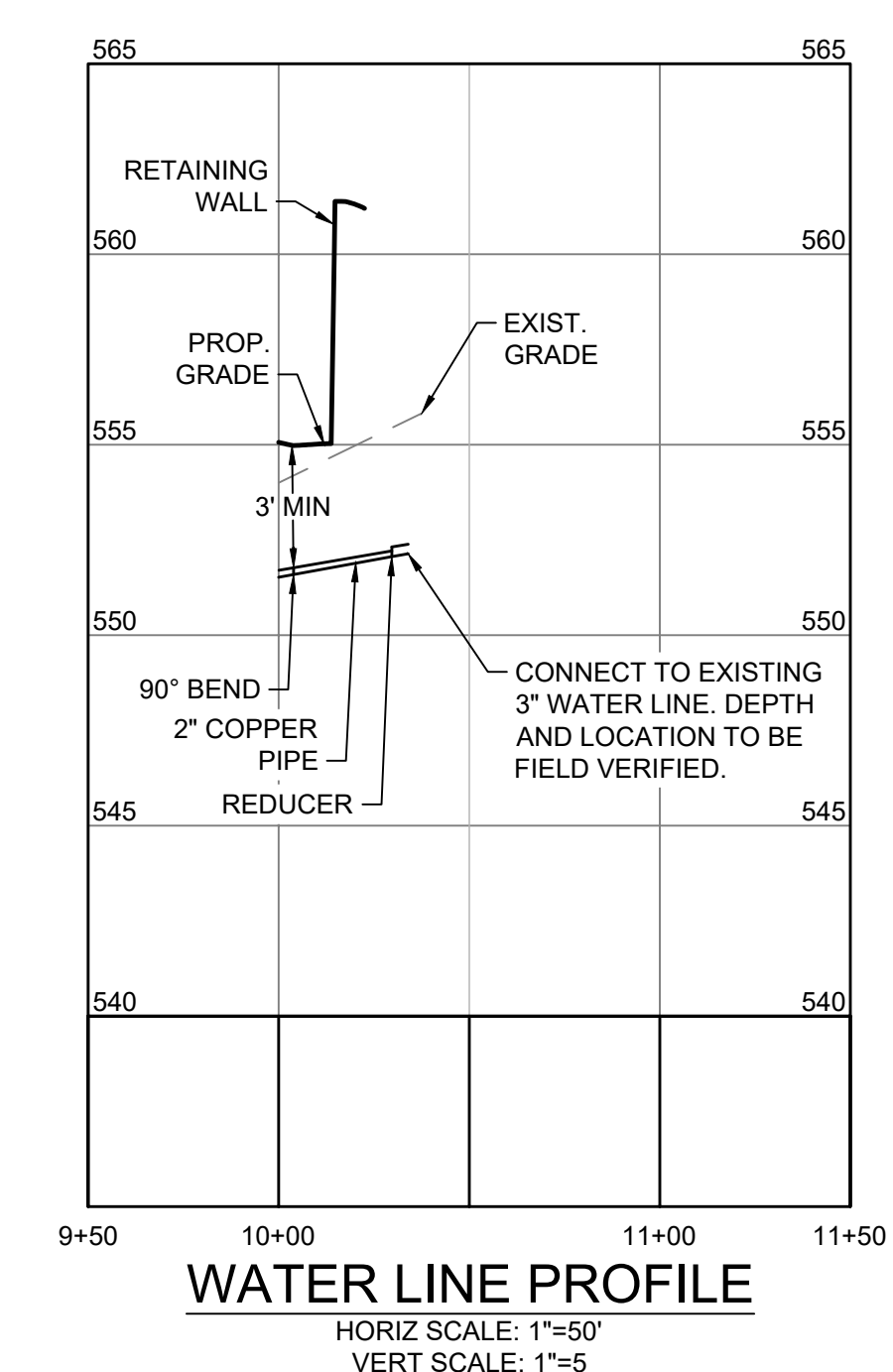
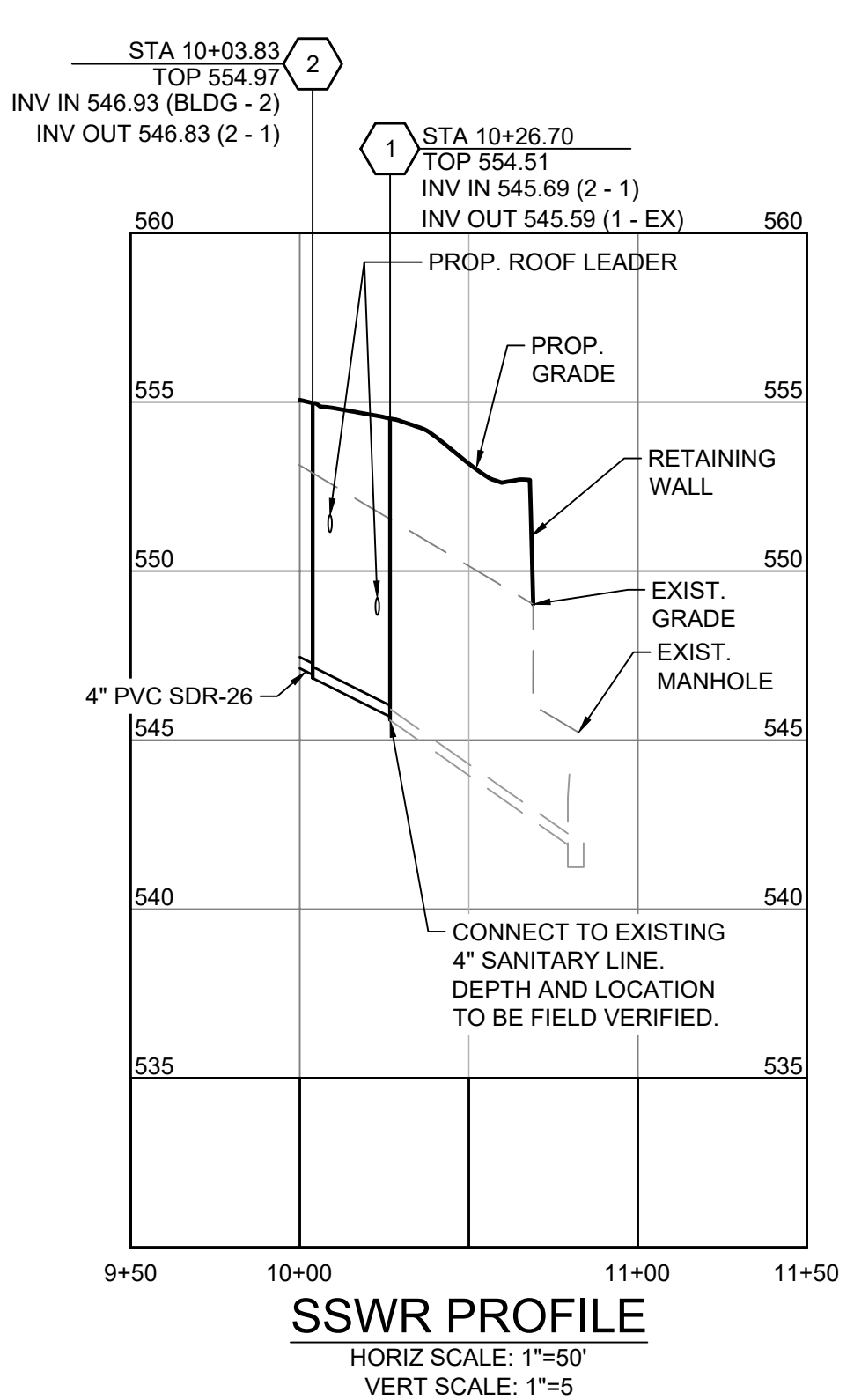
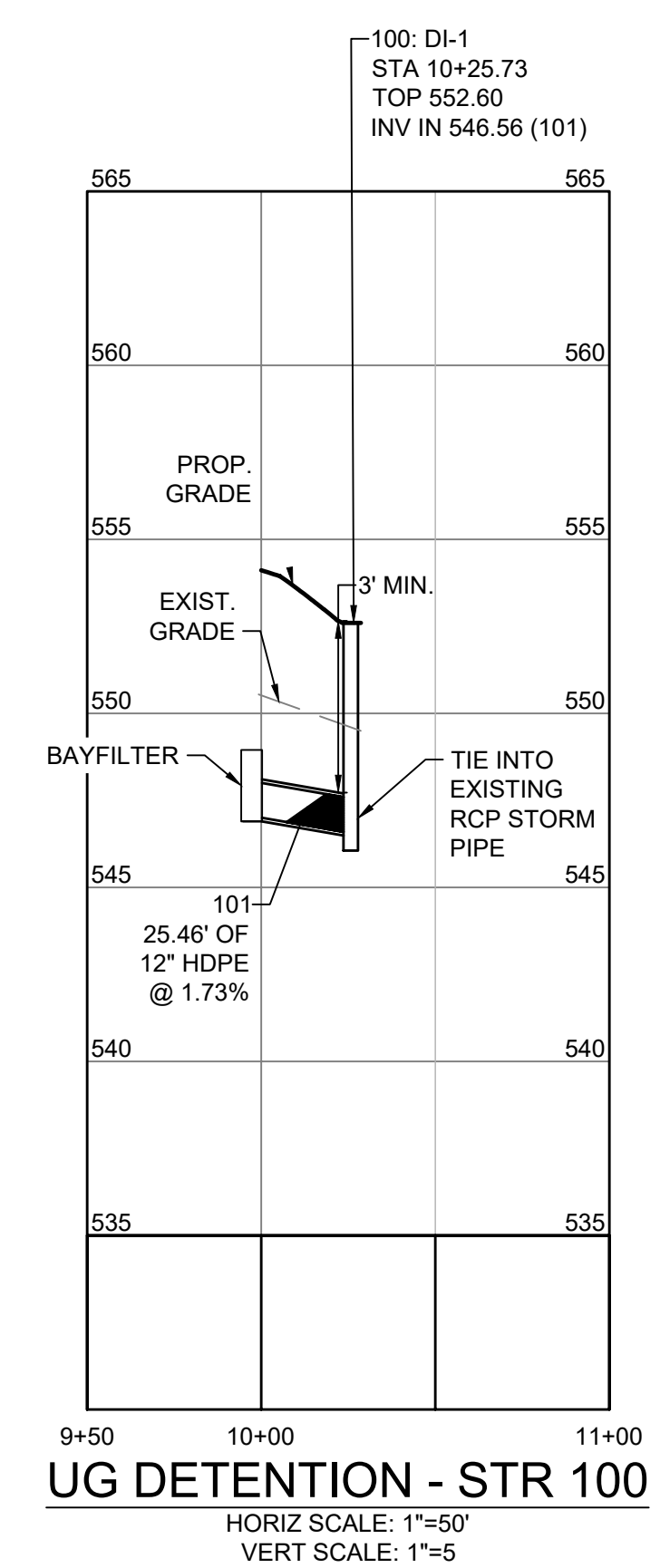
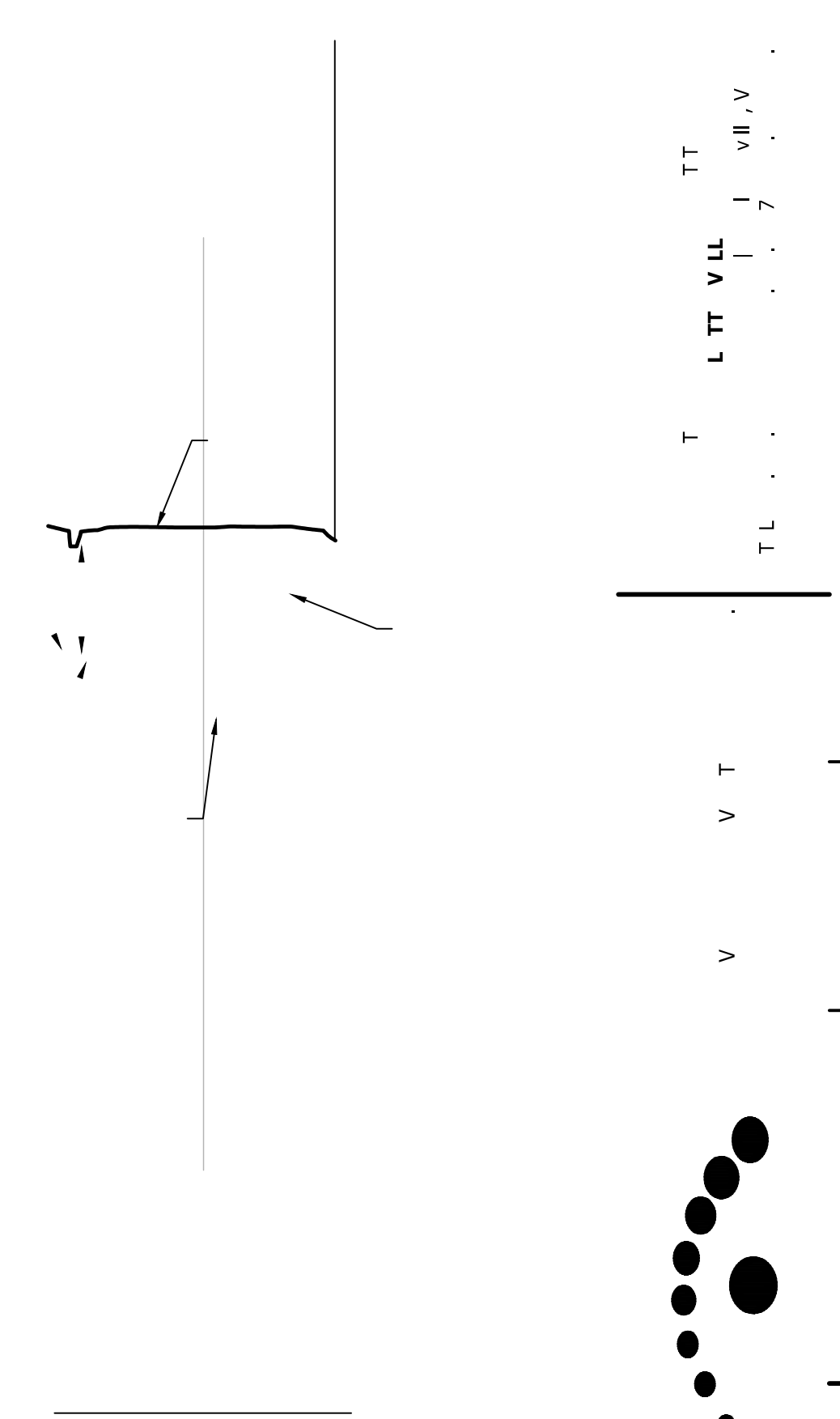
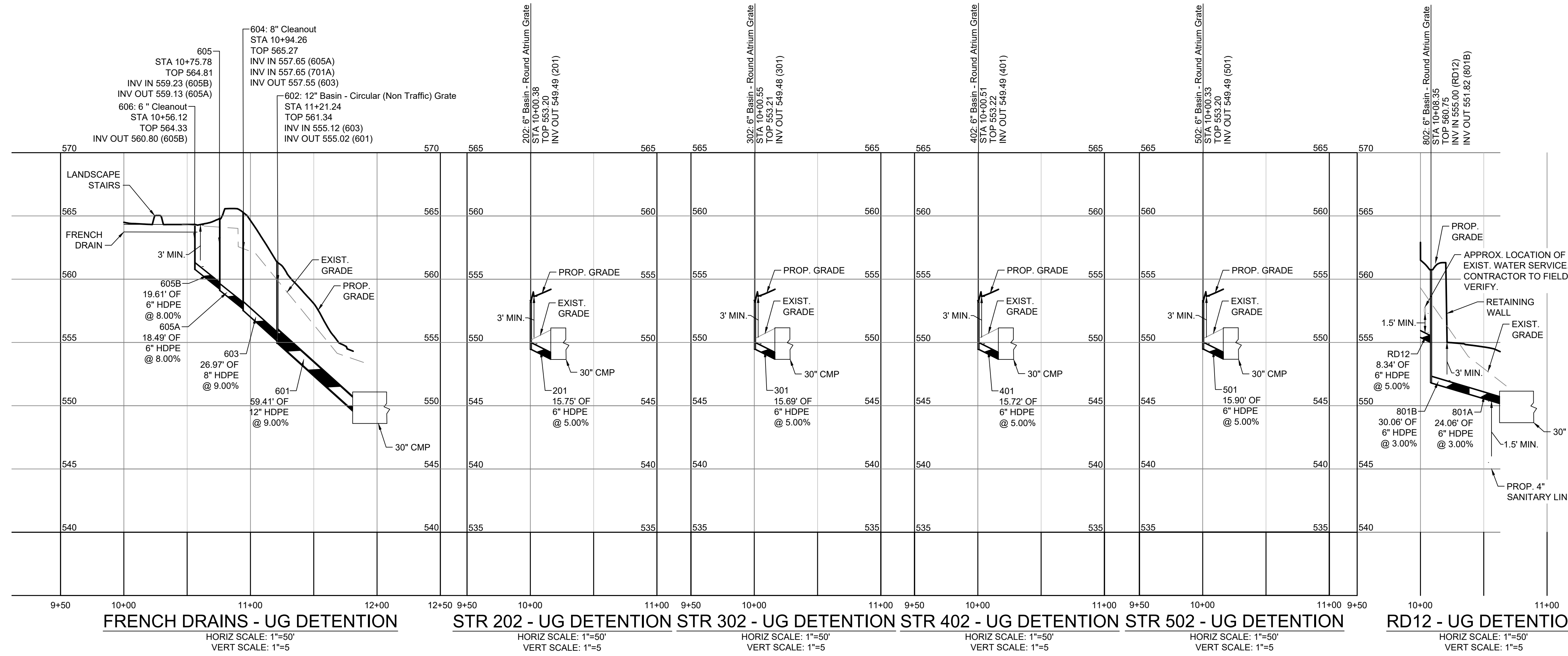
INCIDENCE PROBABILITY 10 Year

INLET OR JUNCTION	STA	INVERT EL	DEPTH OF FLOW	OUTLET WATER SURFACE	DIAM (Do)	DESIGN DISCH (Qd)	LENGTH (L)	FRICTION COEFF (S)	FRICTION LOSS (Hf)	CONTR. LOSS (Hc)	SKEW ANGLE	BEND COEFF (K)	SUM SURFACE FLOW	SURFACE WATER	SHAPING	FINAL WATER SURFACE ELEVATION	INLET WATER SURFACE ELEVATION	TOP OF MH ELEVATION	ADJUSTMENT	
																				Y/N
(1)	(2)																			

LD-347 HYDRAULIC GRADE LINE ANALYSIS PROJECT: KKG HOUSE DESIGNED BY: KAM
Checked:

INLET OR JUNCTION	STA	INVERT EL	DEPTH OF FLOW	OUTLET WATER SURFACE	DIAM (Do)	DESIGN DISCH (Qd)	LENGTH (L)	FRICTION COEFF (S)	FRICTION LOSS (Hf)	CONTR. LOSS (Hc)	SKEW ANGLE	BEND COEFF (K)	SUM SURFACE FLOW	SURFACE WATER	SHAPING	FINAL WATER SURFACE ELEVATION	INLET WATER SURFACE ELEVATION	TOP OF MH ELEVATION	ADJUSTMENT	
																				Y/N
(1)	(2)																			





TIMMONS GROUP

GENERAL NOTES:

- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL REVIEW THE SITE CONDITIONS AND INFORM THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN EXISTING CONDITIONS OR EXISTING GRADES THAT ARE NOT DESCRIBED ON THE PLANS.
- THE CONTRACTOR SHALL ENSURE THAT ALL WORK MEETS ALL APPLICABLE LOCAL AND NATIONAL BUILDING AND SAFETY CODES THAT PERTAIN TO THE PROJECT.
- SEE CIVIL DRAWINGS FOR ALL EXISTING AND PROPOSED UTILITY LOCATIONS
- NEIGHBORHOOD SUPPLY LINES MUST BE LOCATED AND MARKED BY MISS UTILITY PRIOR TO CONSTRUCTION. MISS UTILITY CONTACT: DIAL 811 in VA, or 1-800-552-7001. SEE www.VA811.com.
- VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES IN THE FIELD AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS BETWEEN LAYOUT/GRADING AND UTILITIES PRIOR TO CONSTRUCTION. RESTORATION OF UTILITIES DAMAGED BY CONTRACTOR SHALL BE MADE AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF OWNER.
- CLEAN UP ALL TRASH AND DEBRIS ON THE CONSTRUCTION SITE AT THE END OF EACH DAY. DO NOT DUMP, BURY, OR BURN TRASH ANYWHERE ON THE SITE.
- CONTRACTOR SHALL PAY FOR, OBTAIN AND COMPLY WITH ALL REQUIRED PERMITS, INSPECTIONS AND CERTIFICATES.

TREE PROTECTION AND DEMOLITION NOTES:

- SEE CIVIL DRAWINGS FOR DEMOLITION PLANS AND TREE PROTECTION FENCING LAYOUT AND SPECIFICATION.
- CONSTRUCTION ACCESS TO BE CONSTRAINED TO DESIGNATED ROUTES TO LIMIT SOIL COMPACTION AND SITE IMPACT. REVIEW DESIGNATED ROUTES WITH LANDSCAPE ARCHITECT PRIOR TO BEGINNING WORK.
- APPLY 4" THICKNESS OF ORGANIC MULCH OR WOOD CHIPS IN TREE PROTECTION ZONES. DO NOT PLACE MULCH WITHIN 6" OF TREE TRUNK.
- ALL EXISTING TREES TO REMAIN, INCLUDING TREES ALONG NEIGHBORING PROPERTY LINES, TO BE PROTECTED FROM DAMAGE. NO PARKING, OR STOCKPILING MATERIALS WITHIN THE FENCED TREE PROTECTION ZONE OR DRIP LINE OF EXISTING TREES TO REMAIN.
- IF PROPOSED CONSTRUCTION IS REQUIRED WITHIN THE FENCED TREE PROTECTION ZONE, CONTRACTOR TO REVIEW CONSTRUCTION WITH LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK.
- IF PROPOSED CONSTRUCTION IS REQUIRED IN THE ROOT EXCAVATION ZONE APPLY ALTERNAMATS OR APPROVED ALTERNATIVE
- IN ROOT EXCAVATION ZONE WHERE DIGGING IS REQUIRED, PERFORM ALL NECESSARY ROOT PRUNING WITH COMPRESSED AIR TOOLS AFTER SUBBASE OR FOOTING IS INSTALLED TO REVEAL ROOT LOCATIONS
- IF ROOT PRUNING IS NECESSARY, NOTIFY LANDSCAPE ARCHITECT. SAW CUT ALL IMPACTED ROOTS OVER 1" DIA. WITH CLEAN SHARP BLADE. IF ANY ROOTS GREATER THAN 2" DIA. NEED TO BE REMOVED, COORDINATE WITH ARBORIST.
- IF DAMAGE TO OVERHEAD BRANCHES OCCURS, NOTIFY OWNER AND LANDSCAPE ARCHITECT. CONSULT WITH ARBORIST BEFORE PERFORMING ANY PRUNING OR OTHER REMEDIATION.

GRADING AND DRAINAGE NOTES:

- COORDINATE GRADING WITH CIVIL DRAWINGS.
- VERIFY ALL EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT. SLOPE AWAY FROM ALL BUILDINGS.
- PROVIDE VERTICAL CURVES OR ROUNDINGS AT ABRUPT CHANGES IN GRADE UNLESS OTHERWISE NOTED. BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING.
- ALL PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM OF 1%. NON-PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM OF 2%. REPORT ANY DISCREPANCIES NOT ALLOWING THIS TO OCCUR TO THE LANDSCAPE ARCHITECT PRIOR TO CONTINUING WORK.
- BACKFILL AT RETAINING WALLS MUST BE FREE OF STONES AND BUILDING MATERIAL FOR A MINIMUM OF 24" BELOW FINISHED GRADE. COORDINATE WITH LANDSCAPE ARCHITECT.

SUBMITTALS AND SHOP DRAWINGS

- SUBMIT SHOP DRAWINGS AS NOTED IN DRAWINGS.
- SUBMIT PRODUCT DATA, CUT SHEETS AND SAMPLES OF ALL MATERIALS AS REQUESTED IN DRAWINGS AND SPECS.

SOILS NOTES:

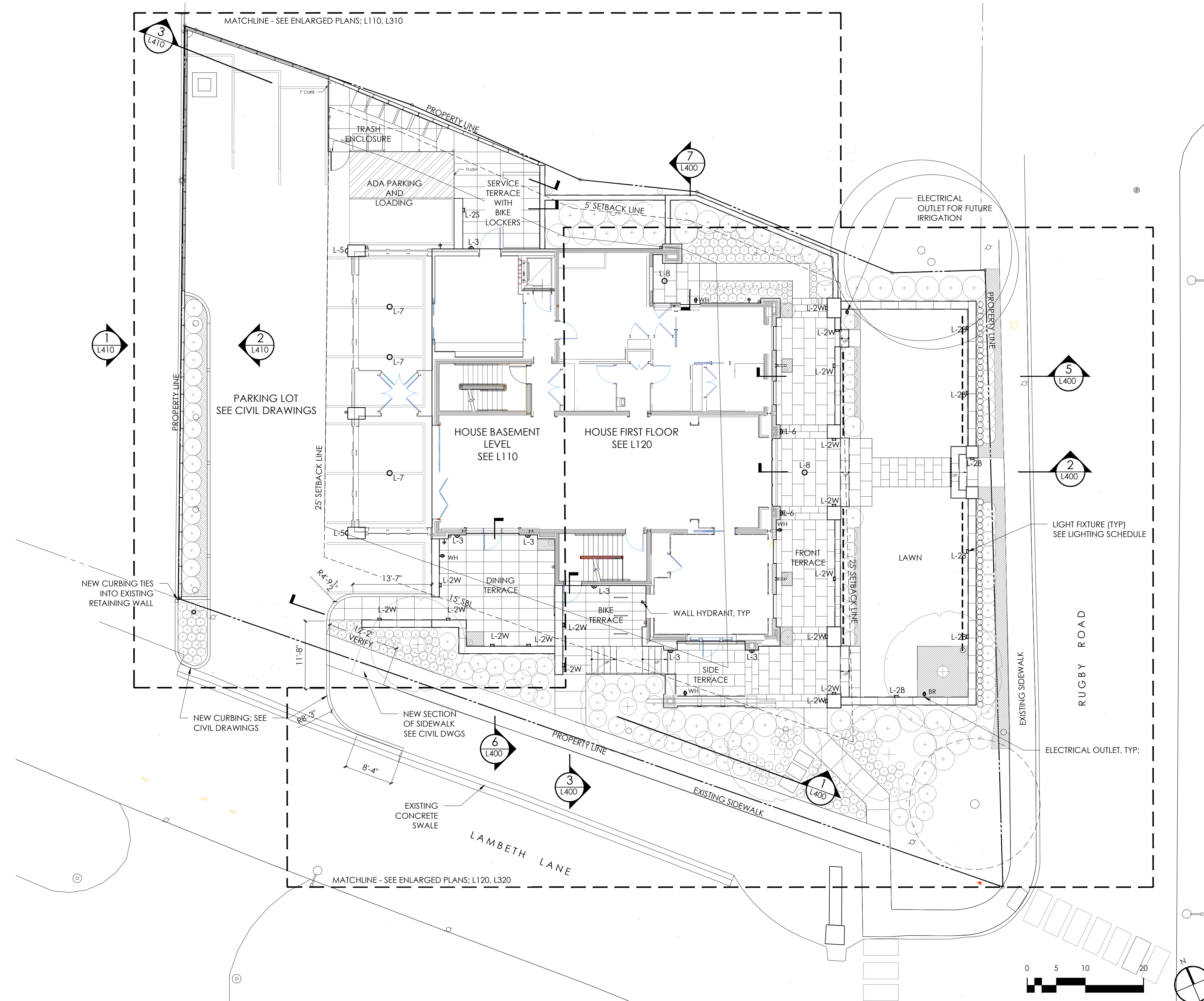
- CONTRACTOR SHALL PROTECT ALL SOIL AND ANY NEWLY INSTALLED PLANTS FROM CONSTRUCTION ACTIVITY. ALL SOIL AND PLANTING SHALL BE INSTALLED AFTER SUBSTANTIAL COMPLETION OF HARDSCAPE, UTILITY, AND OTHER WORK UNLESS APPROVED BY LANDSCAPE ARCHITECT.
- ALL SOIL AND DRAINAGE AGGREGATE SHALL BE PREPARED AND INSTALLED PER DRAWINGS AND SPECIFICATIONS. CONTRACTOR TO INSTALL TOPSOIL TO DEPTHS AS DESIGNATED ON THE DRAWINGS.
- CONTRACTOR TO SET TOPSOIL 2" BELOW FINISH GRADE IN PLANTING BEDS AND LEVEL WITH FINISH GRADE IN LAWN AREAS.
- RIP HEAVILY COMPACTED AREAS TO A 6" - 8" DEPTH. RIP WITH TEETH OF BUCKET, 2 PASSES, PRIOR TO PLACING TOPSOIL.
- DO NOT UNNECESSARILY WALK ON OR STORE MATERIALS IN PREPARED TOPSOIL AREAS. FENCE WITH SNOW FENCING IF REQUESTED BY LANDSCAPE ARCHITECT.
- PLANT INSTALLATION IS BY OWNER. SEE SHEET L600 FOR PLANTING INFORMATION.

LAYOUT AND MATERIALS NOTES:

- VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION. NOTIFY LANDSCAPE ARCHITECT IF ANY DISCREPANCIES ARE FOUND.
- ALL ANGLES ARE ASSUMED TO BE 90 DEGREES UNLESS NOTED OTHERWISE. DIMENSIONS ARE FROM FACE OF HOUSE OR FINISH WALL UNLESS OTHERWISE NOTED.
- ALIGN WALLS AND PAVING WITH ARCHITECTURE AS SHOWN. DIMENSIONS TAKEN OFF EXISTING ARCHITECTURAL ELEMENTS ARE FOR REFERENCE AND SHOULD BE VERIFIED IN THE FIELD.
- ALL CURVES ARE TANGENT UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL FINISH AND MASONRY MATERIALS WITH LANDSCAPE ARCHITECT AND PROVIDE SAMPLES PRIOR TO ORDERING.
- CONTRACTOR SHALL PREPARE MOCKUPS OR SAMPLE INSTALLATIONS AS NOTED OF ALL PROPOSED MASONRY FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- ALL NEW PAVING TO MEET EXISTING PAVING FLUSH AND SMOOTH.
- CONCRETE FOOTINGS AND SLABS SHALL BE SIZED IN ACCORDANCE WITH DETAILS AND SPECIFICATIONS SET FORTH. FOOTINGS AND SLABS SHALL NOT BE OVERPOURED.
- PROVIDE SLEEVING IN WALLS AND UNDER PAVING AS NEEDED FOR UTILITIES.
- ALL WALL VENEER TO CONTINUE A MINIMUM OF 6" BELOW FINISH GRADE.
- STRUCTURAL DETAILING OF WALLS, STEPS, PAVING IS SHOWN IN DETAILS. IF CONTRACTOR PROPOSES ALTERNATE DETAILING, IT MUST BE STAMPED BY A STRUCTURAL ENGINEER.
- ELEMENTS SHALL BE CONSTRUCTED TO WITHIN 1/8" OF SPECIFIED DIMENSIONS.
- DO NOT SCALE DRAWINGS TO ESTABLISH HORIZONTAL OR VERTICAL LAYOUT CONTROL. CONSULT LANDSCAPE ARCHITECT WHERE ADDITIONAL INFORMATION IS REQUIRED.
- FACE BRICK ON ALL PAINTED SITE WALLS TO MATCH BRICK ON HOUSE. PAINTED AND UNPAINTED BRICK COPING; GEORGETOWNE BY OLD CAROLINA BRICK COMPANY, OVERSIZE 8.5" X 2.75" X 4". UNPAINTED FACE BRICK ON SITE WALLS: GEORGETOWNE BY OLD CAROLINA BRICK COMPANY; MODULAR BRICK 7.625" X 2.25" X 3.625". PROVIDE SAMPLES.
- PAINTED SITE WALLS TO MATCH HOUSE. SEE ARCHITECTURE DRAWINGS FOR PAINT SPECIFICATION. USE RECOMMENDED PRIMER AS SPECIFIED BY MANUFACTURER.
- FORMWORK FOR STAMPED BRICK #5018 BY CUSTOMROCK.

LIGHTING AND ELECTRICAL NOTES:

- SEE ELECTRICAL DRAWINGS.
- SEE LIGHTING SCHEDULE FOR ALL EXTERIOR FIXTURE TYPES. SUBMIT CUT SHEETS FOR APPROVAL PRIOR TO ORDERING FIXTURES.
- INSTALL FIXTURES PER MANUFACTURER'S RECOMMENDATION AND ACCORDING TO ALL APPLICABLE ELECTRICAL CODES.
- EXTERIOR LIGHTING TRANSFORMER BOXES IF USED TO BE STAINLESS STEEL.
- REVIEW EXTERIOR TRANSFORMER LOCATIONS WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. LOCATE TRANSFORMERS SO THAT THEY ARE NOT VISIBLE AND DO NOT IMPACT FUTURE PLANTING INSTALLATIONS.
- SEE ELECTRICAL DRAWINGS FOR SWITCHING INFORMATION.
- SEE ELECTRICAL DRAWINGS FOR ELECTRICAL OUTLET SPECIFICATIONS. OUTLETS TO BE FLUSH MOUNTED GFCI. PROVIDE CUT SHEET.

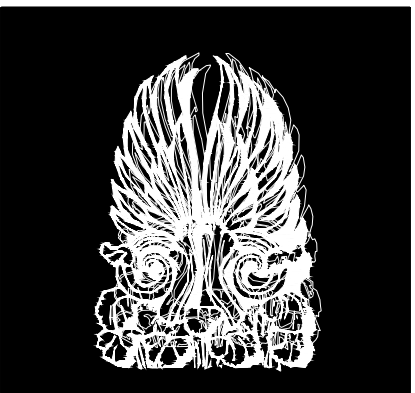
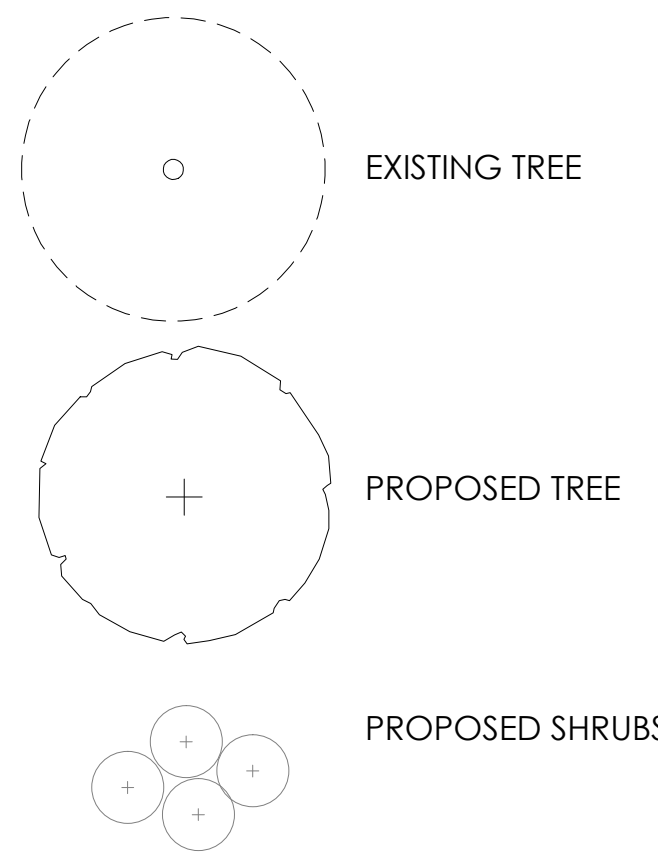


LIGHTING SCHEDULE:

- L-2B BEGA WALL LIGHT - 33-017-K27-BRZ (BRONZE FINISH)
- L-2S BEGA WALL LIGHT - 33-017-K27-SLV (SILVER FINISH)
- L-2W BEGA WALL LIGHT - 33-017-K27-WHT (WHITE FINISH)
- L-3 BEGA WALL SCONCE 66516 -K3000 - BRZ; SEE ARCH DWGS
- L-5 BEGA DOWNLIGHT SCONCE - 66-410-K27-BRZ; SEE ARCH DWGS
- L-6 BEGA COPPER SCONCE - 31-228-K3000-NATURAL; SEE ARCH DWGS
- L-7 SCS-S SERIES SURFACE MOUNT LED; SEE ARCH DWGS
- L-8 BEGA CEILING MOUNT - 33523 - K3000 - BRZ; SEE ARCH DWGS

SYMBOLS:

- ELECTRIC OUTLET - GFCI; FLUSH MOUNT IN BRICK +/- 12" ABOVE GRADE; SET WITHIN BRICK COURSE. (WH) WHITE OR (BR) BRONZE AS NOTED
- † WALL HYDRANT - SEE PLUMBING DRAWINGS. FINISH TO BE POLISHED BRONZE FACE; MOUNT 24" ABOVE GRADE.



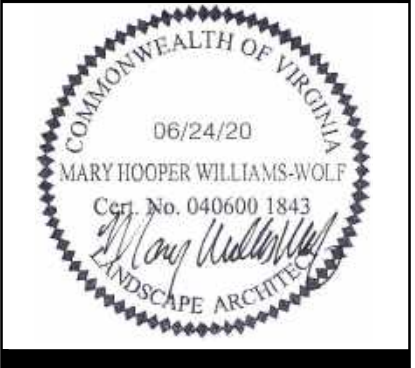
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310 2nd Street, SE, Suite F, Charlottesville, VA 22902
PHONE: 434.466.7472



FINAL SITE PLAN

**EPSILON SIGMA HOUSE OF
KAPPA KAPPA GAMMA**
503 RUGBY ROAD
Charlottesville, VA

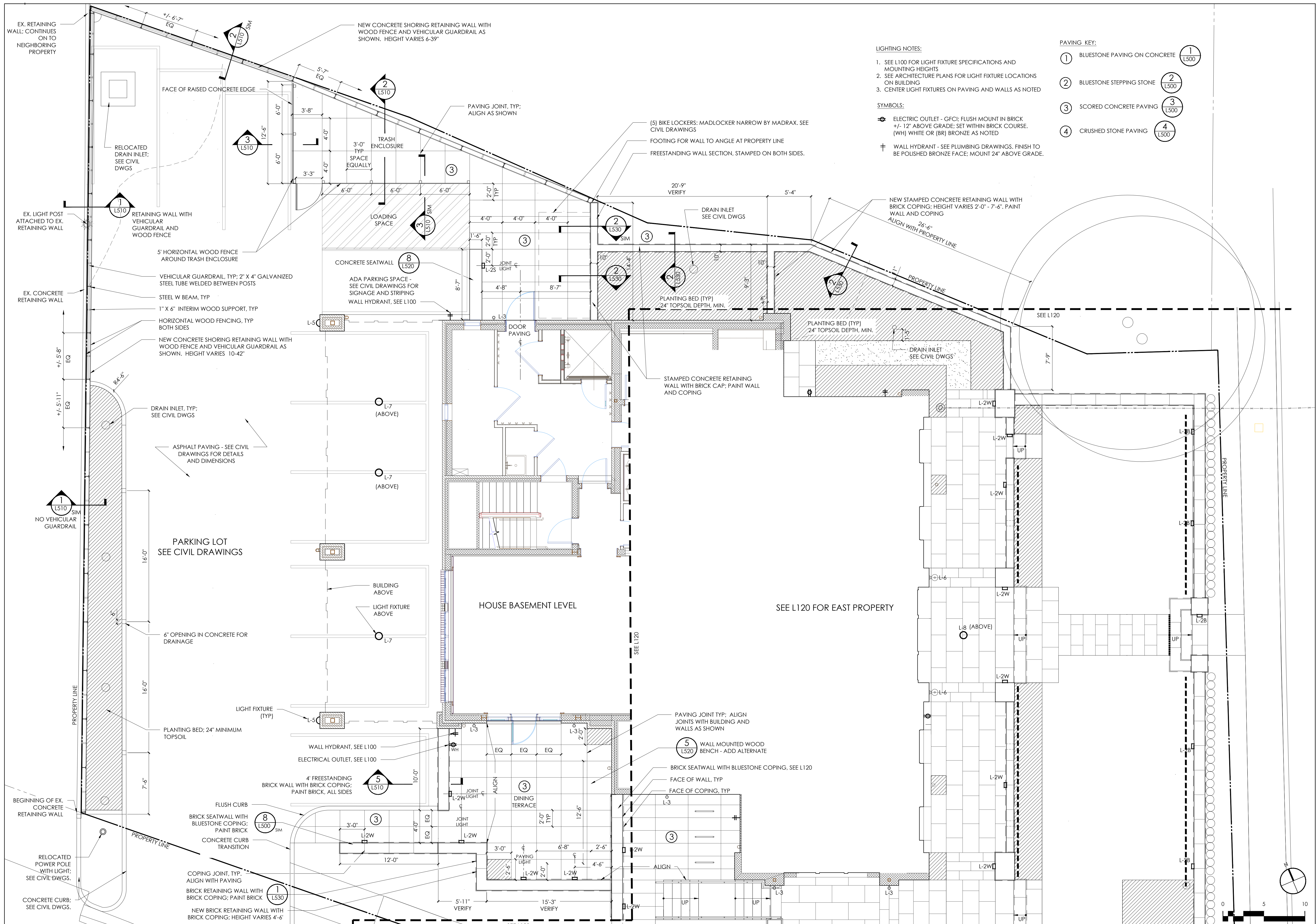
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**L100
Overall Site Plan**

PROJECT 1810
DATE 06/24/2020

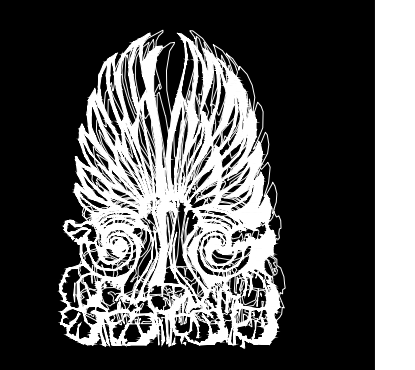
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L100



- LIGHTING NOTES:**
- SEE L100 FOR LIGHT FIXTURE SPECIFICATIONS AND MOUNTING HEIGHTS
 - SEE ARCHITECTURE PLANS FOR LIGHT FIXTURE LOCATIONS ON BUILDING
 - CENTER LIGHT FIXTURES ON PAVING AND WALLS AS NOTED
- SYMBOLS:**
- ELECTRIC OUTLET - GFCI; FLUSH MOUNT IN BRICK +/- 12" ABOVE GRADE; SET WITHIN BRICK COURSE. (WH) WHITE OR (BR) BRONZE AS NOTED
 - WALL HYDRANT - SEE PLUMBING DRAWINGS. FINISH TO BE POLISHED BRONZE FACE; MOUNT 24" ABOVE GRADE.

- PAVING KEY:**
- 1 BLUESTONE PAVING ON CONCRETE (L500)
 - 2 BLUESTONE STEPPING STONE (L500)
 - 3 SCORED CONCRETE PAVING (L500)
 - 4 CRUSHED STONE PAVING (L500)



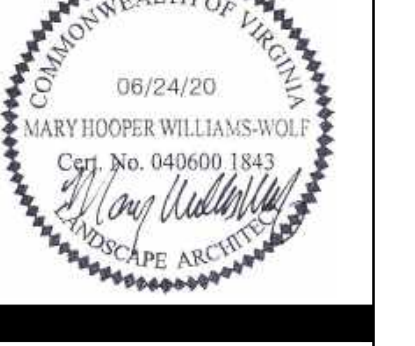
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FINAL SITE PLAN

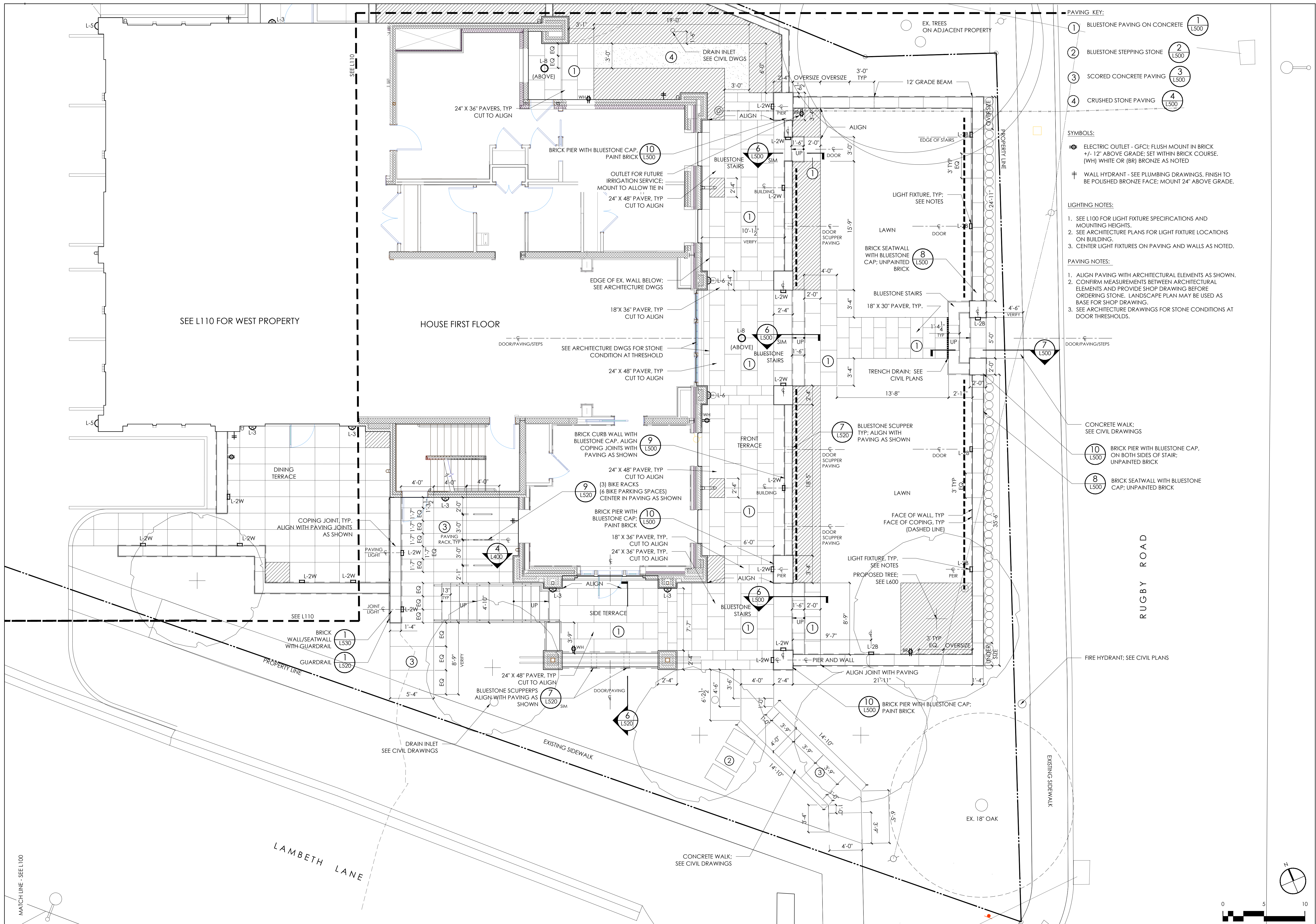
**EPSILON SIGMA HOUSE OF
 KAPPA KAPPA GAMMA**
 503 RUGBY ROAD
 Charlottesville, VA

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L110
 Layout and Materials
 West

PROJECT	L110	
DATE	06/24/2020	
REVISIONS		
MARK	DATE	DESCRIPTION

L110



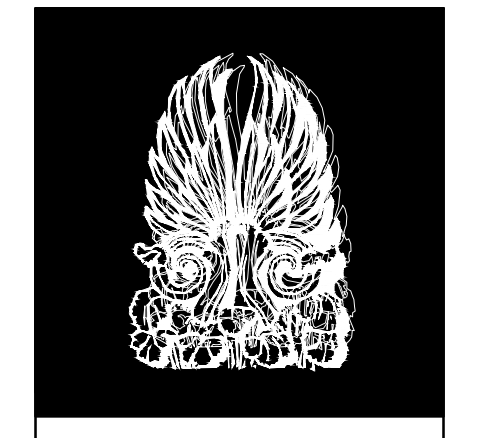
- PAVING KEY:**
- ① BLUESTONE PAVING ON CONCRETE (L500)
 - ② BLUESTONE STEPPING STONE (L500)
 - ③ SCORED CONCRETE PAVING (L500)
 - ④ CRUSHED STONE PAVING (L500)

- SYMBOLS:**
- ⊖ ELECTRIC OUTLET - GFCI; FLUSH MOUNT IN BRICK +/- 12" ABOVE GRADE; SET WITHIN BRICK COURSE. (WH) WHITE OR (BR) BRONZE AS NOTED
 - ⊕ WALL HYDRANT - SEE PLUMBING DRAWINGS. FINISH TO BE POLISHED BRONZE FACE; MOUNT 24" ABOVE GRADE.

- LIGHTING NOTES:**
1. SEE L100 FOR LIGHT FIXTURE SPECIFICATIONS AND MOUNTING HEIGHTS.
 2. SEE ARCHITECTURE PLANS FOR LIGHT FIXTURE LOCATIONS ON BUILDING.
 3. CENTER LIGHT FIXTURES ON PAVING AND WALLS AS NOTED.

- PAVING NOTES:**
1. ALIGN PAVING WITH ARCHITECTURAL ELEMENTS AS SHOWN.
 2. CONFIRM MEASUREMENTS BETWEEN ARCHITECTURAL ELEMENTS AND PROVIDE SHOP DRAWING BEFORE ORDERING STONE. LANDSCAPE PLAN MAY BE USED AS BASE FOR SHOP DRAWING.
 3. SEE ARCHITECTURE DRAWINGS FOR STONE CONDITIONS AT DOOR THRESHOLDS.

- ⑩ BRICK PIER WITH BLUESTONE CAP, ON BOTH SIDES OF STAIR; UNPAINTED BRICK
- ⑧ BRICK SEATWALL WITH BLUESTONE CAP; UNPAINTED BRICK



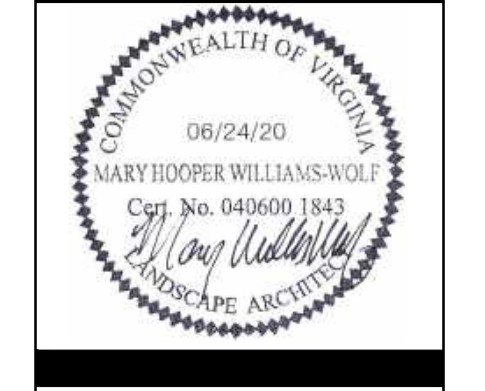
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FINAL SITE PLAN

**EPSILON SIGMA HOUSE OF
 KAPPA KAPPA GAMMA**
 503 RUGBY ROAD
 Charlottesville, VA

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L120
 Layout and Materials
 East

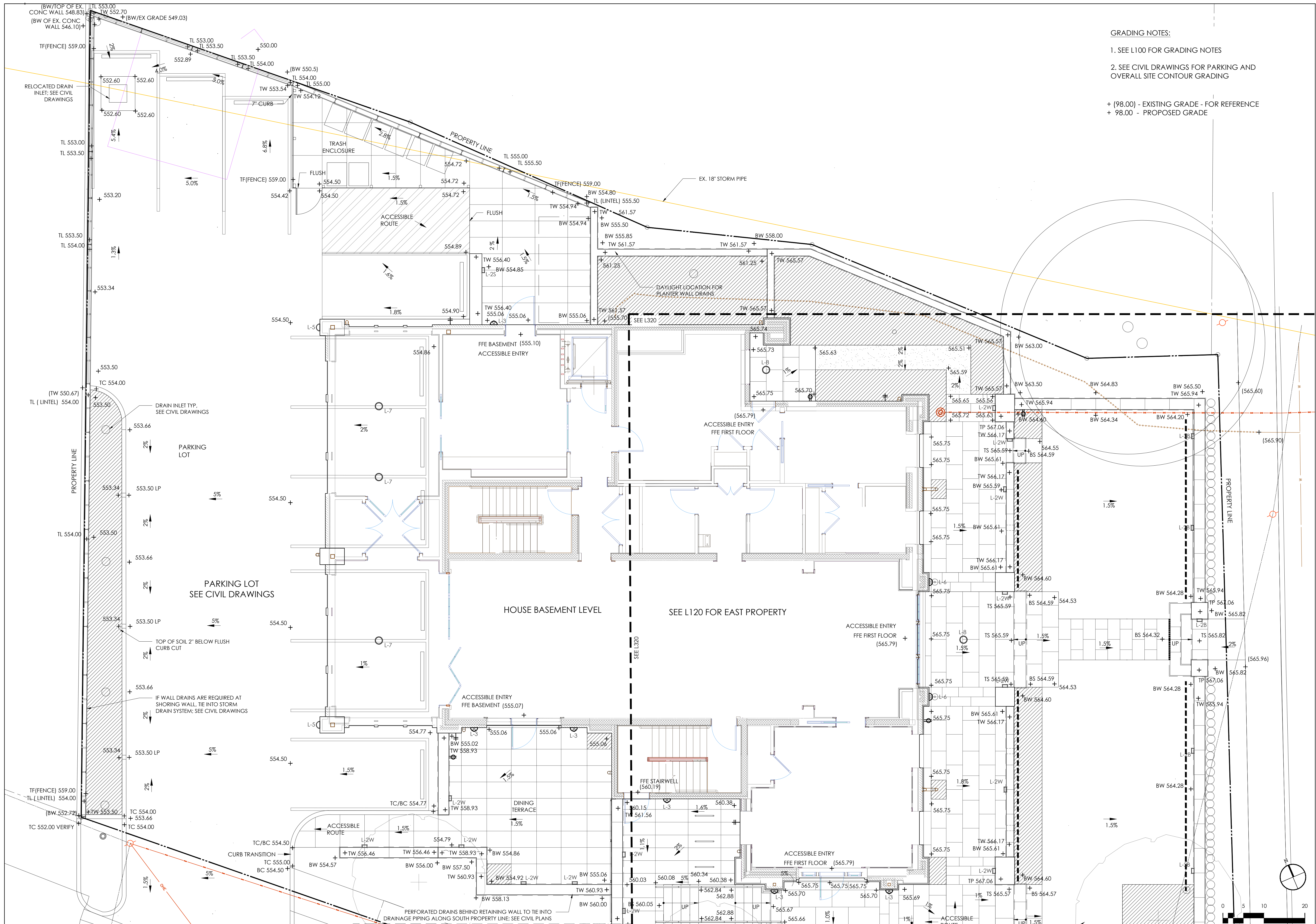
PROJECT 1810

DATE 06/24/2020

REVISIONS

MARK	DATE	DESCRIPTION

L120



GRADING NOTES:
 1. SEE L100 FOR GRADING NOTES
 2. SEE CIVIL DRAWINGS FOR PARKING AND OVERALL SITE CONTOUR GRADING

+ (98.00) - EXISTING GRADE - FOR REFERENCE
 + 98.00 - PROPOSED GRADE



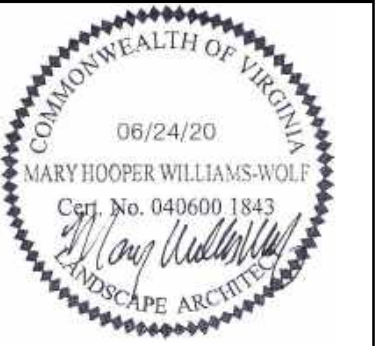
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FINAL SITE PLAN

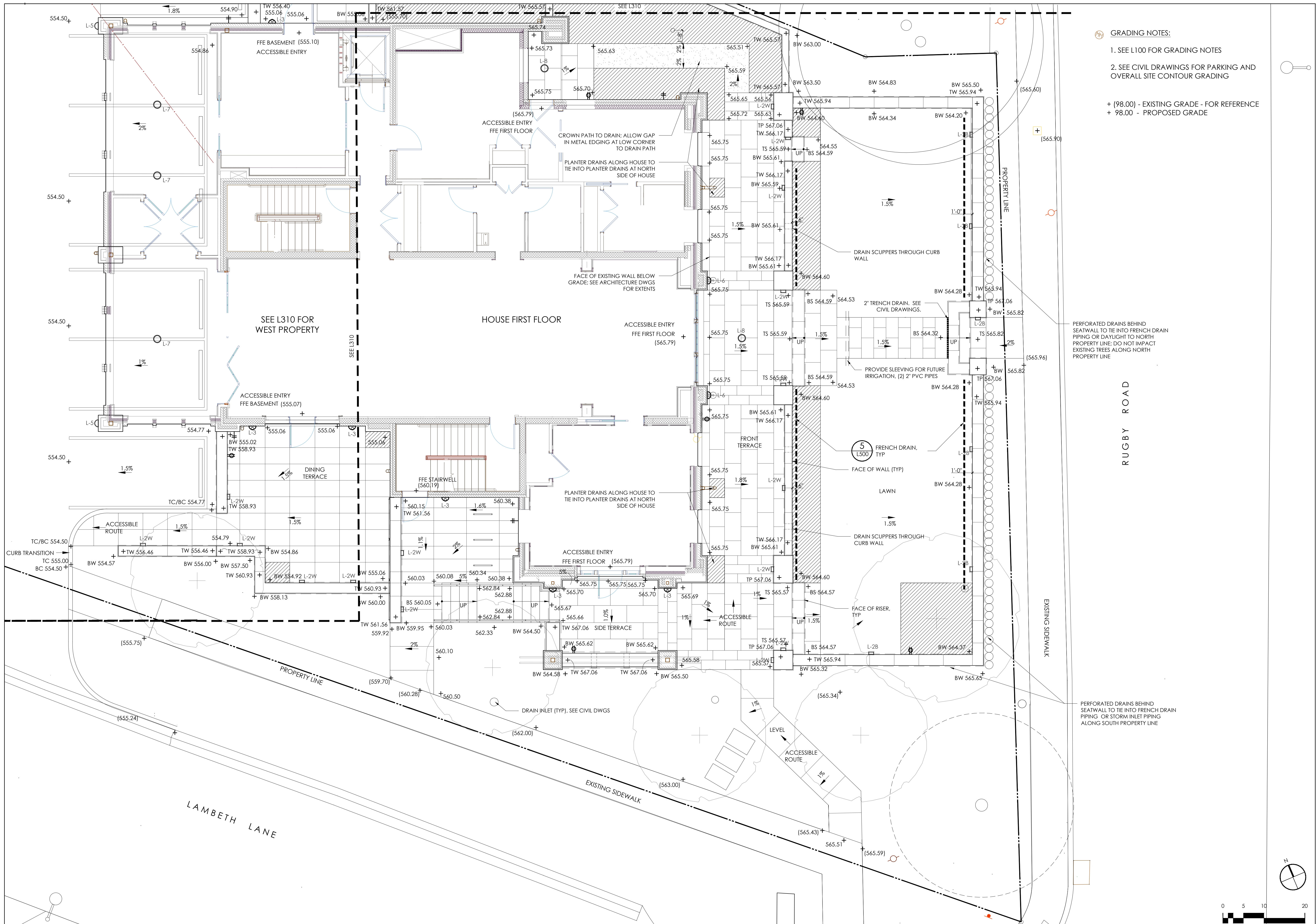
**EPSILON SIGMA HOUSE OF
 KAPPA KAPPA GAMMA**
 503 RUGBY ROAD
 Charlottesville, VA

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**L310
 Grading Plan**

PROJECT		1810
DATE		06/24/2020
REVISIONS	MARK	DATE

L310



GRADING NOTES:
 1. SEE L100 FOR GRADING NOTES
 2. SEE CIVIL DRAWINGS FOR PARKING AND OVERALL SITE CONTOUR GRADING

+ (98.00) - EXISTING GRADE - FOR REFERENCE
 + 98.00 - PROPOSED GRADE

PERFORATED DRAINS BEHIND SEATWALL TO TIE INTO FRENCH DRAIN PIPING OR DAYLIGHT TO NORTH PROPERTY LINE; DO NOT IMPACT EXISTING TREES ALONG NORTH PROPERTY LINE

PERFORATED DRAINS BEHIND SEATWALL TO TIE INTO FRENCH DRAIN PIPING OR STORM INLET PIPING ALONG SOUTH PROPERTY LINE



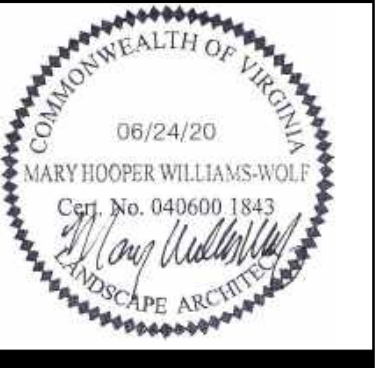
MITCHELL / MATTHEWS
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 300 TWIN SPONDRELS LANE, CHARLOTTEVILLE, VA 22903
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FINAL SITE PLAN

EPSILON SIGMA HOUSE OF KAPPA KAPPA GAMMA
 503 RUGBY ROAD
 Charlottesville, VA

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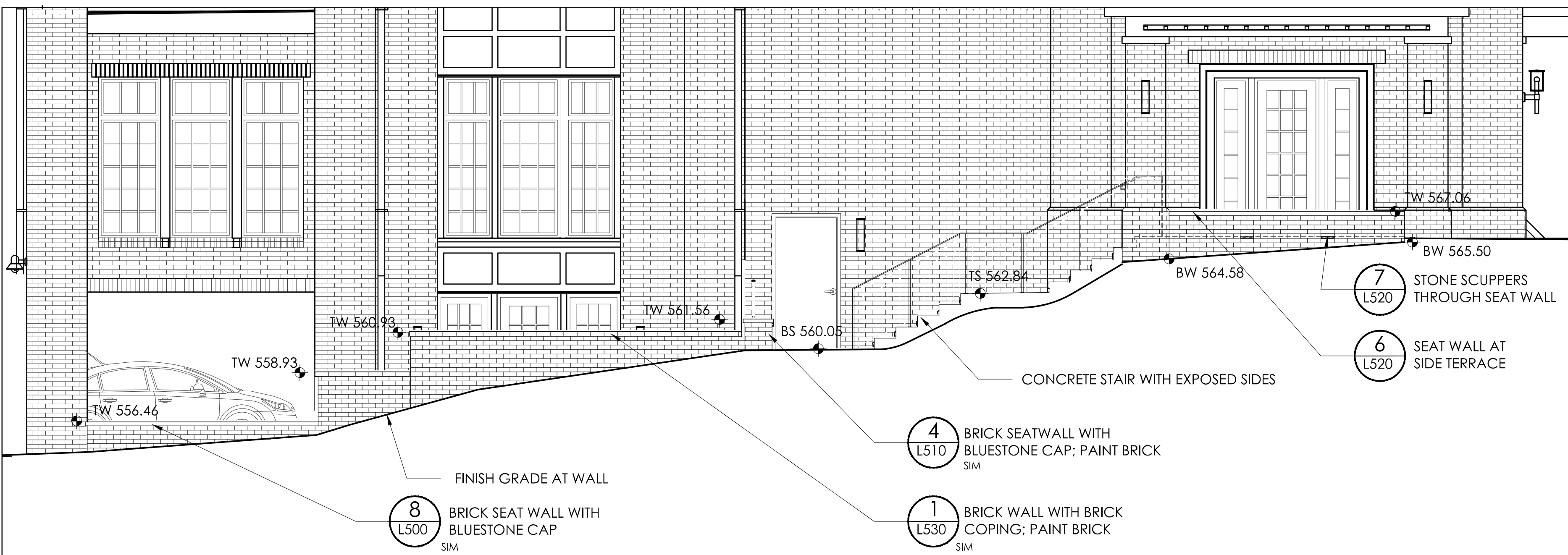
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 Grading Plan

MARK	DATE	DESCRIPTION

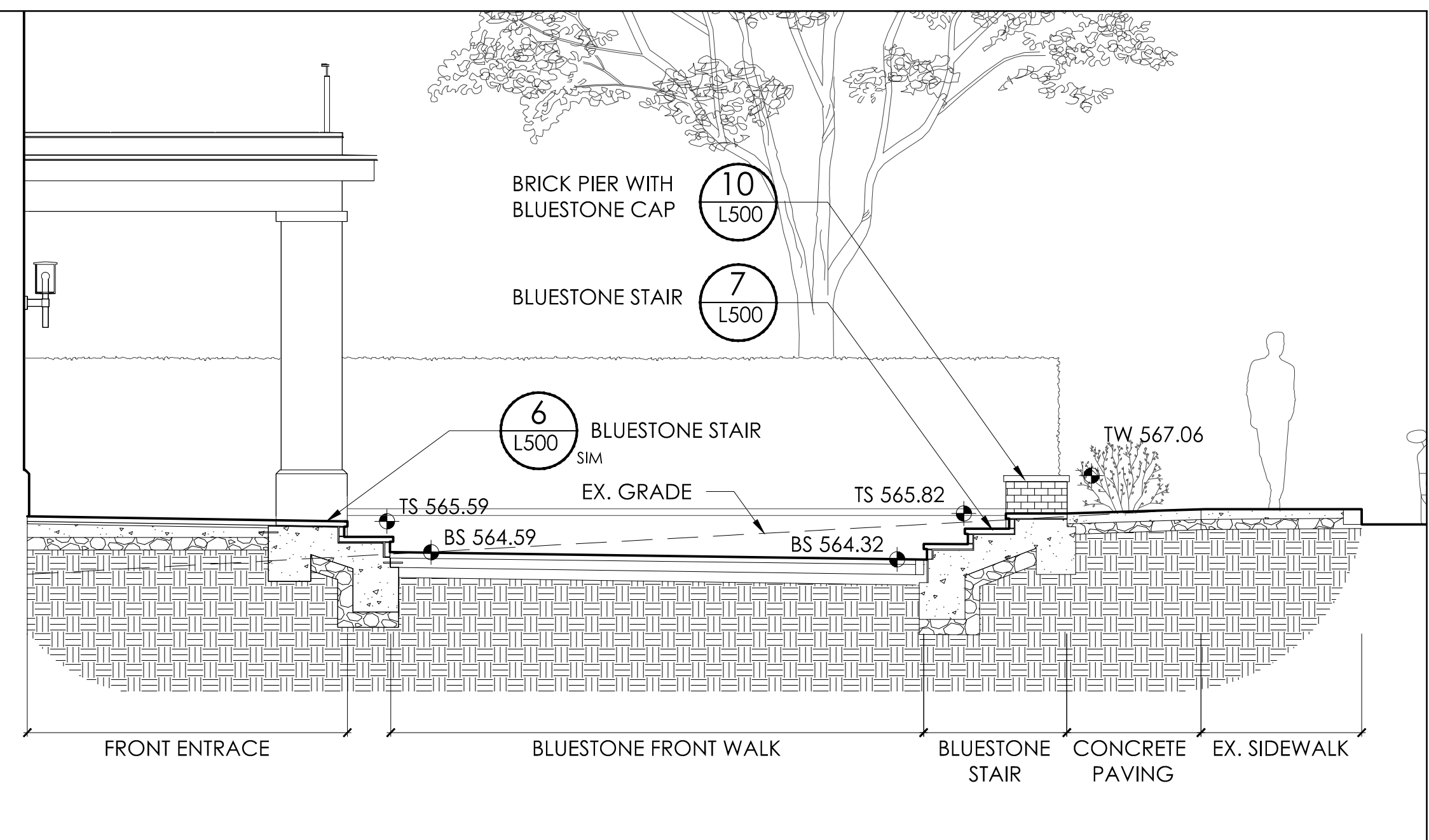
L320

PROJECT 1810

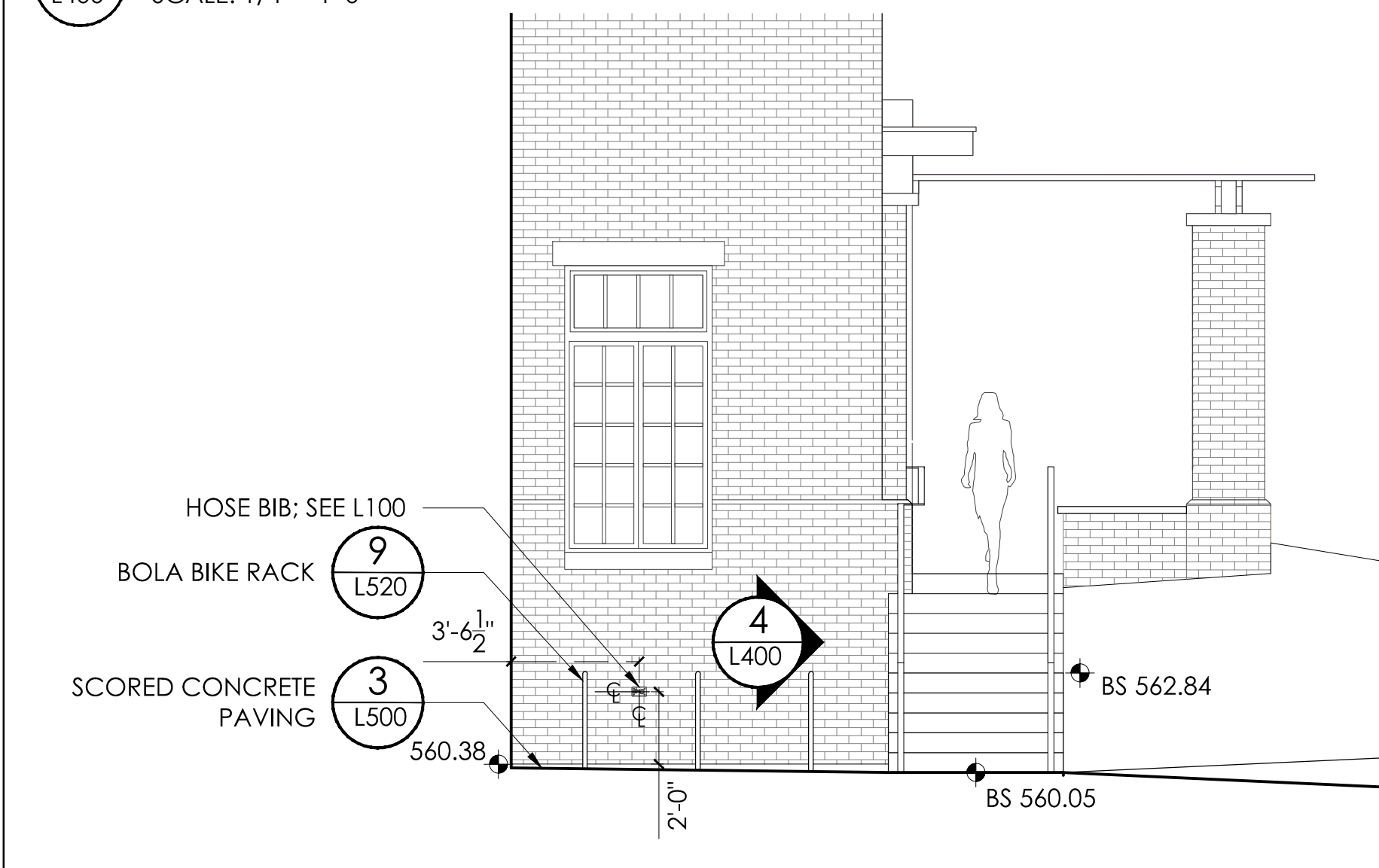
DATE 06/24/2020



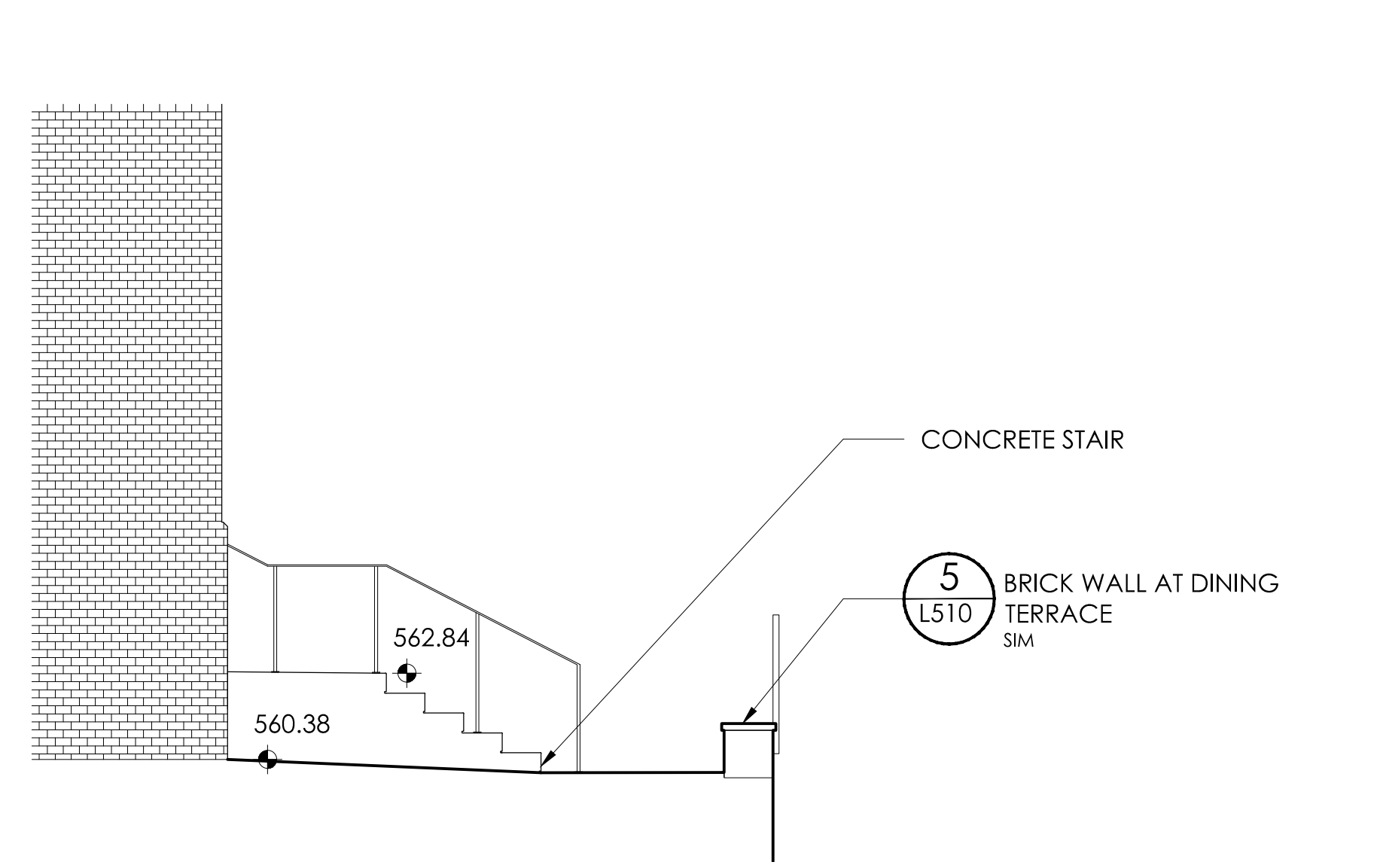
1 ELEVATION FROM LAMBETH LANE
SCALE: 1/4" = 1'-0"



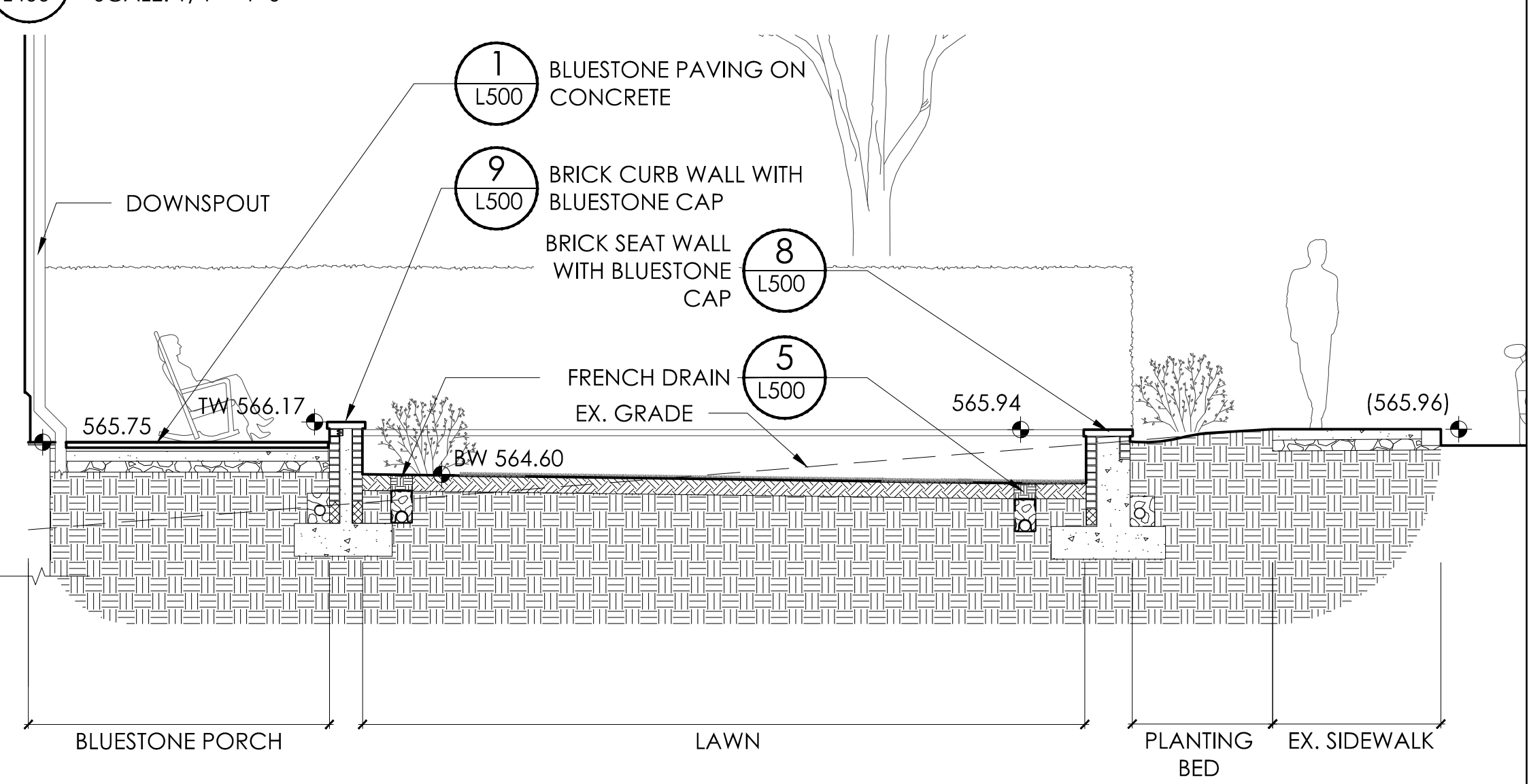
2 SECTION THROUGH ENTRY WALK FACING NORTH
SCALE: 1/4" = 1'-0"



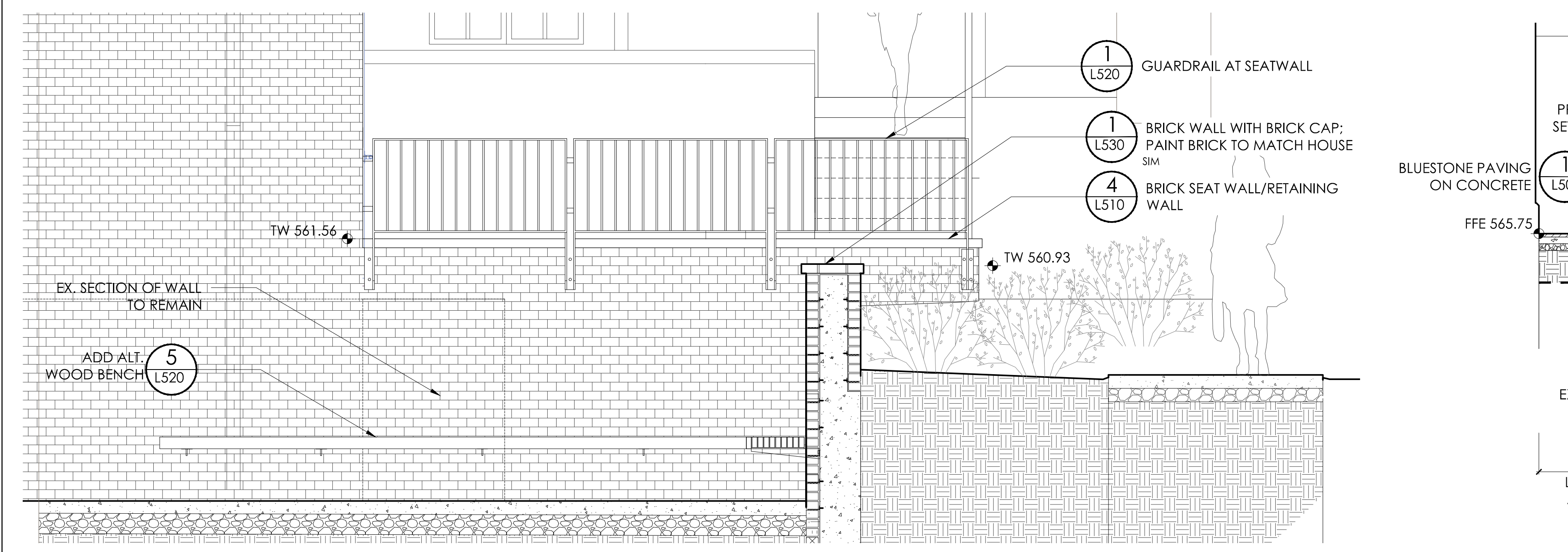
3 SECTION THROUGH BIKE TERRACE FACING EAST
SCALE: 1/4" = 1'-0"



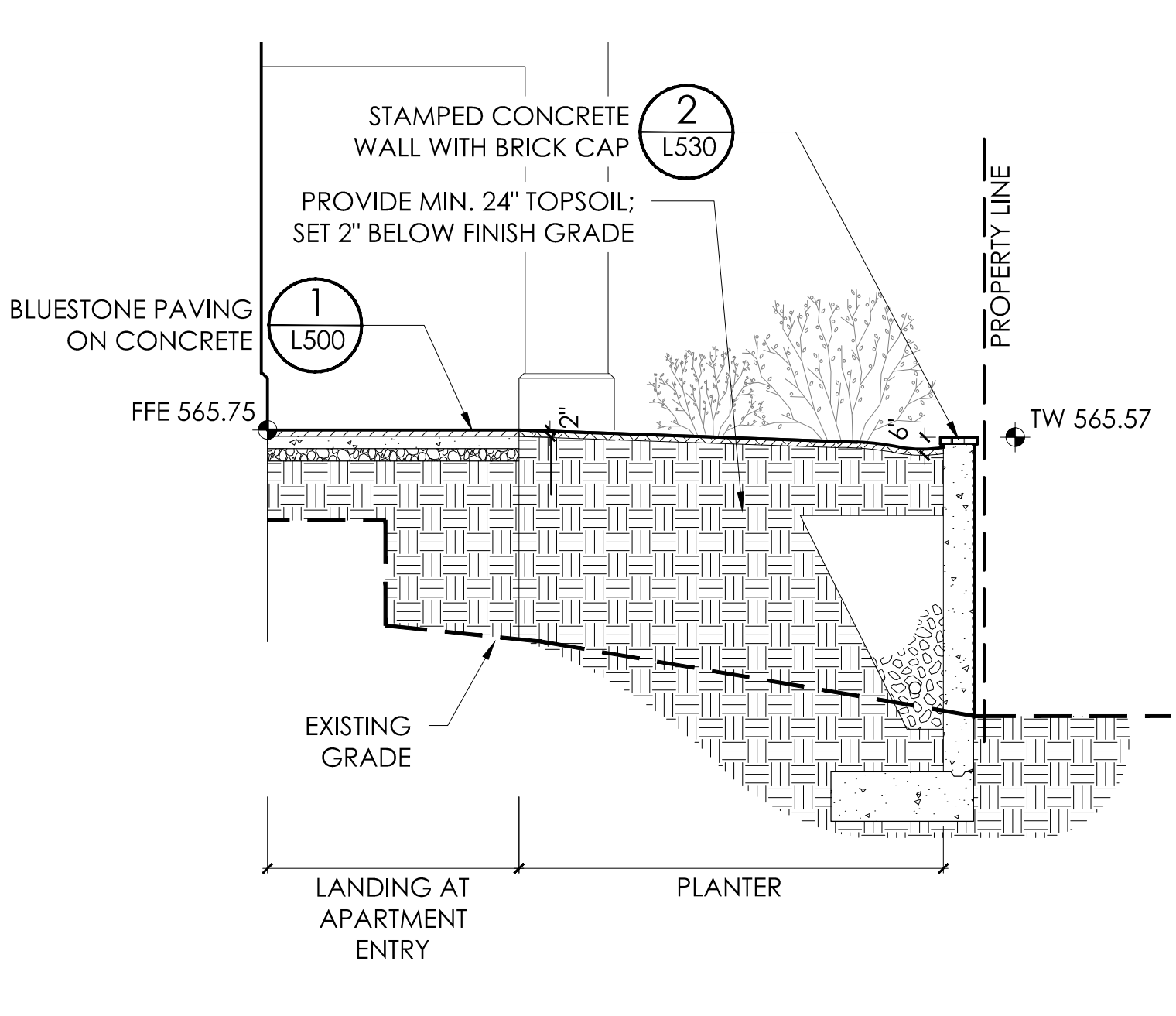
4 BIKE TERRACE FACING SOUTH
SCALE: 1/4" = 1'-0"



5 SECTION THROUGH FRONT COURTYARD FACING NORTH
SCALE: 1/4" = 1'-0"



6 SECTION THROUGH DINING TERRACE FACING EAST
SCALE: 1/2" = 1'-0"



7 NORTH RETAINING WALL SECTION FACING WEST
SCALE: 1/4" = 1'-0"

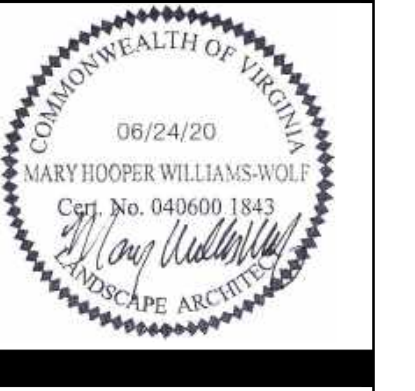
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FINAL SITE PLAN

**EPSILON SIGMA HOUSE OF
KAPPA KAPPA GAMMA**
503 RUGBY ROAD
Charlottesville, VA

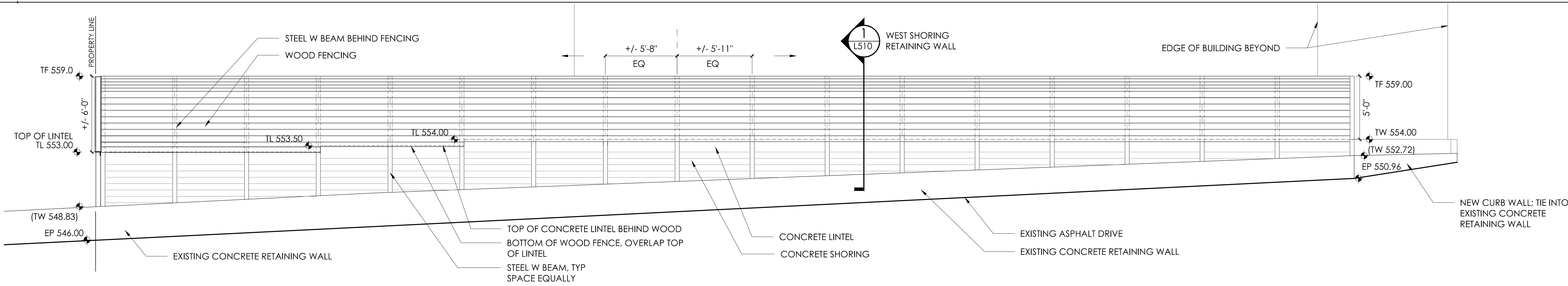
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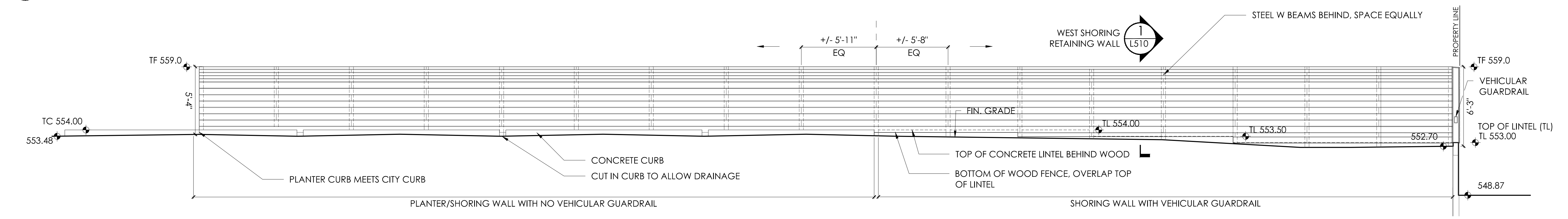
L400
Sections and
Elevations

PROJECT	1810	
DATE	06/24/2020	
REVISIONS		
MARK	DATE	DESCRIPTION

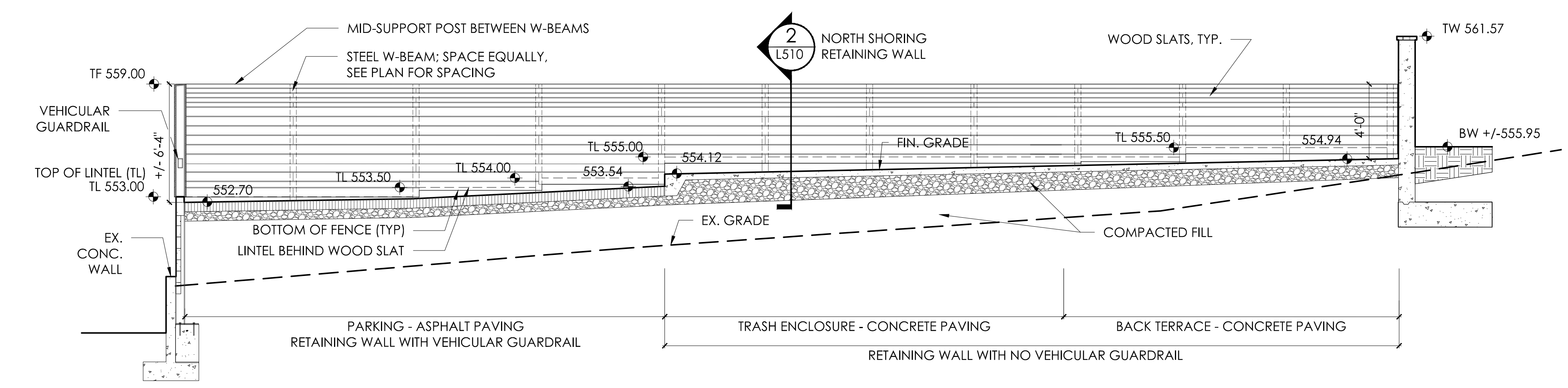
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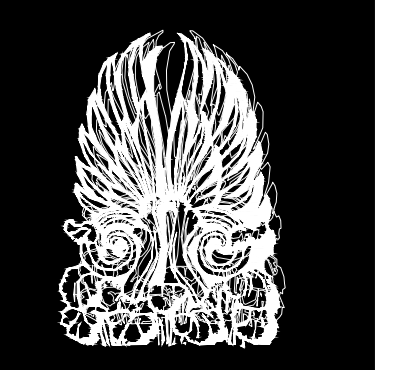
1 WEST RETAINING WALL/FENCE AT PARKING LOT - WEST ELEVATION
 L410 SCALE: 1/4" = 1'-0"



2 WEST FENCE AT PARKING LOT - EAST ELEVATION
 L410 SCALE: 1/4" = 1'-0"



3 NORTH FENCE AT PARKING LOT - ELEVATION
 L410 SCALE: 1/4" = 1'-0"



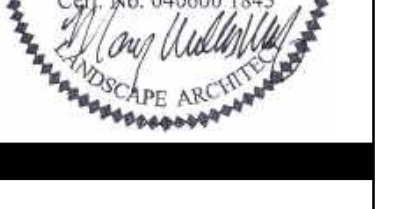
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FINAL SITE PLAN

EPSILON SIGMA HOUSE OF
 KAPPA KAPPA GAMMA
 503 RUGBY ROAD
 Charlottesville, VA

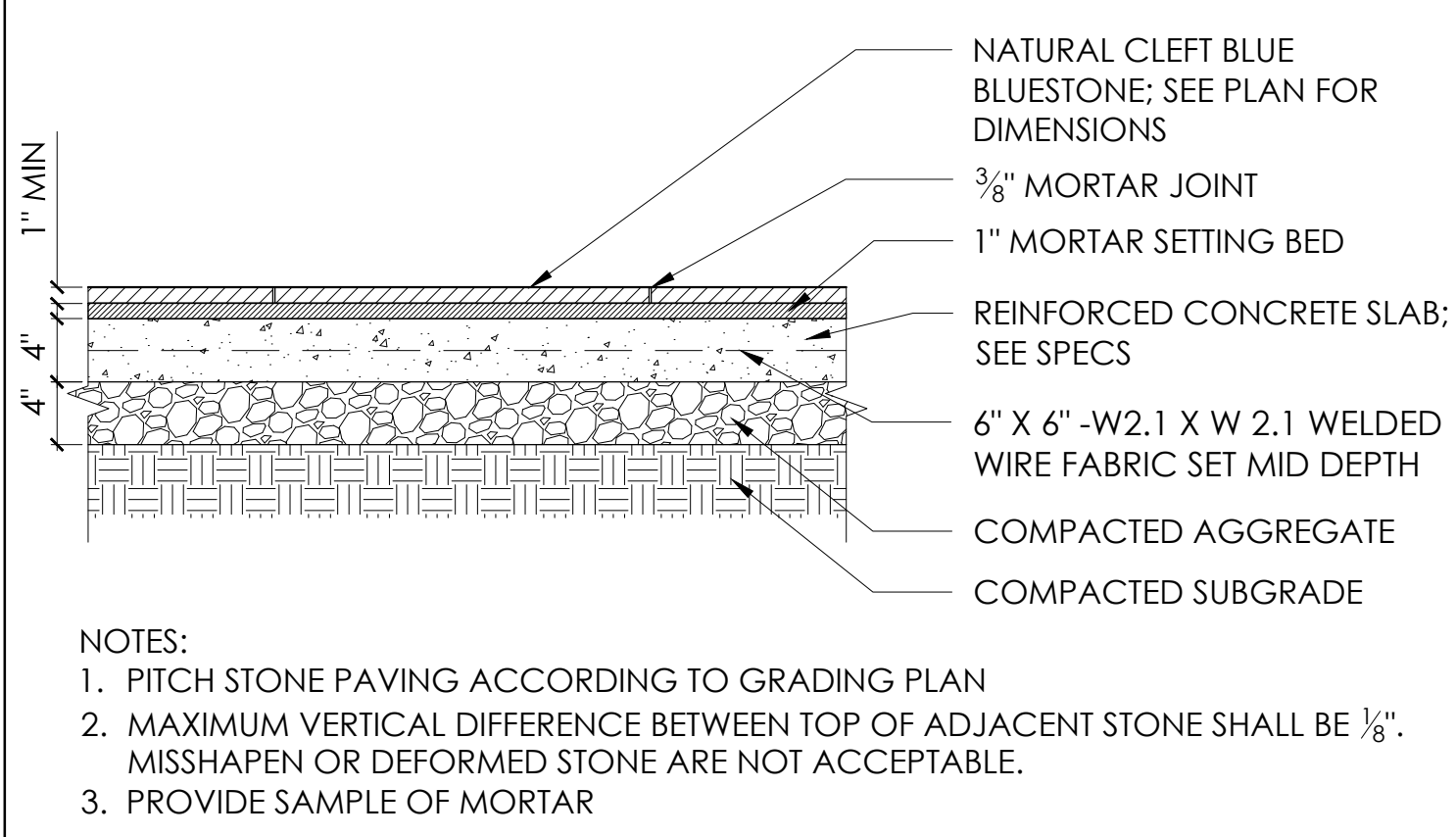
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L410
 Sections and
 Elevations

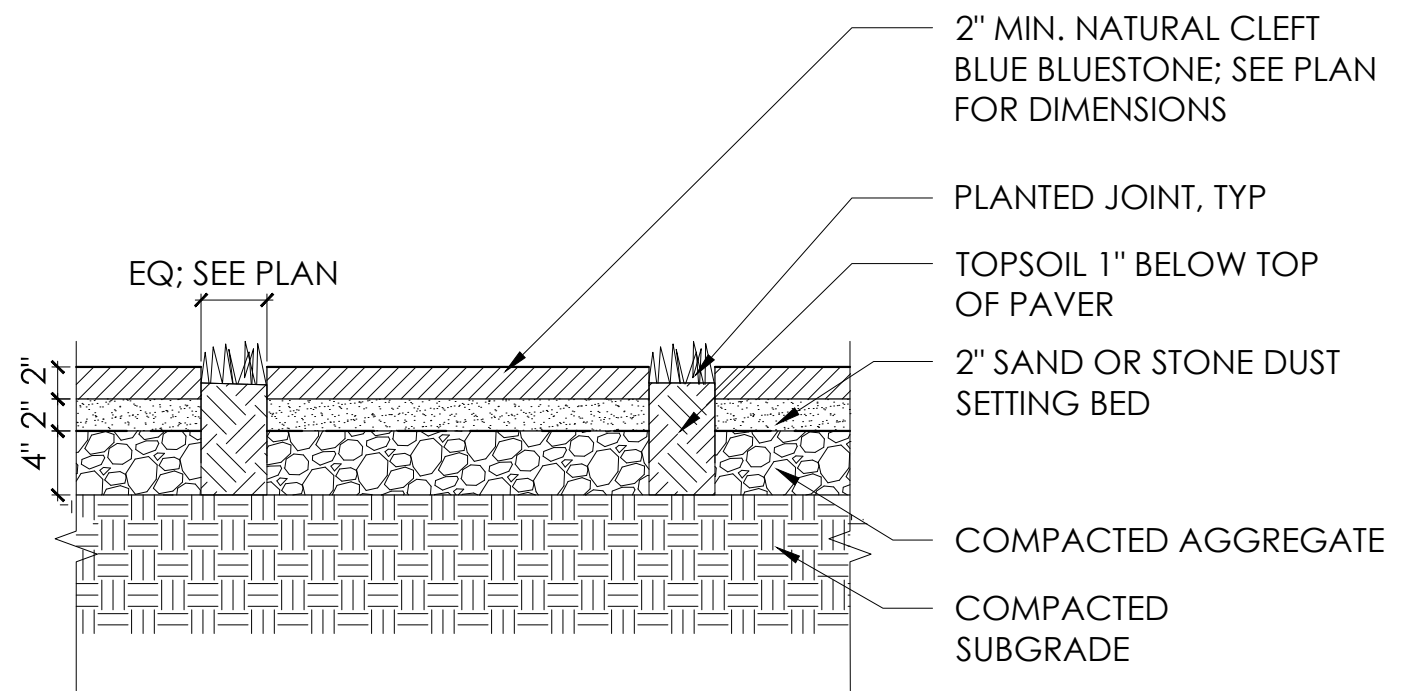
PROJECT 1810
 DATE 06/24/2020

REVISIONS	MARK	DATE	DESCRIPTION

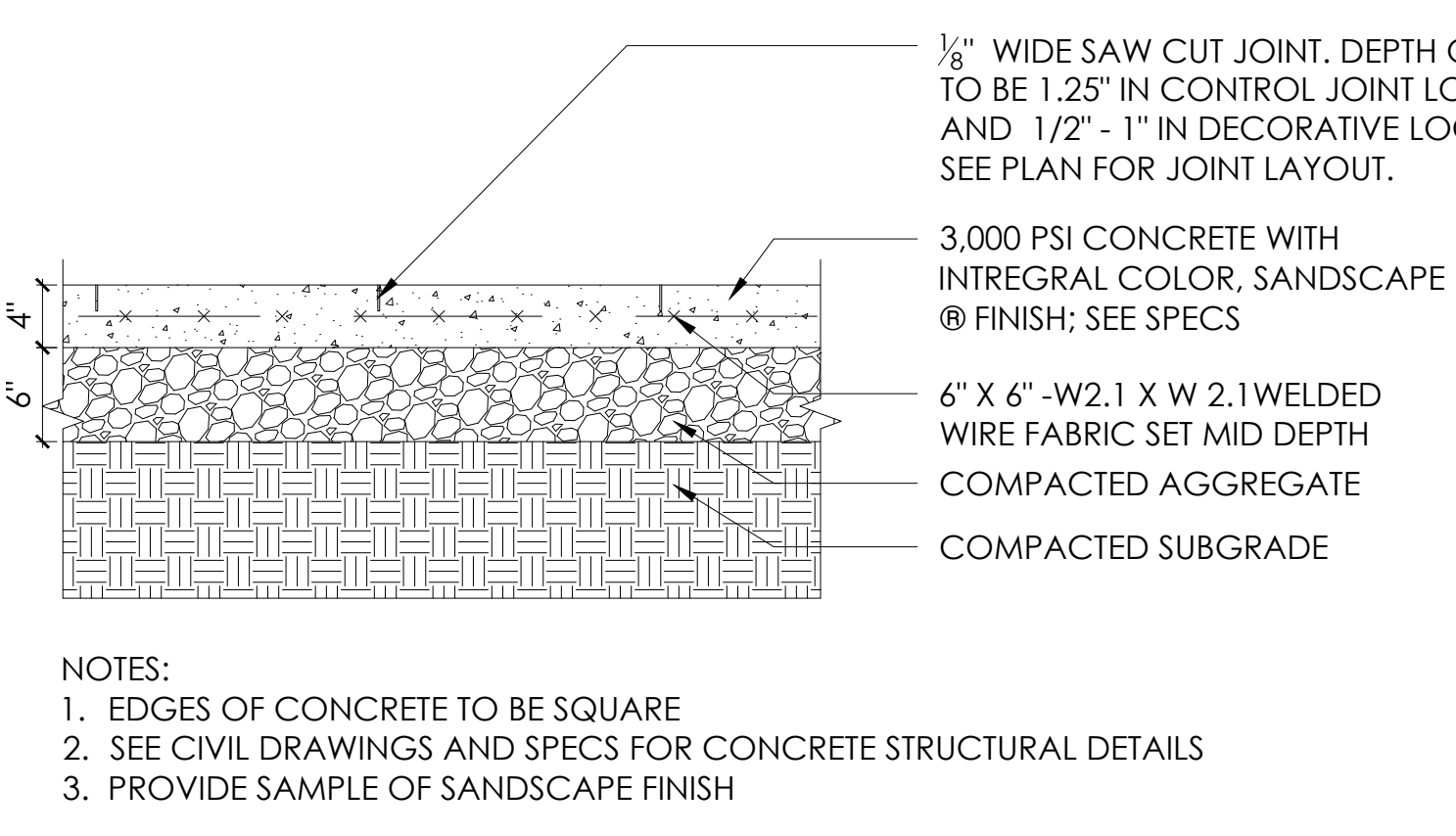
L410



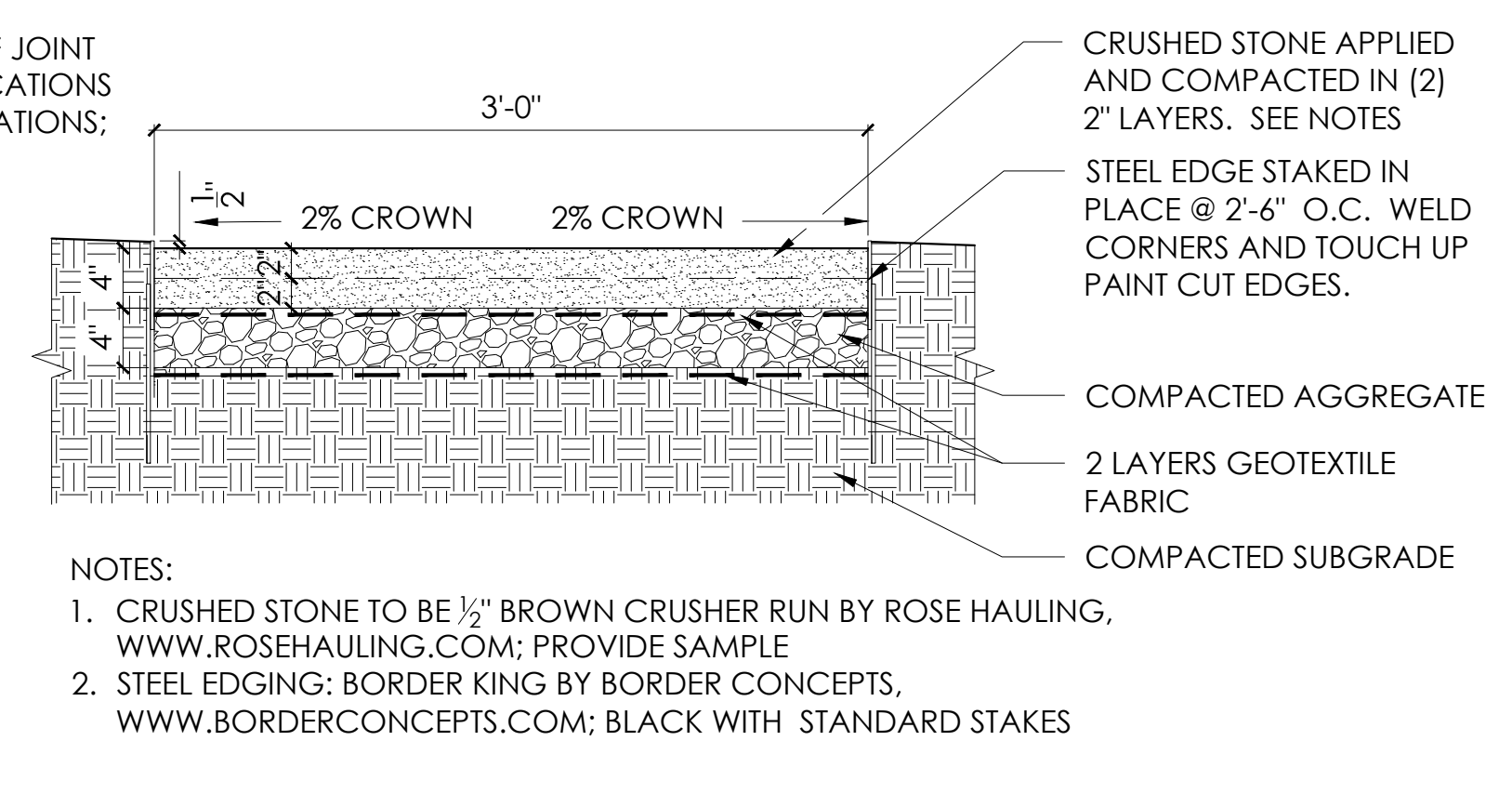
1 BLUESTONE PAVING ON CONCRETE
SCALE: 1" = 1'-0"



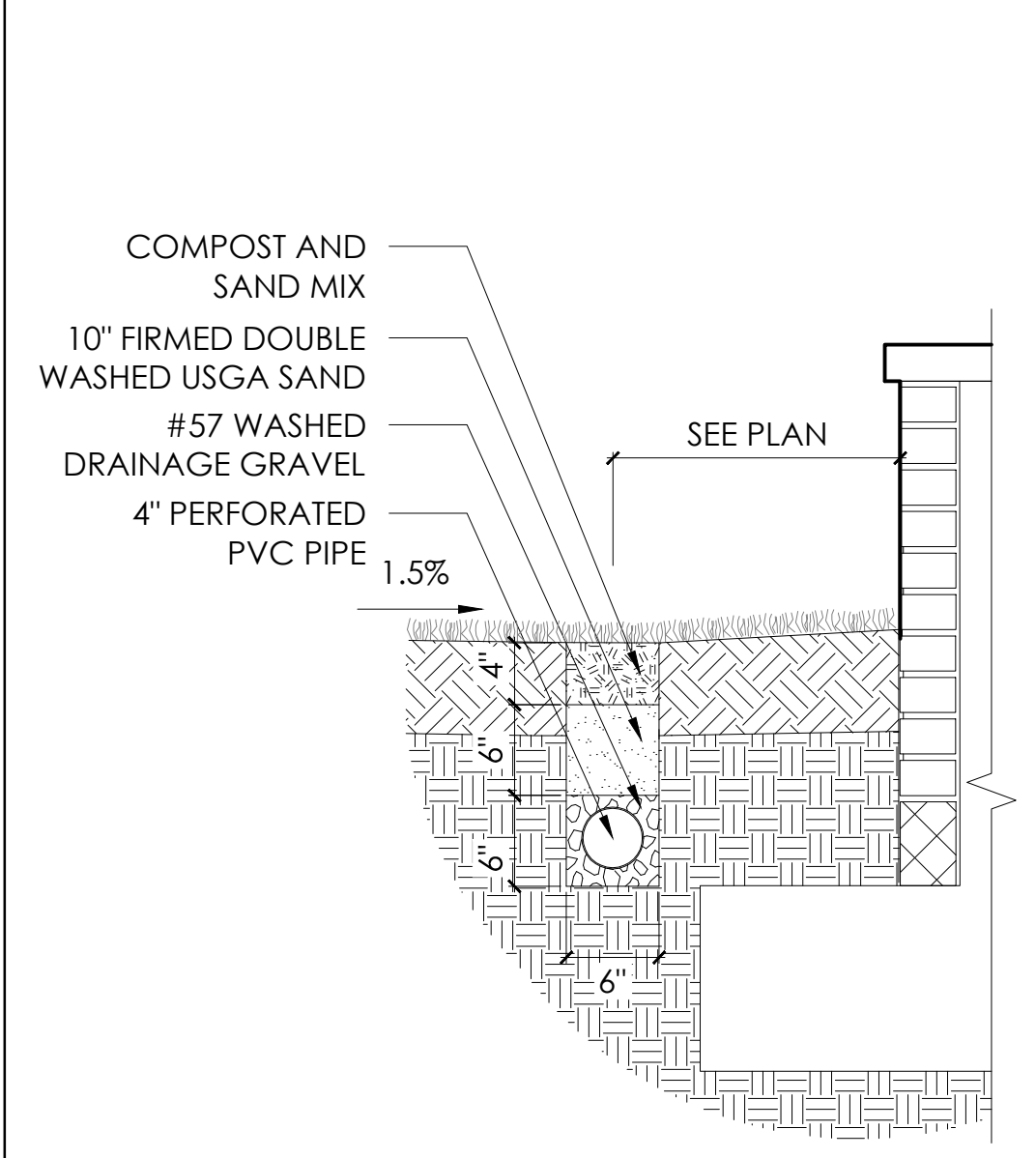
2 BLUESTONE STEPPING STONES
SCALE: 1" = 1'-0"



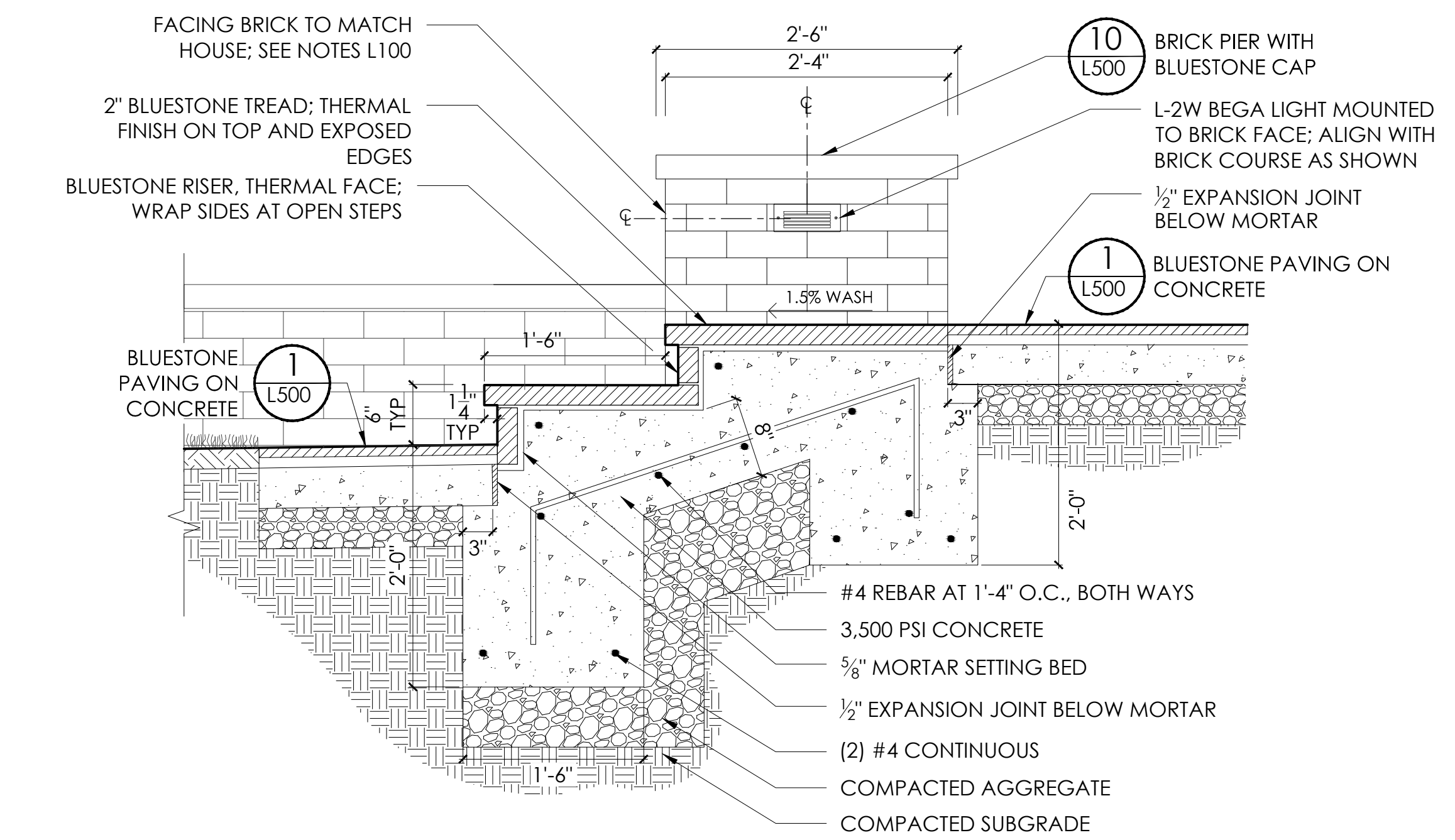
3 SCORED CONCRETE PAVING
SCALE: 1" = 1'-0"



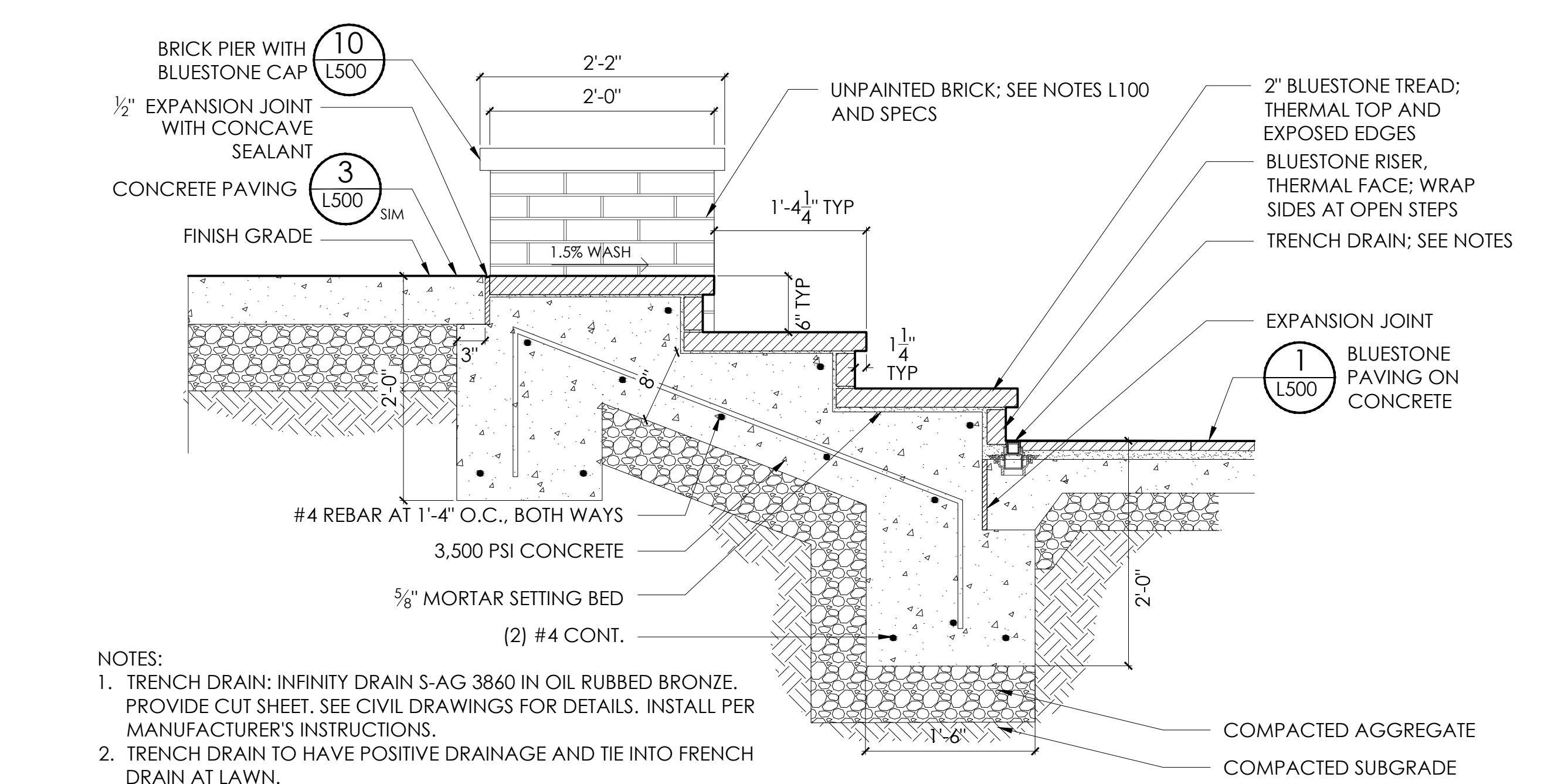
4 CRUSHED STONE PAVING
SCALE: 1" = 1'-0"



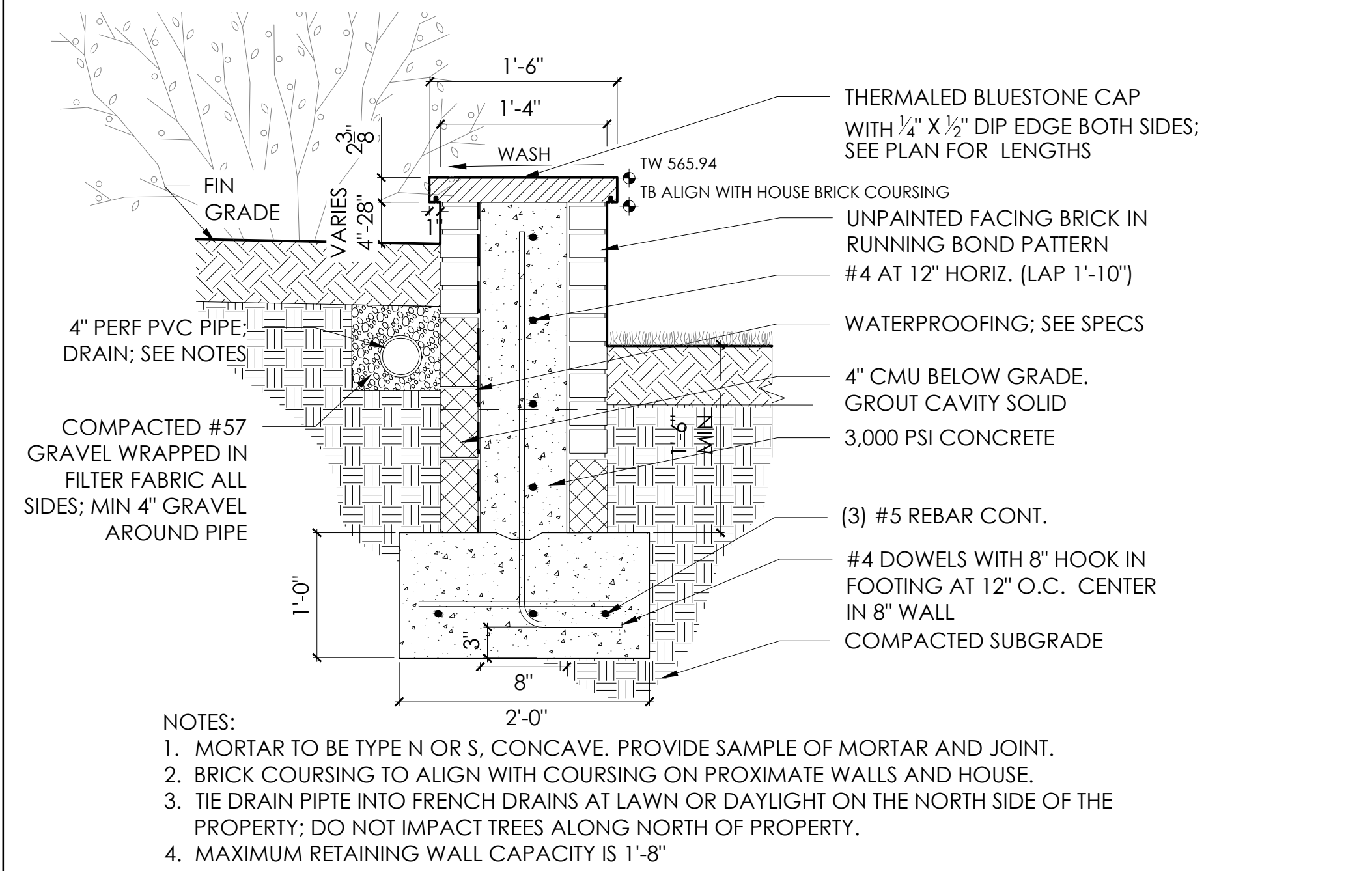
5 FRENCH DRAIN AT FRONT LAWN
SCALE: 1" = 1'-0"



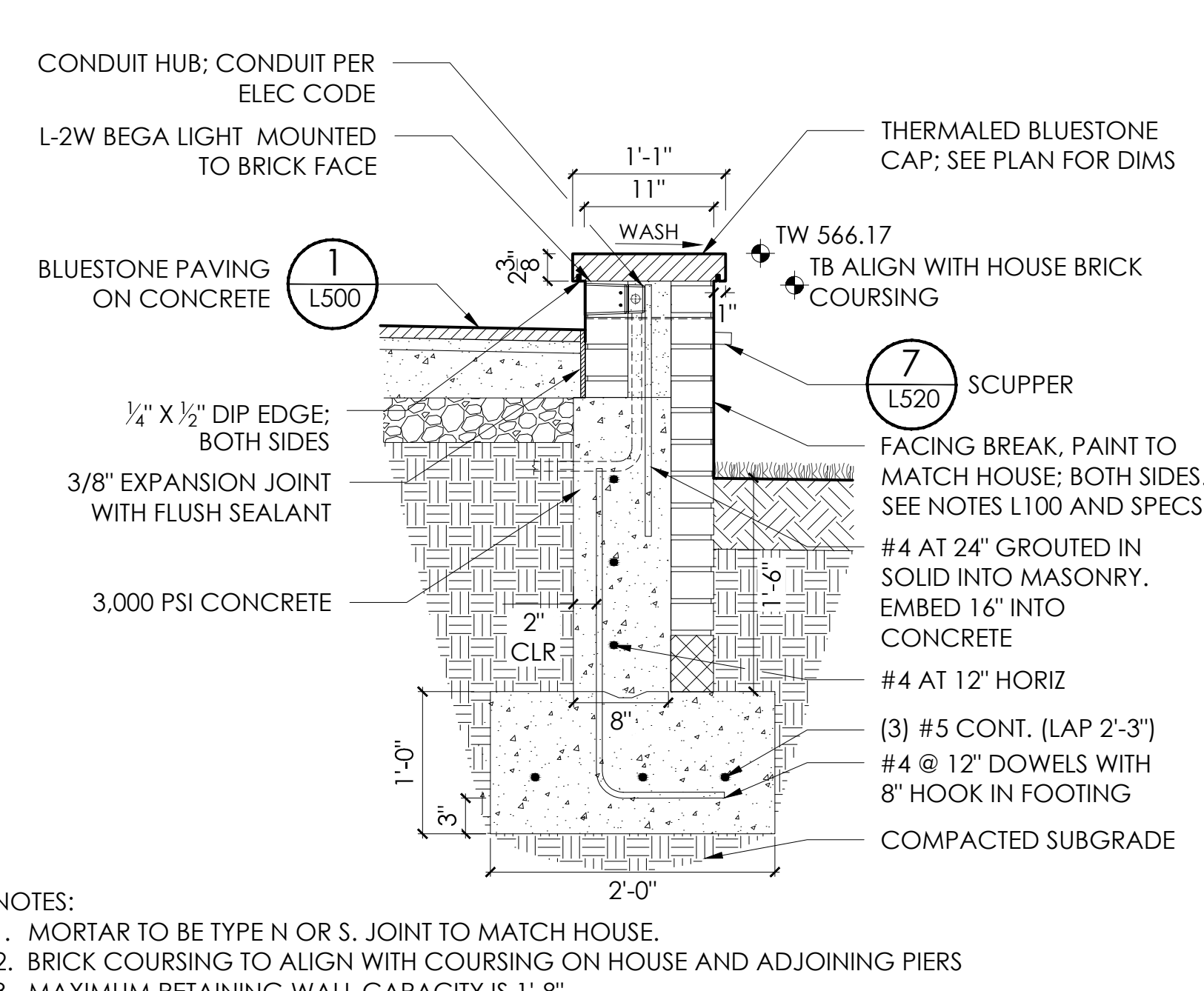
6 SOUTH BLUESTONE STAIR AT FRONT PORCH
SCALE: 1" = 1'-0"



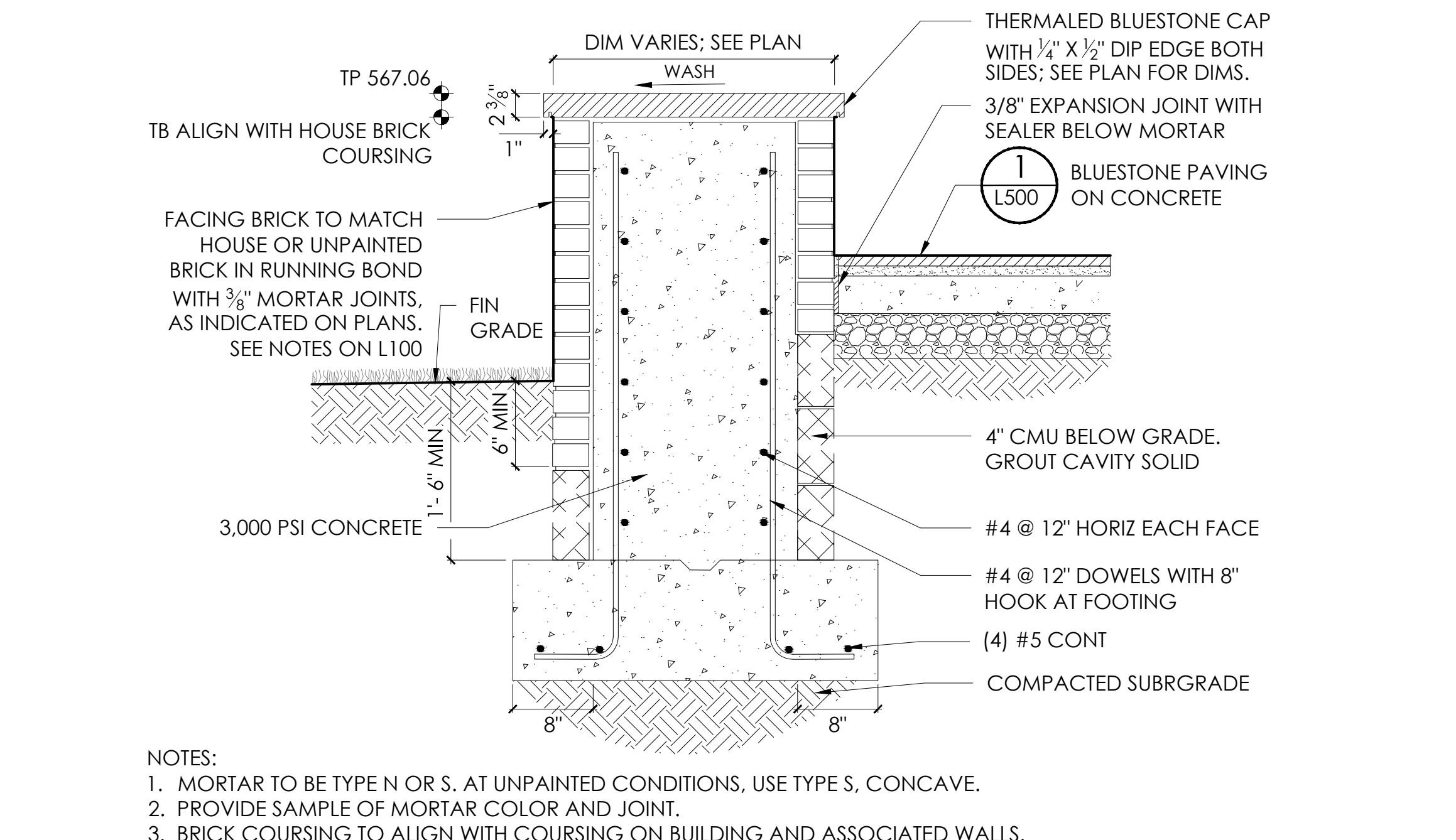
7 BLUESTONE STAIR AT FRONT ENTRY
SCALE: 1" = 1'-0"



8 BRICK SEAT WALL WITH BLUESTONE CAP
SCALE: 1" = 1'-0"



9 BRICK CURB WALL WITH BLUESTONE CAP
SCALE: 1" = 1'-0"



10 TYPICAL BRICK PIER WITH BLUESTONE CAP
SCALE: 1" = 1'-0"

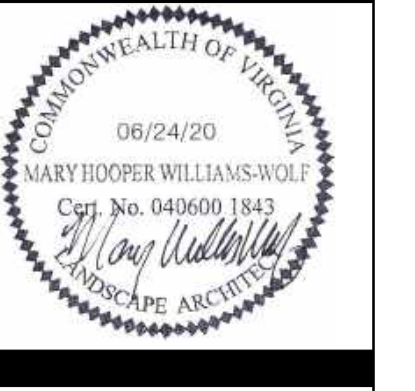
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FINAL SITE PLAN

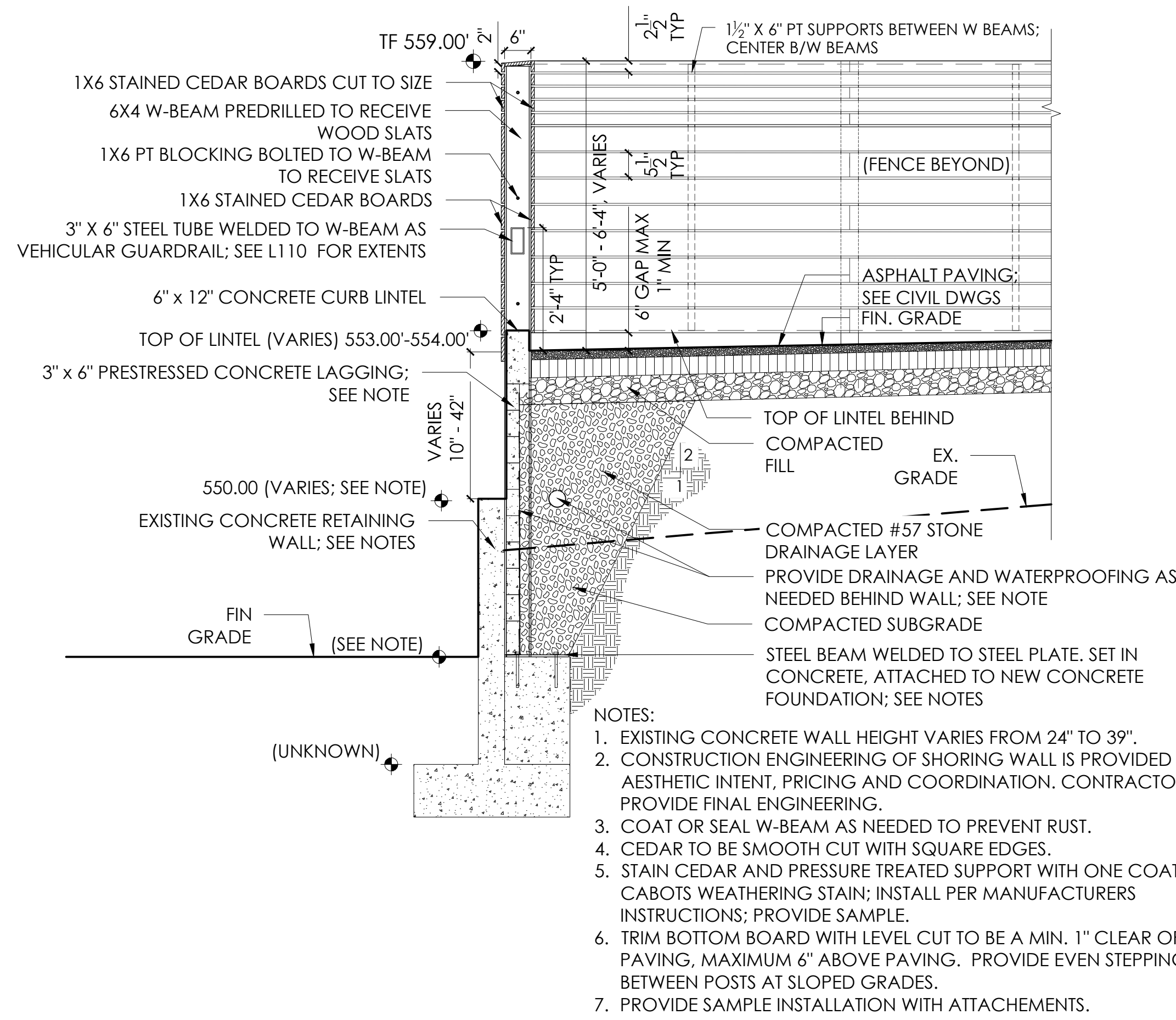
EPSILON SIGMA HOUSE OF
KAPPA KAPPA GAMMA
503 RUGBY ROAD
Charlottesville, VA

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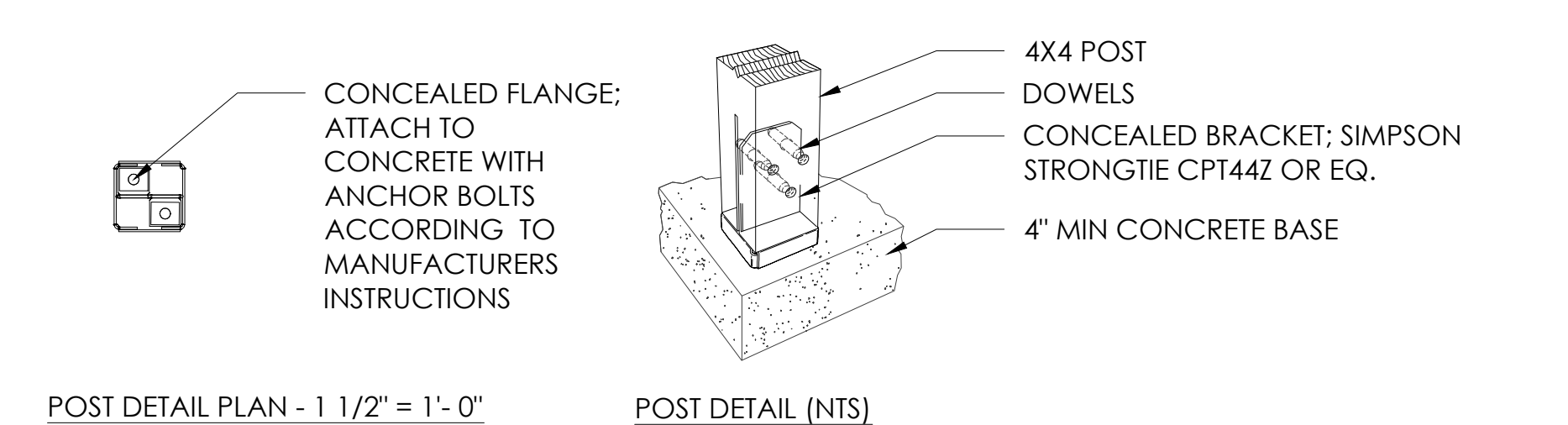
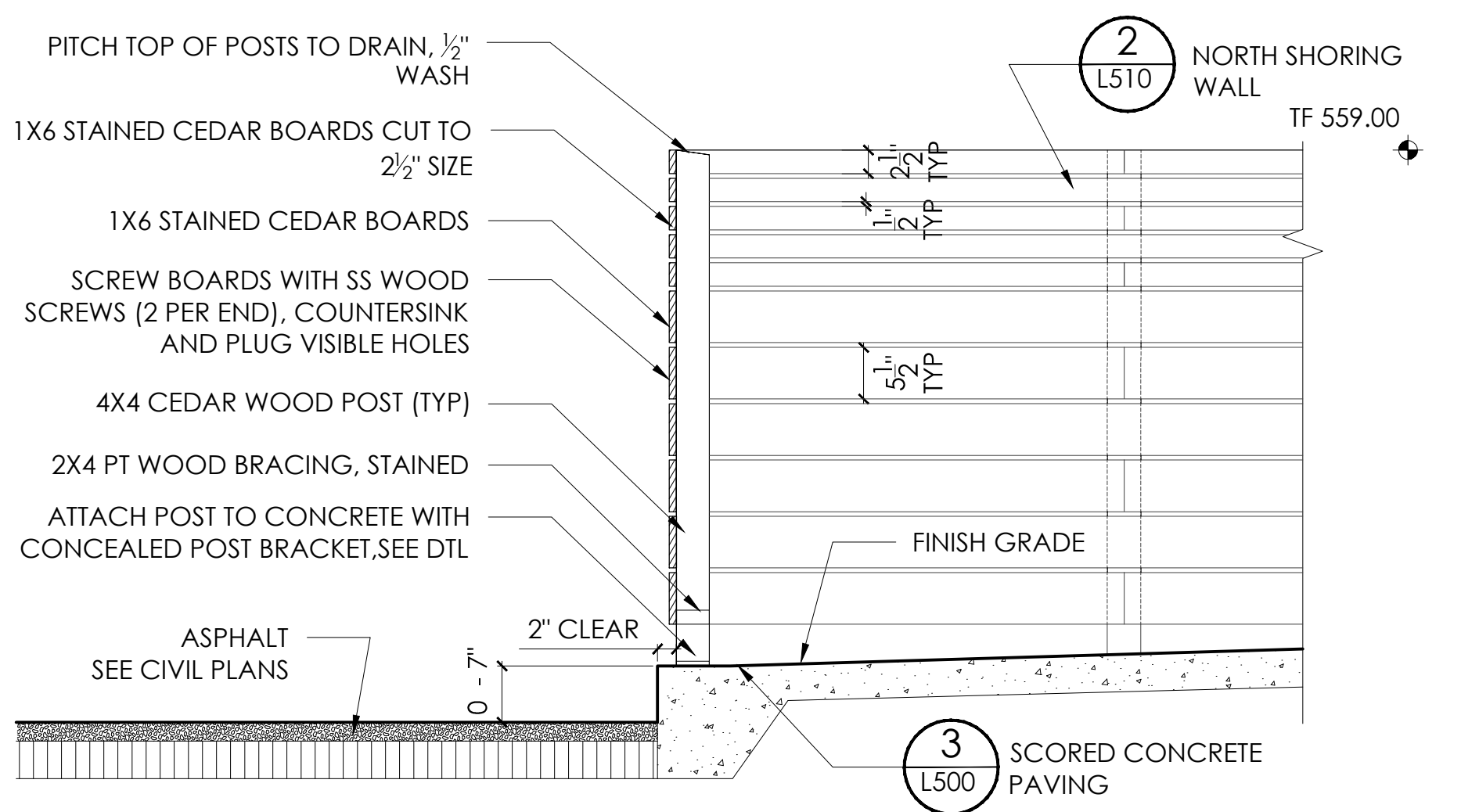
L500
Details

MARK	DATE	DESCRIPTION

L500

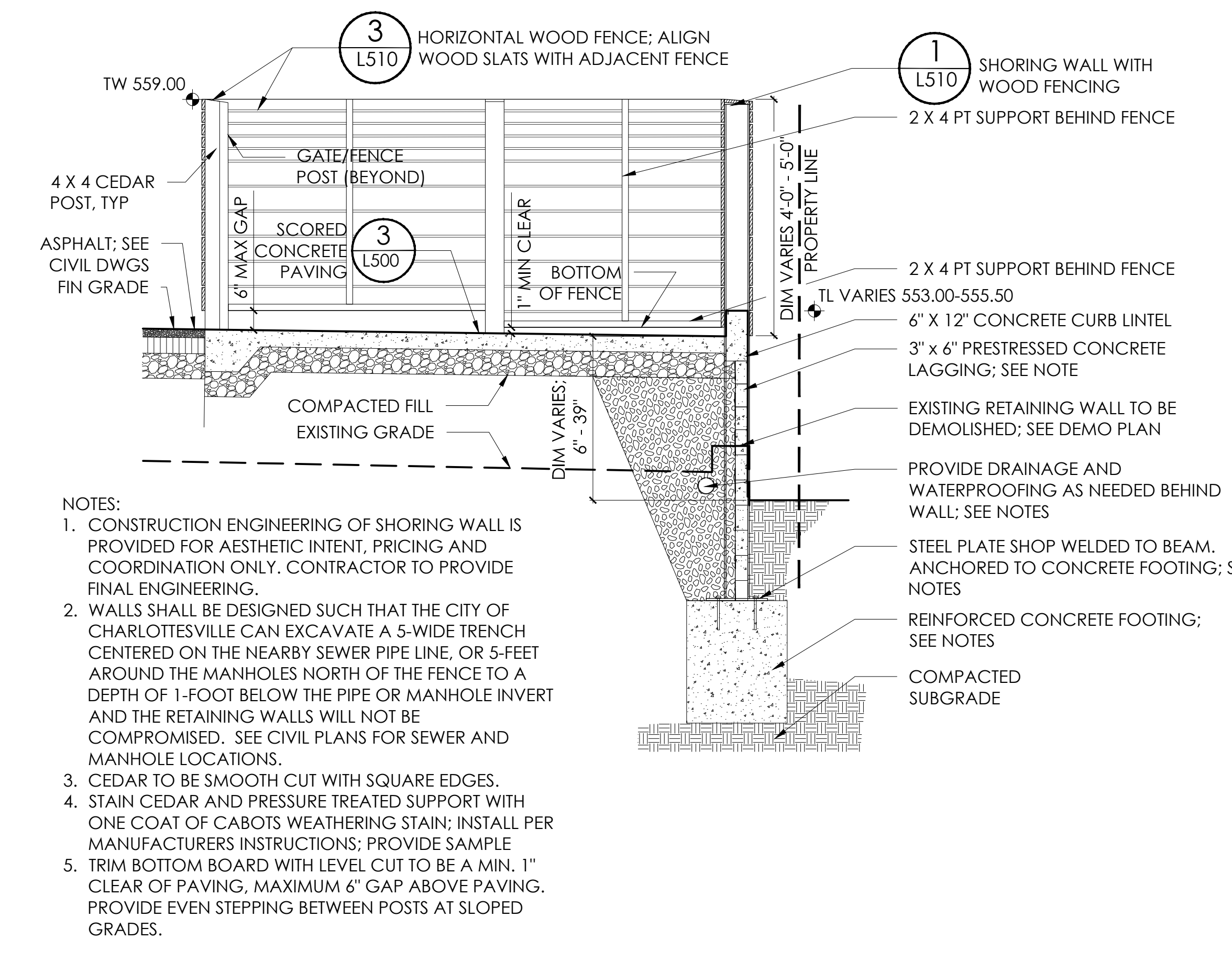


1 WEST SHORING RETAINING WALL WITH VEHICULAR GUARDRAIL
SCALE: 1/2" = 1'-0"

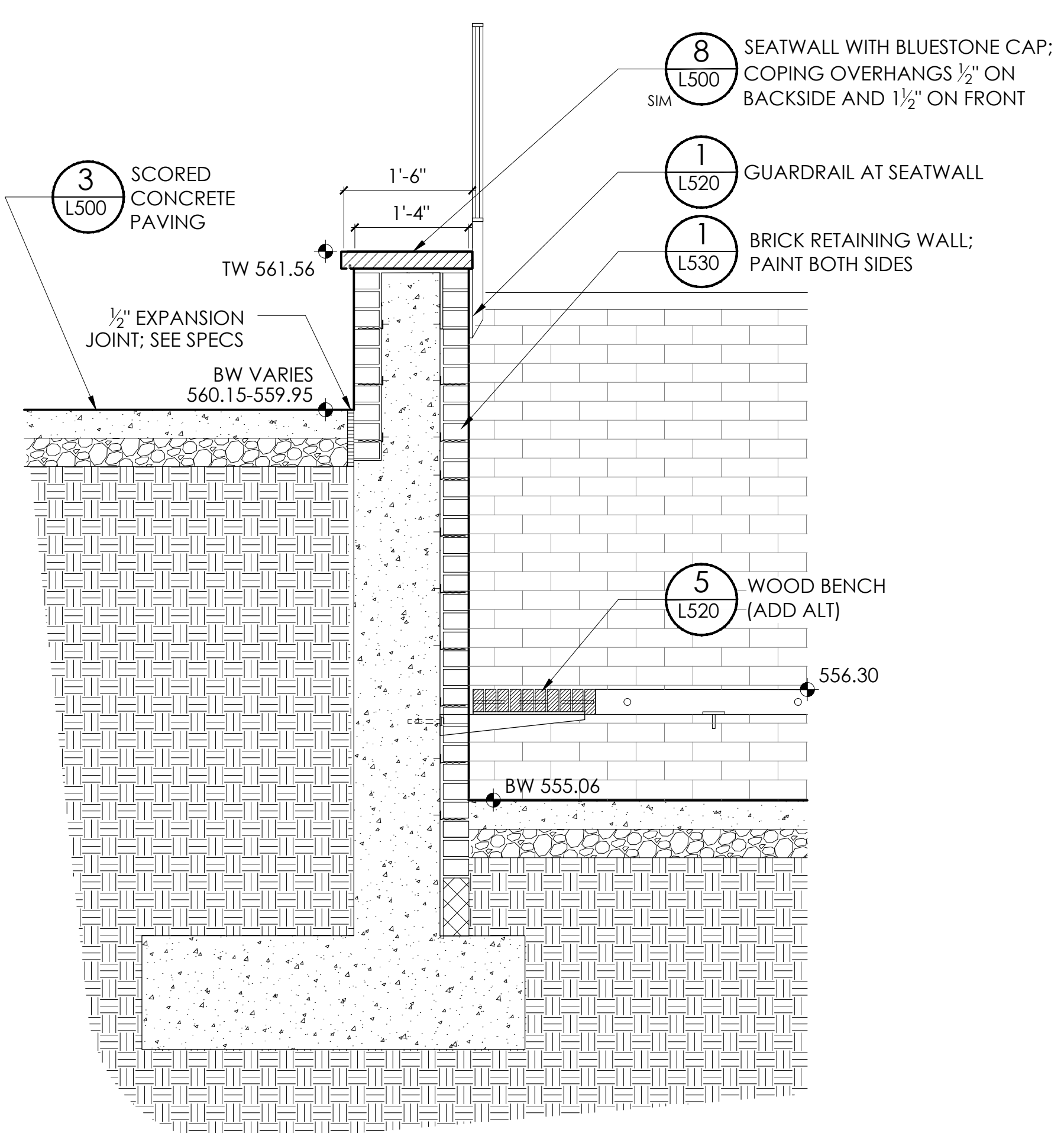


- NOTES:
- CEDAR TO BE SMOOTH CUT WITH SQUARE EDGES.
 - STAIN CEDAR AND PRESSURE TREATED SUPPORT WITH ONE COAT OF CABOTS WEATHERING STAIN; INSTALL PER MANUFACTURERS INSTRUCTIONS; PROVIDE SAMPLE
 - TRIM BOTTOM BOARD WITH LEVEL CUT TO BE A MIN. 1" CLEAR OF PAVING, MAXIMUM 6" GAP ABOVE PAVING. PROVIDE EVEN STEPPING BETWEEN POSTS AT SLOPED GRADES.

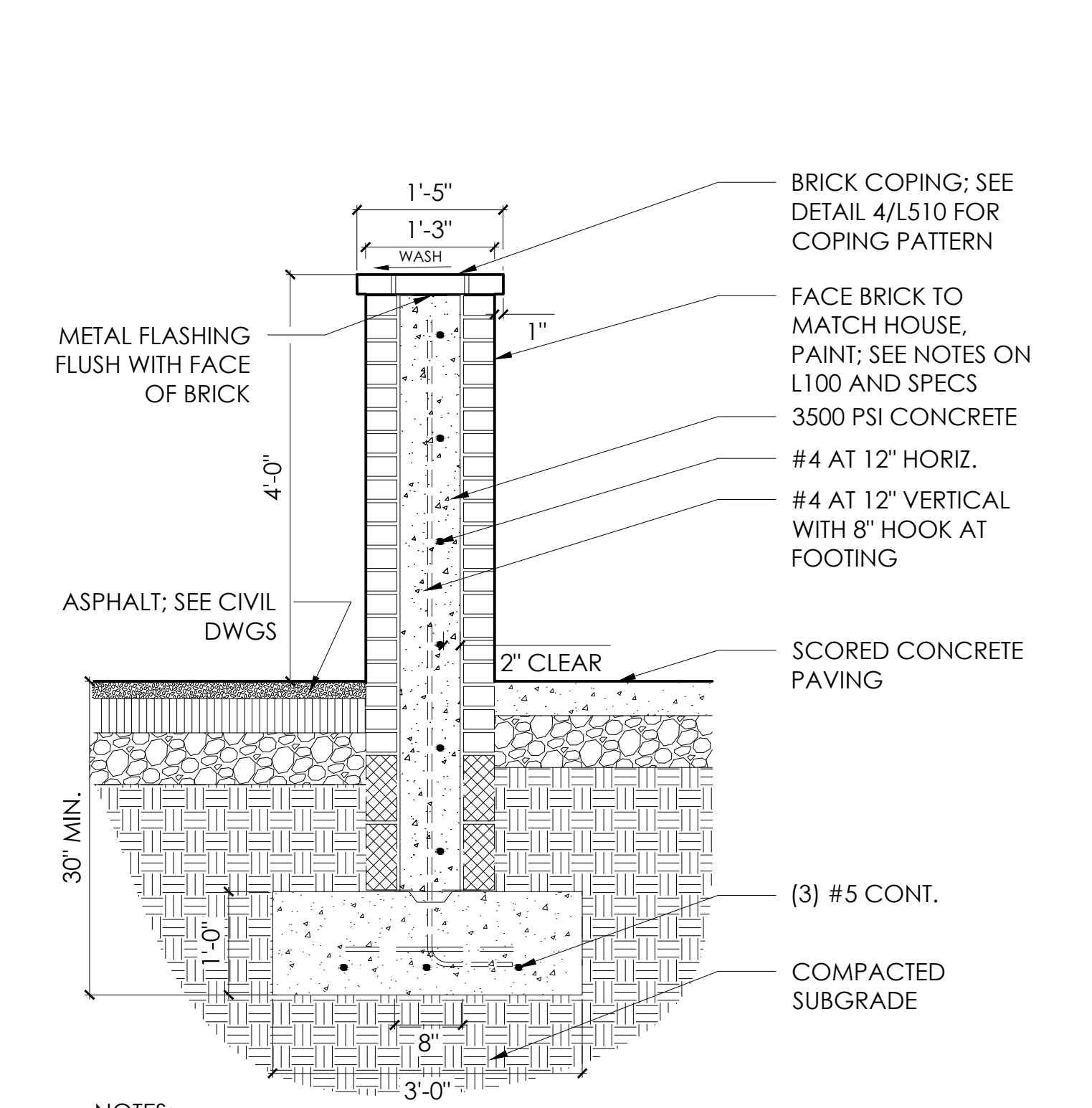
3 HORIZONTAL WOOD FENCE
SCALE: 3/4" = 1'-0"



2 NORTH SHORING RETAINING WALL
SCALE: 1/2" = 1'-0"

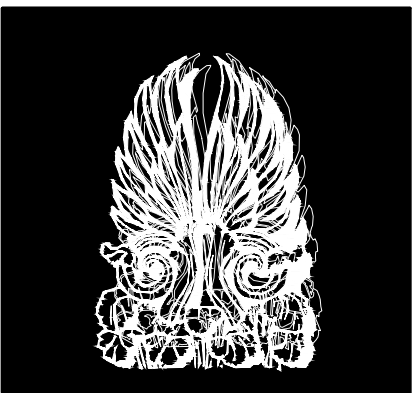


4 BRICK SEATWALL/RETAINING WALL
SCALE: 3/4" = 1'-0"



- NOTES:
- CONCRETE WALL AT 3500 PSI
 - BRICK COURSING TO ALIGN WITH PROXIMATE RETAINING WALLS AND HOUSE
 - PAINT BRICK FACING AND COPING TO MATCH HOUSE. SEE SPECS.
 - METAL FLASHING TO BE YORK 304 STAINLESS STEEL FLASHING OR EQUAL. ADHERE TO MASONRY, SEAL PENETRATIONS. INSTALL PER MANUFACTURERS INSTRUCTIONS

5 BRICK WALL WITH BRICK CAP
SCALE: 3/4" = 1'-0"



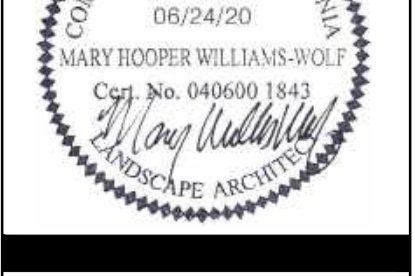
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FINAL SITE PLAN

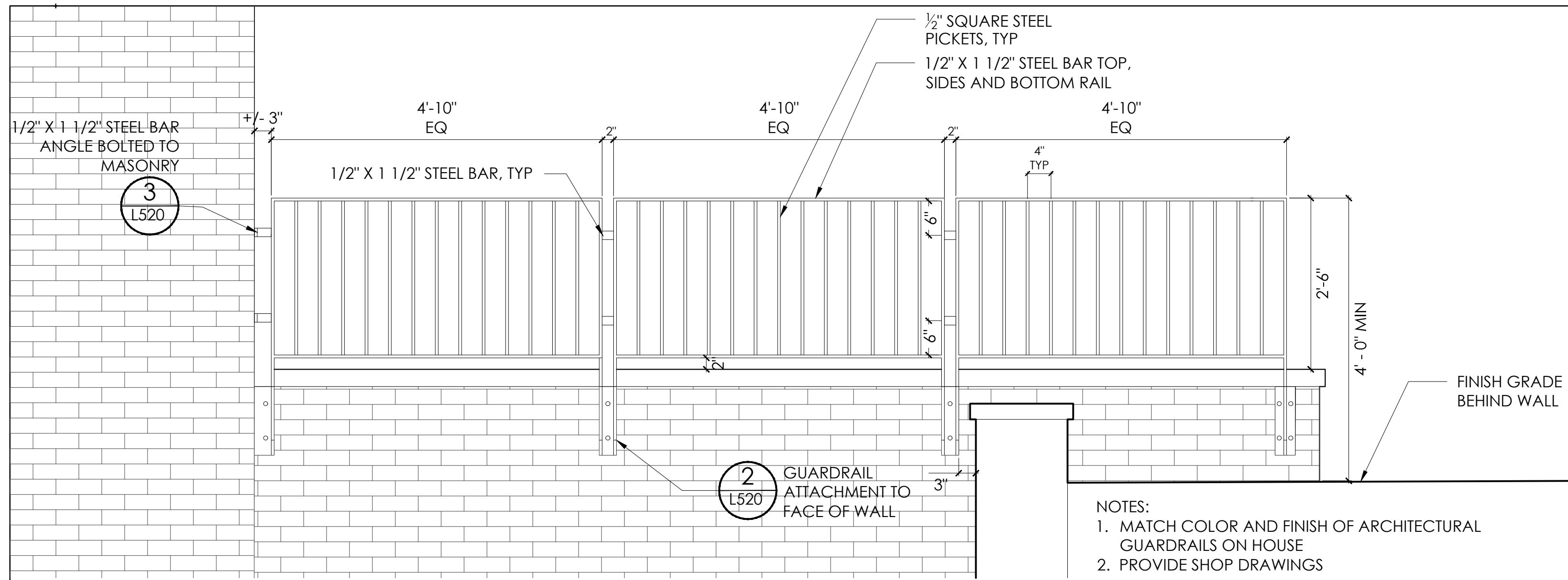
**EPSILON SIGMA HOUSE OF
KAPPA KAPPA GAMMA**
503 RUGBY ROAD
Charlottesville, VA

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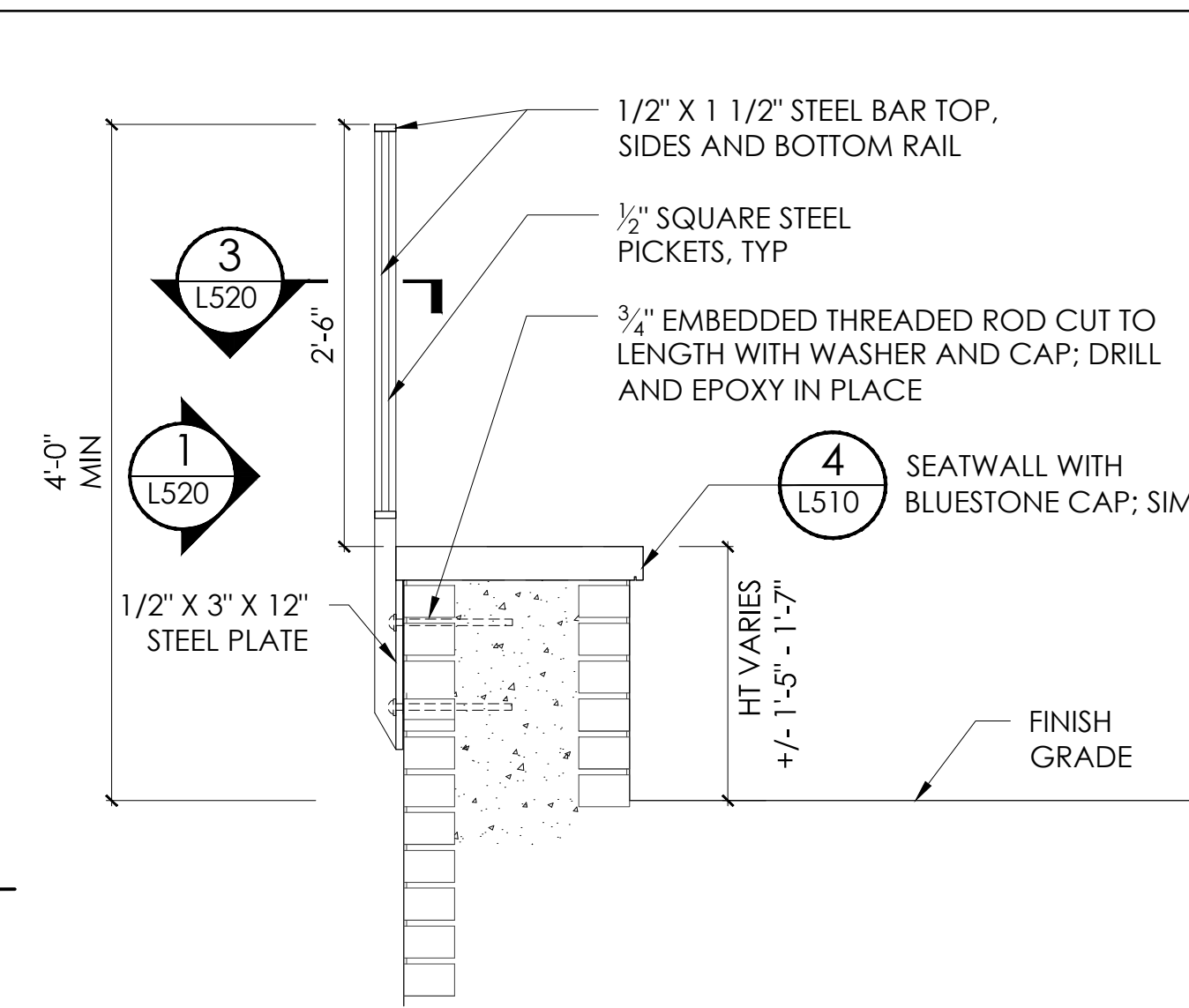
L510
Details

PROJECT		1810
DATE		06/24/2020
REVISIONS	MARK	DATE

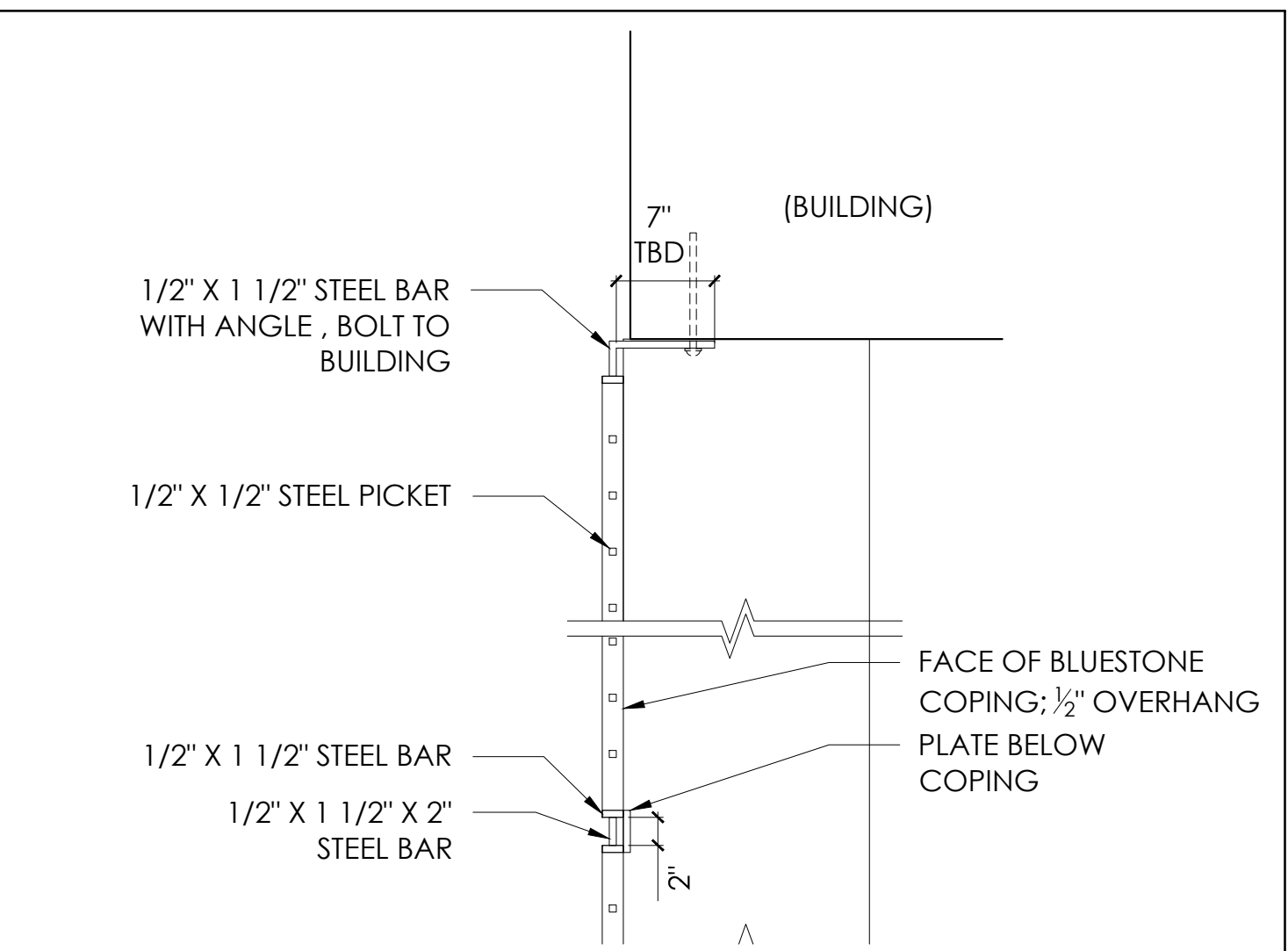
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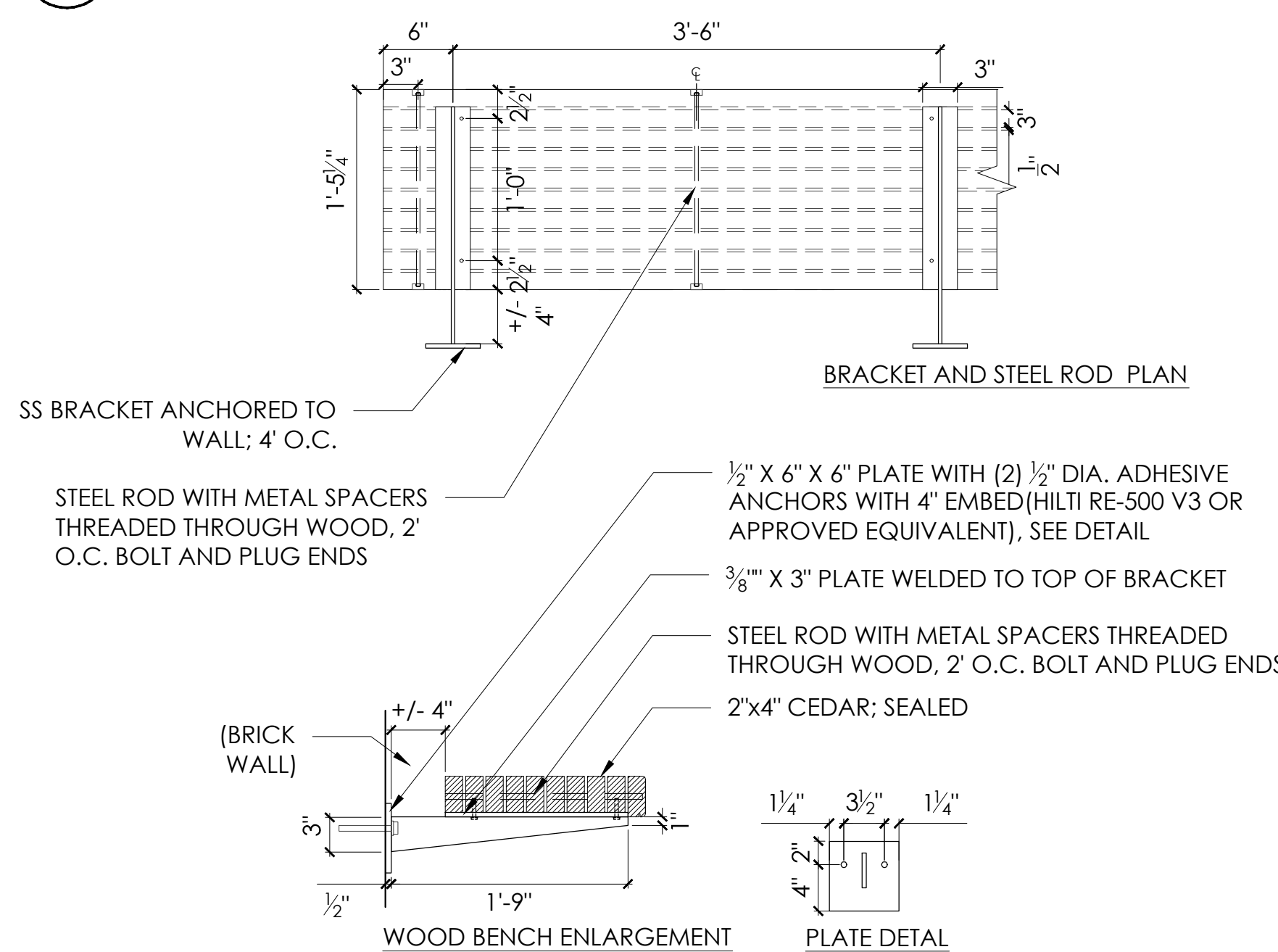
1 GUARDRAIL AT SEATWALL
SCALE: 3/4" = 1'-0"



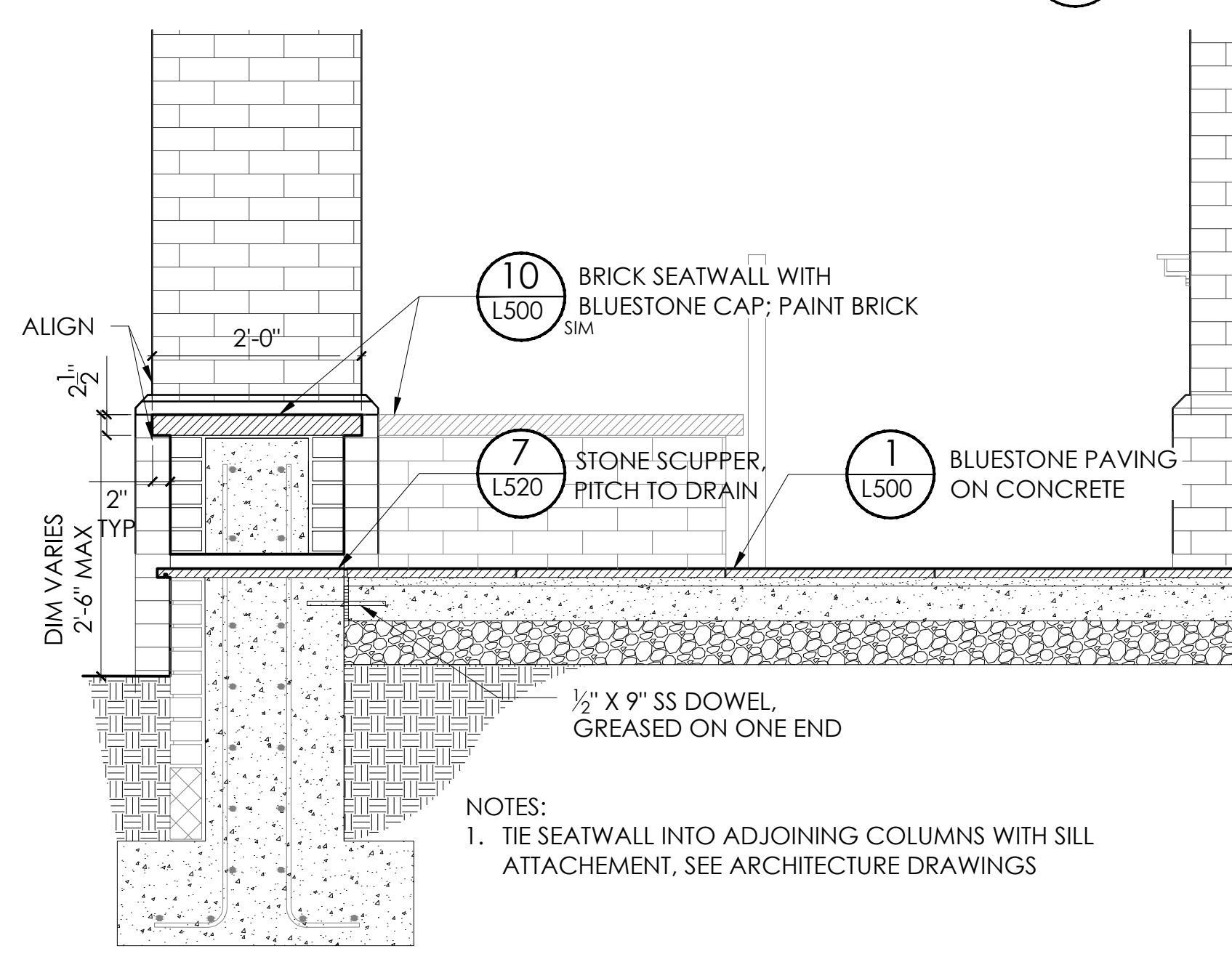
2 GUARDRAIL CROSS SECTION
SCALE: 1" = 1'-0"



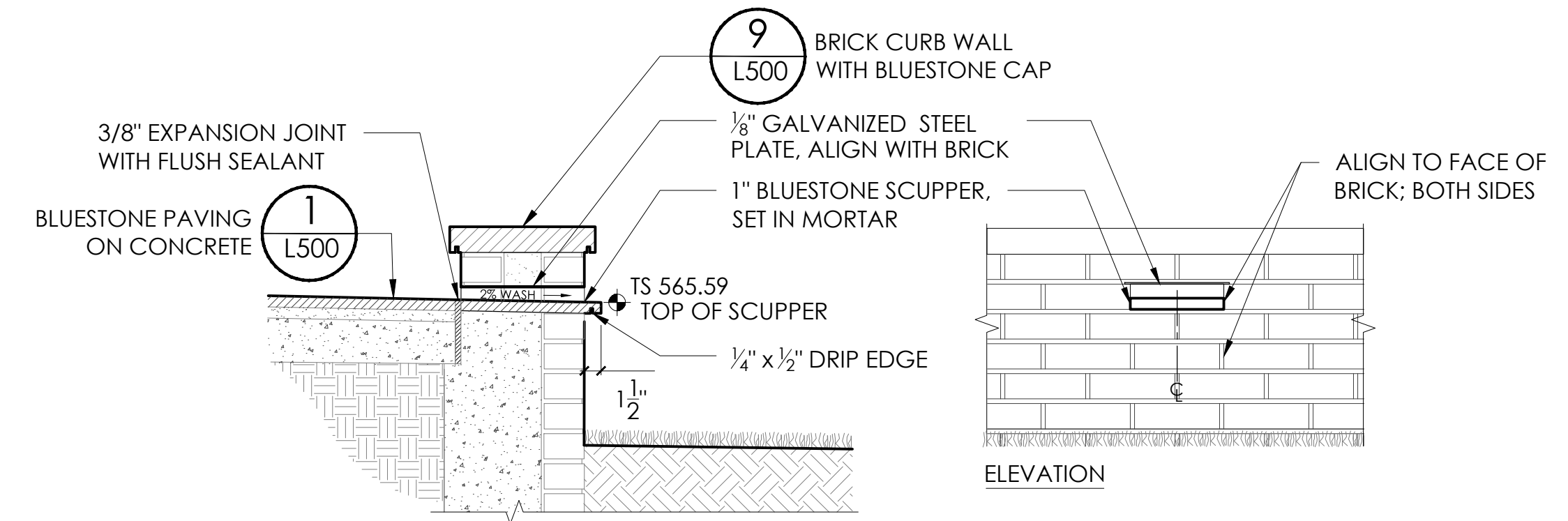
3 GUARDRAIL PLAN SECTION
SCALE: 1" = 1'-0"



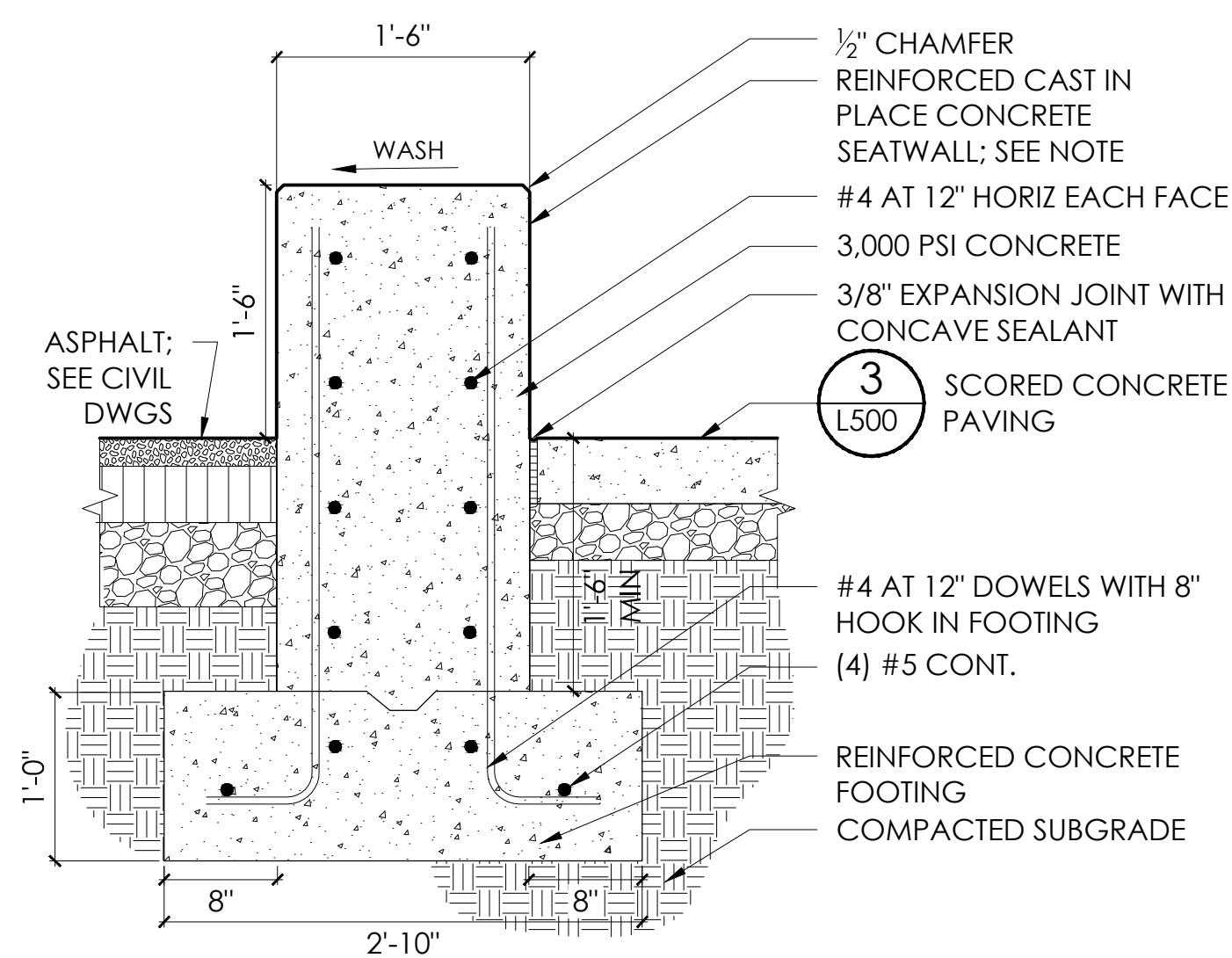
5 WOOD BENCH (ADD ALTERNATE)
SCALE: 1" = 1'-0"



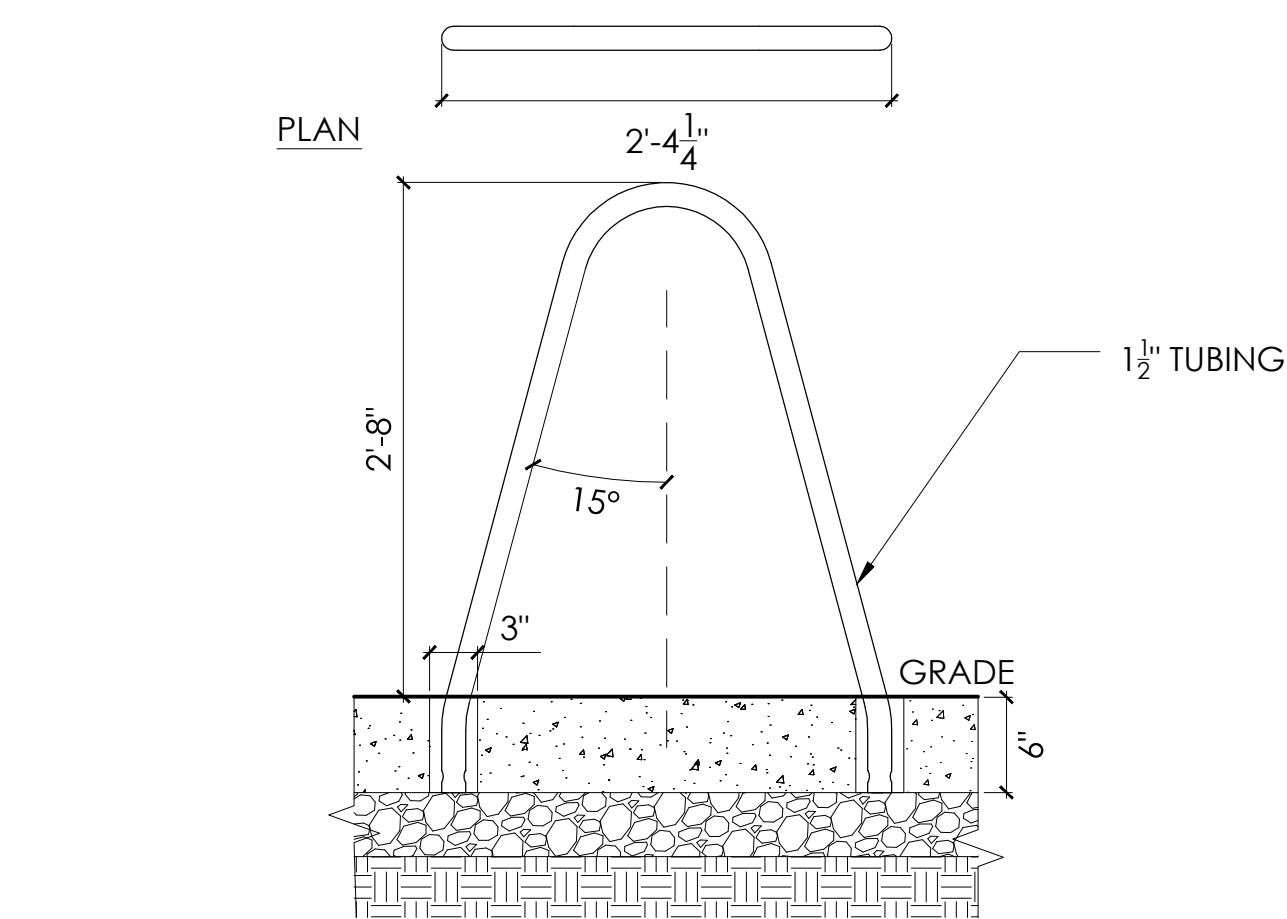
6 SEATWALL AT SIDE TERRACE
SCALE: 3/4" = 1'-0"



7 STONE SCUPPER
SCALE: 1" = 1'-0"



8 CONCRETE SEAT WALL
SCALE: 1" = 1'-0"



9 BOLA BIKE RACK
SCALE: 1" = 1'-0"

- NOTES:
1. BOLA BIKE RACK BY LANDSCAPE FORMS. STAINLESS STEEL FINISH. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
2. CORE DRILL 3" DIAMETER (MINIMUM) HOLES 6" DEEP.
3. PREPARE THE HOLES FOR OUTDOOR ANCHORING CEMENT, SUCH AS KWIXSET OR SUPER POR-ROK. FOLLOW THE MANUFACTURER'S INSTRUCTIONS FOR BLOWING OUT DUST, FILLING WITH WATER, SCRUBBING, AND REMOVING EXCESS WATER.
4. PLACE THE BIKE RACK BACK INTO POSITION AND FILL THE HOLES WITH ANCHORING CEMENT.
5. WIPE AWAY ANY EXCESS BEFORE IT CURES.

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COMMONWEALTH OF VIRGINIA
06/24/20
MARY HOOPER WILLIAMS-WOLFE
Lic. No. 0406001843
Landscape Architect

FINAL SITE PLAN

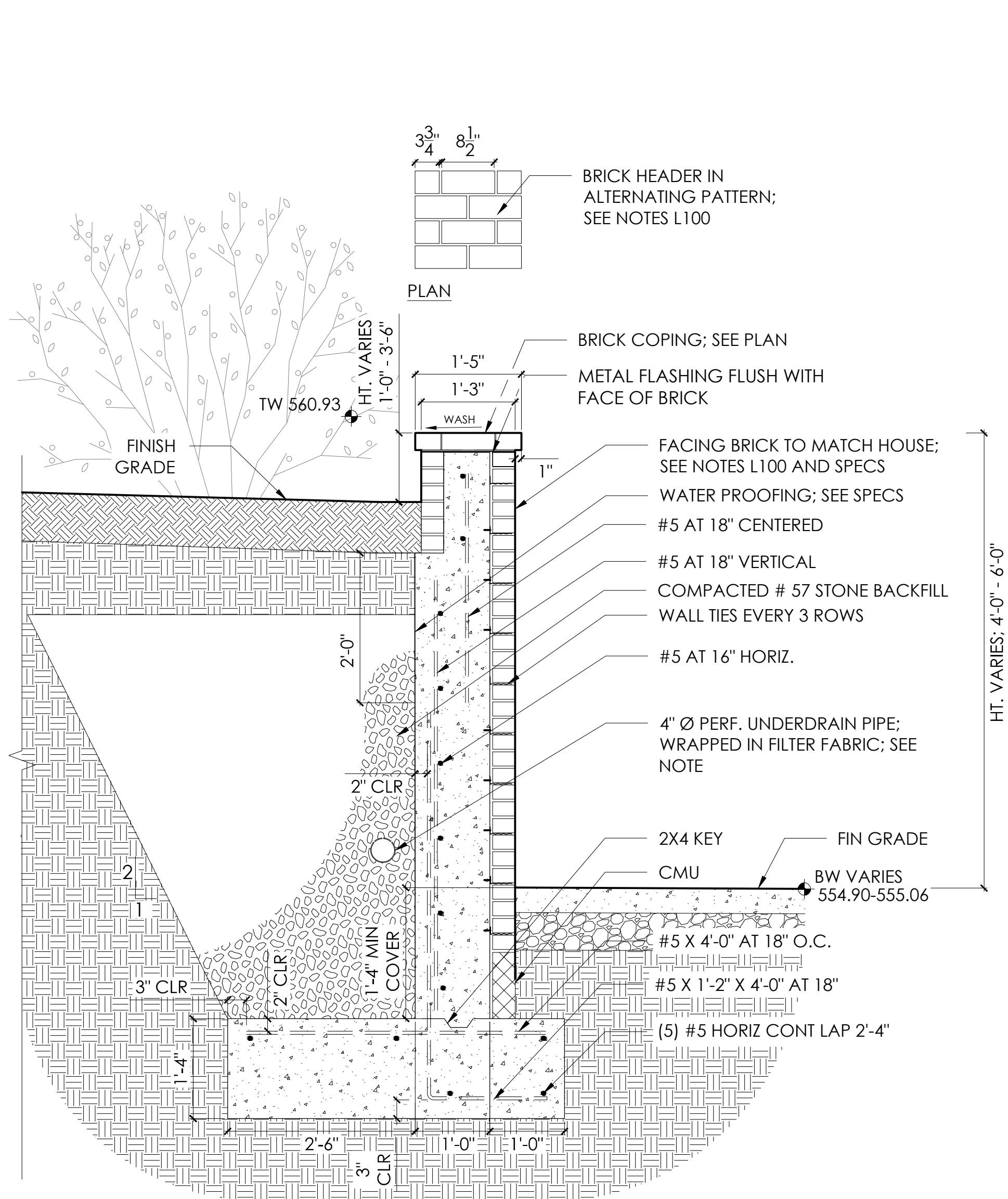
EPSILON SIGMA HOUSE OF
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503 RUGBY ROAD
Charlottesville, VA

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L520
Details

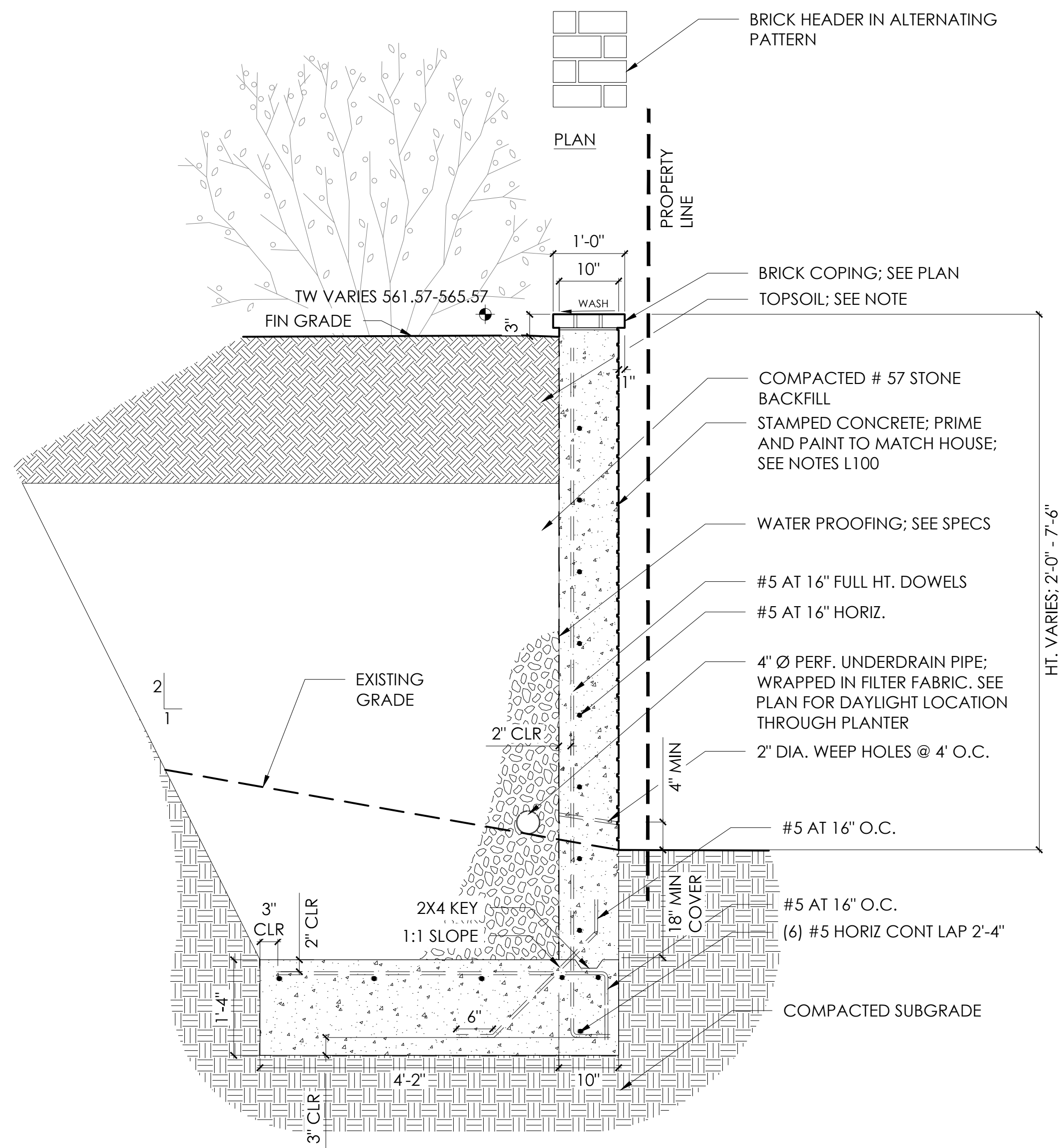
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DATE	06/24/2020	
REVISIONS		
MARK	DATE	DESCRIPTION

L520



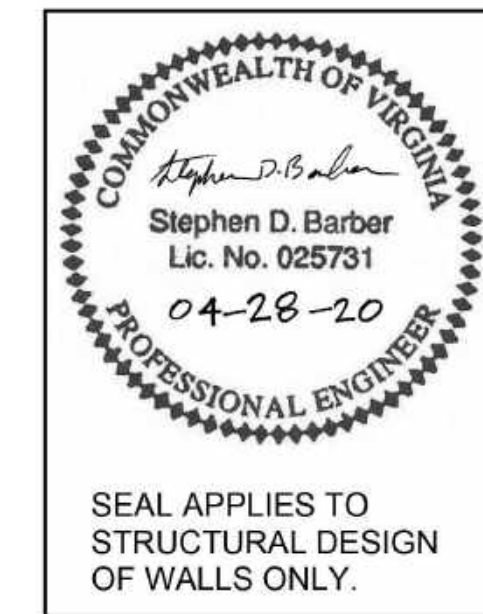
- NOTES:
1. CONCRETE WALL AT 3500 PSI
 2. BRICK COURSING TO ALIGN WITH PROXIMATE WALLS
 3. METAL FLASHING TO BE YORK 304 STAINLESS STEEL FLASHING OR EQUAL. ADHERE TO MASONRY, SEAL PENETRATIONS. INSTALL PER MANUFACTURERS INSTRUCTIONS
 4. DRAIN TO TIE INTO DRAIN INLET. COORDINATE WITH CIVIL DRAWINGS.

1 TYPICAL BRICK RETAINING WALL WITH BRICK CAP
SCALE: 3/4" = 1'-0"



- NOTES:
1. BRICK STAMPING TO EXTEND AT LEAST 6" BELOW FINISH GRADE; ALIGN TOP OF STAMP WITH BRICK COURSING ON HOUSE.
 2. CONCRETE WALL AT 3500 PSI
 3. PROVIDE A MINIMUM OF 24" SOIL DEPTH IN PLANTER
 4. PAINT STAMPED BRICK AND BRICK COPING TO MATCH HOUSE. SEE SPEC. USE MANUFACTURER RECOMMENDED PRIMER ON CONCRETE SURFACES.
 5. STAMPED BRICK FORM LINER BY CUSTOMROCK PATTERN # 5018. WWW.CUSTOMROCK.COM. PROVIDE FORMLINER SAMPLE AND MOCK-UP. INSTALL PER MANUFACTURERS INSTRUCTIONS.

2 STAMPED CONCRETE RETAINING WALL WITH BRICK CAP
SCALE: 3/4" = 1'-0"



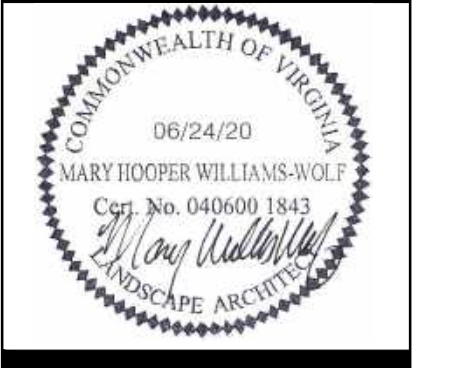
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FINAL SITE PLAN

EPSILON SIGMA HOUSE OF
KAPPA KAPPA GAMMA
503 RUGBY ROAD
Charlottesville, VA

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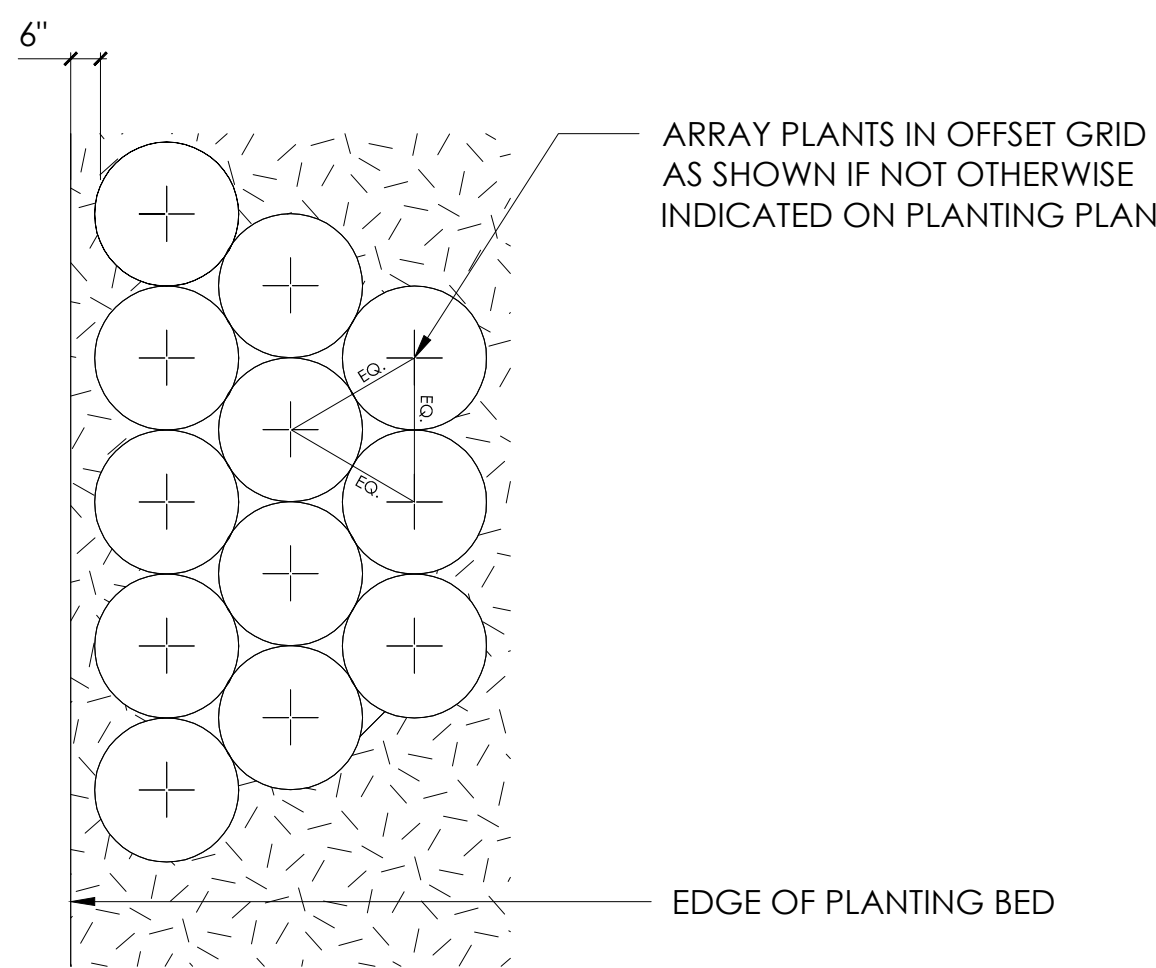
L530
Details

PROJECT 1810

DATE 06/24/2020

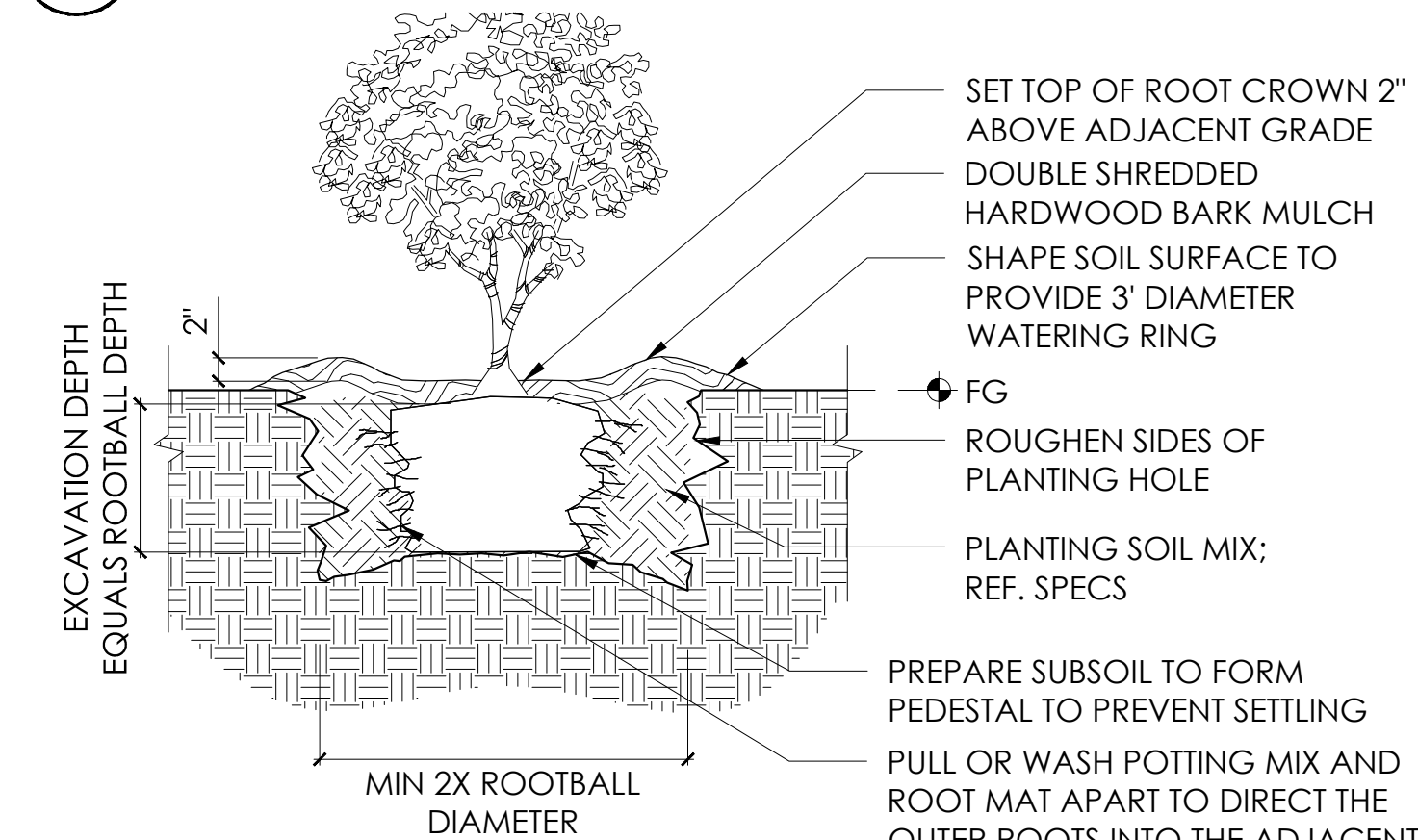
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L530

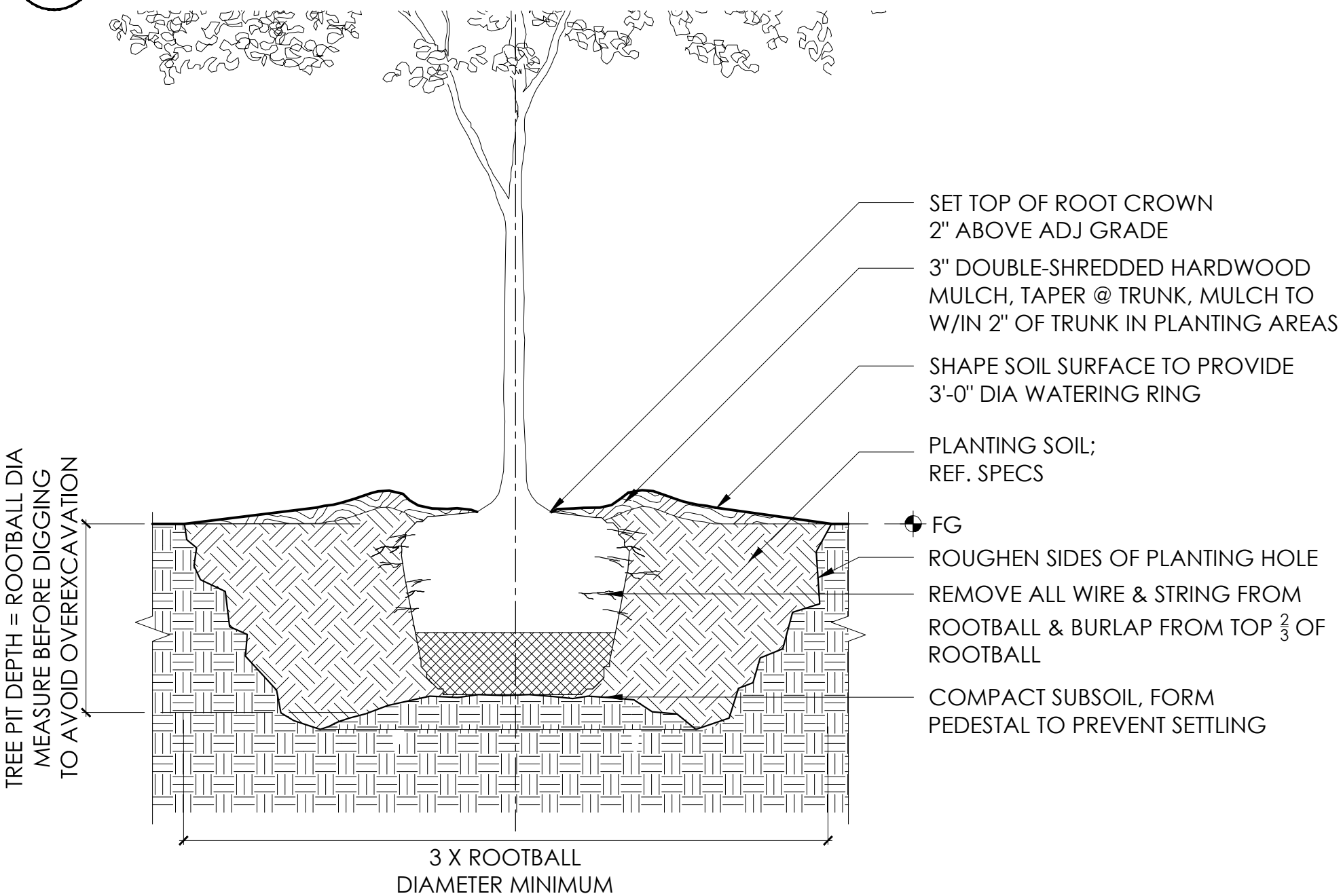


1 PLANT SPACING DIAGRAM
SCALE: 1/4" = 1'-0"

2 GROUND COVER PLANTING
SCALE: 1/2" = 1'-0"



3 SHRUB PLANTING
SCALE: 1/2" = 1'-0"

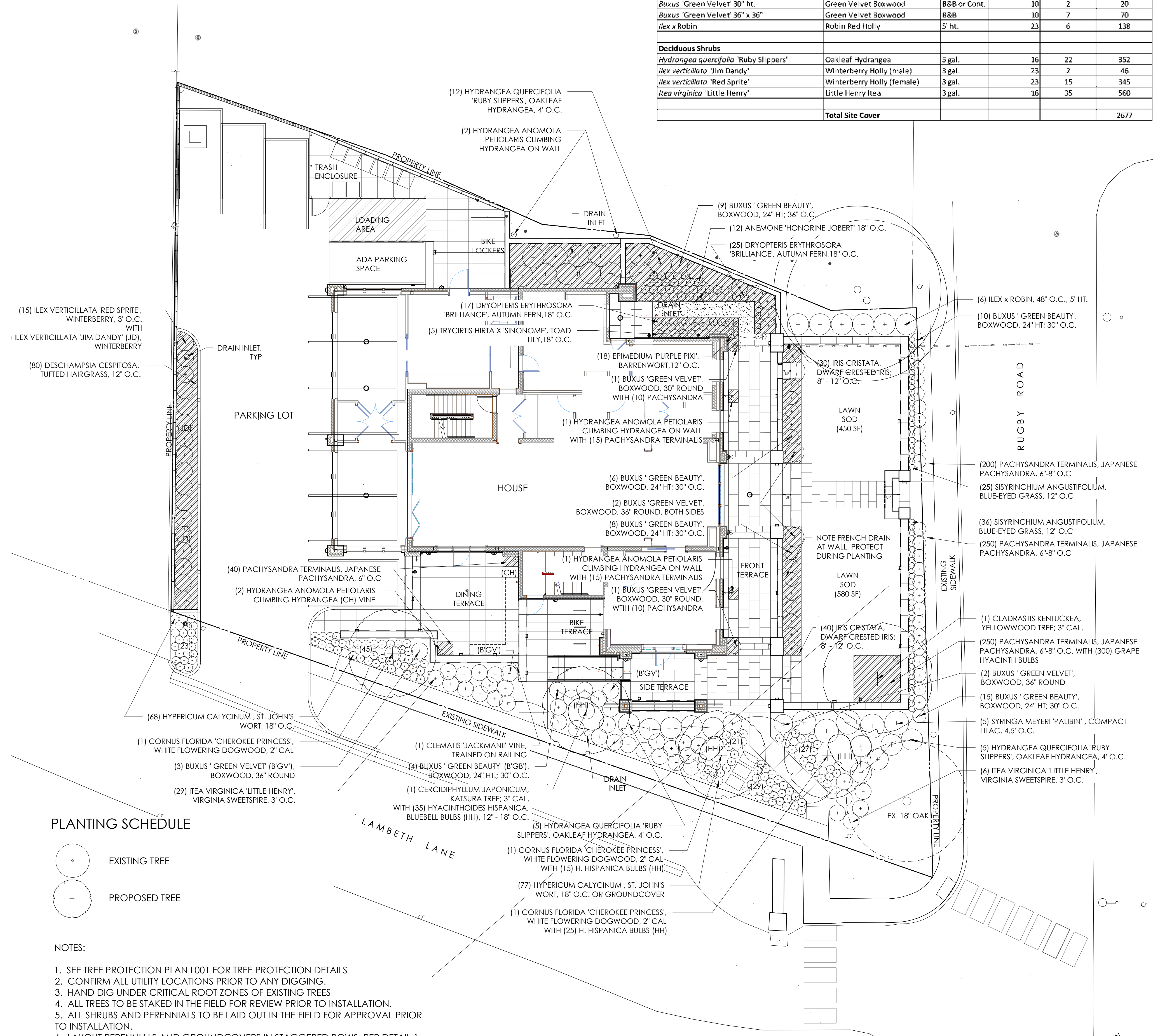


4 TREE PLANTING
SCALE: 1/2" = 1'-0"

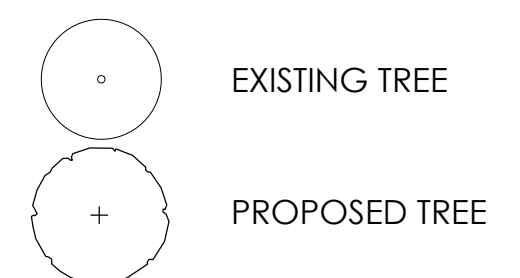
LANDSCAPE CALCULATIONS:

1. REQUIRED SITE COVERAGE - 10% X 13,870SF = 1,387 SF [COVERAGE PROVIDED 2,933 SF]
2. REQUIRED STREET TREES ALONG RIGHT-OF-WAY - LENGTH 105' ALONG RUGBY ROAD
REQUIRED LANDSCAPING - (1) LARGE CANOPY TREE PER 40' OR (1) MEDIUM CANOPY TREE PER 25' = (2) LARGE CANOPY TREES, (1) MEDIUM CANOPY TREE PROVIDED LANDSCAPING - (2) LARGE CANOPY TREES (PRESERVED) AND (1) MEDIUM CANOPY TREE

Botanical name	Common Name	Size	Canopy (sf)	Quantity	Total Site Coverage (sf)
Medium Deciduous Trees					
<i>Cladostis kentuckea</i>	Yellowwood	3" caliper	176	1	176
<i>Cercidiphyllum japonicum</i>	Katsura Tree	3" caliper	78	1	78
<i>Alt. Carpinus caroliniana</i>	Musclewood	3" caliper			
Ornamental Trees					
<i>Cornus florida</i> 'Cherokee Princess'	White Flowering Dogwood	2" caliper	124	3	372
Broadleafed Evergreen Shrubs					
<i>Buxus</i> 'Green Beauty' 24" ht.	Green Beauty Boxwood	B&B or Cont.	10	52	520
<i>Buxus</i> 'Green Velvet' 30" ht.	Green Velvet Boxwood	B&B or Cont.	10	2	20
<i>Buxus</i> 'Green Velvet' 36" x 36"	Green Velvet Boxwood	B&B	10	7	70
<i>Ilex</i> x Robin	Robin Red Holly	5' ht.	23	6	138
Deciduous Shrubs					
<i>Hydrangea quercifolia</i> 'Ruby Slippers'	Oakleaf Hydrangea	5 gal.	16	22	352
<i>Ilex verticillata</i> 'Jim Dandy'	Winterberry Holly (male)	3 gal.	23	2	46
<i>Ilex verticillata</i> 'Red Sprite'	Winterberry Holly (female)	3 gal.	23	15	345
<i>Itea virginica</i> 'Little Henry'	Little Henry Itea	3 gal.	16	35	560
Total Site Cover					2677



PLANTING SCHEDULE



NOTES:

1. SEE TREE PROTECTION PLAN L001 FOR TREE PROTECTION DETAILS
2. CONFIRM ALL UTILITY LOCATIONS PRIOR TO ANY DIGGING.
3. HAND DIG UNDER CRITICAL ROOT ZONES OF EXISTING TREES
4. ALL TREES TO BE STAKED IN THE FIELD FOR REVIEW PRIOR TO INSTALLATION.
5. ALL SHRUBS AND PERENNIALS TO BE LAID OUT IN THE FIELD FOR APPROVAL PRIOR TO INSTALLATION.
6. LAYOUT PERENNIALS AND GROUNDCOVERS IN STAGGERED ROWS, PER DETAIL 1.



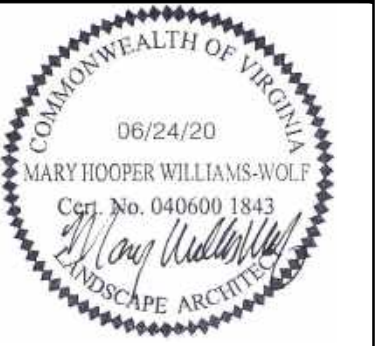
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FINAL SITE PLAN

**EPSILON SIGMA HOUSE OF
KAPPA KAPPA GAMMA**
503 RUGBY ROAD
Charlottesville, VA

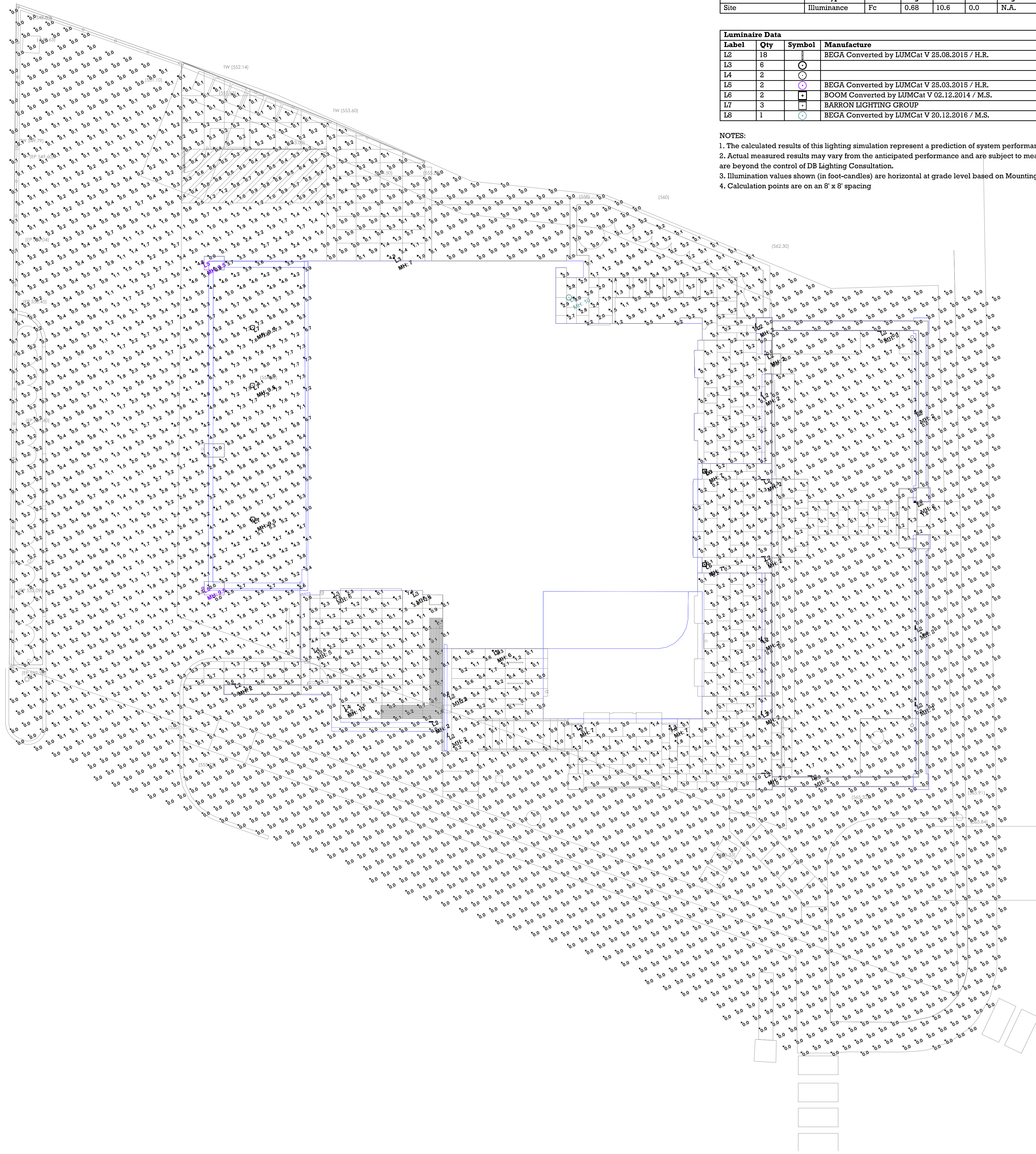
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L600
Planting

REVISIONS	DATE	DESCRIPTION

L600

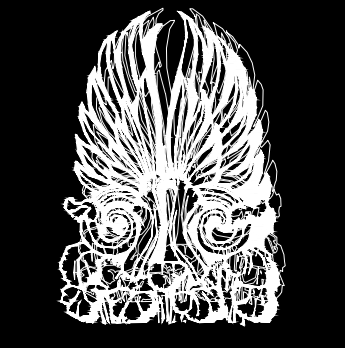




Calculation Values						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Site	ILLUMINANCE	Fc	0.68	10.6	0.0	N.A.

Luminaire Data						
Label	Qty	Symbol	Manufacture	Description	LLF	Arr. Watts
L2	18	⬮	BEGA Converted by LUMCat V 25.08.2015 / H.R.	Bega 33-017	0.720	3
L3	6	⊙		Bega 33-579	0.720	3
L4	2	⊙		Bega 33-579	0.720	3
L5	2	⊙	BEGA Converted by LUMCat V 25.03.2015 / H.R.	Bega 66-410	0.720	12
L6	2	⬮	BOOM Converted by LUMCat V 02.12.2014 / M.S.	Bega 31-228	0.720	9
L7	3	⬮	BARRON LIGHTING GROUP	SCS-S-40-LG-VS-4K	0.720	34.65
L8	1	⊙	BEGA Converted by LUMCat V 20.12.2016 / M.S.	33523	0.720	13

- NOTES:
- The calculated results of this lighting simulation represent a prediction of system performance and are not guaranteed.
 - Actual measured results may vary from the anticipated performance and are subject to means and conditions which are beyond the control of DB Lighting Consultation.
 - Illumination values shown (in foot-candles) are horizontal at grade level based on Mounting Height Marked "MH"
 - Calculation points are on an 8' x 8' spacing



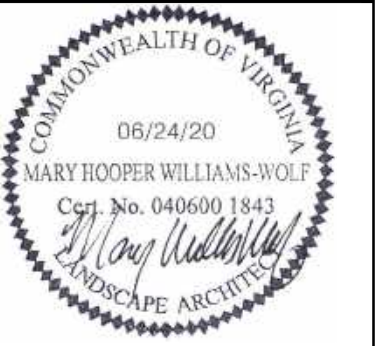
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FINAL SITE PLAN

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 Charlottesville, VA

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**L700
 Lighting**

PROJECT 1810

DATE 06/24/2020

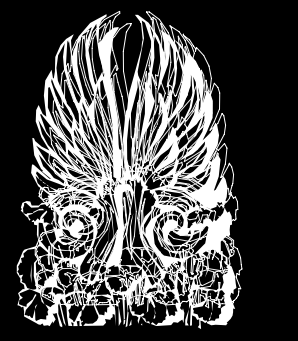
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MARK	DATE	DESCRIPTION

L700





NOTE: RENDERINGS ARE SCHEMATIC IN NATURE. REFER TO ELEVATIONS FOR ACCURATE INFORMATION.



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3D RENDERINGS

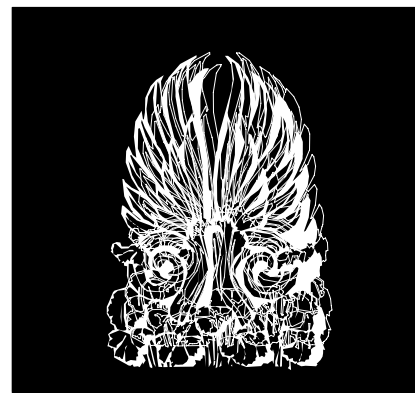
PROJECT 1810

DATE 02/18/2020

REVISIONS

MARK	DATE	DESCRIPTION

A0.0



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ELEVATIONS

PROJECT 1810
DATE 02/18/2020

REVISIONS	MARK	DATE	DESCRIPTION

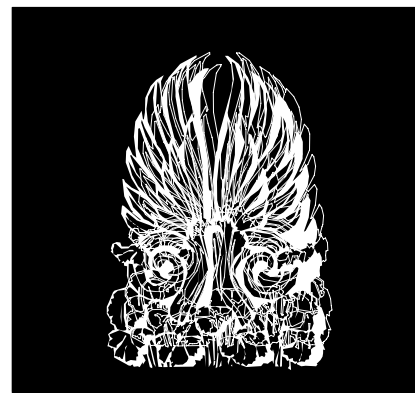
A1.0



2 EAST ELEVATION
A1.0 SCALE: 3/16" = 1'-0"



1 SOUTH ELEVATION
A1.0 SCALE: 3/16" = 1'-0"



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ELEVATIONS

PROJECT 1810
 DATE 02/18/2020

REVISIONS		
MARK	DATE	DESCRIPTION

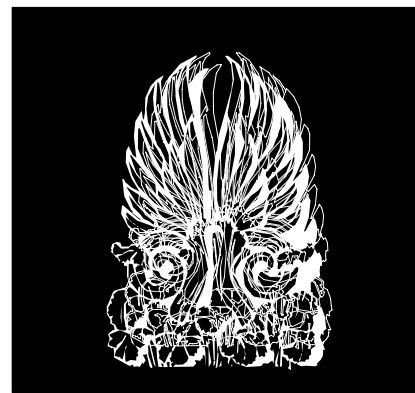
A1.1



2 NORTH ELEVATION
 A1.1 SCALE: 3/16" = 1'-0"



1 WEST ELEVATION
 A1.1 SCALE: 3/16" = 1'-0"



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ACCESSIBLE CONDITIONS

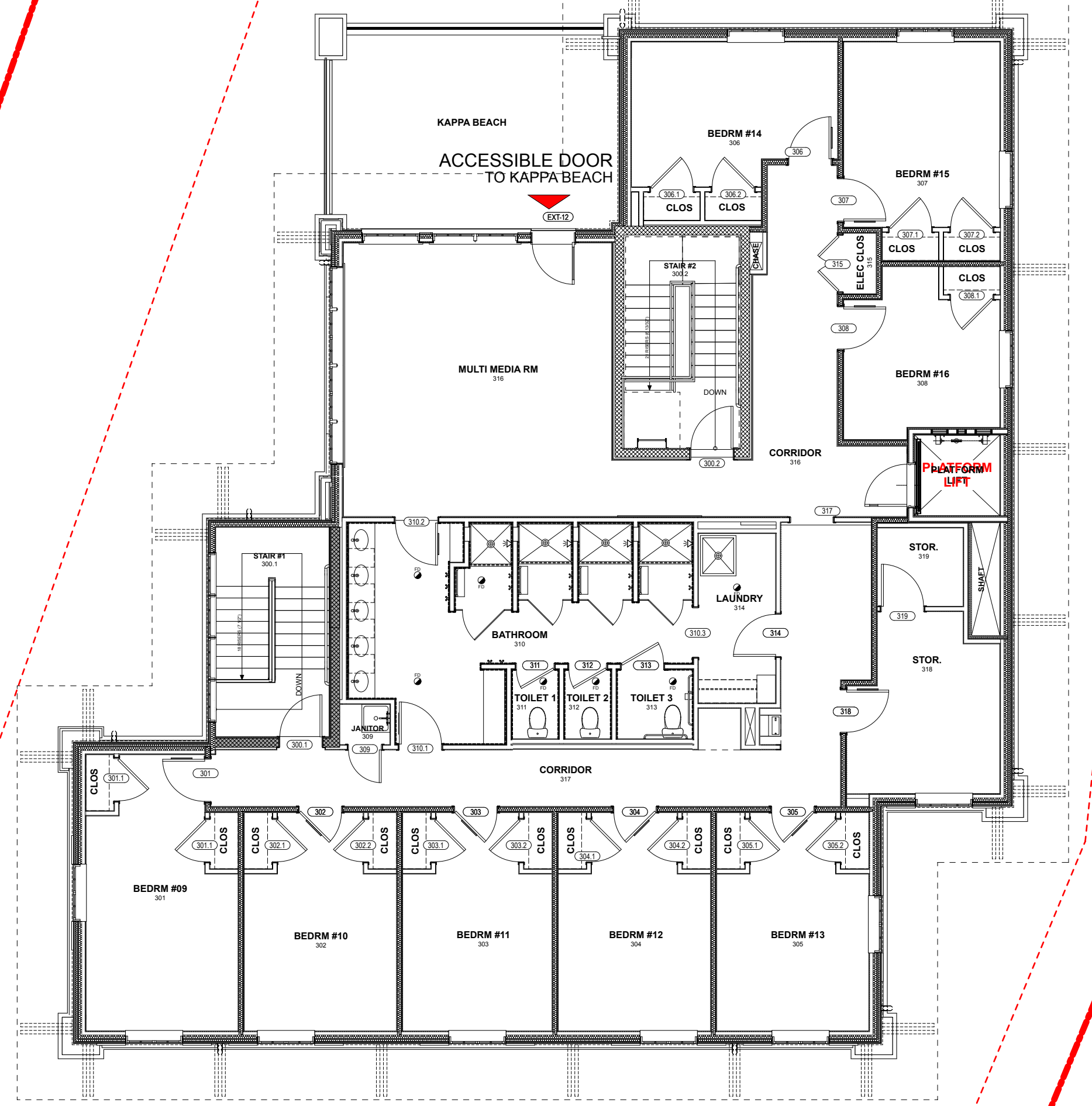
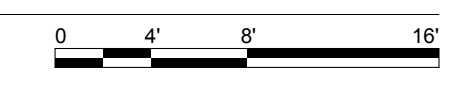
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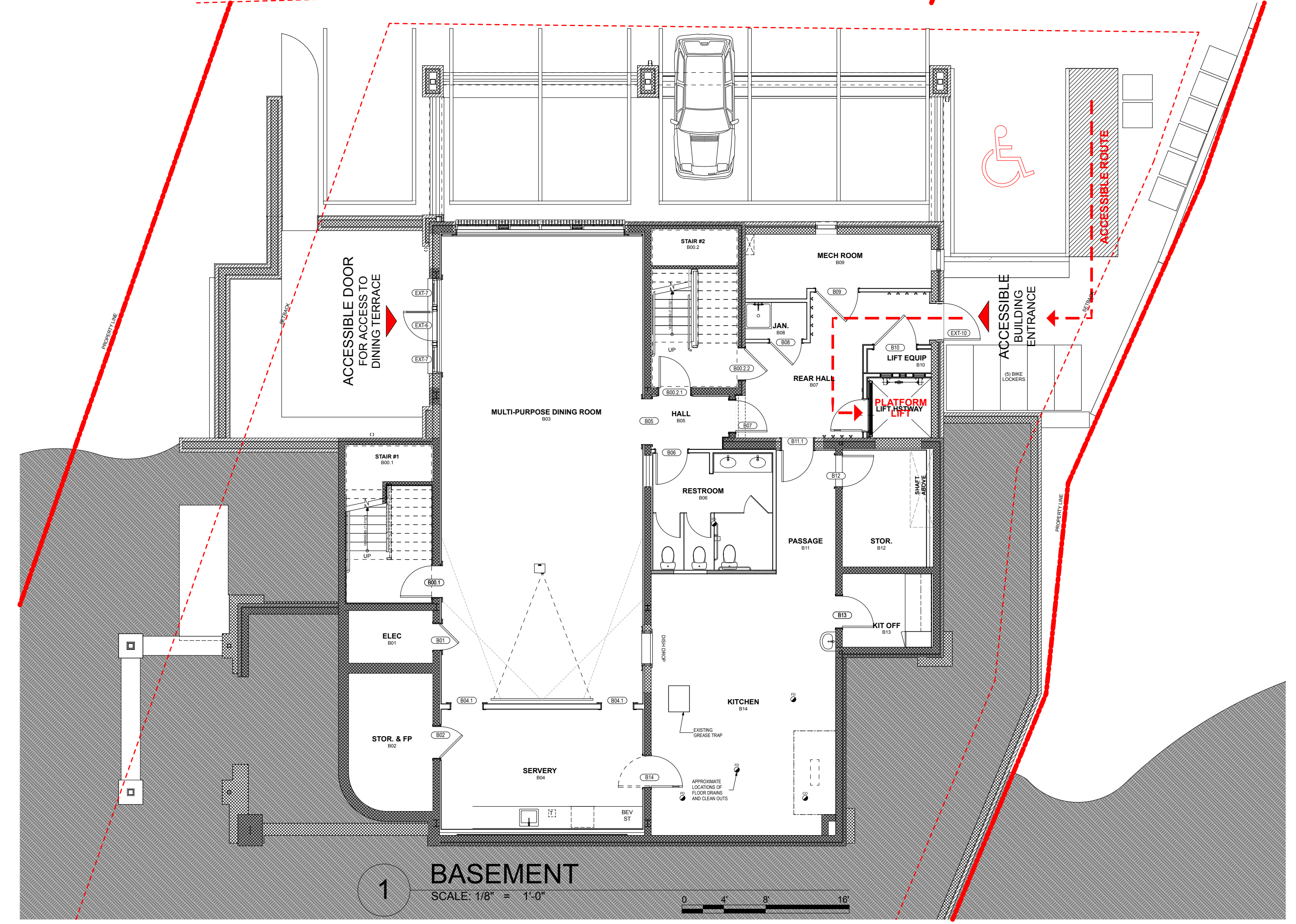
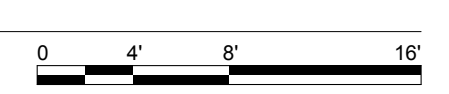
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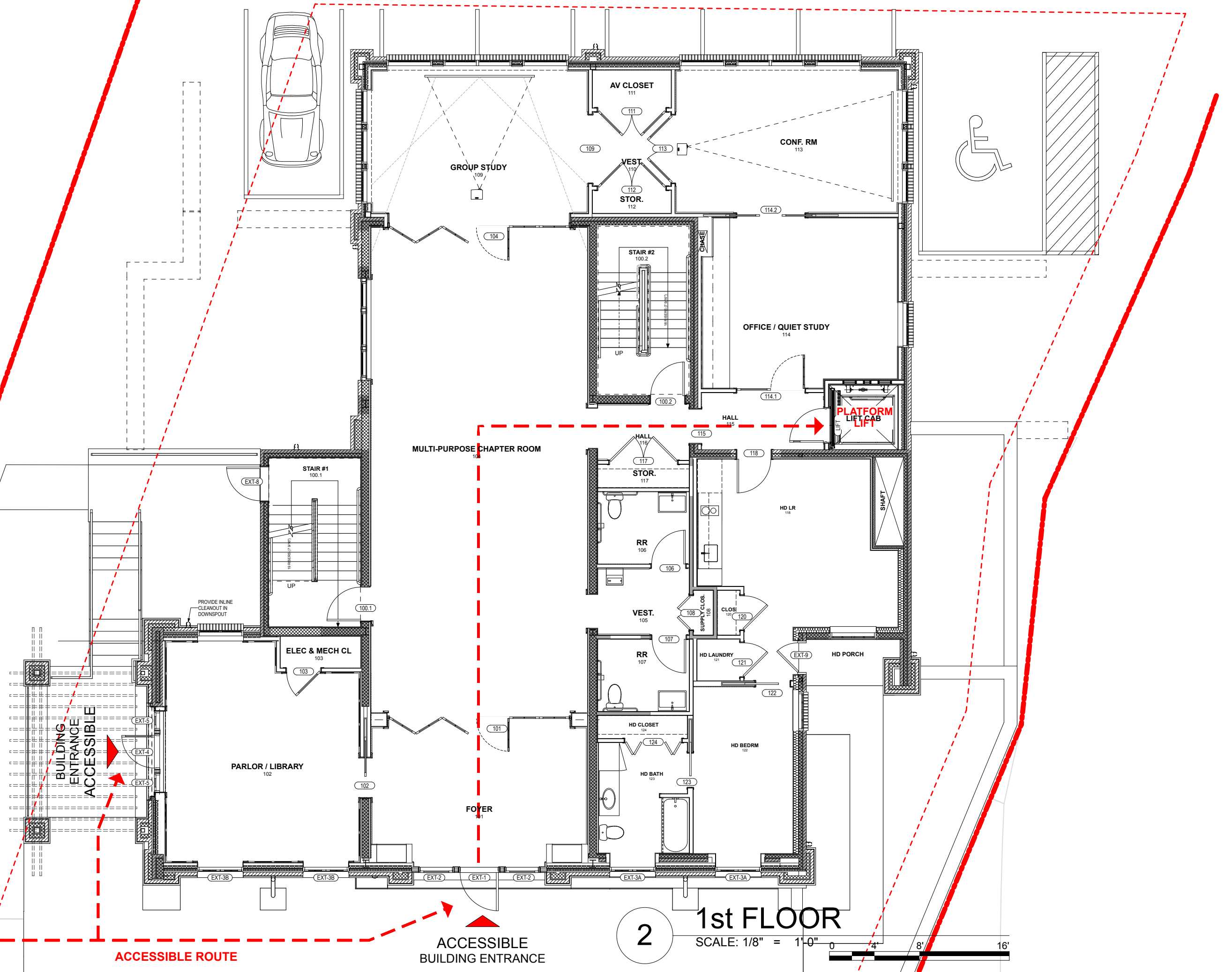
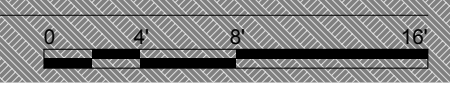
3 2nd FLOOR
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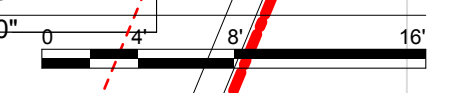
4 3RD FLOOR
 SCALE: 1/8" = 1'-0"



1 BASEMENT
 SCALE: 1/8" = 1'-0"



2 1st FLOOR
 SCALE: 1/8" = 1'-0"



12:01 PM
 Friday, February 14, 2020

CITY OF CHARLOTTESVILLE

DEPT. OF NEIGHBORHOOD DEVELOPMENT SERVICES

STAFF REPORT



APPLICATION FOR APPROVAL OF A FINAL SITE PLAN

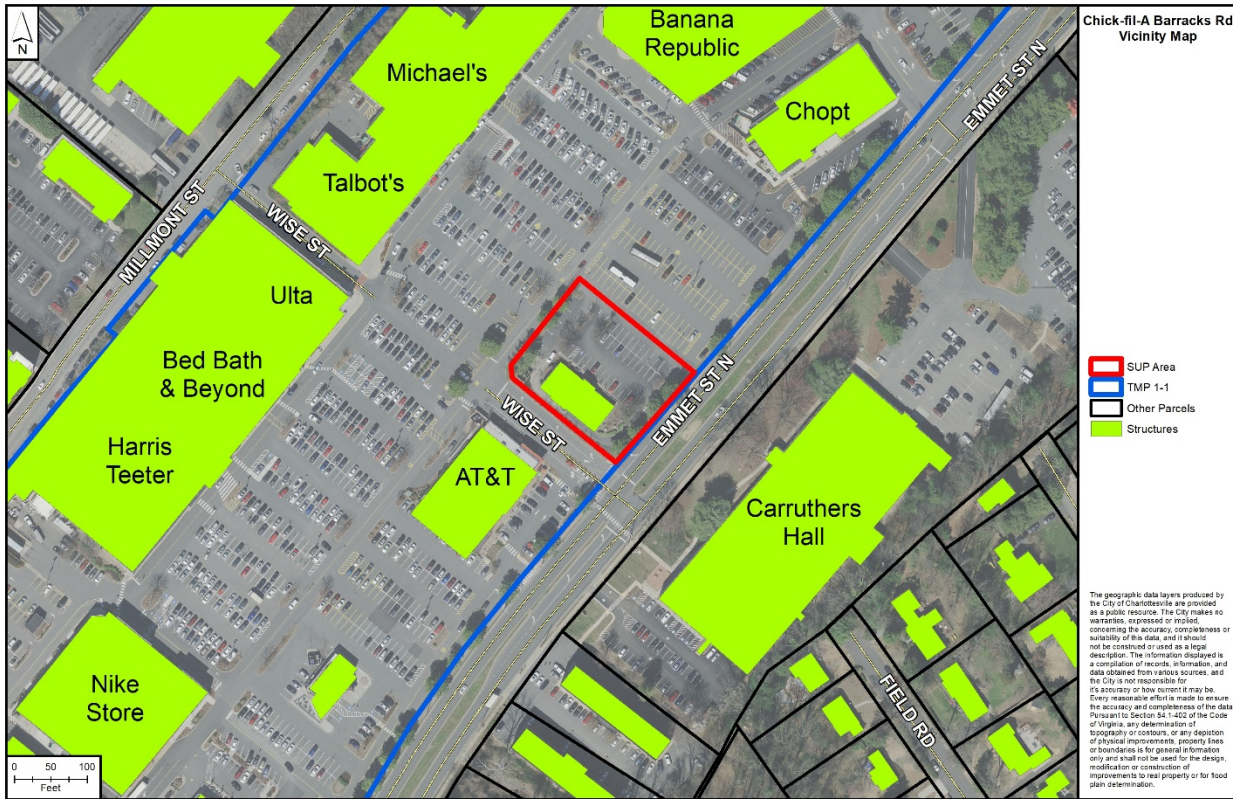
PLANNING COMMISSION REGULAR MEETING

MEETING DATE:	Wednesday, September 9, 2020
DEVELOPMENT NAME:	Chick-fil-A Barracks Road Shopping Center Final Site Plan
APPLICATION NUMBER:	P20-0006
Reason for Planning Commission Review:	Final site plan reflects the proposed development of a property that is the subject of an existing or proposed special permit
Project Planner:	Joey Winter
Date of Staff Report:	August 27, 2020
Applicant:	Mr. Brent Edmiston – Chick-fil-A Inc.
Applicants Representative:	Mr. Ryan Yauger – Bohler Engineering
Owner of Record:	Federal Realty investment Trust
<u>Application Information</u>	
Property Street Address:	1000 Emmet Street North (“Subject Property”)
Tax Map Parcel Number:	TM 1-1 (portion) 010001000
Site Area (per GIS):	0.801 acres (34,892 ft ²)
Comprehensive Plan (Land Use Plan):	Mixed Use
Zoning District:	Urban Corridor Mixed Used District (URB)
Overlay District(s):	Entrance Corridor Overlay

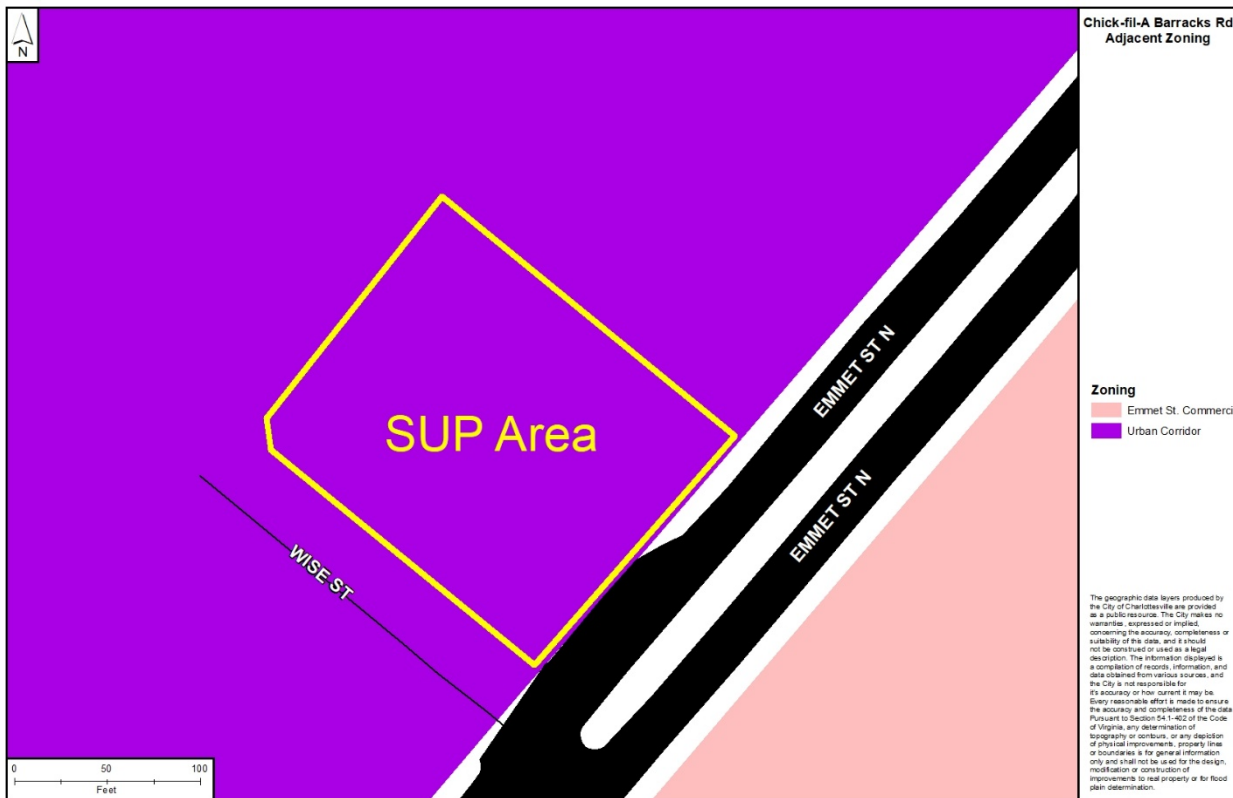
Applicant’s Request

Mr. Ryan Yauger of Bohler Engineering, on behalf of the Chick-fil-A, is seeking Planning Commission approval for the Chick-fil-A Barracks Road Shopping Center Final Site Plan. This final site plan proposes a restaurant with a drive through window at 1000 Emmet Street North in the Barracks Road Shopping Center. On January 6, 2020, City Council approved Special Use Permit SP19-00008 authorizing a restaurant with a drive through window at this location. As per the City’s Zoning Ordinance, Planning Commission shall review this final site plan because it reflects the proposed development of property that is subject to a Special Use Permit.

Vicinity Map



Zoning Map



Standard of Review

Site plan approval is a ministerial function of Planning Commission in which no discretion is involved. If this final site plan contains all required information then it must be granted approval. If Planning Commission disapproves this plan, it shall set forth in writing the specific reasons therefor. The reasons for disapproval shall identify deficiencies in this plan which cause the disapproval, by reference to specific ordinances, laws or regulations. If this plan is disapproved, Planning Commission must also generally identify modifications or corrections that will permit approval of this plan.

Site Plan Requirements

A. Compliance with applicable zoning district regulations [City Code - Chapter 34]

Staff has determined that this site plan complies with requirements of the URB Zoning District.

B. Compliance with the City's Erosion and Sediment Control ordinance [City Code - Chapter 10]

Staff has determined that this final site plan complies with the City's Erosion and Sediment Control ordinance. Erosion and Sediment Control plans are included as site plan Sheets C3.0 through C3.4, and Stormwater Management Plans are included as site plan Sheets PS-1.0 through PS-1.4.

C. Compliance with the City's site plan requirements [City Code - Sec. 34-827 and Sec. 34-828]

Staff has determined that this site plan contains the following information as required:

PRELIMINARY SITE PLAN REQUIREMENTS [Sec. 34-827(d)]	SHEET(S)
1. General site plan information	C-0.0
2. Existing condition and adjacent property information	C-0.0
3. Phasing plan	N/A
4. Topography and grading	C-3.0
5. Existing landscape and trees	C-1.0 to C-1.1
6. Name and location of all water features	N/A
7. One hundred-year flood plain limits	N/A
8. Existing and proposed streets and associated traffic information	C-2.0
9. Location and size of existing water and sewer infrastructure	PS-1.0
10. Proposed layout for water/sanitary sewer facilities & storm drain facilities	PS-1.0
11. Location of other existing and proposed utilities and utility easements	C-1.0
12. Location of existing and proposed ingress to and egress from the property	C-2.0
13. Location and dimensions of all existing and proposed improvements	C-2.0
14. All areas intended to be dedicated or reserved for public use	N/A
15. Landscape plan (if subject to entrance corridor review)	L-1.0 to L-1.1
16. Where deemed appropriate due to intensity of development:	
a. Estimated traffic generation figures based upon current ITE rates	SUP Application
b. Estimated vehicles per day	SUP Application

FINAL SITE PLAN REQUIREMENTS [Sec. 34-828(d)]	SHEET(S)
2. Signage information	N/A
3. Specific written schedules or notes (as necessary)	C-0.0 to C-0.2
4. Residential unit information (if applicable list affordable housing details)	N/A
5. Proposed grading: maximum two-foot contours	C-3.0
6. Detailed plans for proposed water and sanitary sewer facilities	C-4.0 to C-4.3
7. Detailed stormwater management plans	
a. Profiles proposed and existing ditches and channels	C-3.4
b. Profiles proposed and existing storm drainage systems	C-3.4
c. Plan view of all drainage systems	C-3.2 to C-3.3
d. Drainage summary table for culverts, storm drainage facilities and channels	C-3.4
e. Legend showing all symbols and abbreviations used on the plan	C-3.2, C-3.3
f. Final stormwater management plan	PS-1.1 to PS-1.3
g. erosion and sediment control plan	C-3.0 to C-3.3
8. Parking details	C-4.0 to C-4.2
9. Final landscape plan	L-1.0 to L-1.1
10. Signature panel for the preparer	ALL SHEETS
11. Signature panel for the NDS Director and City Engineer	C-0.0

D. Additional information to be shown on the site plan as deemed necessary by the director or Commission in order to provide sufficient information for the director or Commission to adequately review the site plan.

The Special Use Permit approved by City Council on January 6, 2020 includes the following conditions for the Chick-fil-A Barracks Road Shopping Center Final Site Plan:

1. The proposed Special Use, as described and represented within the Application Materials, is hereby authorized to be established on approximately 0.801 acre (approx. 34,892 square feet) of the Subject Property, in the general or approximate location depicted *[on the resolution]*
2. The following development conditions shall apply to the use and development of the Subject Property for the Special Use:
 - a. An accessible pedestrian route from the public sidewalk on Emmet Street North to the primary entrance of the restaurant shall be provided. The City Engineer shall have the authority to require specific safety measures within the final site plan for the Special Use, in order to protect pedestrian traffic in this route from vehicle traffic related to the drive through window use, in accordance with accepted engineering and safety requirements.

COMPLIES – See Sheet C-2.2

- b. A pedestrian route from the internal parking area of the Barracks Road Shopping Center to the west of the Special Use Permit area to the primary entrance of the restaurant shall be provided.
- i. This route shall allow for safe pedestrian access across Wise Street and/or the internal vehicular travelways of Barracks Road Shopping Center.
COMPLIES – See Sheet C-2.2
 - ii. Within the Special Use Permit area, this route shall be readily accessible to and usable by individuals with disabilities, including individuals who use wheelchairs, to the maximum extent feasible.
COMPLIES – See Sheet C-2.2
 - iii. The City Engineer shall have the authority to require specific safety measures within the final site plan for the Special Use, in order to protect pedestrian traffic in this route from vehicular traffic related to the drive-through window.
COMPLIES – See Sheets C-4.0 through C-4.3
 - iv. This condition does not require the developer to change grade or otherwise modify any existing pavement except where the existing pavement will have already been disturbed by demolition of the existing use or construction of the Special Use.
COMPLIES

3. Buildings and structures constructed or established as part of the Special Use shall be subject to the following setbacks: along the Special Use site's primary street frontage (i.e., along Emmet Street North): Five (5) feet, minimum; ninety-two (92) feet, maximum.

COMPLIES – See Sheet C-0.0

4. In addition to the above-referenced conditions, the Special Use authorized by this SUP, and all buildings, structures, improvements and uses located on the Subject Property, shall comply with all other applicable provisions of Chapter 34 (Zoning) of the Code of the City of Charlottesville.

COMPLIES – See All Sheets

PUBLIC COMMENTS RECEIVED

No public comment was received during the final site plan review process.

STAFF'S RECOMMENDATION

Staff recommends that the Chick-fil-A Barracks Road Shopping Center Final Site Plan be approved with the understanding that the landscape plan on Sheet L-1.0 will be modified to conform to all conditions of the Certificate of Appropriateness approved by the Entrance Corridor Review Board.

ATTACHMENTS

- 1) **SP19-00008 – RESOLUTION APPROVING A SPECIAL USE PERMIT TO AUTHORIZE THE ESTABLISHMENT AND OPERATION OF A RESTAURANT WITH A DRIVE-THROUGH WINDOW AT 1000 EMMET STREET NORTH** – *approved by City Council on January 6, 2020*
- 2) **CITY CODE SECTIONS 34-827 & 34-828** – *Preliminary and final site plan content requirements*
- 3) **CHICK-FIL-A BARRACKS ROAD SHOPPING CENTER FINAL SITE PLAN** – *for approval*

**RESOLUTION
APPROVING A SPECIAL USE PERMIT
TO AUTHORIZE THE ESTABLISHMENT AND OPERATION OF A
RESTAURANT WITH A DRIVE-THROUGH WINDOW
AT 1000 EMMET STREET NORTH**

WHEREAS, Chick-fil-A, Inc., by its agent John Martinez, (“Applicant”), with the endorsement of Federal Realty Investment Trust (“Property Owner”) has requested City Council to approve a special use permit pursuant to City Code §34-796, to authorize the establishment of a restaurant with a drive-through window (the proposed “Special Use”) at 1000 Emmet Street North, identified on City Tax Map 1 as Parcel 1 (real estate parcel identification # 010001000) (“Subject Property”). The Subject Property is within the City’s Urban Corridor (URB) Mixed Use zoning district; and

WHEREAS, the requested Special Use is generally described within the Applicant’s application materials submitted in connection with SP19-00008 (the “Application Materials”), and the Special Use is allowed by special use permit within the URB zoning district, pursuant to City Code §34-796; and

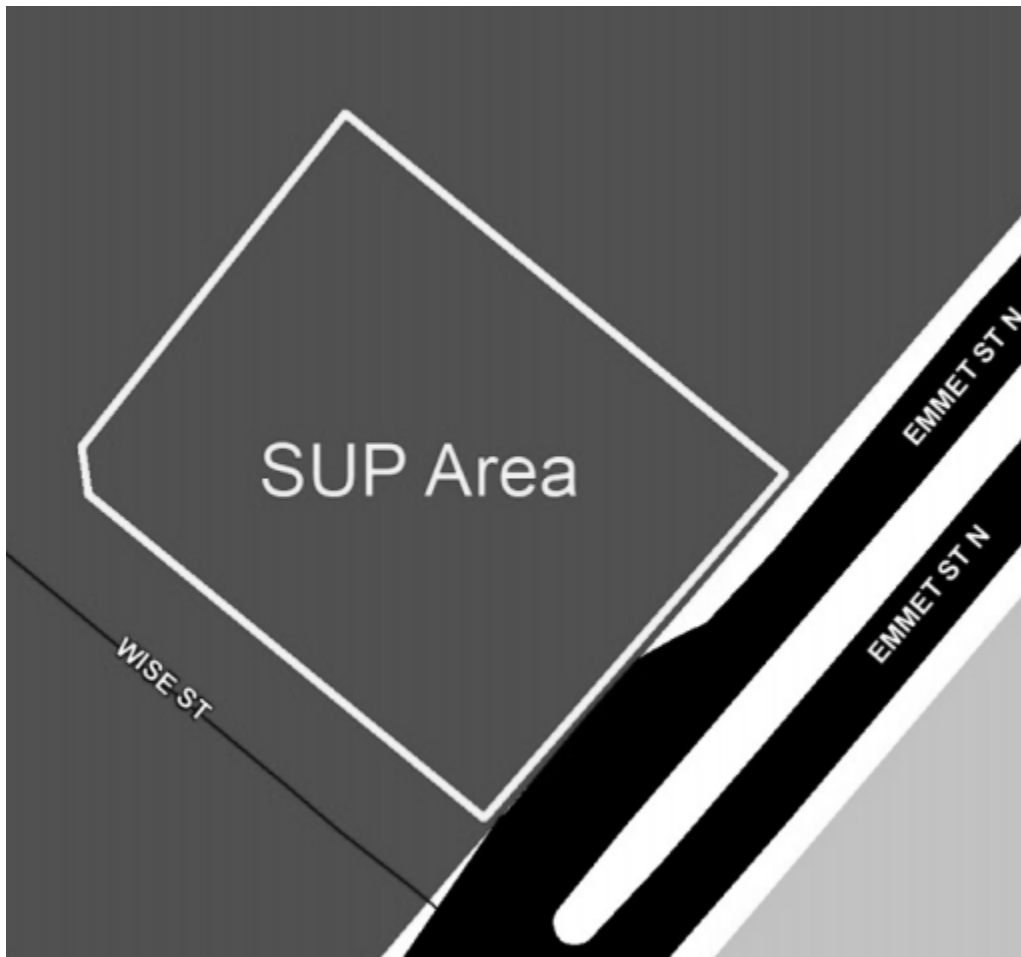
WHEREAS, the existing building at the Subject Property is proposed to be demolished/ removed to allow for establishment of the Special Use and related buildings and improvements; and

WHEREAS, following a joint public hearing, duly advertised and conducted by the Planning Commission and City Council on December 10, 2019, the Commission voted to recommend that City Council should approve the requested Special Use, subject to certain development conditions recommended by the Commission as being suitable regulations and safeguards; and

WHEREAS, upon consideration of the comments received during the joint public hearing; the Staff Report; and the Planning Commission’s recommendations, as well as the factors set forth within §34-157 of the City’s zoning ordinance, this Council finds and determines that granting the requested special use permit, subject to suitable regulations and safeguards, would serve the public necessity, convenience, general welfare or good zoning practice; now, therefore,

BE IT RESOLVED by the Council of the City of Charlottesville, Virginia that, pursuant to City Code §34-796, a special use permit is hereby approved and granted, subject to conditions, as follows:

1. The proposed Special Use, as described and represented within the Application Materials, is hereby authorized to be established on approximately 0.801 acre (approx. 34,892 square feet) of the Subject Property, in the general or approximate location depicted below:



2. The following development conditions shall apply to the use and development of the Subject Property for the Special Use:
 - a. An accessible pedestrian route from the public sidewalk on Emmet Street North to the primary entrance of the restaurant shall be provided. The City Engineer shall have the authority to require specific safety measures within the final site plan for the Special Use, in order to protect pedestrian traffic in this route from vehicle traffic related to the drive through window use, in accordance with accepted engineering and safety requirements.
 - b. A pedestrian route from the internal parking area of the Barracks Road Shopping Center to the west of the Special Use Permit area to the primary entrance of the restaurant shall be provided.
 - i. This route shall allow for safe pedestrian access across Wise Street and/or the internal vehicular travelways of Barracks Road Shopping Center.
 - ii. Within the Special Use Permit area, this route shall be readily accessible to and usable by individuals with disabilities, including individuals who use wheelchairs, to the maximum extent feasible.

- iii. The City Engineer shall have the authority to require specific safety measures within the final site plan for the Special Use, in order to protect pedestrian traffic in this route from vehicular traffic related to the drive-through window.
 - iv. This condition does not require the developer to change grade or otherwise modify any existing pavement except where the existing pavement will have already been disturbed by demolition of the existing use or construction of the Special Use.
 - c. Buildings and structures constructed or established as part of the Special Use shall be subject to the following setbacks: along the Special Use site's primary street frontage (i.e., along Emmet Street North): Five (5) feet, minimum; ninety-two (92) feet, maximum.
- 3. In addition to the above-referenced conditions, the Special Use authorized by this SUP, and all buildings, structures, improvements and uses located on the Subject Property, shall comply with all other applicable provisions of Chapter 34 (Zoning) of the Code of the City of Charlottesville.

Sec. 34-827. - Preliminary site plan contents.

- (a) Sixteen (16) clearly legible blue or black line copies of a preliminary site plan shall be submitted along with an application for approval. In addition, a three-dimensional drawing or model of the proposed site and the surrounding areas showing massing in context shall be submitted along with any preliminary site plan that is to be reviewed by the planning commission. If revisions to the submitted preliminary site plan are necessary, then sixteen (16) full-sized revised copies, and, if the preliminary site plan is to be reviewed by the planning commission, an additional ten (10) revised copies shall be submitted by the revision deadline.
- (b) All waiver, variation and substitution requests shall be submitted with the preliminary site plan, and the applicant shall clearly state the specific items being requested for waiver, variation or substitution.
- (c) The preliminary site plan shall be prepared to an engineering scale of 1:20, unless, in the determination of the director a different scale will allow a better representation of the development.
- (d) The preliminary site plan shall contain the following information:
 - (1) The name of the development; names of the owner(s), developer(s) and individual(s) who prepared the plan; tax map and parcel number; zoning district classification(s); descriptions of all variances, zoning proffers and bonus factors applicable to the site; description of affordable dwelling unit requirements applicable to the subject property pursuant to section 34-12(a) or section 34-12(d)(1); city and state; north point; scale; one (1) datum reference for elevation (where a flood hazard overlay district is involved, U.S. Geological Survey vertical datum shall be shown and/or correlated to plan topography); source of the topography; source of the survey; sheet number and total number of sheets; date of drawing; date and description of latest revision; zoning district, tax map and parcel number, and present use, of each adjacent parcel; departing lot lines; minimum setback lines, yard and building separation requirements; a vicinity sketch showing the property and its relationship with adjoining streets, subdivisions and other landmarks; and boundary dimensions.
 - (2) Written schedules or data as necessary to demonstrate that the site can accommodate the proposed use, including: proposed uses and maximum acreage occupied by each use; maximum number of dwelling units by type; gross residential density; square footage of recreation area(s); percent and acreage of open space; maximum square footage for non-residential uses; maximum lot coverage; maximum height of all structures; schedule of parking, including maximum amount required and amount provided; maximum amount of impervious cover on the site; and if a landscape plan is required, maximum amount of paved parking and vehicular circulation areas.
 - (3) If phasing is planned, phase lines and proposed timing of development;
 - (4) Existing topography for the entire site at maximum five-foot contours; proposed grading (maximum two-foot contours), supplemented where necessary by spot elevations; and sufficient offsite topography to describe prominent and pertinent offsite features and physical characteristics, but in no case less than fifty (50) feet outside of the site unless otherwise approved by the director. Topographic information submitted with a preliminary plat shall be in the form of a topographic survey, which shall identify areas of critical slopes, as defined in section 29-3, natural streams, natural drainage areas, and other topographic features of the site.
 - (5) Existing landscape features as described in section 34-867 (requirements of landscape plans), including all individual trees of six (6) inch caliper or greater.
 - (6) The name and location of all watercourses, waterways, wetlands and other bodies of water adjacent to or on the site.

- (7) One hundred-year flood plain limits, as shown on the official flood insurance maps for the City of Charlottesville, as well as the limits of all floodway areas and base flood elevation data required by section 34-253.
- (8) Existing and proposed streets, access easements, alley easements and rights-of-way, and other vehicular travelways, together with street names, highway route numbers, right-of-way lines and widths, centerline radii, and pavement widths.
- (9) Location and size of drainage channels, and existing and proposed drainage easements; and a stormwater management concept detailing how the applicant will achieve adequate drainage post-development, including a description of the specific design concept the applicant plans to apply. References to specific types of stormwater management facilities, specific treatments, BMPs, LID techniques, etc. shall be provided, The stormwater management concept shall be prepared by a professional engineer or landscape architect, as those terms are defined within Virginia Code § 54.1-400, and shall describe the manner in which stormwater runoff from the subdivision will be controlled in order to minimize the damage to neighboring properties and receiving streams, and prevent the discharge of pollutants into surface waters, in accordance with the requirements of City Code Chapter 10.
- (10) Location and size of existing water, sanitary and storm sewer facilities and easements, and proposed conceptual layout for water and sanitary sewer facilities and public storm sewer facilities.
- (11) Location of other existing and proposed utilities and utility easements.
- (12) Location of existing and proposed ingress to and egress from the property, showing the distance to the centerline of the nearest existing street intersection.
- (13) Location and dimensions of all existing and proposed improvements, including: buildings (maximum footprint and height) and other structures (principal as well as accessory); walkways; fences; walls; trash containers; outdoor lighting; landscaped areas and open space; recreational areas and facilities; parking lots and other paved areas; loading and service areas, together with the proposed paving material types for all walks, parking lots and driveways.
- (14) All areas intended to be dedicated or reserved for public use.
- (15) Landscape plan, in accordance with section 34-867, if the proposed site plan is subject to entrance corridor review.
- (16) Where deemed appropriate by the director due to intensity of development, estimated traffic generation figures for the site based upon current VDOT rates, indicating the estimated vehicles per day and the direction of travel for all connections to a public road.

The director or the commission may require additional information to be shown on the preliminary site plan as deemed necessary in order to provide sufficient information for the director or commission to adequately review the preliminary site plan.

(9-15-03(3); 6-6-05(2); 1-20-09; 11-18-13; 5-19-14, § 2, eff. 7-1-14)

Sec. 34-828. - Final site plan contents.

- (a) A final site plan, together with any amendments thereto, shall be prepared and sealed, signed and dated by an architect, professional engineer, land surveyor or certified landscape architect licensed to practice within the Commonwealth of Virginia.
- (b) Ten (10) clearly legible blue or black line copies of the master drawing shall be submitted to the department of neighborhood development services, along with an application for approval of the final site plan. If review is required by the commission, then the applicant shall also provide one (1) reduced copy of the final site plan, no larger than eleven (11) inches by seventeen (17) inches in size.
- (c) The final site plan shall be prepared to the scale of one (1) inch equals twenty (20) feet or larger, or to such a scale as may be approved by the agent in a particular case. No sheet shall exceed thirty-six (36) inches by forty-two (42) inches in size. The final site plan may be prepared on one (1) or more sheets. If prepared on more than one (1) sheet, match lines shall clearly indicate where the sheets join. The top of the sheet shall be approximately either north or east.
- (d) The final site plan shall reflect conditions of approval of the preliminary site plan, and shall meet all requirements set forth within Code of Virginia § 15.2-2240 et seq. In addition, the final site plan shall contain the following information:
 - (1) The location, character, size, height and orientation of proposed signs, as proposed to be installed or erected in accordance with Article IX, sections 34-1020, et seq. of this chapter; and elevations of buildings showing signs to be placed on exterior walls. Signs which are approved in accordance with this section shall be considered a part of the approved site plan. Thereafter, signs shall not be installed, erected, painted, constructed, structurally altered, hung, rehung or replaced except in conformity with the approved site plan. Any changes in signs from the approved site plan or any additions to the number of signs as shown on the site plan shall be allowed only after amendment of the site plan by the director of neighborhood development services or the planning commission.
 - (2) Specific written schedules or notes as necessary to demonstrate that the requirements of this chapter are being satisfied.
 - (3) Indicate if residential units are sale or rental units; number of bedrooms per unit; and number of units per building if multifamily; specifications for recreational facilities; and reference to the specific deed(s), agreement(s) or other evidence of the property owner's binding obligation to provide affordable dwelling units applicable to the subject property pursuant to section 34-12(a) or section 34-12(d)(1), consistent with regulations approved pursuant to section 34-12(d).
 - (4) Proposed grading: maximum two-foot contours.
 - (5) Detailed plans for proposed water and sanitary sewer facilities, including: all pipe sizes, types and grades; proposed connections to existing or proposed systems; location and dimensions of proposed easements and whether such easements are to be publicly or privately maintained; profiles and cross sections of all water and sewer lines including clearance where lines cross; all water main locations and sizes; valves and fire hydrant locations; all sanitary sewer appurtenances by type and number; the station on the plan to conform to the station shown on the profile, and indicate the top and invert elevation of each structure.

- (6) Detailed stormwater management plans, and construction drainage and grading plans, showing:
 - a. Profiles of all ditches and channels, whether proposed or existing, with existing and proposed grades; invert of ditches, cross pipes or utilities; typical channel cross sections for new construction; and actual cross sections for existing channels intended to remain.
 - b. Profiles of all storm drainage systems showing existing and proposed grades.
 - c. Plan view of all drainage systems with all structures, pipes and channels numbered or lettered on the plan and profile views. Show sufficient dimensions and bench marks to allow field stake out of all proposed work from the boundary lines.
 - d. A drainage summary table for culverts, storm drainage facilities and channels.
 - e. A legend showing all symbols and abbreviations used on the plan.
 - f. Information, details, calculations, construction plans and other documents or data required by Chapter 10 for a final stormwater management plan shall be included, along with such other information, plans, calculations, and details sufficient to demonstrate compliance with the standards for drainage set forth within Article IV of the city's subdivision ordinance.
 - g. Information, details, calculations, plans and other documents or data required by Chapter 10 for an erosion and sediment control plan.
- (7) Typical street sections together with specific street sections where street cut or fill is five (5) feet or greater; centerline curve data; radius of curb returns or edge of pavement; location, type and size of proposed ingress to and egress from the site; together with culvert size; symmetrical transition of pavement at intersection with existing street; the edge of street surface or face of curb for full-length of proposed street; when proposed streets intersect with or adjoin existing streets or travel-ways, both edges of existing pavement or travelway together with curb and gutter indicated for a minimum of one hundred (100) feet or the length of connection, whichever is the greater distance.
- (8) For all parking and loading areas, indicate: size, angle of stalls; width of aisles and specific number of spaces required and provided, and method of computation, indicating type of surfacing for all paved or gravel areas.
- (9) A final landscape plan.
- (10) Signature panel for the preparer, consistent with the requirements of paragraph (a), above.
- (11) Signature panels for the director and the city engineer.

(9-15-03(3); 6-6-05(2); 1-20-09; 4-20-09; 11-18-13; 5-19-14, § 2, eff. 7-1-14)

FINAL SITE PLAN

FOR



STORE # 4332

LOCATION OF SITE

1000 EMMET STREET NORTH
CITY OF CHARLOTTESVILLE
CHARLOTTESVILLE, VA 22903
TAX MAP NUMBER: 010001000

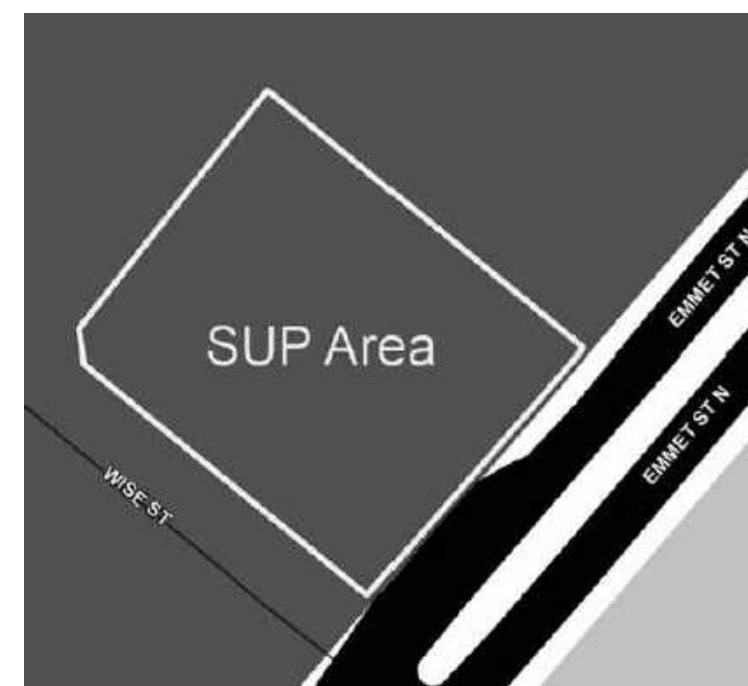
CONTACT INFORMATION

REFERENCES	UTILITIES
ALTANSPTS LAND TITLE SURVEY: BOHLER ENGINEERING 12825 WORLDGATE DRIVE, SUITE 700, HERNDON, VA, 20170 PHONE: (703) 709-9500 FAX: (703) 709-9501 DATED: 05/21/19	CITY OF CHARLOTTESVILLE DEPT. OF UTILITIES 805 EAST MAIN STREET, CHARLOTTESVILLE, VA 22902 ROY NESTER (WATER AND SANITARY) (434) 970-3908 (F) NESTERR@CHARLOTTESVILLE.ORG (E) MELISSA STEPHENS (STORM DRAINAGE) (434) 970-3800 (P) STEPHENSM@CHARLOTTESVILLE.ORG (E)
GOVERNING AGENCIES	CITY OF CHARLOTTESVILLE DEPT. OF PUBLIC WORKS ENGINEERING
CITY OF CHARLOTTESVILLE DEPARTMENT OF NEIGHBORHOOD DEVELOPMENT SERVICES 610 EAST MARKET STREET, CHARLOTTESVILLE, VA 22903 JOEY WINTER (434) 970-3991 (F) WINTER@CHARLOTTESVILLE.ORG (E)	305 4TH STREET NW, CHARLOTTESVILLE, VA 22903 DAVID FRAZIER (EROSION CONTROL) (434) 970-3800 (F) FRAZIERD@CHARLOTTESVILLE.ORG (E)

SPECIAL USE PERMIT (SP19-00008) APPROVED JANUARY 6, 2020

APPROVED CONDITIONS:

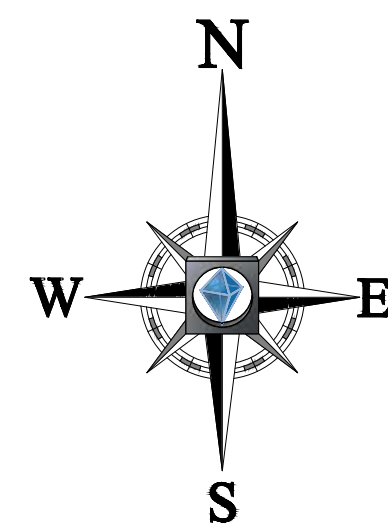
1. THE PROPOSED SPECIAL USE, AS DESCRIBED AND REPRESENTED WITHIN THE APPLICATION MATERIALS, IS HEREBY AUTHORIZED TO BE ESTABLISHED ON APPROXIMATELY 0.801 ACRE (APPROX. 34,892 SQUARE FEET) OF THE SUBJECT PROPERTY, IN THE GENERAL OR APPROXIMATE LOCATION DEPICTED BELOW:



2. THE FOLLOWING DEVELOPMENT CONDITIONS SHALL APPLY TO THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY FOR THE SPECIAL USE:

- AN ACCESSIBLE PEDESTRIAN ROUTE FROM THE PUBLIC SIDEWALK ON EMMET STREET NORTH TO THE PRIMARY ENTRANCE OF THE RESTAURANT SHALL BE PROVIDED. THE CITY ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SPECIFIC SAFETY MEASURES WITHIN THE FINAL SITE PLAN FOR THE SPECIAL USE, IN ORDER TO PROTECT PEDESTRIAN TRAFFIC IN THIS ROUTE FROM VEHICLE TRAFFIC RELATED TO THE DRIVE THROUGH WINDOW USE, IN ACCORDANCE WITH ACCEPTED ENGINEERING AND SAFETY REQUIREMENTS.
- A PEDESTRIAN ROUTE FROM THE INTERNAL PARKING AREA OF THE BARRACKS ROAD SHOPPING CENTER TO THE WEST OF THE SPECIAL USE PERMIT AREA TO THE PRIMARY ENTRANCE OF THE RESTAURANT SHALL BE PROVIDED.
 - THIS ROUTE SHALL ALLOW FOR SAFE PEDESTRIAN ACCESS ACROSS WISE STREET AND/OR THE INTERNAL VEHICULAR TRAVELWAYS OF BARRACKS ROAD SHOPPING CENTER.
 - WITHIN THE SPECIAL USE PERMIT AREA, THIS ROUTE SHALL BE READILY ACCESSIBLE TO AND USABLE BY INDIVIDUALS WITH DISABILITIES, INCLUDING INDIVIDUALS WHO USE WHEELCHAIRS, TO THE MAXIMUM EXTENT FEASIBLE.
 - THE CITY ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SPECIFIC SAFETY MEASURES WITHIN THE FINAL SITE PLAN FOR THE SPECIAL USE, IN ORDER TO PROTECT PEDESTRIAN TRAFFIC IN THIS ROUTE FROM VEHICULAR TRAFFIC RELATED TO THE DRIVE-THROUGH WINDOW.
 - THIS CONDITION DOES NOT REQUIRE THE DEVELOPER TO CHANGE GRADE OR OTHERWISE MODIFY ANY EXISTING PAVEMENT EXCEPT WHERE THE EXISTING PAVEMENT WILL HAVE ALREADY BEEN DISTURBED BY DEMOLITION OF THE EXISTING USE OR CONSTRUCTION OF THE SPECIAL USE.
- BUILDINGS AND STRUCTURES CONSTRUCTED OR ESTABLISHED AS PART OF THE SPECIAL USE SHALL BE SUBJECT TO THE FOLLOWING SETBACKS: ALONG THE SPECIAL USE SITE'S PRIMARY STREET FRONTAGE (I.E., ALONG EMMET STREET NORTH): FIVE (5) FEET, MINIMUM; NINETY-TWO (92) FEET, MAXIMUM.

3. IN ADDITION TO THE ABOVE-REFERENCED CONDITIONS, THE SPECIAL USE AUTHORIZED BY THIS SUP, AND ALL BUILDINGS, STRUCTURES, IMPROVEMENTS AND USES LOCATED ON THE SUBJECT PROPERTY, SHALL COMPLY WITH ALL OTHER APPLICABLE PROVISIONS OF CHAPTER 34 (ZONING) OF THE CODE OF THE CITY OF CHARLOTTESVILLE.



LOCATION MAP
COPYRIGHT 2018
MICROSOFT CORPORATION
SCALE: 1" = 2,000'

OWNER
FEDERAL REALTY INVESTMENT TRUST
1626 E JEFFERSON STREET
ROCKVILLE, MD 20852
CONTACT: CHRISTINE MCGUIRL
PHONE: (301) 998-8393

DEVELOPER
CHICK-FILA
5200 BUFFINGTON ROAD
ATLANTA, GA 30348-2998
CONTACT: BRENT EDMISTON
PHONE: (336) 210-6072



28 BLACKWELL PARK LANE, SUITE 201
WARRENTON, VIRGINIA 20186
Phone: (540) 349-4500
Fax: (540) 349-0321
VA@BOHLERENG.COM
CONTACT: RYAN T. YAUGER, P.E.

SHEET INDEX	
SHEET TITLE	SHEET NUMBER
COVER SHEET	C-0.0
GENERAL NOTES	C-0.1
LEGEND	C-0.2
ALTANSPTS LAND TITLE SURVEY	C-1.0 - C-1.1
DEMOLITION PLAN	C-1.2
SITE PLAN	C-2.0
FIRELANE PLAN	C-2.1
ADA COMPLIANCE PLAN	C-2.2
GRADING AND DRAINAGE PLAN	C-3.0
EROSION AND SEDIMENT CONTROL PLAN PHASE I	C-3.1
EROSION AND SEDIMENT CONTROL PLAN PHASE II	C-3.2
EROSION AND SEDIMENT CONTROL NOTES	C-3.3
EROSION AND SEDIMENT CONTROL DETAILS	C-3.4
SITE DETAILS	C-4.0 - C-4.3
PLUMBING SITE PLAN	PS-1.0
STORMWATER MANAGEMENT PLAN	PS-1.1
SWM AND BMP COMPUTATIONS	PS-1.2
STORM COMPUTATIONS AND PROFILES	PS-1.3
WATER PROFILE AND UTILITY INFORMATION	PS-1.4
LANDSCAPE PLAN	L-1.0
LANDSCAPE NOTES AND DETAILS	L-1.1
PHOTOMETRIC PLAN (BY OTHERS)	E-102

SIGNATURE BLOCK	DATE
_____ DIRECTOR OF NEIGHBORHOOD DEVELOPMENT SERVICES	_____
_____ CITY ENGINEER	_____

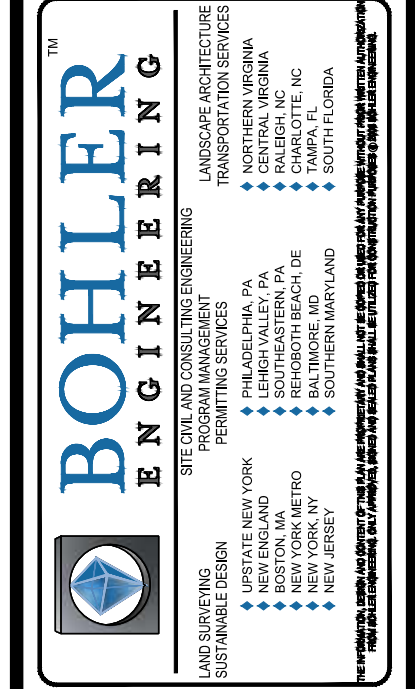
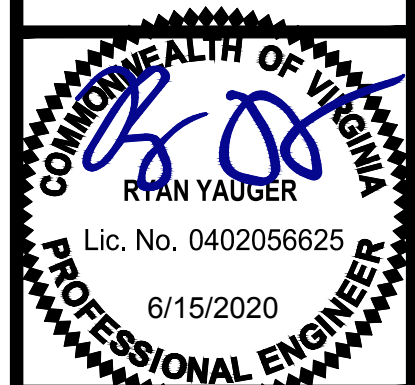
GENERAL NOTES		
TAX MAP: 010001000		
ZONING: URB (ENTRANCE CORRIDOR OVERLAY)		
AREA OF DISTURBANCE: 0.80 ACRES		
FLOOD ZONE X		
PRE-DEVELOPMENT IMPERVIOUS AREA: 0.64 ACRES		
POST-DEVELOPMENT IMPERVIOUS AREA: 0.67 ACRES		
SITE DATA		
	ALLOWED/REQUIRED	PROVIDED
A. MIN. LOT AREA		0.80 AC.
B. BUILDING AREA		14,888 SF
C. MIN. BUILDING SETBACK		
FRONT SETBACK (EMMET STREET)	MIN: 5' MAX: 92'	192'
D. PARKING REQUIREMENTS		
PARKING REQUIREMENT:		
1 SPACE/250 SF OF SEATING AREA	15	36*
ADA REQUIREMENT: (1 FOR EACH 25 TOTAL SPACES)	2	3
E. FLOOR AREA RATIO (F.A.R.)	100%	13.15%
F. MIN. PARKING SPACE DIMENSIONS	9' X 18'	9' X 18'
G. MIN. DRIVE AISLE (ONE-WAY) (60 DEGREE PARKING)	20'	22'
H. BUILDING HEIGHT	40'	21' 4"
* 36 PARKING SPACES PROPOSED WITHIN LEASE AREA		



Revisions:	Mark	Date	By
	1	4/2/2020	RTY

Mark	Date	By
2	6/15/2020	RTY

Mark	Date	By
3		



STORE
#4332
BARRACKS ROAD
SHOPPING CENTER
1000 EMMET STREET N
CHARLOTTESVILLE, VA

SHEET TITLE
COVER SHEET

DWG EDITION **SD0**

Job No. : V176502
Store : #4332
Date : 1/8/2020
Drawn By : JOC
Checked By : RTY

Sheet

C-0.0

GENERAL NOTES:

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS.

1. THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:

- SEE COVER SHEET FOR PLAN REFERENCES

PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST VERIFY THAT HE/SHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE. THIS IS CONTRACTOR'S RESPONSIBILITY.

2. ALL ACCESSIBLE (AKA ADA) PARKING SPACES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA CODE (42 U.S.C. § 12101 et seq. AND 42 U.S.C. § 4151 et seq.) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THE PROJECT IS TO BE CONSTRUCTED, AND ANY AND ALL AMENDMENTS TO BOTH WHICH ARE IN EFFECT WHEN THESE PLANS ARE COMPLETED.

3. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND CONFIRMED THAT ALL NECESSARY OR REQUIRED PERMITS HAVE BEEN OBTAINED. CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.

4. THE OWNER/CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

5. ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT.

6. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN THE PLANS AND THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER, IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.

7. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR MUST FIELD VERIFY EXISTING CONDITIONS AND NOTIFY BOHLER ENGINEERING, IN WRITING, IMMEDIATELY IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.

8. ALL DIMENSIONS SHOWN ON THE PLANS MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, IF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE REDONE OR REPAIRED DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO CONTRACTOR'S WRITTEN NOTIFICATION OF SAME AND ENGINEER, THEREAFTER, PROVIDING CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.

9. CONTRACTOR MUST REFER TO THE ARCHITECTURAL/BUILDING PLANS "OF RECORD" FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.

10. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE ENTIRE SITE PLAN AND THE LATEST ARCHITECTURAL PLANS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE). CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST.

11. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL GOVERNMENTAL AUTHORITIES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER CONTRACTOR.

12. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES.

13. THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONDITION. CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT.

14. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. AND SHALL BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE, BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, REPERMITTING AND CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS, RULES, REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND TO NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.

15. ALL CONCRETE MUST BE AIR ENTRAINED AND HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.

16. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

17. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY. THE ENGINEER OF RECORD HAS NOT BEEN RETAINED TO PERFORM OR BE RESPONSIBLE FOR JOB SITE SAFETY, SAME BEING WHOLLY OUTSIDE OF ENGINEER'S SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD IS NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES, AT ANY TIME.

18. ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKERS' COMPENSATION INSURANCE, EMPLOYERS LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER ENGINEERING, AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THIS HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH BOHLER ENGINEERING WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR ONE YEAR AFTER THE COMPLETION OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, INDEMNIFY, DEFEND AND HOLD HARMLESS BOHLER ENGINEERING AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, INJURIES, CLAIMS, ACTIONS, PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEY'S FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS, ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, AT LEAST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER.

19. BOHLER ENGINEERING WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER INFORMATION. CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS AND/OR TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME HEREUNDER. BOHLER ENGINEERING'S SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM MUST NOT INDICATE THAT BOHLER ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT PROMPTLY AND IMMEDIATELY BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. BOHLER ENGINEERING WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

20. NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING, NOR THE PRESENCE OF BOHLER ENGINEERING AND/OR ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER ENGINEERING AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. BOHLER ENGINEERING SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND MUST BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE IN NOTE 19 FOR JOB SITE SAFETY.

21. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS THE ENGINEER, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, IN ACCORDANCE WITH PARAGRAPH 19 HEREIN, FOR AND FROM ALL FEES, ATTORNEY'S FEES, DAMAGES, COSTS, JUDGMENTS, PENALTIES AND THE LIKE RELATED TO SAME.

22. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE R.O.W. OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE.

23. ALL SIGNING AND PAVEMENT STRIPING MUST CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES OR LOCALLY APPROVED SUPPLEMENT.

24. ENGINEER IS NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM CONTRACTOR'S FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS. IF CONTRACTOR AND/OR OWNER FAIL BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS.

25. OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, IN STRICT ACCORDANCE WITH THE APPROVED PLANS) AND DESIGN AND, FURTHER ENGINEER IS NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, OWNER AGREES TO INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

26. ALL DIMENSIONS MUST BE TO FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, UNLESS NOTED OTHERWISE.

27. ALL CONSTRUCTION AND MATERIALS MUST COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, ORDINANCES, RULES AND CODES, AND ALL APPLICABLE OSHA REQUIREMENTS.

28. CONTRACTOR AND OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF CONTRACTOR AND/OR OWNER FAIL TO DO SO, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

29. CONTRACTOR IS RESPONSIBLE TO MAINTAIN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH EPA REQUIREMENTS FOR THOSE WHERE ONE (1) ACRE OR MORE (UNLESS THE LOCAL JURISDICTION REQUIRES FEWER) IS DISTURBED BY CONSTRUCTION ACTIVITIES. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE.

30. AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED APPLICATION DOCUMENTS PREPARED BY THE SIGNATORY PROFESSIONAL ENGINEER, THE USE OF THE WORDS CERTIFY OR CERTIFICATION CONSTITUTES AN EXPRESSION OF "PROFESSIONAL OPINION" REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

ADA INSTRUCTIONS TO CONTRACTOR

CONTRACTORS SHALL EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA (HANDICAP) ACCESSIBLE COMPONENTS AND ACCESS ROUTES FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH THE CURRENT ADA STANDARDS AND REGULATIONS' BARRIER FREE ACCESS AND ANY MODIFICATIONS, REVISIONS OR UPDATES TO SAME. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACE, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT, MUST COMPLY WITH THESE ADA CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

- PARKING SPACES AND PARKING AISLES - SLOPE SHALL NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION.

- CURB RAMPS - SLOPE SHALL NOT EXCEED 1:12 (8.3%).

- LANDINGS - SHALL BE PROVIDED AT EACH END OF RAMPS, MUST PROVIDE POSITIVE DRAINAGE, AND MUST NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION.

- PATH OF TRAVEL ALONG ACCESSIBLE ROUTE - MUST PROVIDE A 36-INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS CANNOT REDUCE THIS MINIMUM WIDTH). THE SLOPE MUST BE NO GREATER THAN 1:20 (5.0%) IN THE DIRECTION OF TRAVEL, AND MUST NOT EXCEED 1:50 (2.0%) IN CROSS SLOPE. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), ADA RAMP REQUIREMENTS MUST BE ADHERED TO. A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM RISE OF 2.5 FEET, SHALL BE PROVIDED. THE RAMP MUST HAVE ADA HAND RAILS AND LEVEL LANDINGS ON EACH END THAT ARE CROSS SLOPED NO MORE THAN 1:50 IN ANY DIRECTION (2.0%) FOR POSITIVE DRAINAGE.

- DOORWAYS - MUST HAVE A 'LEVEL' LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO LESS THAN 60 INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117-1:2009 AND OTHER REFERENCED INCORPORATED BY CODE.)

- WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ADA COMPONENTS FROM EXISTING DOORWAYS OR SURFACES, CONTRACTOR MUST VERIFY EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES, IN RARE CIRCUMSTANCES. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS, IN WRITING, BEFORE COMMENCING ANY WORK. CONSTRUCTED IMPROVEMENTS MUST ALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ADA REQUIREMENTS.

- THE CONTRACTOR MUST VERIFY THE SLOPES OF CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-COMFORMANCE IS OBSERVED OR EXISTS, CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO POURING CONCRETE. CONTRACTOR IS RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND REPLACE NON-CONFORMING CONCRETE.

IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

GENERAL DEMOLITION NOTES:

1. THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:

SEE COVER SHEET FOR THIS REFERENCE

2. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.), AS AMENDED AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME.

3. BOHLER ENGINEERING HAS NO CONTRACTUAL, LEGAL, OR OTHER RESPONSIBILITY FOR JOB SITE SAFETY OR JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME.

4. THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION, ONLY, REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR MUST ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND ANY DEMOLITION ACTIVITY ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.

5. CONTRACTOR MUST RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS, OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT, WITH BOHLER ENGINEERING, IN WRITING, AND RESPONDED TO BY BOHLER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES.

6. PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FORTO:

A. OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES HAVING JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK AND DEMOLITION WORK.

GENERAL GRADING & UTILITY NOTES

1. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE INDEPENDENTLY CONFIRMED WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS MUST BE INDEPENDENTLY CONFIRMED BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES MUST IMMEDIATELY BE REPORTED TO THE ENGINEER. CONSTRUCTION MUST COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

2. CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION. AT NO COST TO THE OWNER, CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT AND/OR DISCREPANCY BETWEEN THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE OR APPLICABLE CODES, REGULATIONS, LAWS, RULES, STATUTES AND/OR ORDINANCES, IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD, IN WRITING, OF SAID CONFLICT AND/OR DISCREPANCY PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR'S FAILURE TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE CONTRACTOR'S FULL AND COMPLETE ACCEPTANCE OF ALL RESPONSIBILITY TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, ORDINANCES AND CODES AND, FURTHER, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH SAME.

4. THE CONTRACTOR MUST LOCATE AND CLEARLY AND UNAMBIGUOUSLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE AND INACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.

5. THE CONTRACTOR MUST FAMILIARIZE ITSELF WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST COORDINATE WITH THE EXISTING UTILITY SERVICE PROVIDER AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

6. THE CONTRACTOR MUST INSTALL ALL STORM SEWER AND SANITARY SEWER COMPONENTS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.

7. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS/DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF UTILITIES/SERVICES WITH INDIVIDUAL COMPANIES TO AVOID CONFLICTS AND TO ENSURE THAT PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY REQUIREMENTS WITH JURISDICTION AND/OR CONTROL OF THE SITE, AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY, TIE-IN CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE A CONFLICT(S) EXISTS BETWEEN THESE SITE PLANS AND THE ARCHITECTURAL PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION POINTS DIFFER, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER, IN WRITING, AND PRIOR TO CONSTRUCTION, RESOLVE SAME.

8. WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE MUST INCLUDE ALL FEES, COSTS AND APPURTENANCES REQUIRED BY THE UTILITY COMPANY TO PROVIDE FULL AND COMPLETE WORKING SERVICE. CONTRACTOR MUST OBTAIN THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VAULT, PRIOR TO COMMENCING CONSTRUCTION.

9. ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.

10. SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS MUST BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILL AREAS AND SUBGRADE ARE AT ALL DEPTHS AND SUBGRADE PAD AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. UNSUITABLE MATERIALS FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL. COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO.

11. ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND MUST BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS. FILL AND COMPACTION MUST, AT A MINIMUM, COMPLY WITH THE STATE DOT REQUIREMENTS AND SPECIFICATIONS AND CONSULTANT SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL, COMPACTION AND BACKFILL. FURTHER, CONTRACTOR IS FULLY RESPONSIBLE FOR EARTHWORK BALANCE.

12. THE CONTRACTOR MUST COMPLY, TO THE FULLEST EXTENT, WITH THE LATEST OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES AND CONSULTANT SHALL HAVE NO RESPONSIBILITY FOR OR AS RELATED FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES.

13. PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES, AND EXCEPT FOR EDGE OF BUTT JOINTS, MUST EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.

14. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

15. DURING THE INSTALLATION OF SANITARY SEWER, STORM SEWER, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN, CONTAMINATEOUS AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE FROM THE INFORMATION CONTAINED IN THE UTILITY PLAN. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE SITE PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER AT THE COMPLETION OF WORK.

16. WHEN THE SITE IMPROVEMENT PLANS INVOLVE MULTIPLE BUILDINGS, SOME OF WHICH MAY BE BUILT AT A LATER DATE, THE CONTRACTOR MUST EXTEND AND/OR MAINTAIN RECORDS AND BUT NOT LIMITED TO STORM SEWER, SANITARY SEWER, UTILITIES, AND IRRIGATION LINE, TO A POINT AT LEAST FIVE (5) FEET BEYOND THE PAVED AREAS FOR WHICH THE CONTRACTOR IS RESPONSIBLE. CONTRACTOR MUST CAP ENDS AS APPROPRIATE, MARK LOCATIONS WITH A 2x4, AND MUST NOTE THE LOCATION OF ALL OF THE ABOVE ON A CLEAN COPY OF THE SITE PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER UPON COMPLETION OF THE WORK.

17. THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. CONTRACTOR MUST CONFIRM AND ENSURE THE MINIMUM SLOPE AGAINST ALL ISLANDS, QUETTERS, AND CURBS; 1.0% ON ALL CONCRETE SURFACES, AND 1.5% MINIMUM ON ASPHALT (EXCEPT WHERE ADA REQUIREMENTS LIMIT GRADES), TO PREVENT PONDING. CONTRACTOR MUST IMMEDIATELY IDENTIFY, IN WRITING TO THE ENGINEER, ANY DISCREPANCIES THAT MAY OR COULD AFFECT THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE OF THE COMMUNITY OR PROCEED WITH CONSTRUCTION OF THE PROJECT WITHOUT PROVIDING PROPER NOTIFICATION, MUST BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, CONTRACTOR SHALL INDEMNIFY, DEFEND AND HOLD HARMLESS THE DESIGN ENGINEER FOR ANY DAMAGES, COSTS, INJURIES, ATTORNEY'S FEES AND THE LIKE WHICH RESULT FROM SAME.

18. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF 0.75% GUTTER GRADE ALONG CURB FACE. IT IS CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION OF SAME.

19. REFER TO SITE PLAN FOR ADDITIONAL NOTES.

20. IN THE EVENT OF DISCREPANCIES AND/OR CONFLICTS BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE AND CONTROL. CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER, IN WRITING, OF ANY DISCREPANCIES AND/OR CONFLICTS.

21. CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING WORK.

22. WHERE RETAINING WALLS (WHETHER OR NOT THEY MEET THE JURISDICTIONAL DEFINITION) ARE IDENTIFIED ON PLANS, ELEVATIONS IDENTIFIED ARE FOR THE EXPOSED PORTION OF THE WALL. WALL FOOTINGS/FOUNDATION ELEVATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET/DETERMINED BY THE CONTRACTOR BASED ON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSEE IN THE STATE WHERE THE CONSTRUCTION OCCURS.

23. STORM DRAINAGE PIPE:

UNLESS INDICATED OTHERWISE, ALL STORM SEWER PIPE MUST BE REINFORCED CONCRETE PIPE (RCP) CLASS III WITH SILT TIGHT JOINTS. WHEN HIGH-DENSITY POLYETHYLENE PIPE (HDPE) IS CALLED FOR ON THE PLANS, IT MUST CONFORM TO ASHOTO M294 AND TYPE S (SMOOTH INTERIOR WITH ANGULAR CORRUGATIONS) WITH GASKET FOR SILT TIGHT JOINT. PVC PIPE FOR ROOF DRAIN CONNECTION MUST BE SDR 26 OR SCHEDULE 40 UNLESS INDICATED OTHERWISE.

24. SANITARY SEWER PIPE MUST BE POLYVINYL CHLORIDE (PVC) SDR 35 EXCEPT WHERE INDICATED OTHERWISE. SANITARY LATERAL MUST BE PVC SCHEDULE 40 OR PVC SDR 26 UNLESS INDICATED, IN WRITING, OTHERWISE.

25. STORM AND SANITARY SEWER PIPE LENGTHS INDICATED ARE NOMINAL AND MEASURED CENTER OF INLET AND/OR MANHOLES STRUCTURE TO CENTER OF STRUCTURE.

26. STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON PRELIMINARY ARCHITECTURAL PLANS. CONTRACTOR IS RESPONSIBLE TO AND FOR VERIFYING LOCATIONS OF SAME BASED ON FINAL ARCHITECTURAL PLANS.

27. SEWERS CROSSING STREAMS AND/OR LOCATION WITHIN 10 FEET OF THE STREAM EMBANKMENT, OR WHERE SITE CONDITIONS SO INDICATE, MUST BE CONSTRUCTED OF STEEL, REINFORCED CONCRETE, DUCTILE IRON OR OTHER SUITABLE MATERIAL.

28. SEWERS CONVEYING SANITARY FLOW, COMBINED SANITARY AND STORMWATER FLOW, OR INDUSTRIAL FLOW MUST BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES MUST BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN, OR SUCH OTHER SEPARATION AS APPROVED BY THE GOVERNMENT AGENCY WITH JURISDICTION OVER SAME.

- WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER MUST BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER MUST BE PROVIDED.

29. WATER MAIN PIPING MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL WATER PURVEYOR. IN THE ABSENCE OF SUCH REQUIREMENTS, WATER MAIN PIPING MUST BE CEMENT-LINED DUCTILE IRON (DIP) MINIMUM CLASS 52 THICKNESS. ALL PIPE AND APPURTENANCES MUST COMPLY WITH THE APPLICABLE AWWA STANDARDS IN EFFECT AT THE TIME OF APPLICATION.

NOTES:

- THE SUBJECT PARCEL IS PART OF THE LANDS OF FEDERAL REALTY INVESTMENT TRUST AS RECORDED IN DEED BOOK 793 PAGE 231, AMONG THE LANDS RECORDED IN DEED BOOK 470, PAGE 462 (CITY OF CHARLOTTESVILLE) ASSIGNED TO BARRACKS LITE, INC. ASSIGNEE, RECORDED IN DEED BOOK 470, PAGE 469 (CITY OF CHARLOTTESVILLE) VIRGINIA REAL ESTATE INVESTORS CONSENTED TO AN ASSIGNMENT OF THE BARRACKS LITE LEASE TO MOUNTAIN VALLEY CORPORATION RECORDED IN DEED BOOK 543, PAGE 29 (CITY OF CHARLOTTESVILLE); I MAY AFFECT THE PROPOSED CFA LEASE PARCEL, LEASE AGREEMENT WAS SET TO EXPIRE IN 2015 AND UNCLER IF IT WAS RENEWED, LEASE AREA IS SHOWN.
- AREA = 34,876 SQUARE FEET OR 0.801 ACRES
- LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. SOURCE INFORMATION FROM PLANS AND MARKINGS HAS BEEN COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.

APPROXIMATE LOCATION OF UNDERGROUND UTILITIES LYING IN EMMET STREET ARE SHOWN PER PRIVATE UTILITY MARKOUT PERFORMED BY INSIGHT ON APRIL 27, 2020 AND FIELD LOCATED WITH CONVENTIONAL FIELD SURVEY UNLESS OTHERWISE NOTED.

- THIS SURVEY WAS PERFORMED IN THE FIELD ON APRIL 18, 2019 AND ON APRIL 20, 2020, UTILIZING THE REFERENCE DOCUMENTS AS LISTED HEREON AND DEPICTS BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS.
- THIS SURVEY IS PREPARED WITH REFERENCE TO A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT NO. DC1900452, WITH A COMMITMENT DATE OF NOVEMBER 14, 2019, V3. OUR OFFICE HAS REVIEWED THE FOLLOWING SURVEY RELATED EXCEPTIONS IN SCHEDULE B, PART II:

(6) INTENTIONALLY DELETED. LEASE FROM THE THOMAS JEFFERSON CORPORATION TO PEOPLES NATIONAL BANK OF CHARLOTTESVILLE, DATED JUNE 1, 1958, RECORDED JUNE 27, 1958, IN DEED BOOK 208 AT PAGE 388, AS AFFECTED BY AGREEMENT DATED SEPTEMBER 16, 1970, AND RECORDED NOVEMBER 19, 1970, IN DEED BOOK 321 AT PAGE 370, (ALBEMARLE COUNTY, VIRGINIA), DOES NOT AFFECT THE PROPOSED CFA, AFFECT REMAINDER OF SHOPPING CENTER.

(7) INTENTIONALLY DELETED. TERMS, PROVISIONS, CONDITIONS, AND EASEMENTS CONTAINED IN EASEMENT FROM THE THOMAS JEFFERSON CORPORATION TO THE CITY OF CHARLOTTESVILLE, VIRGINIA, DATED OCTOBER 10, 1958, RECORDED OCTOBER 17, 1958, IN DEED BOOK 208 AT PAGE 444, EASEMENT OF RIGHT OF WAY FOR SEWER LINE 20 INCHES IN DIAMETER PARALLEL WITH NORTHERN SIDE OF ROUTE 29, (CITY OF CHARLOTTESVILLE, VIRGINIA), DO NOT AFFECT THE PROPOSED CFA, SEWER LINE WAS REALIGNED WITHIN THE SHOPPING CENTER.

(8) POSSIBLE EASEMENT FOR AN EXISTING TRUNK SEWER LINE OF THE CITY OF CHARLOTTESVILLE AFFECTING PROPERTY SHOWN ON PLAT OF A. R. SWEET, DATED OCTOBER 9, 1958, AND RECORDED IN DEED BOOK 209 AT PAGE 103, (CITY OF CHARLOTTESVILLE, VIRGINIA), MAY AFFECT PROPOSED CFA LEASE PARCEL, VAGUE AND INSUFFICIENT INFORMATION IN RECORD DOCUMENT.

(9) INTENTIONALLY DELETED. TERMS, PROVISIONS, CONDITIONS, AND EASEMENTS CONTAINED IN EASEMENT FROM THE HUNTER CORPORATION TO THE CITY OF CHARLOTTESVILLE, VIRGINIA, DATED JUNE 20, 1962, AND RECORDED JULY 2, 1962, IN DEED BOOK 232 AT PAGE 491, EASEMENT OF RIGHT OF WAY FOR DRAINAGE STRUCTURES ON WESTERN LINE OF EMMET STREET, NO WIDTH GIVEN, (CITY OF CHARLOTTESVILLE, VIRGINIA), DO NOT AFFECT THE PROPOSED CFA, AFFECT REMAINDER OF SHOPPING CENTER TO THE WEST.

(10) INTENTIONALLY DELETED. TERMS, PROVISIONS, CONDITIONS, AND EASEMENTS CONTAINED IN EASEMENT GRANTED CITY OF CHARLOTTESVILLE FOR INSTALLATION AND MAINTENANCE OF DRAINAGE STRUCTURES ALONG THE WESTERLY SIDE OF EMMET STREET BY INSTRUMENT RECORDED IN DEED BOOK 233 AT PAGE 116, (CITY OF CHARLOTTESVILLE, VIRGINIA), DO NOT AFFECT PROPOSED CFA. EASEMENT IS TERMINATED ONCE THE DOUBLE 8' BY 6' CONCRETE CULVERT WAS INSTALLED. SEE CURRENT SURVEY FOR LOCATION OF CULVERT.

(11) TERMS, PROVISIONS, CONDITIONS, AND EASEMENTS CONTAINED IN EASEMENT FOR SANITARY SEWER GRANTED CITY OF CHARLOTTESVILLE BY INSTRUMENT DATED JUNE 26, 1962 AND RECORDED IN DEED BOOK 233 AT PAGE 116, (CITY OF CHARLOTTESVILLE, VIRGINIA), AFFECT THE PROPOSED CFA LEASE PARCEL, APPROXIMATE LOCATION OF CENTERLINE OF SEWER LINE IS SHOWN, NO EASEMENT WIDTH GIVEN.

(12) INTENTIONALLY DELETED. TERMS, PROVISIONS, CONDITIONS, AND EASEMENTS CONTAINED IN EASEMENT FROM THE THOMAS JEFFERSON CORPORATION TO THE CITY OF CHARLOTTESVILLE, VIRGINIA, DATED JULY 12, 1962, RECORDED SEPTEMBER 25, 1962, IN DEED BOOK 234 AT PAGE 445, EASEMENT FOR INSTALLATION OF DRAINAGE STRUCTURES AND EASEMENT FOR CUT AND/OR FILL SLOPES, LOCATED ALONG NORTH SIDE OF ROUTE 29 AND EASTERN SIDE OF BARRACKS ROAD, (CITY OF CHARLOTTESVILLE, VIRGINIA), DO NOT AFFECT PROPOSED CFA, AFFECT REMAINDER OF SHOPPING CENTER EAST OF BARRACKS ROAD.

(13) INTENTIONALLY DELETED. TERMS, PROVISIONS, CONDITIONS, AND EASEMENTS CONTAINED IN EASEMENT FROM THE THOMAS JEFFERSON CORPORATION TO VIRGINIA ELECTRIC AND POWER COMPANY DATED JULY 9, 1965, RECORDED SEPTEMBER 20, 1965, IN DEED BOOK 269 AT PAGE 418, EASEMENT OF RIGHT OF WAY FOR UNDERGROUND SYSTEM BEGINNING ON EAST LINE OF ARLINGTON BOULEVARD AND EXTENDING IN A NORTH-EASTERLY AND EASTERLY DIRECTION TO A BANK BUILDING, NO WIDTH GIVEN, (CITY OF CHARLOTTESVILLE, VIRGINIA), DO NOT AFFECT THE PROPOSED CFA, AFFECT REMAINDER OF SHOPPING CENTER TO THE WEST ADJACENT TO ARLINGTON BOULEVARD.

(14) INTENTIONALLY DELETED. TERMS, PROVISIONS, CONDITIONS, AND EASEMENTS CONTAINED IN EASEMENT FROM THOMAS JEFFERSON CORPORATION TO VIRGINIA ELECTRIC AND POWER COMPANY DATED FEBRUARY 3, 1967, RECORDED MARCH 23, 1967, IN DEED BOOK 286 AT PAGE 288, EASEMENT OF RIGHT OF WAY 10 FEET IN WIDTH FOR UNDERGROUND SYSTEM AT THE INTERSECTION OF EMMET STREET AND ENTRANCE TO THE SHOPPING CENTER, (CITY OF CHARLOTTESVILLE, VIRGINIA), DO NOT AFFECT THE PROPOSED CFA, AFFECT REMAINDER OF SHOPPING CENTER TO THE WEST.

(15) RIGHTS OF UPPER AND LOWER RIPARIAN OWNERS IN AND TO THE USE OF THE WATERS OF MEADOW CREEK AND THE NATURAL FLOW THEREOF; MEADOW CREEK FLOWS WITHIN 6' BY 6' CONCRETE CULVERT.

(16) INTENTIONALLY DELETED. MEMORANDUM OF GROUND LEASE BETWEEN VIRGINIA REAL ESTATE INVESTMENT TRUST AND SAFEWAY STORES, INCORPORATED, DATED NOVEMBER 7, 1980, AND RECORDED DECEMBER 19, 1980, IN DEED BOOK 416 AT PAGE 650, (CITY OF CHARLOTTESVILLE, VIRGINIA), DOES NOT AFFECT THE PROPOSED CFA, GROUND LEASE IS FOR THE SAFEWAY STORE, NOW KROGER IS IN THE LOCATION.

(17) INTENTIONALLY DELETED. EASEMENT, COVENANTS AND RESTRICTIONS CONTAINED IN EASEMENT WITH COVENANTS AND RESTRICTIONS AFFECTING LAND BETWEEN VIRGINIA REAL ESTATE INVESTMENT TRUST AND SAFEWAY STORES, INCORPORATED, DATED AUGUST 28, 1980, AND RECORDED JANUARY 21, 1981, IN DEED BOOK 417 AT PAGE 387, (CITY OF CHARLOTTESVILLE, VIRGINIA), DOES NOT AFFECT THE PROPOSED CFA, BENEFIT PROPOSED CFA, APPROXIMATE LOCATION OF 20 ACCESS EASEMENT SHOWN, THE CURRENT DRIVE LANES ARE LARGER THAN 20 FEET.

(18) INTENTIONALLY DELETED. TENANT CONSENT AGREEMENT BETWEEN VIRGINIA REAL ESTATE INVESTMENT TRUST, CARR REALTY, AND ROSES INCORPORATED, DATED SEPTEMBER 16, 1980, AND RECORDED JANUARY 21, 1981, IN DEED BOOK 417 AT PAGE 382, (CITY OF CHARLOTTESVILLE, VIRGINIA), DOES NOT AFFECT THE PROPOSED CFA, AFFECT REMAINDER OF SHOPPING CENTER TO THE EAST.

(19) INTENTIONALLY DELETED. TENANT CONSENT AGREEMENT BETWEEN VIRGINIA REAL ESTATE INVESTMENT TRUST, CARR REALTY, AND VIRGINIA NATIONAL BANK, DATED SEPTEMBER 15, 1980, AND RECORDED JANUARY 21, 1981, IN DEED BOOK 417 AT PAGE 386, (CITY OF CHARLOTTESVILLE, VIRGINIA), DOES NOT AFFECT THE PROPOSED CFA, AFFECT REMAINDER OF SHOPPING CENTER TO THE EAST.

(20) INTENTIONALLY DELETED. LEASE TO VIRGINIA ALCOHOLIC BEVERAGE CONTROL COMMISSION DATED DECEMBER 16, 1980, AND RECORDED IN DEED BOOK 417 AT PAGE 680, (CITY OF CHARLOTTESVILLE, VIRGINIA), DOES NOT AFFECT THE PROPOSED CFA, AFFECT REMAINDER OF SHOPPING CENTER TO THE EAST, ABC STORE LEASE.

(21) INTENTIONALLY DELETED. RESERVATION OF EASEMENT FOR RIGHT OF WAY AND FOR UTILITIES, AND IMPOSITION OF RESTRICTIVE COVENANTS AS CONTAINED IN DEED FROM W.E. DUKE AND OTHERS, TO MARTHA JEFFERSON CORPORATION, DATED JULY 14, 19, AND RECORDED IN DEED BOOK 301 AT PAGE 240 (COUNTY) AND IN DEED BOOK 165 AT PAGE 394 (CITY). THE AFORESAID EASEMENT OF RIGHT OF WAY WAS MODIFIED BY INSTRUMENT BETWEEN W.E. DUKE AND OTHERS AND THE THOMAS JEFFERSON CORPORATION DATED FEBRUARY 16, 1958, AND RECORDED IN DEED BOOK 346 AT PAGE 445 (ALBEMARLE COUNTY, VIRGINIA), DOES NOT AFFECT THE PROPOSED CFA, AFFECT REMAINDER OF SHOPPING CENTER TO THE EAST ADJACENT TO BARRACKS ROAD.

(22) INTENTIONALLY DELETED. RIGHTS OF UPPER AND LOWER RIPARIAN OWNERS IN AND TO THE NATURAL FLOW AND USE OF THE WATER OF CREEK THROUGH BOX CULVERT TRAVERSING PREMISES, MEADOW CREEK FLOWS WITHIN 6' BY 6' CONCRETE CULVERT.

(23) INTENTIONALLY DELETED. TERMS, PROVISIONS, CONDITIONS, AND EASEMENTS CONTAINED IN EASEMENT TO VIRGINIA ELECTRIC AND POWER COMPANY DATED AUGUST 20, 1961, AND RECORDED IN DEED BOOK 426 AT PAGE 134, DO NOT AFFECT THE PROPOSED CFA, AFFECT REMAINDER OF SHOPPING CENTER TO THE WEST.

(24) TERMS, PROVISIONS, AND CONDITIONS CONTAINED IN MEMORANDUM OF LEASE, BY AND AMONG VIRGINIA REAL ESTATE INVESTORS, LESSOR, LIT APPETITE, INC., LESSEE, RECORDED IN DEED BOOK 470, PAGE 462 (CITY OF CHARLOTTESVILLE) ASSIGNED TO BARRACKS LITE, INC. ASSIGNEE, RECORDED IN DEED BOOK 470, PAGE 469 (CITY OF CHARLOTTESVILLE) VIRGINIA REAL ESTATE INVESTORS CONSENTED TO AN ASSIGNMENT OF THE BARRACKS LITE LEASE TO MOUNTAIN VALLEY CORPORATION RECORDED IN DEED BOOK 543, PAGE 29 (CITY OF CHARLOTTESVILLE); I MAY AFFECT THE PROPOSED CFA LEASE PARCEL, LEASE AGREEMENT WAS SET TO EXPIRE IN 2015 AND UNCLER IF IT WAS RENEWED, LEASE AREA IS SHOWN.

NOTE: THIS APPEARS TO BE THE CURRENT LEASE AFFECTING THE PROPOSED LEASE AREA, NOW OCCUPIED BY BURGER KING

(25) THE FOLLOWING MATTERS SHOWN ON PLAT RECORDED IN DEED BOOK 470 AT PAGE 465 (ATTACHED TO DEED BOOK 470 AT PAGE 462); SEE CURRENT SURVEY, DOCUMENT DOES NOT GRANT OR CONVEY EASEMENTS, SETBACKS OR RIGHTS.

- 30' STORM SEWER AND DRAIN INLET(S);
- EXISTING SANITARY SEWER;
- 20' SANITARY SEWER EASEMENT;
- PROPOSED RELOCATED SANITARY SEWER;
- APPROXIMATE LOCATION OF BOX CULVERT (CONTAINS MEADOW CREEK);
- BUILDING RESTRICTION LINE 20' FROM EMMET STREET;
- LOCATION OF SIDEWALK(S); AND
- MAN-HOLE(S) FOR SANITARY SEWER.

(26) INTENTIONALLY DELETED. TERMS, PROVISIONS, AND CONDITIONS CONTAINED IN LEASE FROM VIRGINIA REAL ESTATE INVESTORS TO THE VIRGINIA ALCOHOLIC BEVERAGE CONTROL BOARD, DATED FEBRUARY 1, 1991, RECORDED IN DEED BOOK 574, PAGE 773 (CITY OF CHARLOTTESVILLE); DOES NOT AFFECT THE PROPOSED CFA, AFFECT REMAINDER OF SHOPPING CENTER TO THE EAST, ABC STORE LEASE.

(27) TERMS, PROVISIONS, CONDITIONS, RESTRICTIONS, AND COVENANTS OF LEASE FROM VIRGINIA REAL ESTATE INVESTORS TO THE MAYFAIR PARTNERS, LP, DATED OCTOBER 4, 1994, RECORDED IN DEED BOOK 648, PAGE 665 (CITY OF CHARLOTTESVILLE), AFFECT THE PROPOSED CFA LEASE PARCEL, NOT PLOTTABLE, GENERAL IN NATURE, CONTAINS USE RESTRICTIONS.

NOTE: THIS INSTRUMENT CONTAINS RESTRICTIONS/COVENANTS WHICH WOULD SPECIFICALLY PROHIBIT A CHICK-FIL-A RESTAURANT IN THE BARRACKS ROAD SHOPPING CENTER. FORMER BOSTON MARKET) ALSO SEE ASSIGNMENT OF LEASE FROM BOSTON MARKET CORPORATION TO MCDONALDS RECORDED IN DEED BOOK 1164, PAGE 143 AND AGREEMENTS DISCLOSED ON EXHIBIT B OF SAID ASSIGNMENT, (CITY OF CHARLOTTESVILLE)

(28) INTENTIONALLY DELETED. TERMS, PROVISIONS, AND CONDITIONS CONTAINED IN DEED OF LEASE (VIRGINIA ALCOHOLIC CONTROL BOARD) RECORDED IN DEED BOOK 804, PAGE 666, DOES NOT AFFECT THE PROPOSED CFA, AFFECT REMAINDER OF SHOPPING CENTER TO THE EAST, ABC STORE LEASE.

(29) INTENTIONALLY DELETED. TERMS, PROVISIONS, AND CONDITIONS CONTAINED IN MEMORANDUM OF LEASE (PANERA LLC) RECORDED IN DEED BOOK 998, PAGE 40, DOES NOT AFFECT THE PROPOSED CFA, AFFECT REMAINDER OF SHOPPING CENTER TO THE EAST, PANERA LEASE.

(30) INTENTIONALLY DELETED. TERMS, PROVISIONS, AND CONDITIONS CONTAINED IN DEED OF LEASE (VIRGINIA ALCOHOLIC CONTROL BOARD) RECORDED IN DEED BOOK 1057, PAGE 808, DOES NOT AFFECT THE PROPOSED CFA, AFFECT REMAINDER OF SHOPPING CENTER TO THE EAST, ABC STORE LEASE.

(31) TERMS, PROVISIONS, CONDITIONS, AND RESTRICTIONS CONTAINED IN AMENDED MEMORANDUM OF LEASE (MCDONALDS) RECORDED AS INSTRUMENT NO. 2009005535; AFFECT THE PROPOSED CFA LEASE PARCEL, NOT PLOTTABLE, GENERAL IN NATURE, MCDONALDS LEASE CONTAINS NON-COMPETE CLAUSE.

(32) TERMS, PROVISIONS, CONDITIONS, AND EASEMENTS CONTAINED IN STORMWATER MANAGEMENT/BMP FACILITIES MAINTENANCE AGREEMENT RECORDED AS INSTRUMENT NO. 2013005320; AFFECT THE PROPOSED CFA LEASE PARCEL, NOT PLOTTABLE, GENERAL IN NATURE.

(33) INTENTIONALLY DELETED. TERMS, PROVISIONS, CONDITIONS, AND EASEMENTS AND RIGHTS GRANTED TO THE CITY OF CHARLOTTESVILLE, VIRGINIA BY DEED OF EASEMENT RECORDED AS INSTRUMENT NO. 2018-0000418, DOES NOT AFFECT THE PROPOSED CFA, AFFECT REMAINDER OF SHOPPING CENTER TO WEST.

(34) TERMS, PROVISIONS, CONDITIONS AND EASEMENTS CONTAINED IN RIGHT OF WAY AGREEMENT BETWEEN FEDERAL REALTY INVESTMENT TRUST AND VIRGINIA ELECTRIC AND POWER COMPANY DATED AUGUST 21, 2019 AND RECORDED OCTOBER 24, 2019 AS INSTRUMENT NO. 20190003379; DO NOT AFFECT THE PROPOSED CFA LEASE PARCEL, AFFECT REMAINDER OF THE SHOPPING CENTER TO THE SOUTH.

(35) TERMS AND CONDITIONS SET FOR THE IN SHORT FORM LEASE BETWEEN FEDERAL REALTY INVESTMENT TRUST AND CHICK-FIL-A, INC., DATED 11/15/2019, AND RECORDED AS INSTRUMENT NO. 20190003379; DO NOT AFFECT THE PROPOSED CFA LEASE PARCEL, GENERAL IN NATURE. BENEFITING ACCESS AND PARKING EASEMENT OVER COMMON AREAS.

6. ELEVATIONS ARE BASED ON NAVD83 DATUM DETERMINED BY GPS OBSERVATIONS.

7. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 5% ANNUAL CHANCE FLOODPLAIN) PER MAP ENTITLED "FIRM FLOOD INSURANCE RATE MAP, ALBEMARLE COUNTY, VIRGINIA AND INCORPORATED AREAS AND THE INDEPENDENT CITY OF CHARLOTTESVILLE, PANEL 267 OF 575", MAP NUMBER 5100302670, WITH A MAP EFFECTIVE DATE OF FEBRUARY 4, 2005.

8. ZONING: URB (URBAN CORRIDOR)

BUILDING SETBACKS
FRONT (SOUTHEAST, EMMET ST. N) MINIMUM: 5'; MAXIMUM: 30'
(PER CONVERSATION WITH CITY STAFF, MAXIMUM SETBACK WILL NOT BE REQUIRED DUE TO THE PRESENCE OF AN EXISTING UTILITY BANK)
SIDE (SOUTHWEST, WISE STREET) MINIMUM: 5'; MAXIMUM: 20'
REAR (NORTHEAST AND NORTHWEST): NONE REQUIRED

ALL ZONING INFORMATION WAS PROVIDED IN A DEVELOPMENT INVESTIGATION REPORT PREPARED BY BOHLER ENGINEERING, DATED MARCH 1, 2019 AND MUST BE VERIFIED PRIOR TO USE OR RELY UPON SAME, TO CONFIRM THE ZONING INFORMATION REPRESENTS AND DEPICTS THE THEN-CURRENT SITE-SPECIFIC INFORMATION. SHOULD THERE BE ANY CHANGE IN USE, SETBACKS AND/OR SET BACK REQUIREMENTS, ZONING CLASSIFICATION AND/OR ANY OTHER CHANGE OR VARIATION FROM THE CONDITIONS RECORDED HEREIN, THE CLIENT MUST VERIFY COMPLIANCE WITH THE USE, SET BACK, ZONING CLASSIFICATION AND/OR ORDINANCE, REGULATION OR LEGAL REQUIREMENT, PRIOR TO USING OR RELYING UPON THE FINDINGS RECORDED HEREIN, OR REFERENCING SAME AS RELATED TO THE PROPERTY, PROJECT AND/OR DEVELOPMENT.

9. THERE IS NO RECENT EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.

10. THERE ARE NOT ANY CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION AND THERE IS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.

11. THERE IS NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

12. THERE ARE NO GAPS, GORES, OVERLAPS OR HIATUS BETWEEN EMMET STREET NORTH - U.S. RTE. 29 (PUBLIC RIGHT-OF-WAY) AND THE PROPOSED CFA LEASE PARCEL.

13. PARKING: 38 STANDARD 2 ADA 40 TOTAL SPACES

14. PROPERTY HAS INDIRECT ACCESS TO EMMET STREET U.S. RTE. 29 (PUBLIC RIGHT-OF-WAY) NORTH THROUGH THE SHOPPING CENTER, OVER THE COMMON AREAS, AS STATED IN THE SHORT FORM LEASE, UNRECORDED.

15. ALL MATTERS SHOWN ON RECORDED PLATS PROVIDED TO THE SURVEYOR THAT ARE LEGIBLE, WITHIN THE LIMITS OF THIS SURVEY, ARE AND PLOTTABLE, ARE SHOWN.

16. THE LAND DESCRIBED ON THE SAME AS THE LAND DESCRIBED IN FIDELITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT NO. DC1900452 WITH A COMMITMENT DATE OF NOVEMBER 14, 2019, V3.

17. THERE ARE NO VISIBLE ENCROACHMENTS SHOWN ON THE SURVEY. ENCROACHMENT IS A LEGAL CONDITION, NOT A MATTER OF SURVEY AND, AS A RESULT, THERE MAY BE POSSIBLE ENCROACHMENTS AFFECTING THE PROPERTY THAT ARE NOT SHOWN.

18. GENERAL VEHICULAR AND PEDESTRIAN ACCESS AND PARKING OVER ALL AREAS USED IN COMMON WITH OTHER TENANTS OF THE SHOPPING CENTER, AT LEAST TOW ACCESS POINTS PROVIDING VEHICULAR INGRESS AND EGRESS FROM THE LAND TO EMMETT STREET - U.S. RTE. 29.

19. THERE IS NO EVIDENCE OF THE SITE BEING USED AS BURIAL GROUND OR CEMETERY.

**SURVEYED DESCRIPTION
PROPOSED CFA LEASE PARCEL**

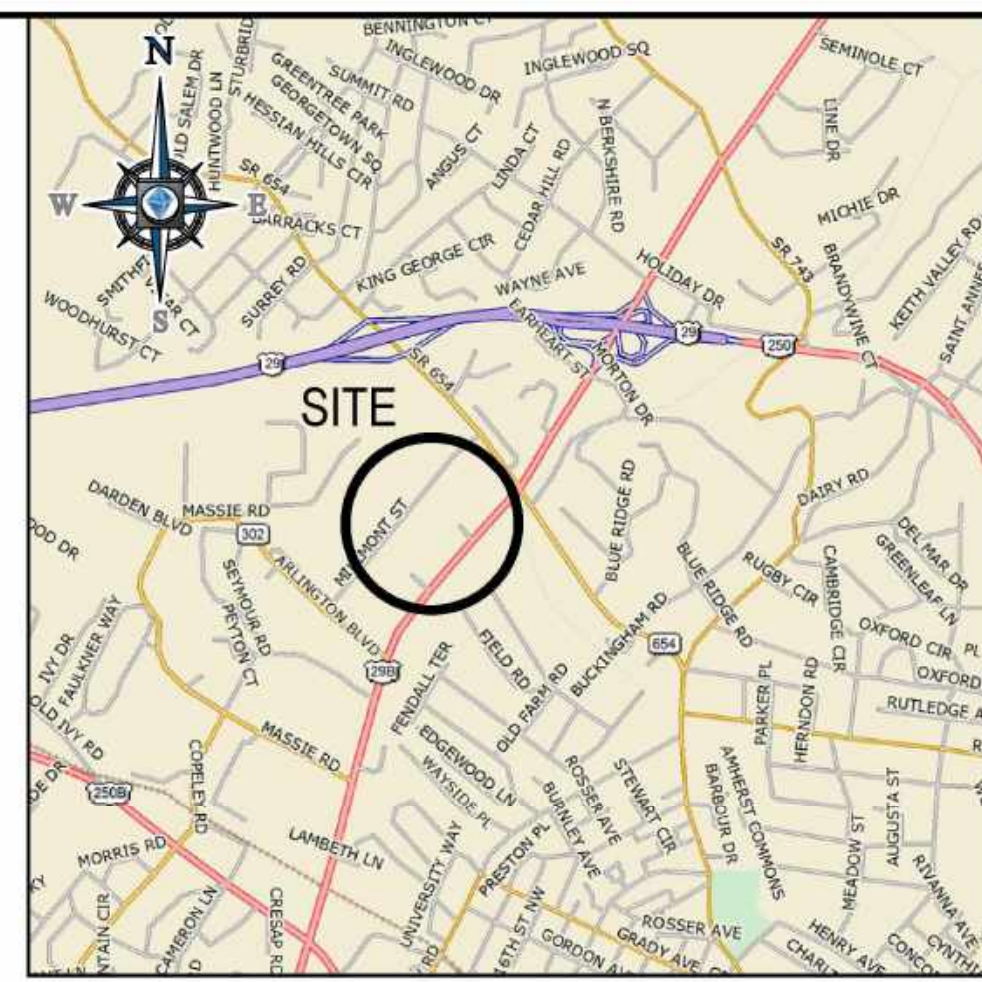
LOT 7A
DEED BOOK 470 PAGE 462
LANDS OF
FEDERAL REALTY INVESTMENT TRUST
DEED BOOK 793 PAGE 231

COMMENCING AT A VDOT MONUMENT FOUND MARKING THE INTERSECTION OF THE EASTERLY RIGHT-OF-WAY LIMITS OF ARLINGTON BOULEVARD (VARIABLE WIDTH RIGHT-OF-WAY), WITH THE NORTHERLY RIGHT-OF-WAY LIMITS OF EMMET STREET - US RTE. 29 (VARIABLE WIDTH RIGHT-OF-WAY), THENCE WITH SAID NORTHERLY RIGHT-OF-WAY LIMITS, THE FOLLOWING THREE (3) COURSES AND DISTANCES:

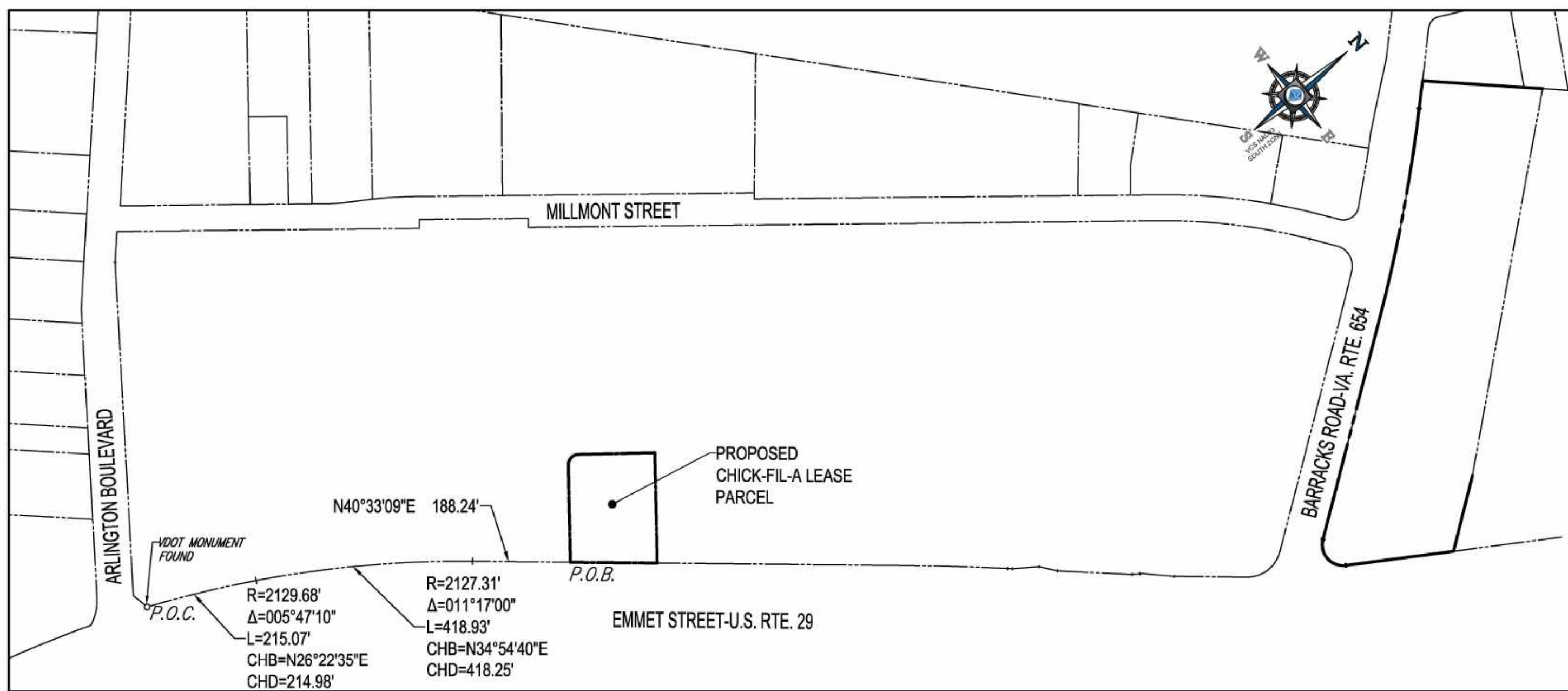
- 215.07 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 2129.68 FEET, A CENTRAL ANGLE OF 05° 47' 10", AND A CHORD BEARING AND DISTANCE OF NORTH 26° 22' 35" EAST, 214.98 FEET, THENCE;
- CONTINUING, 418.93 FEET ALONG THE ARC OF THE CURVE TO THE LEFT, HAVING A RADIUS OF 2127.31 FEET, A CENTRAL ANGLE OF 11° 17' 00", AND A CHORD BEARING AND DISTANCE OF NORTH 34° 54' 40" EAST, 418.25 FEET, THENCE;
- CONTINUING, NORTH 40° 33' 09" EAST, 188.24 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PROPOSED CFA LEASE PARCEL, THENCE DEPARTING SAID NORTHERLY RIGHT-OF-WAY LIMITS AND WITH A LINE THROUGH THE LANDS OF FEDERAL REALTY INVESTMENT TRUST (DEED BOOK 793 PAGE 231) THE FOLLOWING FOUR (4) COURSES AND DISTANCES:
 - NORTH 51° 12' 29" WEST, 186.80 FEET, THENCE
 - CONTINUING, 31.42 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 20.00 FEET, A CENTRAL ANGLE OF 60° 00' 00", AND A CHORD BEARING AND DISTANCE OF NORTH 05° 12' 29" WEST, 28.28 FEET, THENCE;
 - CONTINUING, NORTH 38° 47° 31" EAST, 147.00 FEET, THENCE;
 - CONTINUING, SOUTH 51° 12' 29" EAST, 211.91 FEET TO THE SAID NORTHERLY RIGHT-OF-WAY LIMITS, THENCE WITH SAID NORTHERLY RIGHT-OF-WAY LIMITS,

CONTAINING 34,876 SQUARE FEET OR 0.801 ACRES.
DESCRIPTION IS ON NAD83/2011 DATUM BASED ON A CURRENT FIELD SURVEY.

BEING THE PROPERTY AS DESCRIBED IN A TITLE COMMITMENT REPORT PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NO. DC1900452, WITH A COMMITMENT DATE OF NOVEMBER 14, 2019, V3 AND IS SUBJECT TO RESTRICTIONS, COVENANTS AND/OR EASEMENTS, WRITTEN OR IMPLIED.



LOCATION MAP
COPYRIGHT 2009
DELORME STREET ATLAS USA 2009
SCALE: 1"=200'



SITE DETAIL
SCALE: 1"=200'

UTILITIES:
THE FOLLOWING COMPANIES WERE NOTIFIED BY DELMARVA MISS UTILITY SYSTEM (1-800-552-7001) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): 8909301492-00B

UTILITY COMPANY	STATUS	PHONE NUMBER
COMCAST (CMC)	NO CONFLICT	(877)359-1821
CITY OF CHARLOTTESVILLE (CVL) - Gas	MARKED	(804)550-7740
CITY OF CHARLOTTESVILLE (CVL) - Water	MARKED	(804)550-7740
FIBERLIGHT LLC (FL)	MARKED	(410)976-0384
UVA-WATER (UVA)	NO CONFLICT	(434)260-9221
UVA - ELECTRIC (UVA)	MARKED	(434)260-9221
CENTURYLINK INC (CTL) - Sewer	MARKED	(801)364-1063
CITY OF CHARLOTTESVILLE (CVL) - Sewer	MARKED	(804)550-7740
DOMINION ENERGY INC (DOM)	MARKED	(801)364-1063
QWEST GOVERNMENT SERVICES(QGS)	NO CONFLICT	(703)387-9152
UVA-SEWER (UVA)	NO CONFLICT	(434)260-9221
UVA - COMMUNICATION (UVA)	NO CONFLICT	(434)982-4685

REFERENCES:

- MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY, FEDERAL REALTY INVESTMENT TRUST" PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED 01/03/07, AND REVISED ON 11/15/07.

UTILITY CONTACTS:

TRAFFIC ENGINEERING
AGENCY: CITY OF CHARLOTTESVILLE - TRAFFIC ENGINEERING DEPARTMENT
ADDRESS: 610 E MARKET STREET, CHARLOTTESVILLE, VA 22902
CONTACT: BRENNEN DUNCAN
PHONE: (434) 970-3182
EMAIL: DUNCANB@CHARLOTTESVILLE.ORG

SANITARY SEWER

AGENCY: CITY OF CHARLOTTESVILLE DEPARTMENT OF UTILITIES
ADDRESS: 605 E MAIN STREET, CHARLOTTESVILLE, VA 22902
CONTACT: ROY NESTER
PHONE: (434) 970-3908
EMAIL: NESTERR@CHARLOTTESVILLE.ORG

WATER

AGENCY: CITY OF CHARLOTTESVILLE DEPARTMENT OF UTILITIES
ADDRESS: 605 E MAIN STREET, CHARLOTTESVILLE, VA 22902
CONTACT: ROY NESTER
PHONE: (434) 970-3908
EMAIL: NESTERR@CHARLOTTESVILLE.ORG

STORM DRAINAGE

AGENCY: CITY OF CHARLOTTESVILLE DEPARTMENT OF UTILITIES
ADDRESS: 610 E MARKET STREET, CHARLOTTESVILLE, VA 22902
CONTACT: DAVID FRAZIER
PHONE: (434) 970-3800
EMAIL: FRAZIERD@CHARLOTTESVILLE.ORG

UTILITY CONTACTS:

GAS UTILITY
AGENCY: CHARLOTTESVILLE GAS
ADDRESS: 305 4TH ST NW, CHARLOTTESVILLE, VA 22903
CONTACT: CHRISTOPHER CHIRICO
PHONE: (434) 970-3811
EMAIL: CHRIRICOC@CHARLOTTESVILLE.ORG

ELECTRIC

AGENCY: DOMINION VIRGINIA POWER
ADDRESS: 1719 HYDRAULIC ROAD, CHARLOTTESVILLE, VA 22901
CONTACT: MICHAEL A. GRAF
PHONE: (434) 970-3800
EMAIL: MIKE.GRAF@DOMINIONENERGY.COM

TELEPHONE/CABLE/FIBER

AGENCY: CENTURYLINK
ADDRESS: 417 W. MAIN STREET, CHARLOTTESVILLE, VA 22903
CONTACT: THERESA BRYANT
PHONE: (434) 971-1371
EMAIL: THERESA.BRYANT@CENTURYLINK.COM

EROSION CONTROL

AGENCY: NEIGHBORHOOD DEVELOPMENT SERVICES - ENGINEERING
ADDRESS: 610 E MARKET STREET, CHARLOTTESVILLE, VA 22902
CONTACT: DAVID FRAZIER
PHONE: (434) 970-3800
EMAIL: FRAZIERD@CHARLOTTESVILLE.ORG

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2	REVISED TO INCLUDE ADDITIONAL TOPOGRAPHIC DATA	EPB	05/08/2020
1	REVISED PER UPDATED COMMITMENT AND COMMENTS	JEB	02/18/2020
No.	DESCRIPTION OF REVISION	BY:	DATE

ALTA/NPS LAND TITLE SURVEY
CHICK-FIL-A, INC.
1000 EMMET STREET NORTH
CITY OF CHARLOTTESVILLE
ALBEMARLE COUNTY, VIRGINIA

FILE NO: SV176502

DATE: 05/21/19

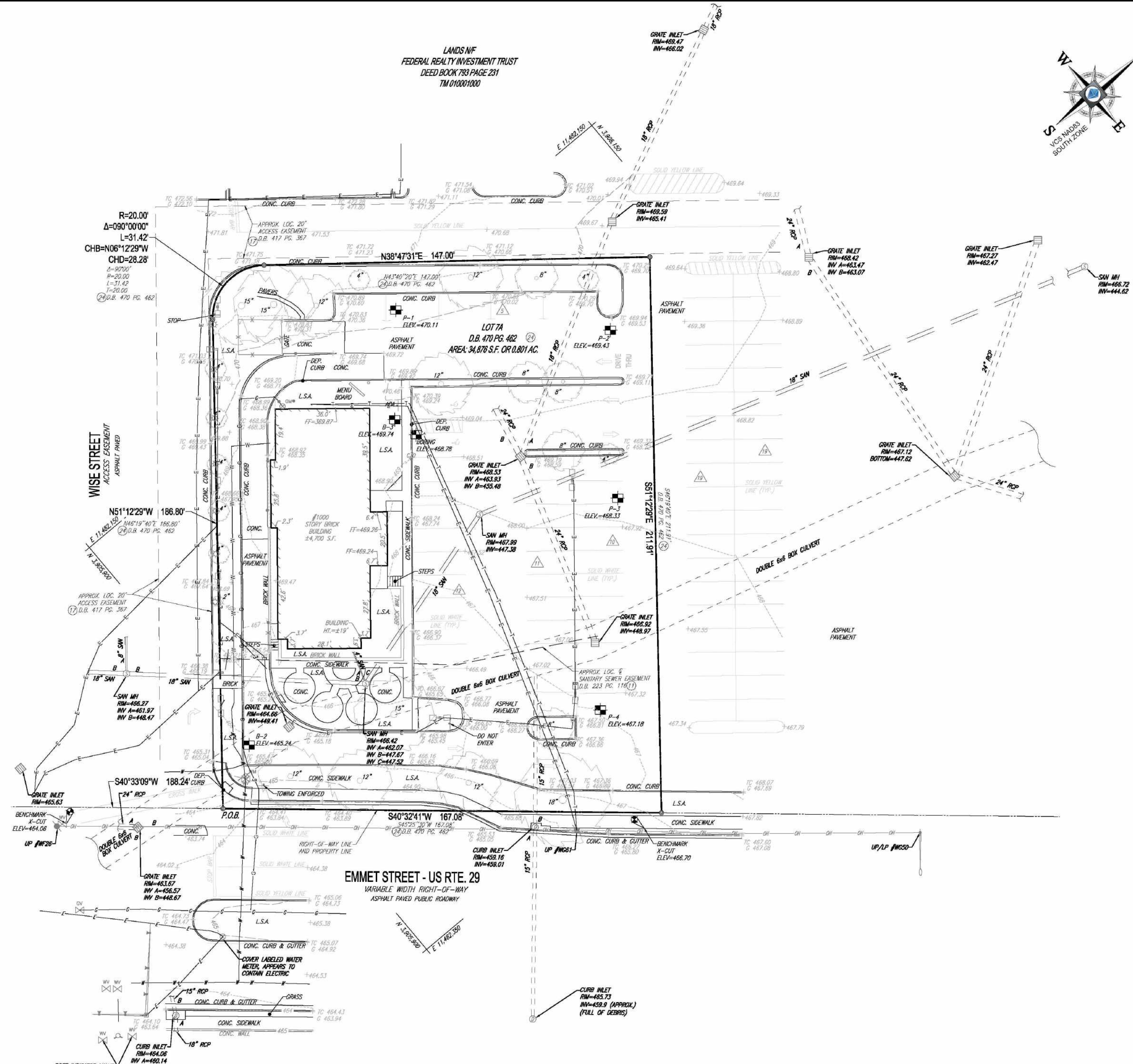
FIELD DATE: 04/28/20, 04/18/19

12825 WORLDGATE DRIVE, SUITE 700
HERNDON, VIRGINIA 20170
703.709.9600

BOHLER ENGINEERING
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■ BALTIMORE, MD ■ SOUTHWEST WISCONSIN ■ NORTH CAROLINA ■ WASHINGTON, DC ■ CENTRAL VIRGINIA ■ CHARLOTTE, NC ■ SALEM, VA

LANDS N/F
FEDERAL REALTY INVESTMENT TRUST
DEED BOOK 783 PAGE 231
TM 010001000



LEGEND

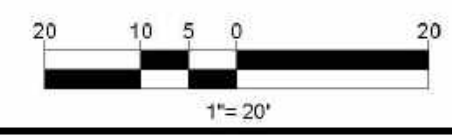
---	EXISTING CONTOUR
X 123.45	EXISTING SPOT ELEVATION
X TC 123.45	EXIST. TOP OF CURB ELEVATION
X G 122.95	EXIST. GUTTER ELEVATION
WV	WATER VALVE
GV	GAS VALVE
OH	OVERHEAD WIRES
---	APPROX. LOC. UNDERGROUND GAS LINE PER PRIVATE UTILITY MARKOUT
---	APPROX. LOC. UNDERGROUND WATER LINE PER PRIVATE UTILITY MARKOUT
---	APPROX. LOC. UNDERGROUND ELEC. LINE PER PRIVATE UTILITY MARKOUT
●	UTILITY POLE
○	SANITARY MANHOLE
⊙	STORM DRAIN MANHOLE
⊙	WATER METER
⊙	GAS METER
+	SIGN
●	BOLLARD
---	FENCE
L.S.A.	LANDSCAPED AREA
☀	AREA LIGHT
⊙	CLEAN OUT
→	PAINTED ARROWS
⊙	TITLE REPORT EXCEPTION
⊙	DENOTES PARKING SPACE COUNT
⊙	BENCHMARK
⊙	UTILITY POLE/LIGHT POLE
⊙	TREE (SIZE AS NOTED)
⊙	PROP. CORNER TO BE SET
⊙	BORING LOCATION
---	APPROX. LOC. UNDERGROUND GAS LINE PER REF. #1
---	APPROX. LOC. UNDERGROUND WATER LINE PER REF. #1
---	APPROX. LOC. UNDERGROUND TEL. LINE PER REF. #1
---	APPROX. LOC. UNDERGROUND ELEC. LINE PER REF. #1
---	TRAFFIC SIGNAL POLE

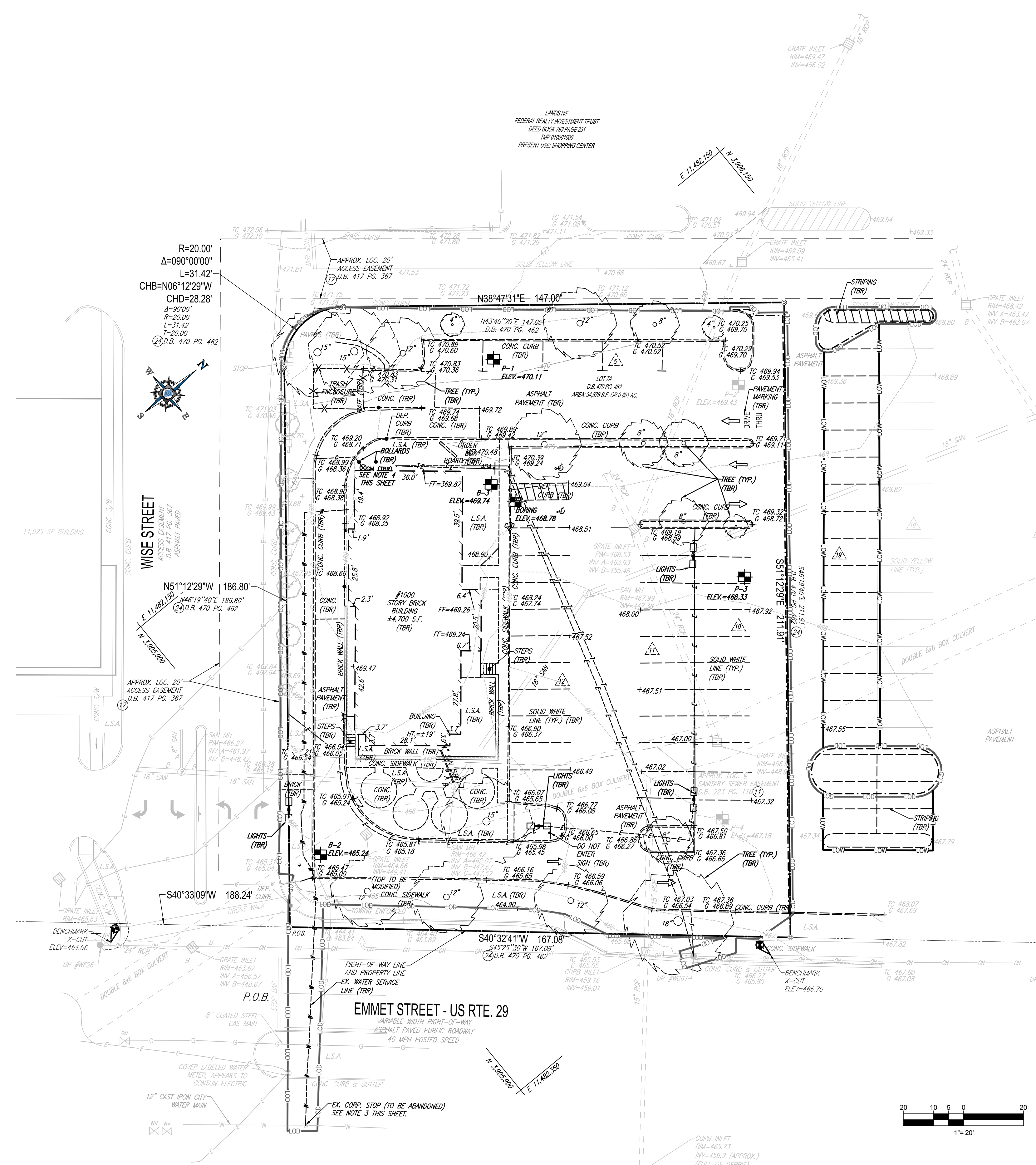
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2	REVISED TO INCLUDE ADDITIONAL TOPOGRAPHIC DATA	EPB	05/08/2020
1	REVISED PER UPDATED COMMITMENT AND COMMENTS	JEB	02/18/2020
No.	DESCRIPTION OF REVISION	BY:	DATE

AL TANSPS LAND TITLE SURVEY
CHICK-FIL-A, INC.
1000 EMMET STREET NORTH
CITY OF CHARLOTTESVILLE
ALBEMARLE COUNTY, VIRGINIA

FILE NO. SV176502	DATE 05/21/19	FIELD DATE 04/28/20 04/18/19	CREW CHIEF JQ/BF	DRAWN BAS II	REVIEWED J.B.	APPROVED JSC	SCALE 1" = 20'	DWG. NO. C-1.1
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DEMOLITION/REMOVAL LEGEND

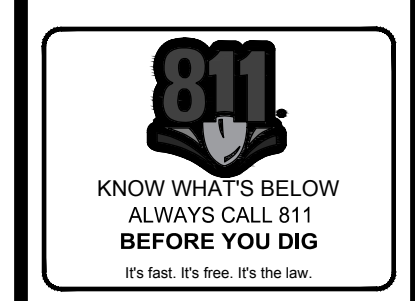
DEMOLITION/REMOVAL NOTE	TYPICAL NOTE TEXT
---	EASEMENT LINE
---	CONCRETE CURB & GUTTER
---	UTILITY POLE WITH LIGHT
---	POLE LIGHT
---	TRAFFIC LIGHT
---	UTILITY POLE
---	TYPICAL LIGHT
---	ACORN LIGHT
---	TYPICAL SIGN
---	PARKING COUNTS
---	SPOT ELEVATIONS
---	SANITARY LABEL
---	STORM LABEL
---	SANITARY SEWER LATERAL
---	UNDERGROUND WATER LINE
---	UNDERGROUND ELECTRIC LINE
---	UNDERGROUND GAS LINE
---	OVERHEAD WIRE
---	UNDERGROUND TELEPHONE LINE
---	UNDERGROUND CABLE LINE
---	STORM SEWER
---	SANITARY SEWER MAIN
---	HYDRANT
---	SANITARY MANHOLE
---	STORM MANHOLE
---	WATER METER
---	WATER VALVE
---	GAS VALVE
---	GAS METER
---	TO BE REMOVED

LEGEND

---	PROP SAWCUT
---	LIMIT OF SOIL DISTURBANCE

DEMOLITION NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING SITE CONDITIONS PRIOR TO ANY CONSTRUCTION ACTIVITIES. ANY DISCREPANCIES WITH THIS PLAN SHALL BE REPORTED IN WRITING TO THE OWNER AND BOHLER ENGINEERING PRIOR TO ANY CONSTRUCTION ACTIVITIES. THE CONTRACTOR ASSUMES COMPLETE RESPONSIBILITY FOR ANY DISCREPANCIES NOT REPORTED IN WRITING.
2. THE CONTRACTOR SHALL PROTECT EXISTING SITE FEATURES NOT SHOWN OR NOTED TO BE DEMOLISHED WITH THIS PLAN. CONTRACTOR SHALL REPLACE ANY EXISTING SITE FEATURE DAMAGED BY CONSTRUCTION ACTIVITIES.
3. IF DURING DEMOLITION THE EXISTING CORP. STOP IS FOUND TO BE PROPERLY SIZED AT 2" AND IN GOOD CONDITION, IT MAY BE REUSED FOR THE NEW WATER SERVICE AT THE DISCRETION OF THE UTILITIES INSPECTOR.
4. PRIOR TO DEMOLITION, THE GAS METER MUST BE REMOVED FROM THE BUILDING. IF THE GAS SERVICE LINE IS IN CONFLICT WITH ANY SITE WORK, THE SERVICE LINE SHALL BE ABANDONED OUTSIDE THE LIMITS OF DISTURBANCE.

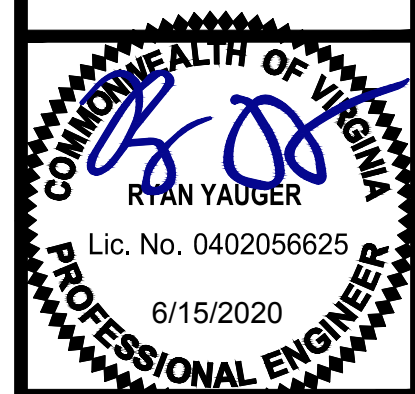


Revisions:

Mark	Date	By
1	4/2/2020	RTY

Mark	Date	By
2	6/15/2020	RTY

Mark	Date	By



BOHLER ENGINEERING

28 BLACKWELL PARK LANE, SUITE 201
WARRENTON, VIRGINIA 20166
Phone: (540) 349-4500
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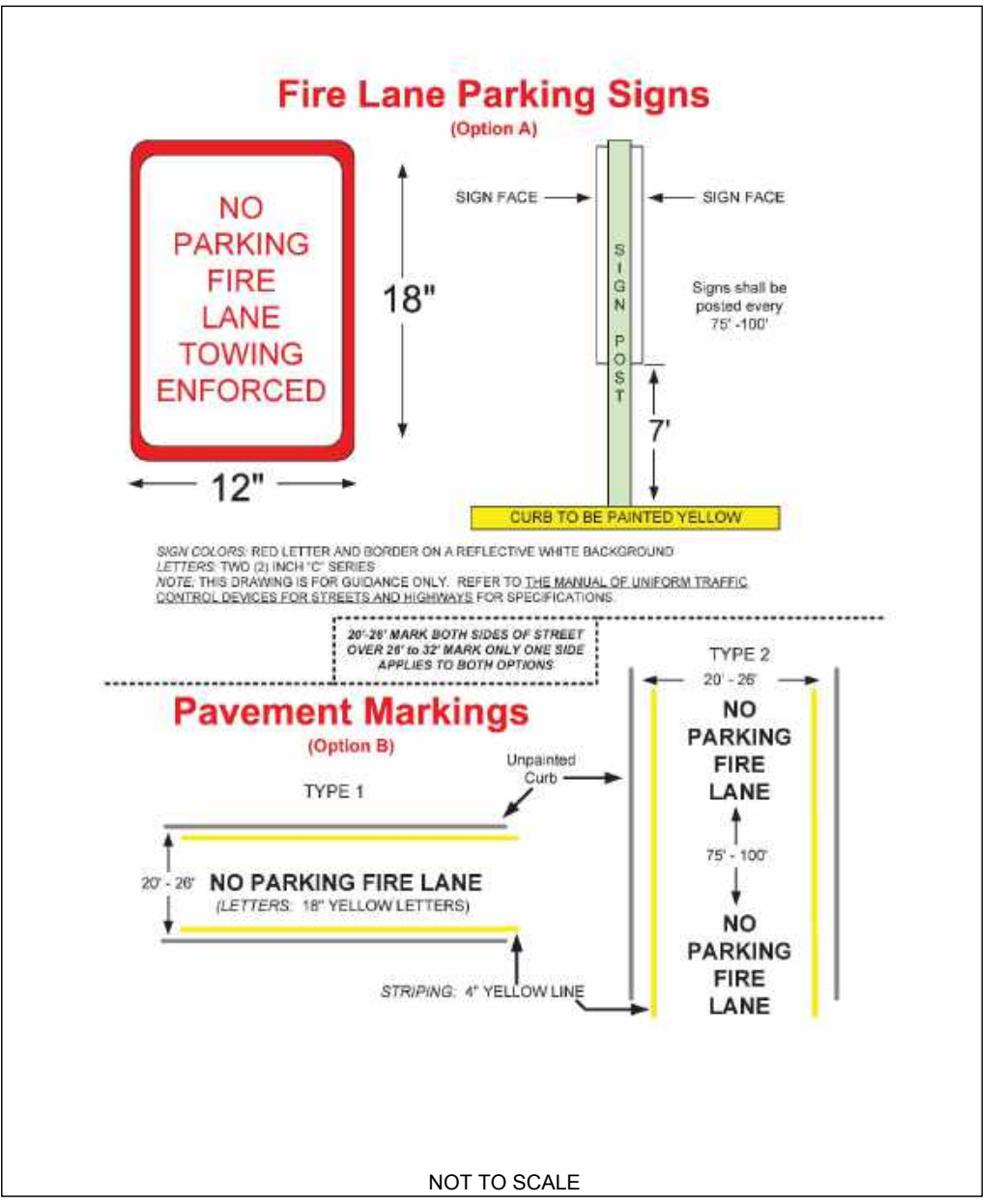
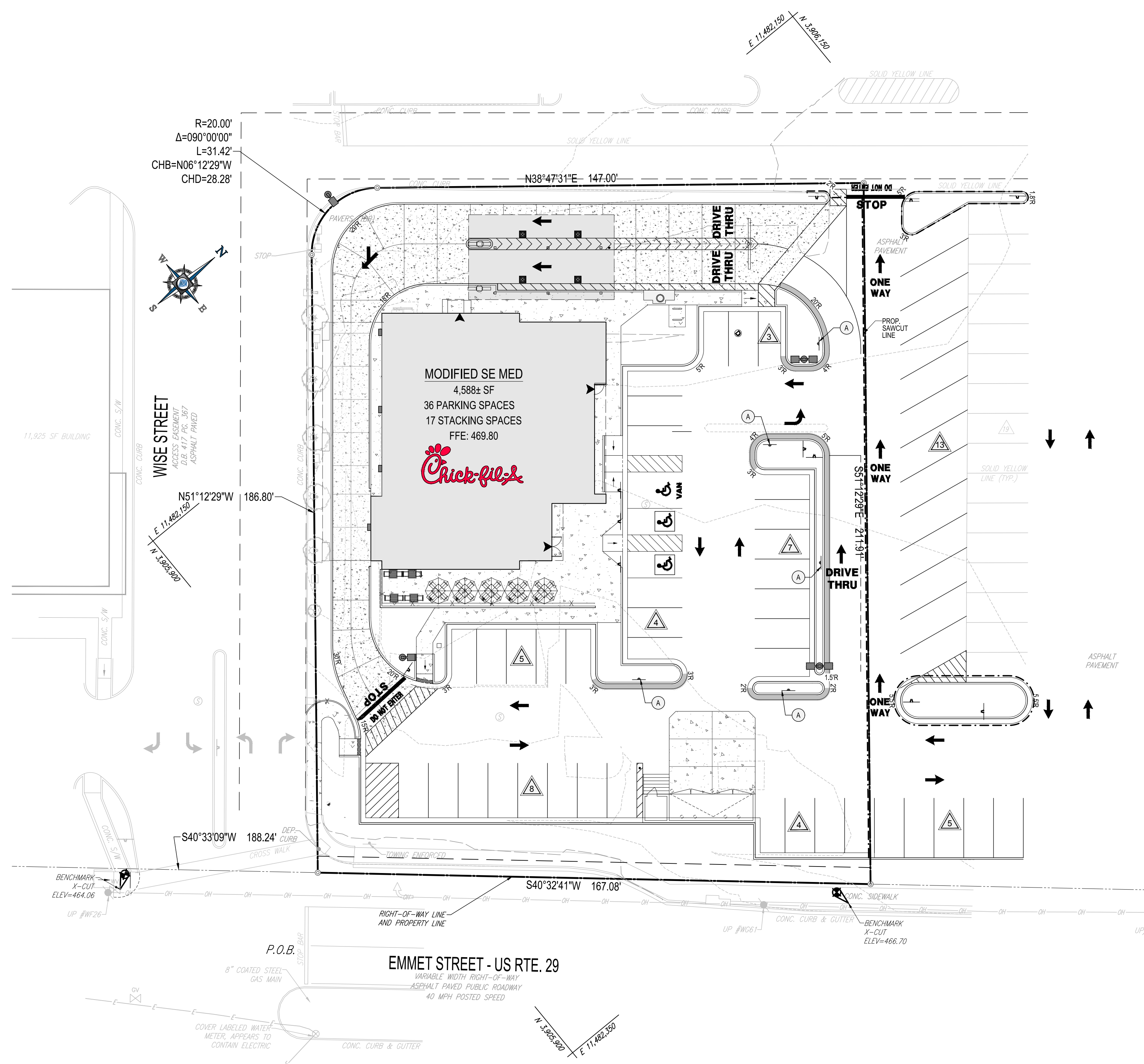
STORE
#4332
BARRACKS ROAD
SHOPPING CENTER
1000 EMMET STREET N
CHARLOTTEVILLE, VA

SHEET TITLE
DEMOLITION PLAN

DWG EDITION **SS0**

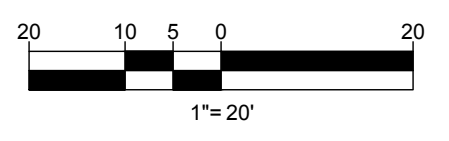
Job No. : V176502
Store : #4332
Date : 1/8/2020
Drawn By : JOC
Checked By : RTY

Sheet
C-1.2



LEGEND

	PAINTED YELLOW CURB TO DESIGNATE FIRE LANE
	UNPAINTED CURB
	FIRE LANE SIGN TYPE "1" OR "2"

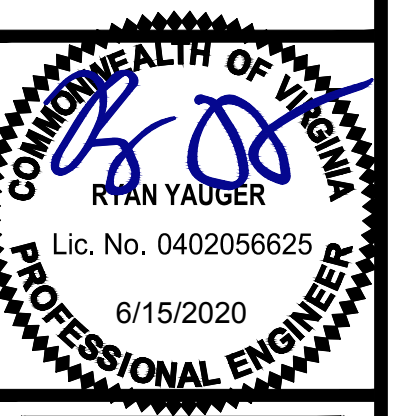


Revisions:

Mark	Date	By
1	4/2/2020	RTY

Mark	Date	By
2	6/15/2020	RTY

Mark	Date	By



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 WARRENTON, VIRGINIA 20166
 Phone: (540) 349-4500
 Fax: (540) 349-0321
 VA@BohlerEng.com

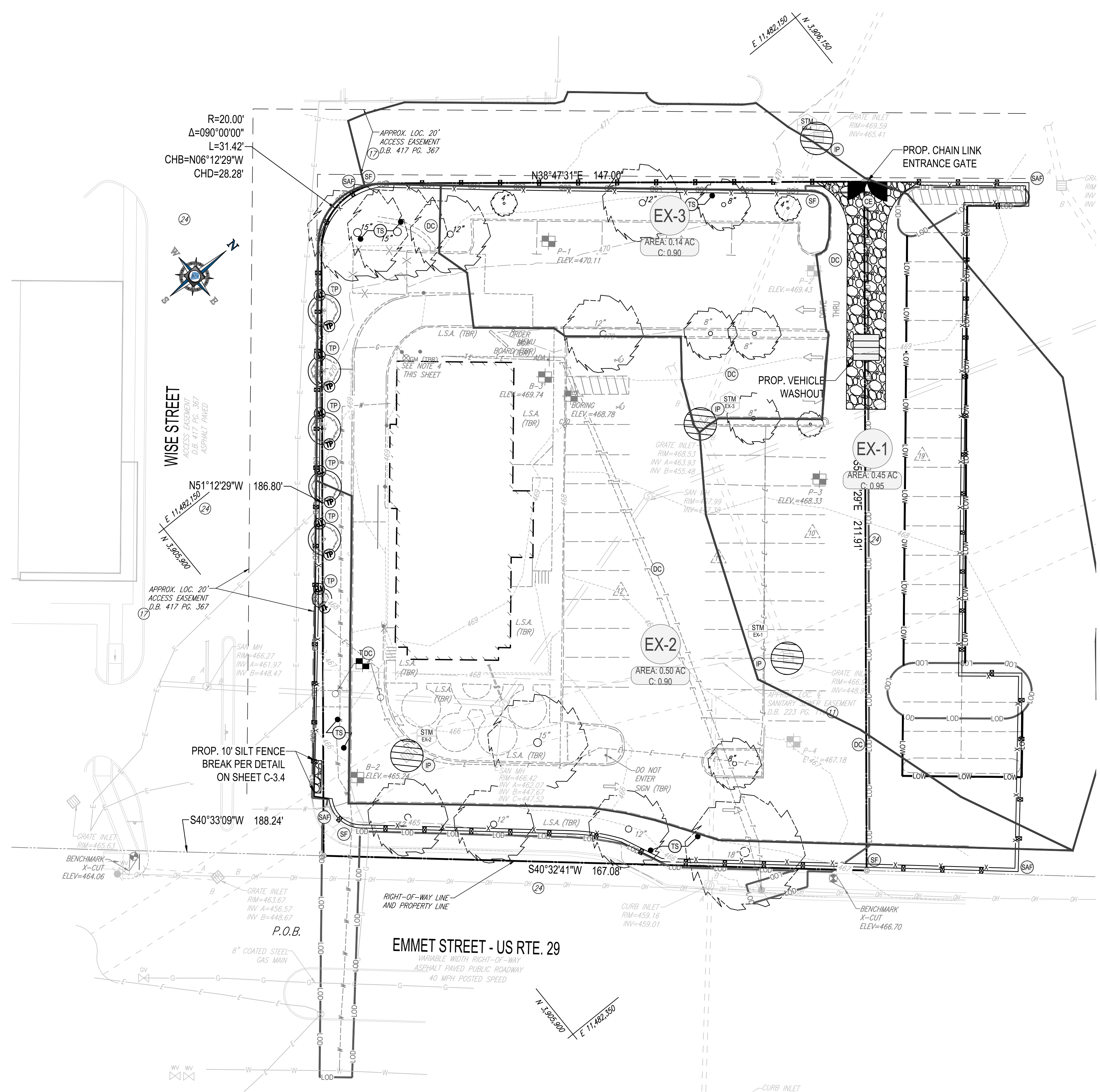
STORE #4332
 BARRACKS ROAD SHOPPING CENTER
 1000 EMMET STREET N
 CHARLOTTESVILLE, VA

SHEET TITLE
 FIRELANE PLAN

DWG EDITION **SS0**

Job No.	: V176502
Store	: #4332
Date	: 1/8/2020
Drawn By	: JOC
Checked By	: RTY

Sheet **C-2.1**



VIRGINIA UNIFORM CODING SYSTEM
FOR EROSION AND SEDIMENT CONTROL PRACTICES

NO.	TITLE	KEY	SYMBOL
3.01	SAFETY FENCE (CHAIN LINK)	SAF	
3.02	TEMPORARY STONE CONSTRUCTION ENTRANCE	CE	
3.05	SILT FENCE	SF	
3.07	STORM DRAIN INLET PROTECTION	IP	
3.31	TEMPORARY SEEDING	TS	
3.38	TREE PRESERVATION AND PROTECTION	TP	
3.39	DUST CONTROL	DC	

EROSION NOTES:

- CONTRACTOR TO REPAIR AND/OR REPLACE ANY ASPHALT DAMAGE DURING CONSTRUCTION.
- WHEN DEMOLISHING AREA TO CONSTRUCT NEW CONCRETE, CONTRACTOR TO ENSURE FRESH STONE AND CONCRETE IS PLACED IMMEDIATELY FOLLOWING REMOVAL OF EXISTING CONCRETE/ASPHALT.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF CLEANING MUD FROM TRUCKS AND/OR OTHER EQUIPMENT PRIOR TO ENTERING THE PUBLIC RIGHT-OF-WAY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CLEAR THE STREETS AND TAKE WHATEVER MEASURES NECESSARY TO ENSURE THAT THE STREETS ARE MAINTAINED IN A CLEAN AND DUST-FREE CONDITION AT ALL TIMES.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ADHERE TO REQUESTS FROM THE CITY'S EROSION & SEDIMENT INSPECTOR TO ADD OR MODIFY EROSION & SEDIMENT MEASURES DURING CONSTRUCTION.

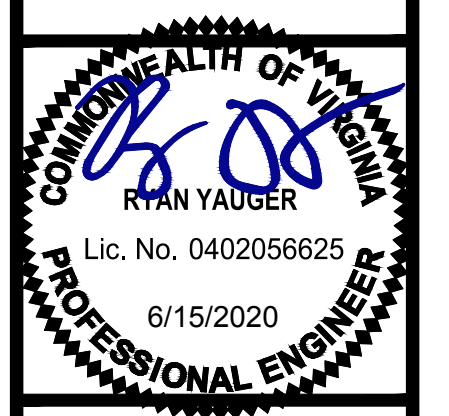


Revisions:

Mark	Date	By
1	4/2/2020	RTY

Mark	Date	By
2	6/15/2020	RTY

Mark	Date	By
△		



BOHLER ENGINEERING

LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
SURVEYING
CONSTRUCTION MANAGEMENT
ELECTRICAL ENGINEERING
MECHANICAL ENGINEERING
PLUMBING ENGINEERING
PNEUMATIC ENGINEERING
POLLUTION CONTROL ENGINEERING
RADIOLOGICAL ENGINEERING
SOIL REMEDIATION ENGINEERING
STRUCTURAL ENGINEERING
THERMAL ENGINEERING
WATER RESOURCES ENGINEERING

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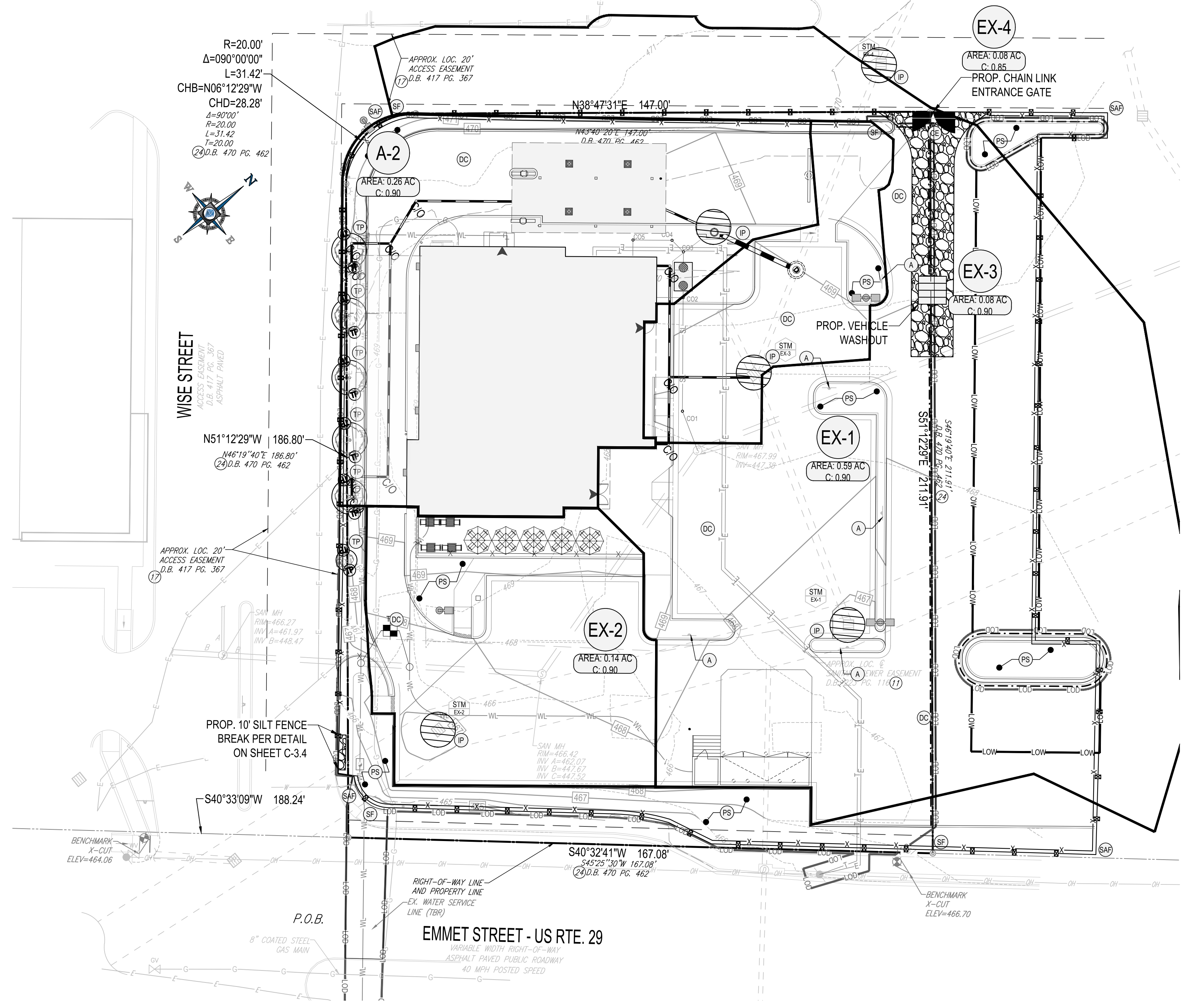
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STORE
#4332
BARRACKS ROAD
SHOPPING CENTER
1000 EMMET STREET N
CHARLOTTESVILLE, VA

SHEET TITLE
EROSION AND
SEDIMENT CONTROL
PLAN PHASE I
DWG EDITION OAO

Job No. : V176502
Store : #4332
Date : 1/8/2020
Drawn By : JOC
Checked By : RTY

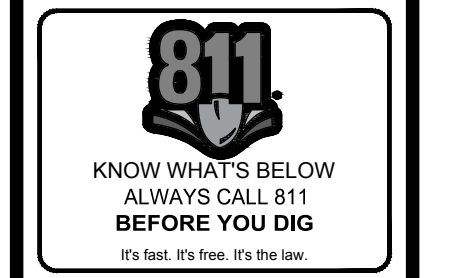
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C-3.1



VIRGINIA UNIFORM CODING SYSTEM
FOR EROSION AND SEDIMENT CONTROL PRACTICES

NO.	TITLE	KEY	SYMBOL
3.01	SAFETY FENCE (CHAIN LINK)	SAF	
3.02	TEMPORARY STONE CONSTRUCTION ENTRANCE	CE	
3.05	SILT FENCE	SF	
3.07	STORM DRAIN INLET PROTECTION	IP	
3.32	PERMANENT SEEDING	PS	
3.38	TREE PRESERVATION AND PROTECTION	TP	
3.39	DUST CONTROL	DC	

- EROSION NOTES:**
- CONTRACTOR TO REPAIR AND/OR REPLACE ANY ASPHALT DAMAGE DURING CONSTRUCTION.
 - WHEN DEMOLISHING AREA TO CONSTRUCT NEW CONCRETE, CONTRACTOR TO ENSURE FRESH STONE AND CONCRETE IS PLACED IMMEDIATELY FOLLOWING REMOVAL OF EXISTING CONCRETE/ASPHALT.
 - THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF CLEANING MUD FROM TRUCKS AND/OR OTHER EQUIPMENT PRIOR TO ENTERING THE PUBLIC RIGHT-OF-WAY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CLEAR THE STREETS AND TAKE WHATEVER MEASURES NECESSARY TO ENSURE THAT THE STREETS ARE MAINTAINED IN A CLEAN AND DUST-FREE CONDITION AT ALL TIMES.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ADHERE TO REQUESTS FROM THE CITY'S EROSION & SEDIMENT INSPECTOR TO ADD OR MODIFY EROSION & SEDIMENT MEASURES DURING CONSTRUCTION.

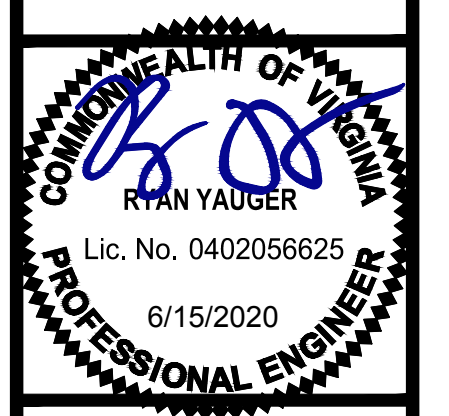


Revisions:

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1	4/2/2020	RTY

Mark	Date	By
2	6/15/2020	RTY

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LANDSCAPE ARCHITECTURE
ARCHITECTURE
CIVIL ENGINEERING
ELECTRICAL ENGINEERING
MECHANICAL ENGINEERING
PLUMBING ENGINEERING
STRUCTURAL ENGINEERING

PROJECTS: 100+
CLIENTS: 50+
OFFICES: 10+
EMPLOYEES: 20+

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SHEET TITLE
EROSION AND
SEDIMENT CONTROL
PLAN PHASE II

DWG EDITION **OBO**

Job No. : V176502
Store : #4332
Date : 1/8/2020
Drawn By : JOC
Checked By : RTY

Sheet
C-3.2

EROSION AND SEDIMENT CONTROL NARRATIVE:

PROJECT DESCRIPTION:

THIS PROPERTY IS LOCATED AT 1000 EMMET STREET NORTH, CHARLOTTESVILLE, VIRGINIA. THE PURPOSE OF THIS PROJECT IS TO CONSTRUCT A 4,588 SF BUILDING, DRIVE THRU CANOPIES, MINOR ADJUSTMENTS TO THE PARKING LOT, AND UTILITY RECONFIGURATION. THE TOTAL AREA OF SOIL DISTURBANCE IS 40.80AC.

EXISTING SITE CONDITIONS:

THE EXISTING 0.80 ACRE SITE IS CURRENTLY A RESTAURANT, DRIVE THRU AND PARKING LOT. TREE PROTECTION, INLET AND OUTLET PROTECTION WILL SERVE AS PERIMETER CONTROLS TO PROTECT THE EXISTING VEGETATION OUTSIDE THE ZONE OF CLEARING AND TO PREVENT SEDIMENT FROM EXITING THE SITE. THE SLOPES ON THE SITE ARE BETWEEN 0.14% AND 34.86%, AND GENERALLY DRAIN TO THE SOUTHEAST OF THE SITE INTO AN EXISTING STORM SYSTEM.

ADJACENT PROPERTY:

THIS PROPERTY IS BORDERED ALONG THE NORTHWEST TO NORTHEAST BY PARKING LOTS ASSOCIATED WITH THE BARRACKS ROAD SHOPPING CENTER, TO THE SOUTHWEST BY ZOE'S KITCHEN, AND TO THE SOUTHEAST BY UNIVERSITY OF VIRGINIA'S FINANCIAL AID OFFICE.

OFF-SITE AREAS:

NO OFFSITE AREAS REQUIRED FOR EXPORT OF MATERIALS ARE ANTICIPATED WITH THE PROJECT. IF EXCAVATED MATERIAL IS GENERALLY TO BE DISPOSED OF IN A LAWFUL MANNER AND THE CONTRACTOR SHALL COORDINATE THE HAUL ROUTE WITH THE CHESTERFIELD COUNTY CIVIL INSPECTOR. ANY OFFSITE AREAS SHALL BE APPROVED AND PERMITTED BY CHESTERFIELD COUNTY PRIOR TO USE.

SOILS:

PER NRCS SOILS INFORMATION, THE SOIL FOUND ON-SITE IS 91 (URBAN LAND).

CRITICAL AREAS:

NO KNOWN CRITICAL AREAS SUCH AS STEEP SLOPES, CHANNELS, OR UNDERGROUND SPRINGS HAVE BEEN IDENTIFIED WITHIN THE PROPOSED LIMITS OF DISTURBANCE. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE APPROPRIATE SAFETY MEASURES AND EROSION CONTROLS DURING THE CONSTRUCTION ACTIVITIES.

EROSION AND SEDIMENT CONTROL MEASURES:

UNLESS OTHERWISE NOTED ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE CONSTRUCTED AND MAINTAINED, ACCORDING TO THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH). THE MINIMUM STANDARDS OF THE VESCH SHALL BE ADHERED TO UNLESS OTHERWISE WAIVED OR APPROVED BY A VARIANCE.

SPECIFIC EROSION AND SEDIMENT MEASURES UTILIZED IN THIS PROJECT INCLUDE THE FOLLOW:

- SAFETY FENCE - 3.01 - A PROTECTIVE BARRIER INSTALLED TO PREVENT ACCESS TO AN EROSION AND CONTROL MEASURE.
- TEMPORARY STONE CONSTRUCTION ENTRANCE - 3.02 - A STABILIZED STONE PAD WITH A FILTER FABRIC UNDERLINER LOCATED AT POINTS OF VEHICULAR INGRESS AND EGRESS ON A CONSTRUCTION LINE.
- SILT FENCE - 3.05 - A TEMPORARY SEDIMENT BARRIER CONSISTING OF SYNTHETIC FILTER FABRIC STRETCHED ACROSS AND ATTACHED TO SUPPORTING POSTS AND ENTRENCHED.
- STORM INLET PROTECTION - 3.07 - A SEDIMENT FILTER OR AN EXCAVATED IMPOUNDING AREA AROUND A STORM DRAIN DROP INLET OR CURB INLET.
- TEMPORARY SEEDING - 3.31 - THE ESTABLISHMENT OF TEMPORARY VEGETATIVE COVER ON DISTURBED AREAS BY SEEDING WITH APPROPRIATE RAPIDLY GROWING ANNUAL PLANTS.
- PERMANENT SEEDING - 3.32 - ESTABLISHMENT OF PERENNIAL VEGETATIVE COVER ON DISTURBED AREAS BY PLANTING SEED TO REDUCE EROSION AND DECREASE SEDIMENT YIELD, IMPROVED WILDLIFE HABITAT, ENHANCE NATURAL BEAUTY AND TO PERMANENTLY STABILIZE DISTURBED AREAS IN A MANNER THAT IS ECONOMICAL, ADAPTABLE TO SITE CONDITIONS, AND ALLOWS SELECTION OF THE MOST APPROPRIATE PLANT MATERIALS.
- MULCHING - 3.35 - APPLICATION OF PLANT RESIDUES OR OTHER SUITABLE MATERIALS TO THE SOIL SURFACE.
- SOIL STABILIZATION BLANKETS & MATTING - 3.36 - THE INSTALLATION OF A PROTECTIVE COVERING (BLANKET) OR A SOIL STABILIZATION MAT ON A PREPARED PLANTING AREA OF A STEEP SLOPE, CHANNEL OR SHORELINE.
- TREE PROTECTION - 3.38 - PROTECTION OF DESIRABLE TREES FROM MECHANICAL AND OTHER INJURY DURING LAND DISTURBING AND CONSTRUCTION ACTIVITY.
- DUST CONTROL - 3.39 - REDUCING SURFACE AND AIR MOVEMENT OF DUST DURING LAND DISTURBING, DEMOLITION AND CONSTRUCTION ACTIVITIES.

SEQUENCE OF CONSTRUCTION:

PHASE I

- THE OWNER SHALL CONTACT THE CITY INSPECTOR AND GIVE A 48 HOUR NOTIFICATION, PRIOR TO ANY EARTH DISTURBANCE, TO SCHEDULE AN ON-SITE PRE-CONSTRUCTION MEETING FOR THE ISSUANCE OF A LAND DISTURBANCE PERMIT.
- A CERTIFIED RESPONSIBLE LAND DISTURBER MUST ATTEND THE PRE-CONSTRUCTION MEETING.
- INSTALL INLET PROTECTION ON EXISTING INLETS.
- INSTALL TREE PROTECTION AS NECESSARY.
- INSTALL PERIMETER CONTROLS AS SHOWN BY THE EROSION AND SEDIMENT CONTROL PLAN.

PHASE II

- TEMPORARILY STABILIZE, THROUGHOUT CONSTRUCTION IMMEDIATELY FOLLOWING THE COMPLETION OF THE MOST RECENT LAND DISTURBING/GRADING ACTIVITY, ANY DISTURBED AREAS, INCLUDING MATERIAL STOCKPILES THAT ARE SCHEDULED OR LIKELY TO REMAIN INACTIVE FOR 7 DAYS OR MORE.
- BEGIN REMOVING THE EXISTING PAVEMENT, CURB AND SURROUNDING DISTURBED AREAS.
- BEGIN GRADING THE DISTURBED AREAS AND PREPARING SUBGRADES AND SOIL IMPROVEMENTS.
- INSTALL UTILITIES AS SHOWN ON THE UTILITY PLAN.
- START CONSTRUCTION OF CURB AND GUTTER, PARKING LOT ISLANDS, AND SIDEWALK.
- PREPARE SITE FOR PAVING.
- PAVE SITE IN NECESSARY AREAS.
- INSTALL APPROPRIATE PROTECTION DEVICES FOR PAVED AREAS AS WORK PROGRESSES.
- PERMANENTLY STABILIZED AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
- COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS, IF NECESSARY.
- INSTALL LANDSCAPE PLANTING AS SHOWN IN THE LANDSCAPE PLAN.
- OBTAIN CONCURRENCE FROM THE CITY INSPECTOR THAT THE SITE HAS BEEN FULLY STABILIZED AND ALL CONSTRUCTION HAS BEEN COMPLETED, THEN:
 - WITHIN 30 DAYS REMOVE ALL REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES.
 - REMOVE ALL TEMPORARY CONSTRUCTION EQUIPMENT, CONSTRUCTION MATERIALS AND DEBRIS FROM THE SITE.
 - STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF TEMPORARY MEASURES.

NOTE: THE CONTRACTOR SHALL CONTRACT WITH A GEOTECHNICAL ENGINEER FOR SPECIFIC CONSTRUCTION RECOMMENDATIONS REGARDING MATERIALS AND TESTING.

MAINTENANCE PROGRAM:

- ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO ENSURE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED AND RESEED AS NEEDED.
- STORM DRAIN INLET PROTECTION - THE MEASURE SHALL BE INSPECTED WEEKLY AND AFTER EVERY RAINFALL AND REPAIRS MADE AS NEEDED. SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE HALF THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENTS SHALL BE DEPOSITED IN A SUITABLE AREA, AND SUCH A MANNER THAT IT WILL NOT ERODE. STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE REMAINING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
- NO AREA SHALL BE LEFT DENUDED FOR A PERIOD LONGER THAN 7 DAYS WITHOUT CONSTRUCTION ACTIVITY.
- NO UNPROTECTED, UNDISTURBED AREA SHALL DRAIN TO ROADWAY PAVEMENTS SUCH THAT THE SUBBASE, BASE, OR WEARING SURFACE ARE CONTAMINATED BY SILT TRAPPED AT LOW POINTS OR INLETS.
- ADJACENT ROADWAYS AND ENTRANCES WILL BE KEPT CLEAN FROM ACCUMULATED DEBRIS AT ALL TIMES.

PERMANENT STABILIZATION:

PERMANENT STABILIZATION SHALL BE PROVIDED ONCE ALL CONSTRUCTION ACTIVITIES ARE COMPLETE. THE SPECIFICATIONS AND DETAILS FOR THE PERMANENT STABILIZATION ARE INCLUDED ON THIS SHEET. PERMANENT STABILIZATION INCLUDES PERMANENT SEEDING, SODDING, AND MULCHING. THE SITE CONTRACTOR SHALL USE THE STABILIZATION METHOD AS DEEMED MOST APPROPRIATE FOR EACH GIVEN PERVIOUS AREA.

STORMWATER RUNOFF CONSIDERATIONS:

SEE SHEET PS-1.1 STORMWATER COMPUTATIONS & NARRATIVE.

CALCULATIONS:

THERE ARE NO CALCULATIONS REQUIRED FOR THE PROPOSED EROSION AND SEDIMENT CONTROLS.

OTHER IMPORTANT NOTES:

- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLANS SHALL BE MAINTAINED ON SITE AT ALL TIMES.
- PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING BUT NOT LIMITED TO, OFF-SITE BORROW OR WASTE AREAS), THE CONTRACTOR SHALL SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND APPROVAL BY THE PLAN APPROVING AUTHORITY.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF ALL EROSION CONTROL MEASURES AND INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY CHESTERFIELD COUNTY.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING AND GRADING.
- ALL AREAS TO BE PAVED MAY BE STABILIZED BY INSTALLATION OF BASE AND SUBBASE MATERIALS INSTEAD OF TEMPORARY VEGETATION COVER.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF CLEANING MUD FROM TRUCKS AND/OR OTHER EQUIPMENT PRIOR TO ENTERING THE PUBLIC RIGHT-OF-WAY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CLEAR THE STREETS AND TAKE WHATEVER MEASURES NECESSARY TO ENSURE THAT THE STREETS ARE MAINTAINED IN A CLEAN AND DUST-FREE CONDITION AT ALL TIMES.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERFORM THE WORK IN SUCH A MANNER AS TO PREVENT THE WASHING OF ANY TOPSOIL OR DEBRIS ONTO ADJACENT PROPERTIES.
- PRIOR TO FORECAST OF A LARGE STORM EVENT, THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES AND ENSURE THEY ARE FUNCTIONAL. ANY OPEN TRENCHES SHALL BE TEMPORARILY BACKFILLED.

EROSION AND SEDIMENT CONTROL NOTES

MINIMUM STANDARDS:

MS-1: PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN 14 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT DORMANT FOR MORE THAN ONE (1) YEAR.

R-1: TEMPORARY SOIL STABILIZATION WILL BE APPLIED TO NEWLY GRADED AND DENUDED AREAS THAT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN 7 DAYS. PERMANENT STABILIZATION WILL BE APPLIED WITHIN 14 DAYS TO DENUDED AREAS WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED FOR LONGER THAN 14 DAYS.

MS-2: DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES AND BORROW AREAS SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS BORROW AREAS AND SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.

R-2: NOT APPLICABLE.

MS-3: A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUDED AREAS NOT OTHERWISE STABILIZED. PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL A GROUND COVER IS ACHIEVED THAT IS UNIFORM, MATURE ENOUGH TO SURVIVE, AND WILL INHIBIT EROSION.

R-3: PERMANENT VEGETATION WILL BE PROVIDED FOR ALL DENUDED AREAS.

MS-4: SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCE TAKES PLACE.

R-4: INLET PROTECTION IS PROPOSED AT EXISTING INLETS NEAR DISTURBED AREAS AND WILL BE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCE COMMENCES.

MS-5: STABILIZATION MEASURES SHALL BE APPLIED TO EARTHEN STRUCTURES SUCH AS DAMS, DIKES, AND DIVERSIONS IMMEDIATELY AFTER INSTALLATION.

R-5: NOT APPLICABLE. THERE ARE NO PROPOSED EARTHEN STRUCTURES.

MS-6: SEDIMENT TRAPS AND SEDIMENT BASINS SHALL BE DESIGNED AND CONSTRUCTED BASED UPON THE TOTAL DRAINAGE AREA TO BE SERVED BY THE TRAP OR BASIN.

- THE MINIMUM STORAGE CAPACITY OF A SEDIMENT TRAP SHALL BE 134 CUBIC YARDS PER ACRE OF DRAINAGE AREA AND THE TRAP SHALL ONLY CONTROL DRAINAGE AREAS LESS THAN THREE (3) ACRES.
- SURFACE RUNOFF FROM DISTURBED AREAS THAT IS COMPRISED OF FLOW FROM DRAINAGE AREAS GREATER THAN OR EQUAL TO THREE (3) ACRES SHALL BE CONTROLLED BY A SEDIMENT BASIN. THE MINIMUM STORAGE CAPACITY OF A SEDIMENT BASIN SHALL BE 134 CUBIC YARDS PER ACRE OF DRAINAGE AREA. THE OUTFALL SYSTEM SHALL, AT A MINIMUM, MAINTAIN THE STRUCTURAL INTEGRITY OF THE BASIN DURING A TWENTY-FIVE YEAR STORM OF 24-HOUR DURATION. RUNOFF COEFFICIENTS USED IN RUNOFF CALCULATIONS SHALL CORRESPOND TO A BARE EARTH CONDITION OR THOSE CONDITIONS EXPECTED TO EXIST WHILE THE SEDIMENT BASIN IS UTILIZED.

R-6: NOT APPLICABLE. THERE ARE NO PROPOSED SEDIMENT TRAPS.

MS-7: CUT AND FILL SLOPES SHALL BE ASSIGNED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. SLOPES THAT ARE FOUND TO BE ERODING EXCESSIVELY WITHIN ONE (1) YEAR OF PERMANENT STABILIZATION SHALL BE PROVIDED WITH ADDITIONAL SOIL STABILIZING MEASURES UNTIL THE PROBLEM IS CORRECTED.

R-7: NOT APPLICABLE. THERE ARE NO CUT OR FILL SLOPES PROPOSED WITH THESE IMPROVEMENTS.

MS-8: CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME OR SLOPE DRAIN STRUCTURE.

R-8: CONCENTRATED RUN-OFF IS NOT EXPECTED DURING CONSTRUCTION, ANY CONCENTRATED RUN-OFF ENCOUNTERED DURING CONSTRUCTION WILL BE CONTAINED WITHIN AN ADEQUATE, CHANNEL, FLUME OR SLOPE DRAIN.

MS-9: WHENEVER WATER SEEPS FROM A SLOPE FACE, ADEQUATE DRAINAGE OR OTHER PROTECTION SHALL BE PROVIDED.

R-9: IT IS NOT ANTICIPATED HOWEVER, CONTRACTOR SHALL ENSURE ADEQUATE MEASURES ARE PROVIDED SHOULD THIS CONDITION ARISE.

MS-10: ALL STORM SEWER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.

R-10: INLET PROTECTION IS PROPOSED TO PREVENT UNFILTERED WATER FROM ENTERING THE CONVEYANCE SYSTEM.

MS-11: BEFORE NEWLY CONSTRUCTED STORMWATER CONVEYANCE CHANNELS OR PIPES ARE MADE OPERATIONAL, ADEQUATE OUTLET PROTECTION AND ANY REQUIRED TEMPORARY OR PERMANENT CHANNEL LINING SHALL BE INSTALLED IN BOTH THE CONVEYANCE CHANNEL AND RECEIVING CHANNEL.

R-11: INLET PROTECTION IS PROPOSED ON NEWLY CONSTRUCTED STORM PIPES TO PREVENT UNFILTERED WATER FROM ENTERING THE CONVEYANCE SYSTEM.

MS-12: WHEN WORK IN A LIVE WATERCOURSE IS PERFORMED, PRECAUTIONS SHALL BE TAKEN TO MINIMIZE ENCROACHMENT, CONTROL SEDIMENT TRANSPORT AND STABILIZE THE WORK AREA TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION. NON-ERODIBLE MATERIAL SHALL BE USED FOR THE CONSTRUCTION OF CAUSEWAYS AND COFFERDAMS. EARTHEN FILL MAY BE USED FOR THESE STRUCTURES IF ARMORED BY NON-ERODIBLE COVER MATERIALS.

R-12: NOT APPLICABLE. THE PROPOSED WORK DOES NOT CROSS A LIVE WATERCOURSE.

MS-13: WHEN A LIVE WATERCOURSE MUST BE CROSSED BY CONSTRUCTION VEHICLES MORE THAN TWICE IN A SIX (6) MONTH PERIOD, A TEMPORARY VEHICULAR STREAM CROSSING CONSTRUCTED OF NON-ERODIBLE MATERIALS SHALL BE PROVIDED.

R-13: NOT APPLICABLE. THE PROPOSED WORK DOES NOT CROSS A LIVE WATERCOURSE.

MS-14: ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS PERTAINING TO WORKING IN OR CROSSING LIVE WATERCOURSES SHALL BE MET.

R-14: NOT APPLICABLE. THE PROPOSED WORK DOES NOT CROSS A LIVE WATERCOURSE.

MS-15: THE BED AND BANKS OF A WATERCOURSE SHALL BE STABILIZED IMMEDIATELY AFTER WORK IN THE WATERCOURSE IS COMPLETED.

R-15: NOT APPLICABLE. THE PROPOSED WORK DOES NOT CROSS A LIVE WATERCOURSE.

- MS-16: UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA:
- NO MORE THAN 500 LINEAR FEET OF TRENCH SHALL BE OPENED AT ONE TIME.
 - EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
 - EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFFSITE PROPERTY.
 - MATERIAL USED FOR BACKFILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION.
 - RE-STABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THESE REGULATIONS.
 - APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.

R-16: CONTRACTOR TO ENSURE THAT STANDARDS ARE MET WHEN RELOCATING UTILITIES.

MS-17: WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED OR PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY VEHICULAR TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PAVED OR PUBLIC ROAD SURFACE, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL DEVELOPMENT LOTS AS WELL AS TO LARGER LAND-DISTURBING ACTIVITIES.

R-17: ANY AND ALL MATERIAL OR DEBRIS TRACKED ONTO A PUBLIC OR PRIVATE ROAD SURFACE WILL BE REMOVED THOROUGHLY AT THE END OF EACH DAY BY THE CONTRACTOR. SEDIMENT SHALL BE REMOVED FROM ROADS BY SHOVELING OR SWEEPING AND BE TRANSPORTED TO A SEDIMENT CONTROLLED DISPOSAL AREA. THE EXISTING ASPHALT ENTRANCE AS SPECIFIED IN THIS SITE PLAN SET WILL BE UTILIZED AS THE SITE CONSTRUCTION ENTRANCE AND WILL BE MAINTAINED IN ACCORDANCE WITH THIS STATEMENT.

MS-18: ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED, UNLESS OTHERWISE AUTHORIZED BY THE LOCAL PROGRAM AUTHORITY. TRAPPED SEDIMENT AND THE DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENTATION.

R-18: TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES WILL BE REMOVED UPON APPROVAL BY THE CITY INSPECTORS AND ANY AREA DISTURBED BY THE REMOVAL WILL BE IMMEDIATELY STABILIZED.

MS-19: PROPERTIES AND WATERWAYS'S DOWNSTREAM FROM DEVELOPMENT SITES SHALL BE PROTECTED FROM SEDIMENT DEPOSITION, EROSION AND DAMAGE DUE TO INCREASES IN VOLUME, VELOCITY AND PEAK FLOW RATE OF STORMWATER RUNOFF FOR THE STATED FREQUENCY STORM OF 24-HOUR DURATION IN ACCORDANCE WITH THE FOLLOWING STANDARDS AND CRITERIA:

- A CONCENTRATED STORMWATER RUNOFF LEAVING A DEVELOPMENT SITE SHALL BE DISCHARGED DIRECTLY INTO AN ADEQUATE NATURAL OR MAN-MADE RECEIVING CHANNEL, PIPE OR STORM SEWER SYSTEM FOR THOSE SITES WHERE RUNOFF IS DISCHARGED INTO A PIPE OR PIPE SYSTEM, DOWNSTREAM STABILITY

ANALYSES AT THE OUTFALL OF THE PIPE OR PIPE SYSTEM SHALL BE PERFORMED.

B. ADEQUACY OF ALL CHANNELS AND PIPES SHALL BE VERIFIED IN THE FOLLOWING MANNER:

- THE APPLICANT SHALL DEMONSTRATE THAT THE TOTAL DRAINAGE AREA TO THE POINT OF ANALYSIS WITHIN THE CHANNEL IS ONE HUNDRED TIMES GREATER THAN THE CONTRIBUTING DRAINAGE AREA OF THE PROJECT IN QUESTION; OR
- (A) NATURAL CHANNELS SHALL BE ANALYZED BY THE USE OF A TWO (2) YEAR STORM TO VERIFY THAT STORMWATER WILL NOT OVERTOP OR CHANNEL BANKS NOR CAUSE EROSION OF CHANNEL BED OR BANKS; AND
(B) ALL PREVIOUSLY CONSTRUCTED MAN-MADE CHANNELS SHALL BE ANALYZED BY THE USE OF A TEN (10) YEAR STORM TO VERIFY THAT STORMWATER WILL NOT OVERTOP ITS BANKS BY THE USE OF A TWO (2) YEAR STORM TO DEMONSTRATE THAT STORMWATER WILL NOT CAUSE EROSION OF CHANNEL BED OR BANKS; AND PIPES AND STORM SEWER SYSTEMS SHALL BE ANALYZED BY THE USE OF A TEN (10) YEAR STORM TO VERIFY THAT STORMWATER WILL BE CONTAINED WITHIN THE PIPE OR SYSTEM.

C. IF EXISTING NATURAL RECEIVING CHANNELS OR PREVIOUSLY CONSTRUCTED MAN-MADE CHANNELS OR PIPES ARE NOT ADEQUATE, THE APPLICANT SHALL:

- IMPROVE THE CHANNEL TO A CONDITION WHERE A TEN (10) YEAR STORM WILL NOT OVERTOP THE BANKS AND A TWO (2) YEAR STORM WILL NOT CAUSE EROSION TO THE CHANNEL, BED OR BANKS; OR
- IMPROVE THE PIPE OR PIPE SYSTEM TO A CONDITION WHERE THE TEN (10) YEAR STORM IS CONTAINED WITHIN THE APPURTENANCES; OR
- DEVELOP A SITE DESIGN THAT WILL NOT CAUSE THE PRE-DEVELOPMENT PEAK RUNOFF RATE FROM A TWO (2) YEAR STORM TO INCREASE WHEN RUNOFF OUTFALLS INTO A NATURAL CHANNEL OR WILL NOT CAUSE THE PRE-DEVELOPMENT PEAK RUNOFF RATE FROM A TEN (10) YEAR STORM TO INCREASE WHEN RUNOFF OUTFALLS INTO A MAN-MADE CHANNEL; OR
- PROVIDE A COMBINATION OF CHANNEL IMPROVEMENT, STORMWATER DETENTION OR OTHER MEASURE WHICH IS SATISFACTORY TO THE PLAN-APPROVING AUTHORITY TO PREVENT DOWNSTREAM EROSION.

D. THE APPLICANT SHALL PROVIDE EVIDENCE OF PERMISSION TO MAKE THE IMPROVEMENTS.

E. ALL HYDROLOGIC ANALYSES SHALL BE BASED ON THE EXISTING WATERSHED CHARACTERISTICS AND THE ULTIMATE DEVELOPMENT OF THE SUBJECT PROJECT.

F. IF THE APPLICANT CHOOSES AN OPTION THAT INCLUDES STORMWATER DETENTION HE SHALL OBTAIN APPROVAL FROM THE LOCALITY OF A PLAN FOR MAINTENANCE OF THE DETENTION FACILITIES. THE PLAN SHALL SET FORTH THE MAINTENANCE REQUIREMENTS OF THE FACILITY AND THE PERSON RESPONSIBLE FOR PERFORMING THE MAINTENANCE.

G. OUTFALL FROM A DETENTION FACILITY SHALL BE DISCHARGED TO A RECEIVING CHANNEL, AND ENERGY DISSIPATORS SHALL BE PLACED AT THE OUTFALL OF ALL DETENTION FACILITIES AS NECESSARY TO PROVIDE A STABILIZED TRANSITION FROM THE FACILITY TO THE RECEIVING CHANNEL.

H. ALL ON-SITE CHANNELS MUST BE VERIFIED TO BE ADEQUATE.

I. INCREASED VOLUMES OF SHEET FLOWS THAT MAY CAUSE EROSION OR SEDIMENTATION ON ADJACENT PROPERTY SHALL BE DIVERTED TO A STABLE OUTLET, ADEQUATE CHANNEL, PIPE OR PIPE SYSTEM, OR TO A DETENTION FACILITY.

J. IN APPLYING THESE STORMWATER RUNOFF CRITERIA, INDIVIDUAL LOTS OR PARCELS IN A RESIDENTIAL, COMMERCIAL OR INDUSTRIAL DEVELOPMENT SHALL NOT BE CONSIDERED TO BE SEPARATE DEVELOPMENT PROJECTS. INSTEAD, THE DEVELOPMENT, AS A WHOLE, SHALL BE CONSIDERED TO BE A SINGLE DEVELOPMENT PROJECT. HYDROLOGIC PARAMETERS THAT REFLECT THE ULTIMATE DEVELOPMENT CONDITION SHALL BE USED IN ALL ENGINEERING CALCULATIONS.

K. ALL MEASURES USED TO PROTECT PROPERTIES AND WATERWAYS SHALL BE EMPLOYED IN A MANNER WHICH MINIMIZES IMPACTS ON THE PHYSICAL, CHEMICAL AND BIOLOGICAL INTEGRITY OF RIVERS, STREAMS AND OTHER WATERS OF THE STATE.

L. ANY PLAN APPROVED PRIOR TO JULY 1, 2014, THAT PROVIDES FOR STORMWATER MANAGEMENT THAT ADDRESSES ANY FLOW RATE CAPACITY AND VELOCITY REQUIREMENTS FOR NATURAL OR MAN-MADE CHANNELS SHALL SATISFY THE FLOW RATE CAPACITY AND VELOCITY REQUIREMENTS FOR NATURAL OR MAN-MADE CHANNELS IF THE PRACTICES ARE DESIGNED TO:

- DETAIN THE WATER QUALITY VOLUME AND TO RELEASE IT OVER 48 HOURS;
- DETAIN AND RELEASE OVER A 24-HOUR PERIOD THE EXPECTED RAINFALL RESULTING FROM THE ONE YEAR, 24-HOUR STORM; AND
- REDUCE THE ALLOWABLE PEAK FLOW RATE RESULTING FROM THE 1.5, 2, AND 10-YEAR, 24-HOUR STORMS TO A LEVEL THAT IS LESS THAN OR EQUAL TO THE PEAK FLOW RATE FROM THE SITE ASSUMING IT WAS IN A GOOD FORESTED CONDITION, ACHIEVED THROUGH MULTIPLICATION OF THE FORESTED PEAK FLOW RATE BY A REDUCTION FACTOR THAT IS EQUAL TO THE RUNOFF VOLUME FROM THE SITE WHEN IT WAS IN A GOOD FORESTED CONDITION DIVIDED BY THE RUNOFF VOLUME FROM THE SITE IN ITS PROPOSED CONDITION, AND SHALL BE EXEMPT FROM ANY FLOW RATE CAPACITY AND VELOCITY REQUIREMENTS FOR NATURAL OR MAN-MADE CHANNELS AS DEFINED IN ANY REGULATIONS PROMULGATED PURSUANT TO § 10.1-562 OR 10.1-570 OF THE ACT.

M. FOR PLANS APPROVED ON AND AFTER JULY 1, 2014, THE FLOW RATE CAPACITY AND VELOCITY REQUIREMENTS OF § 10.1-561 A

OF THE ACT AND THIS SUBSECTION SHALL BE SATISFIED BY COMPLIANCE WITH WATER QUALITY REQUIREMENTS IN THE STORMWATER MANAGEMENT ACT (§ 10.1-603.2 ET SEQ. OF THE CODE OF VIRGINIA) AND ATTENDANT REGULATIONS, UNLESS SUCH LAND DISTURBING ACTIVITIES ARE IN ACCORDANCE WITH 4VAC50-60-48 OF THE VIRGINIA STORMWATER MANAGEMENT PROGRAM (VSM) PERMIT REGULATIONS.

N. COMPLIANCE WITH THE WATER QUALITY MINIMUM STANDARDS SET OUT IN 4VAC50-60-66 OF THE VIRGINIA STORMWATER MANAGEMENT PROGRAM (VSM) PERMIT REGULATIONS SHALL BE DEEMED TO SATISFY THE REQUIREMENTS OF MINIMUM STANDARD 19.

R-19: SEE SHEET PS-1.1 STORMWATER COMPUTATIONS & NARRATIVE.



5200 Buffington Rd.
Atlanta Georgia, 30349-2998



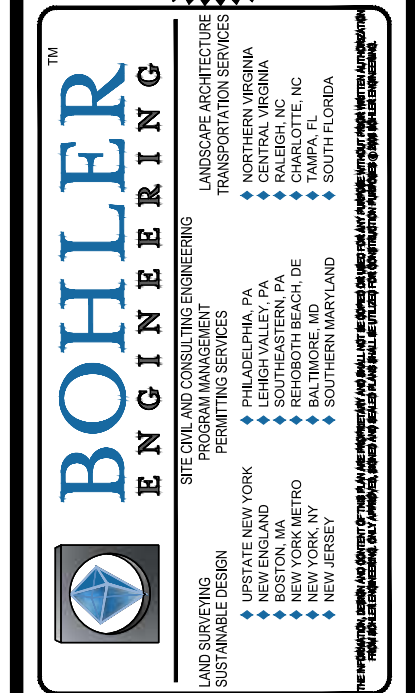
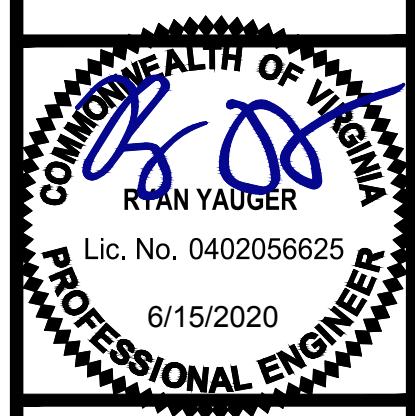
Revisions:

Mark	Date	By
1	4/2/2020	RTY

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2	6/15/2020	RTY

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28 BLACKWELL PARK LANE, SUITE 204
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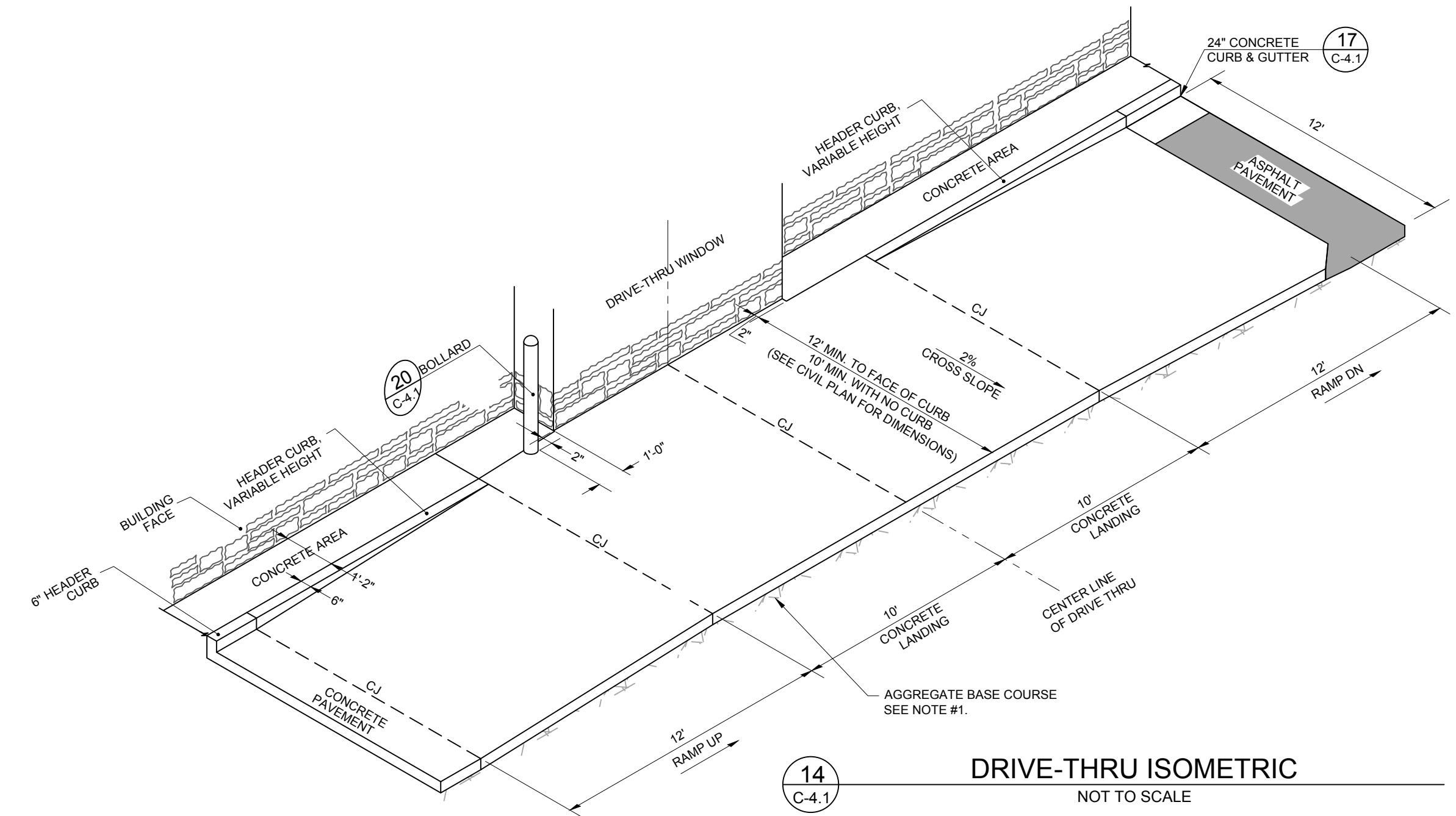
STORE #4332
BARRACKS ROAD
SHOPPING CENTER
1000 EMMET STREET N
CHARLOTTESVILLE, VA

SHEET TITLE
EROSION AND
SEDIMENT
CONTROL NOTES
DWG EDITION **SDO**

Job No.:	V176502
Store:	#4332
Date:	1/8/2020
Drawn By:	JCC
Checked By:	RTY

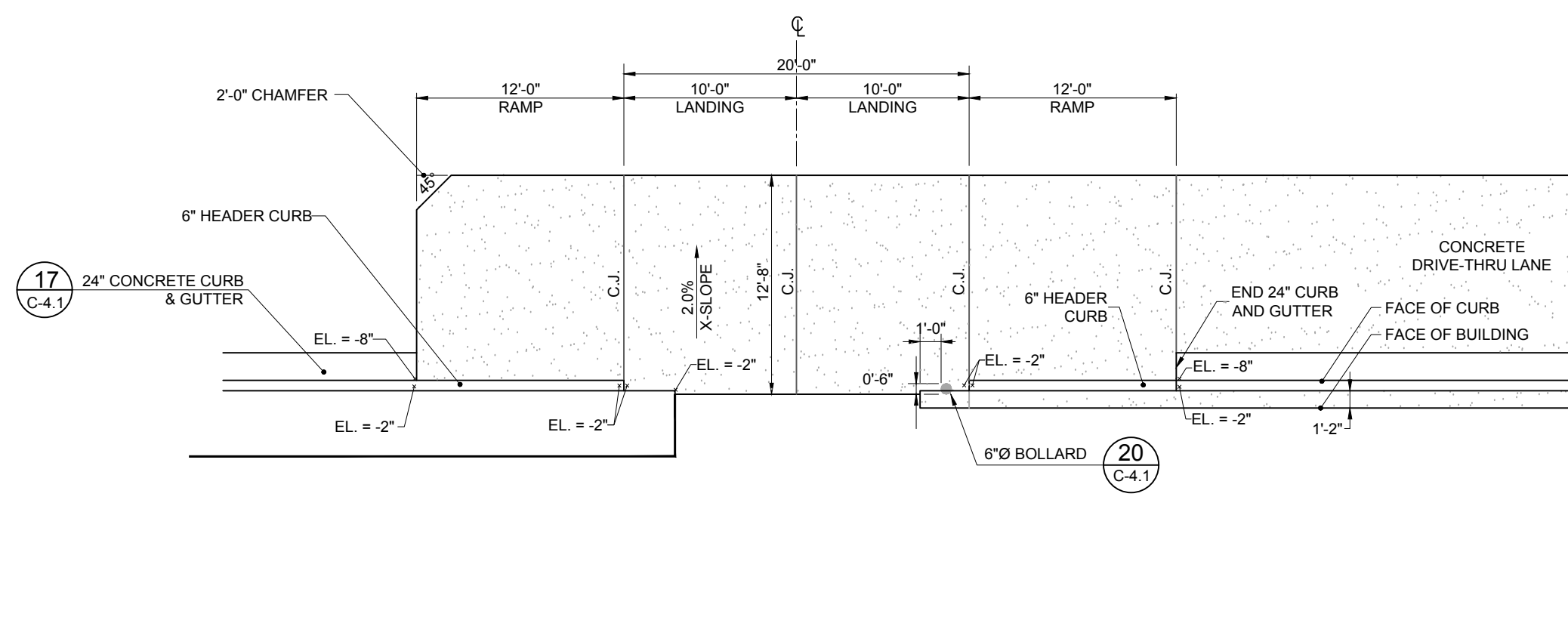
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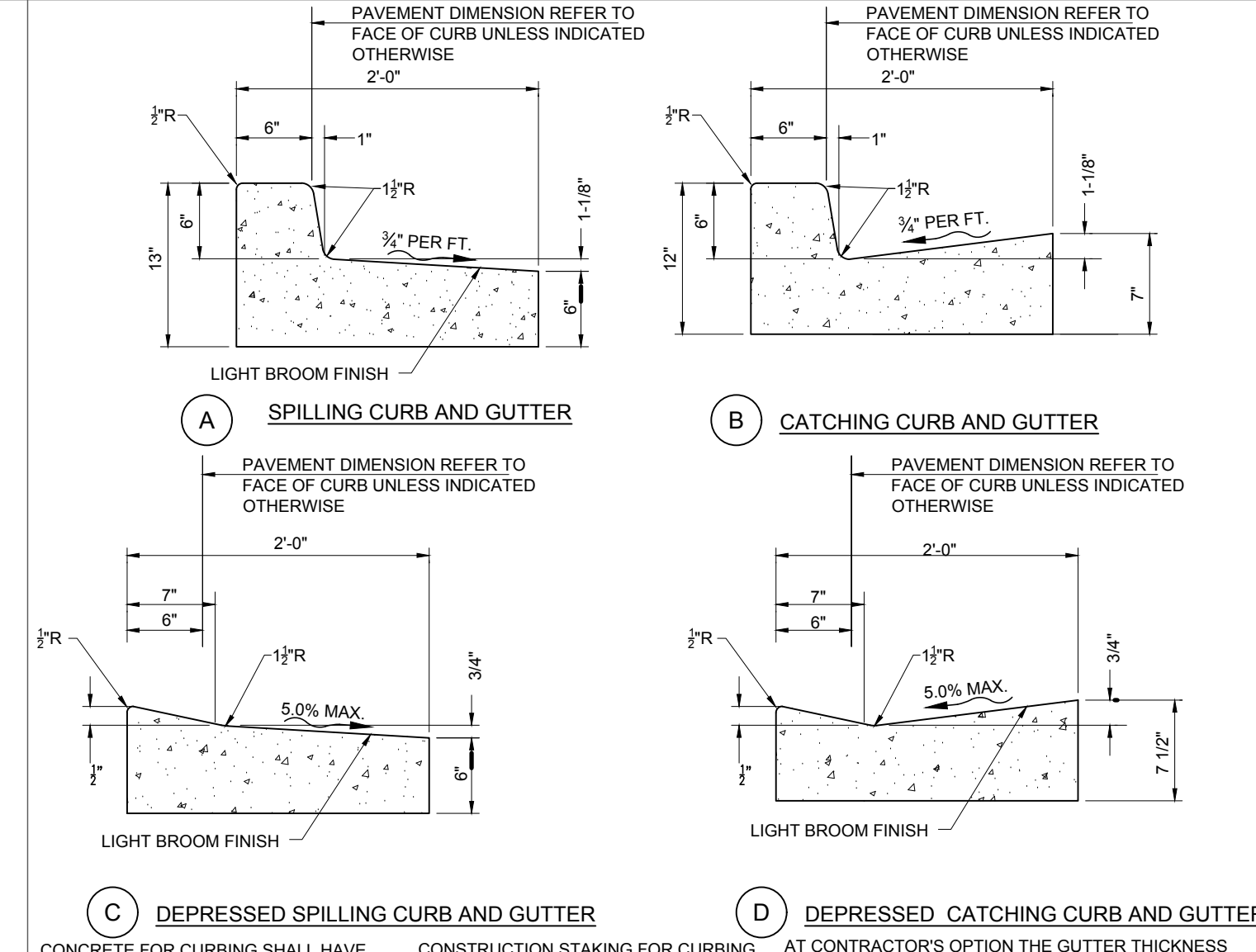
14 DRIVE-THRU ISOMETRIC
NOT TO SCALE

NOTE: 1. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.



13 DRIVE-THRU PLAN
NOT TO SCALE

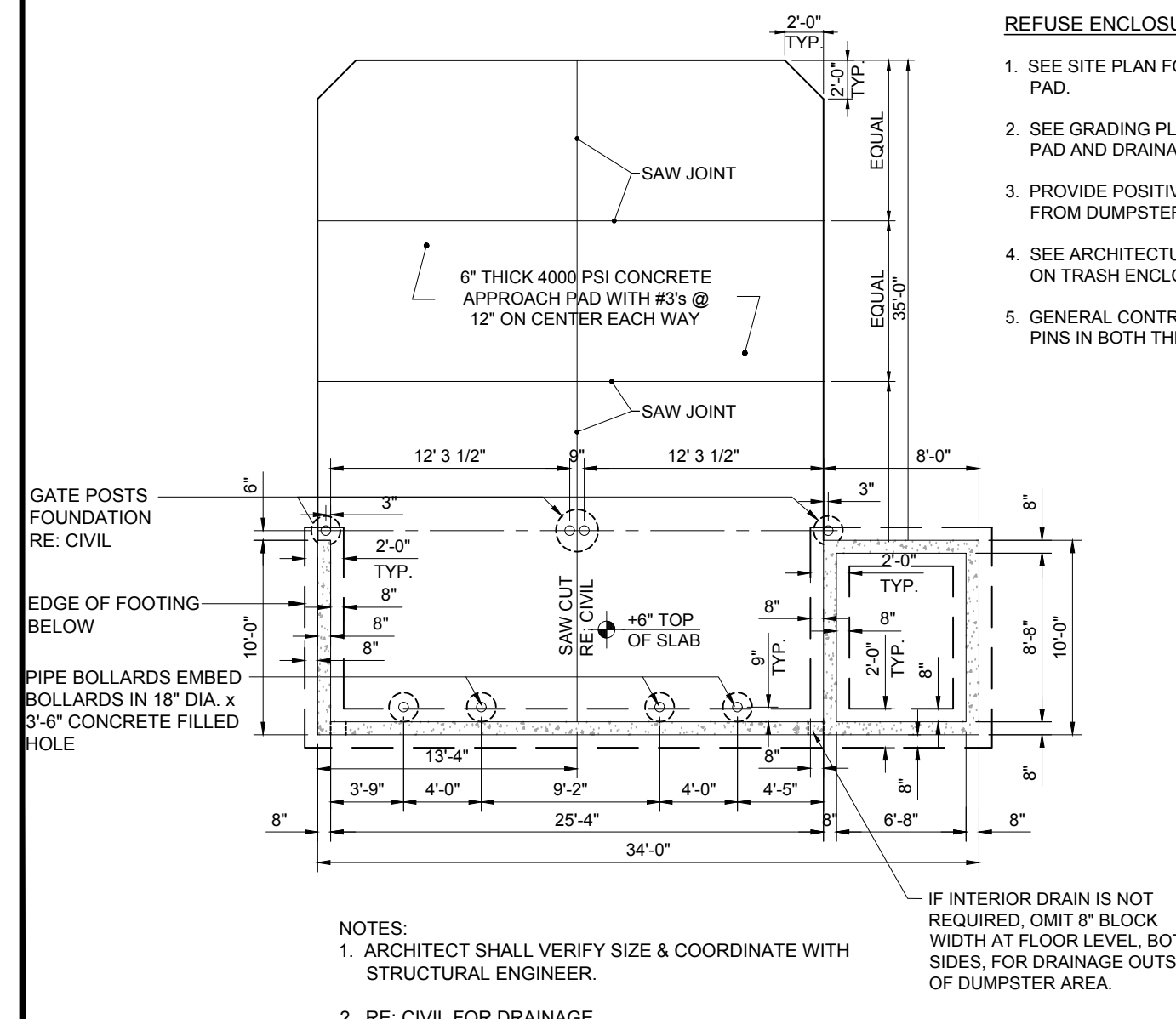
NOTE: ALL ELEVATIONS ON THIS DETAIL ARE RELATIVE TO FFE = 0'



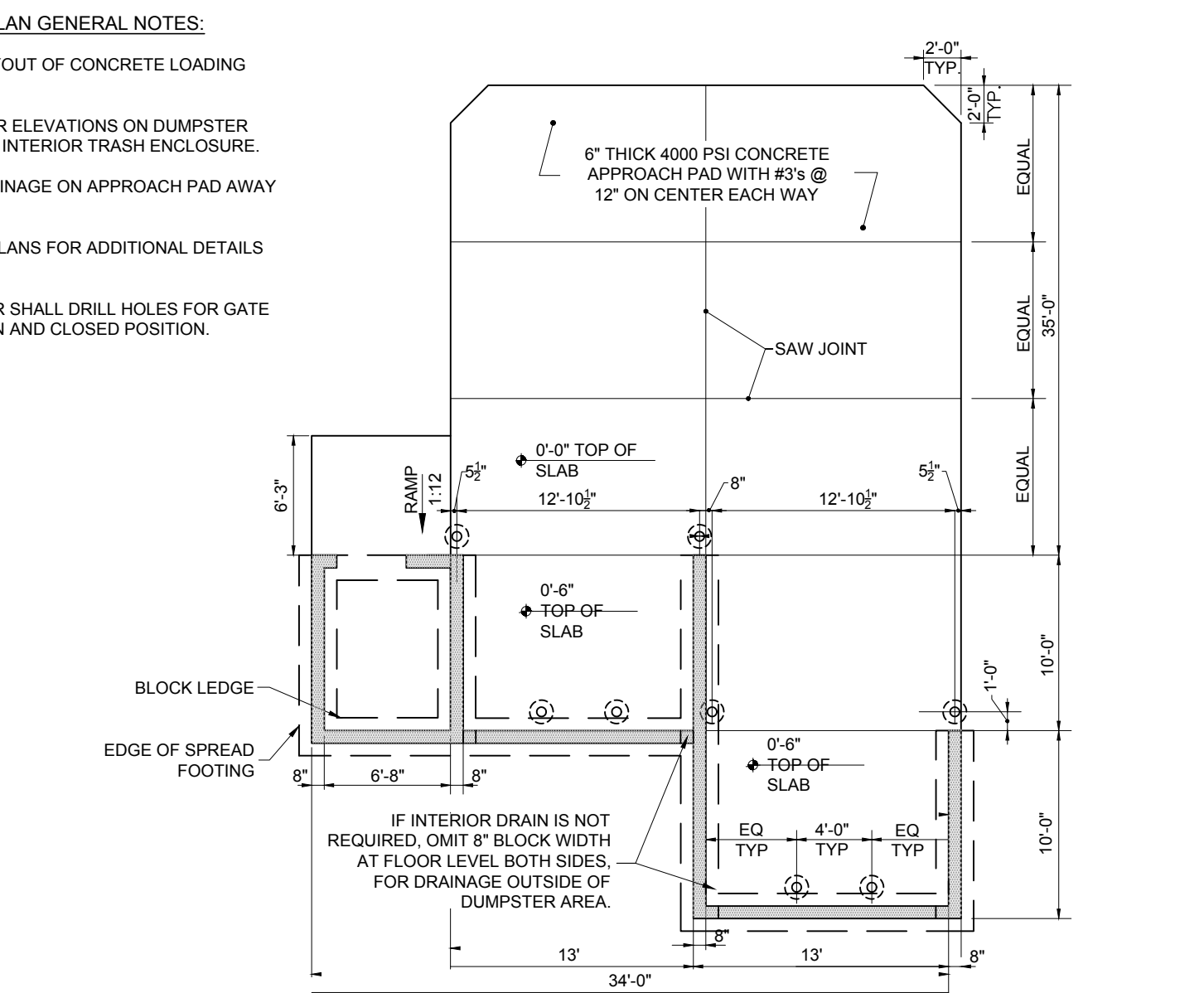
17 24\"/>

CONCRETE FOR CURBING SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. AT 28 DAYS.
CONSTRUCTION STAKING FOR CURBING INSTALLATION SHALL BE REFERENCED TO THE TOP OF CURB.
AT CONTRACTOR'S OPTION THE GUTTER THICKNESS MAY BE INCREASED AT THE EDGE OF PAVEMENT TO MAKE BOTTOM OF GUTTER PARALLEL WITH PAVING OF BASE COURSE.

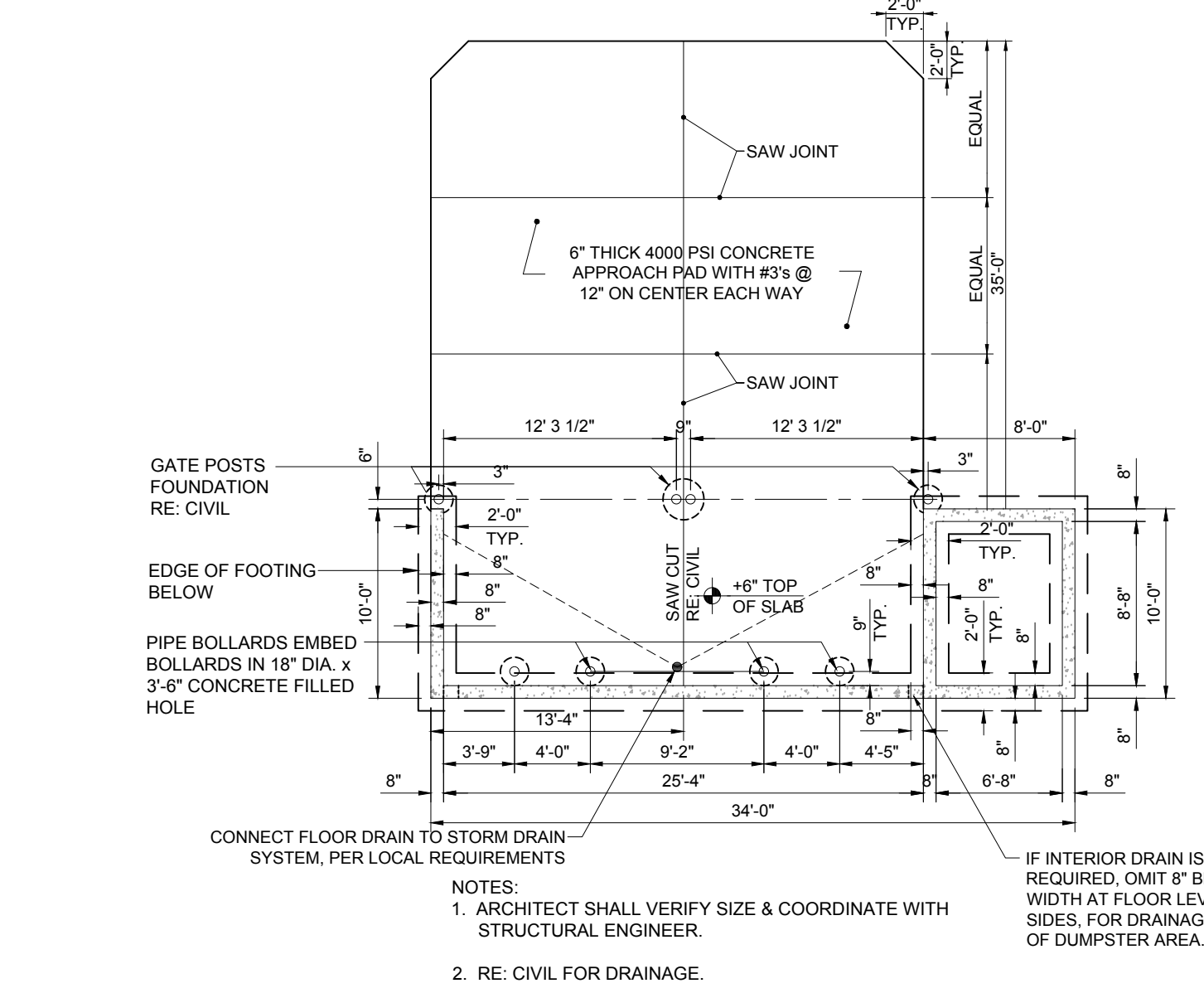
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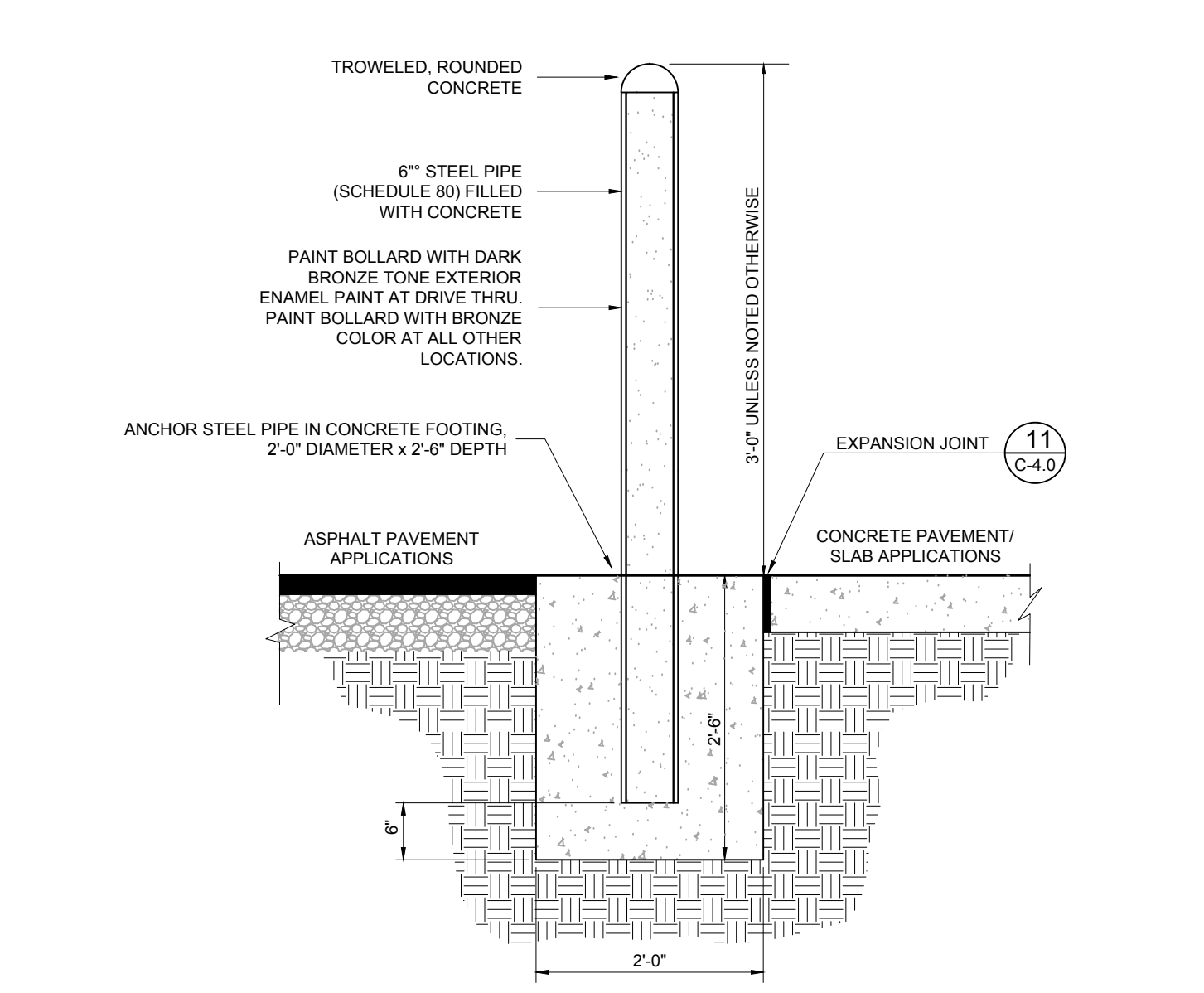
19 SCREENED REFUSE ENCLOSURE FOUNDATION PLAN
NOT TO SCALE



19 REFUSE ENCLOSURE FOUNDATION PLAN (ALT)
NOT TO SCALE



19 REFUSE ENCLOSURE ALTERNATE DRAINAGE PLAN
NOT TO SCALE



20 CONCRETE BOLLARD
NOT TO SCALE

NOTE: BOLLARD HEIGHT SHALL BE 5'-0\"/>

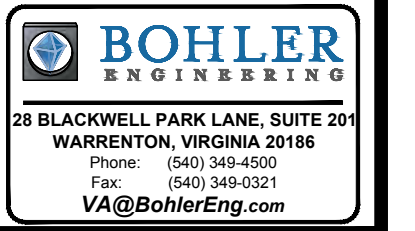
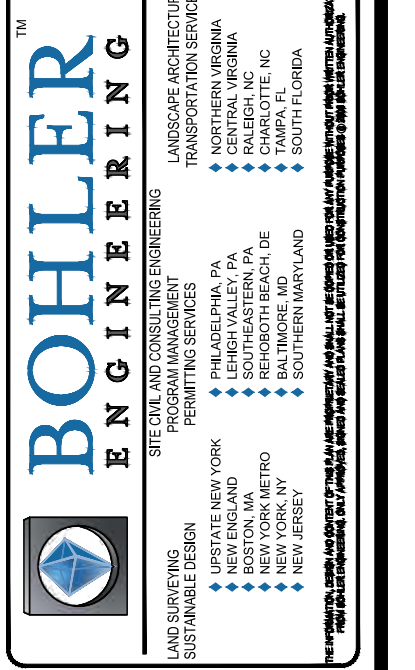
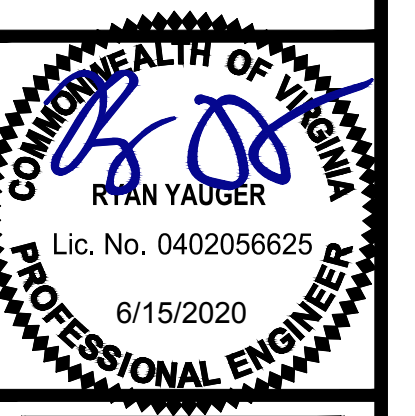


Revisions:

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1	4/2/2020	RTY

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2	6/15/2020	RTY

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STORE #4332
BARRACKS ROAD SHOPPING CENTER
1000 EMMET STREET N
CHARLOTTESVILLE, VA

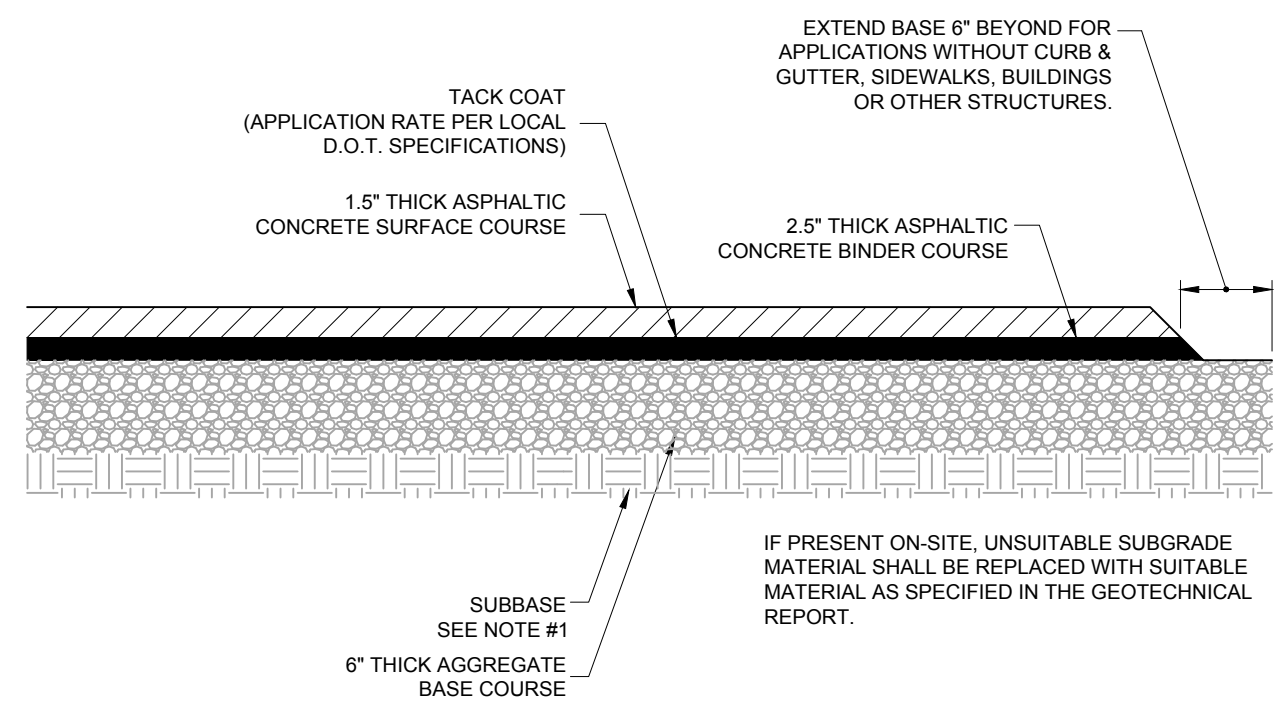
SHEET TITLE
SITE DETAILS

DWG EDITION OD 0

Job No. : V176502
Store : #4332
Date : 1/8/2020
Drawn By : JOC
Checked By : RTY

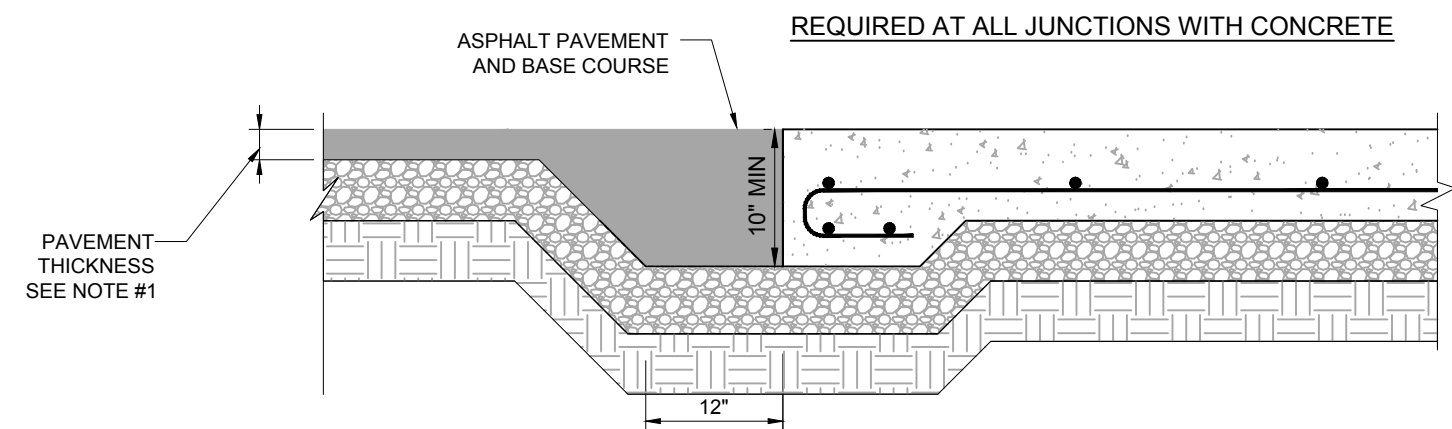
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C-4.1



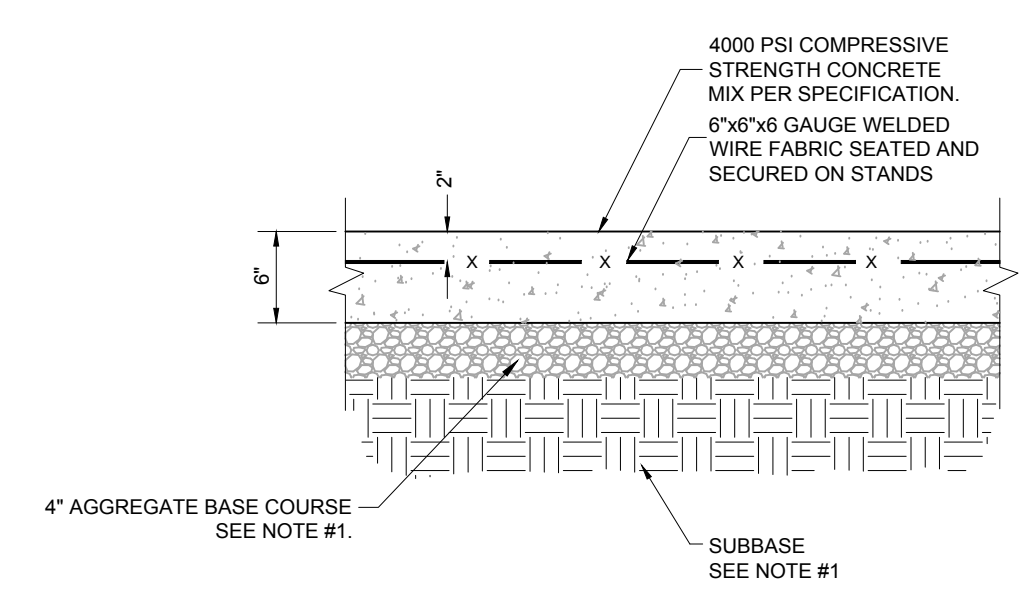
21 TYPICAL PAVEMENT SECTION
NOT TO SCALE

NOTE:
1. GENERAL CONTRACTOR SHALL REFERENCE SITE SPECIFIC GEOTECHNICAL REPORT FOR PAVEMENT, AGGREGATE, AND SUBGRADE SECTION REQUIREMENTS.
2. MINIMUM PAVEMENT THICKNESS SHOULD BE 6\"/>



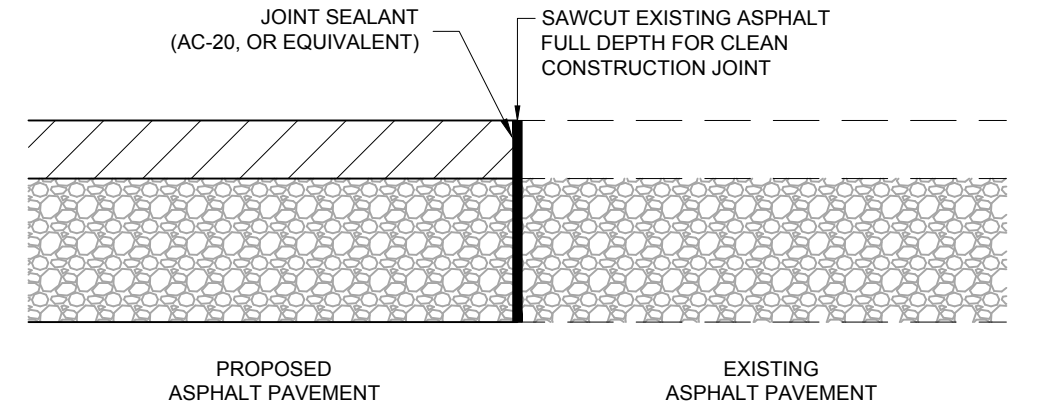
21A PAVEMENT EDGE DETAIL
NOT TO SCALE

NOTE:
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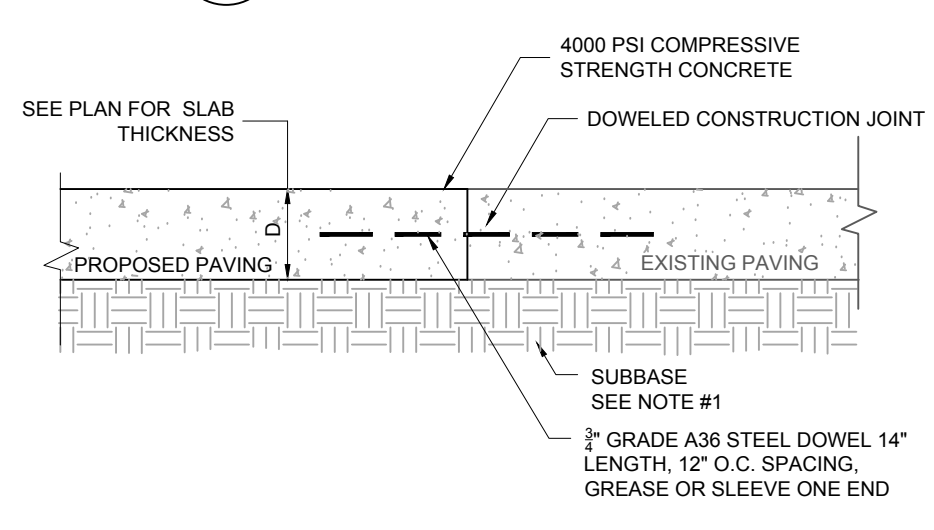


25 CONCRETE PAVING DRIVE-THRU LANE
NOT TO SCALE

NOTE:
1. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

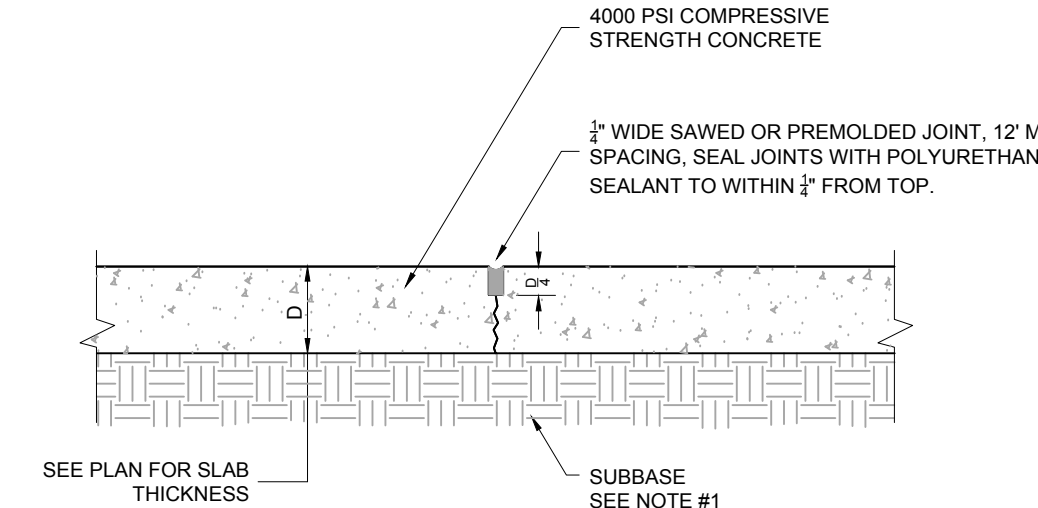


23A BUTT JOINT
NOT TO SCALE



23 TRANSVERSE AND LONGITUDINAL DOWELED CONSTRUCTION JOINT
NOT TO SCALE

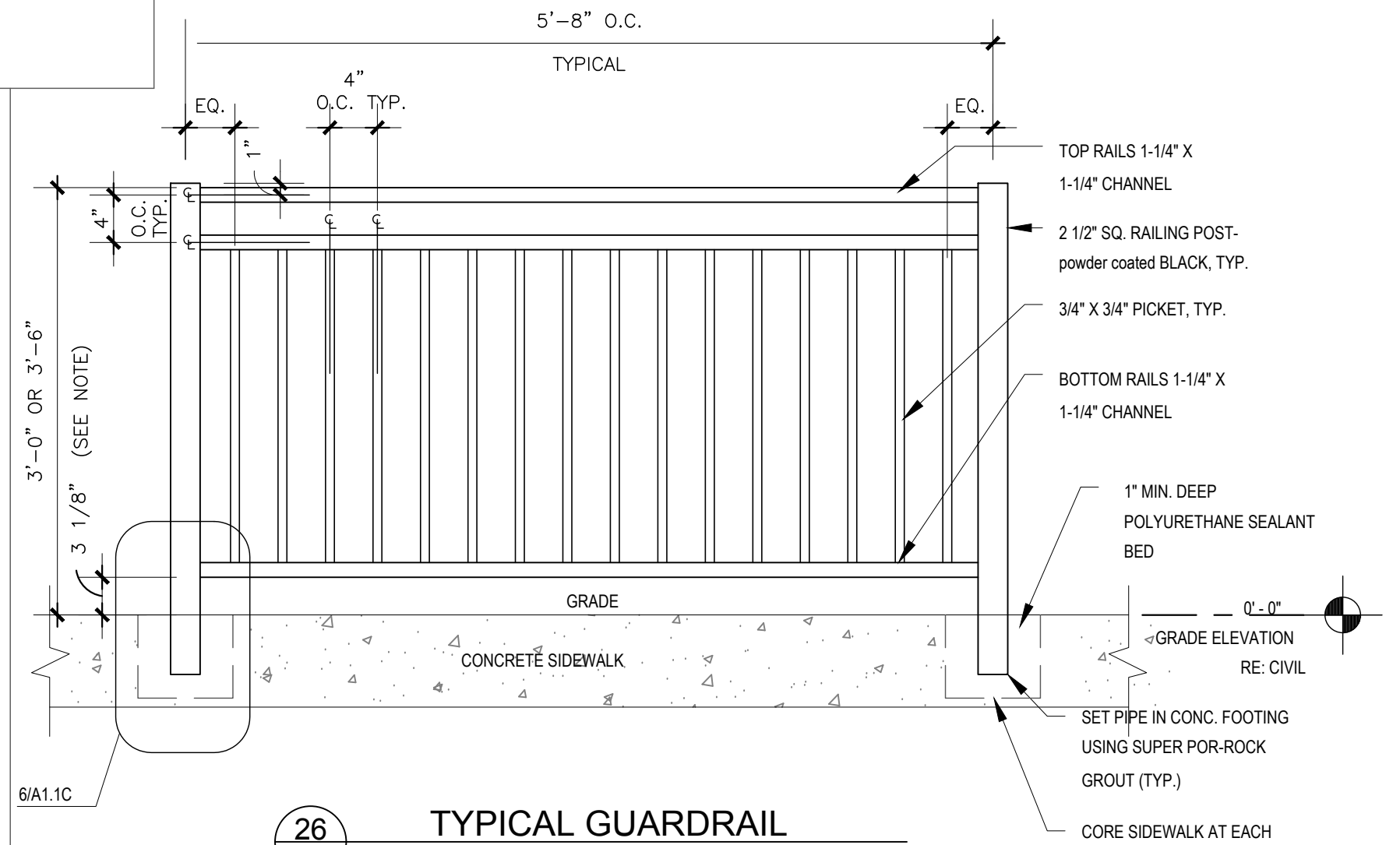
NOTE:
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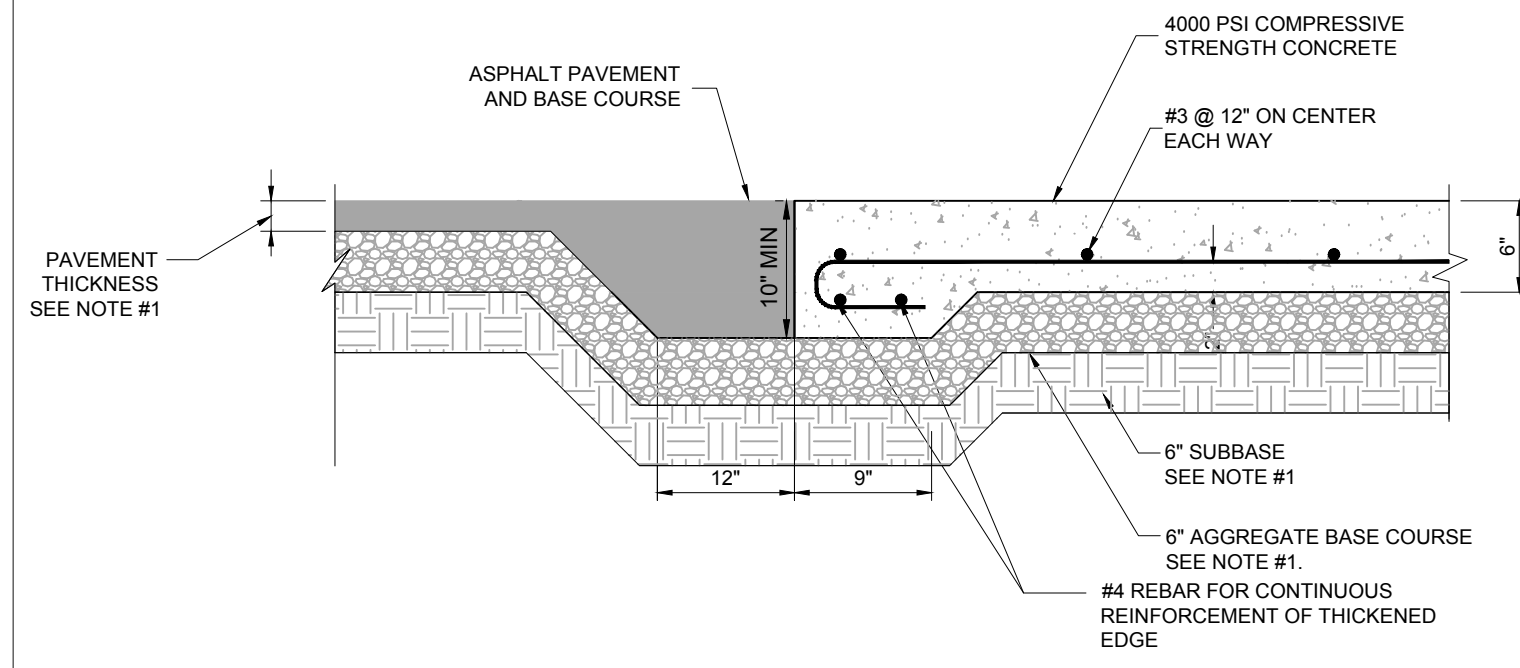
22 TRANSVERSE AND LONGITUDINAL CONTRACTION JOINT
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NOTE:
1. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

NOTES:
1. 3'-0\"/>

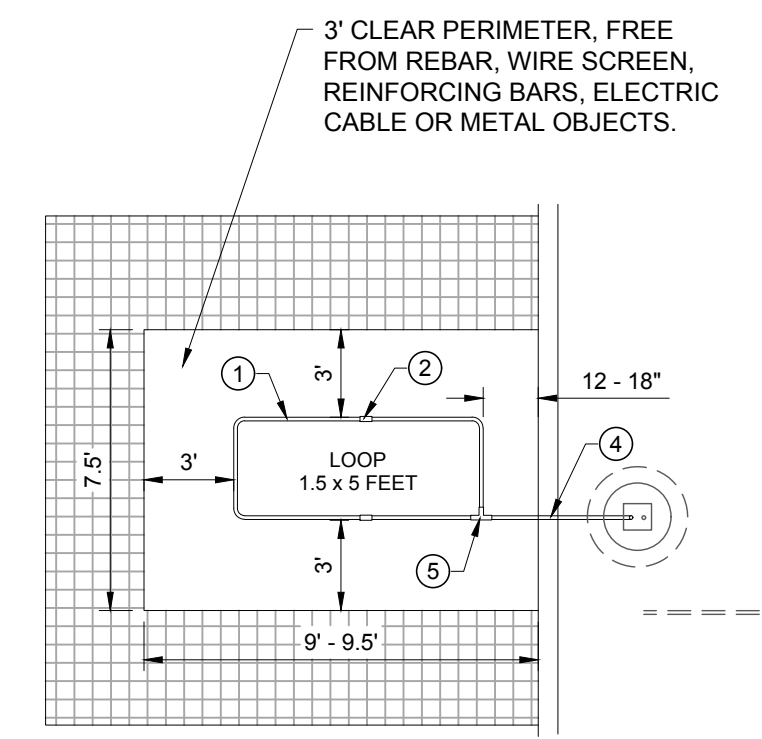


26 TYPICAL GUARDRAIL
NOT TO SCALE

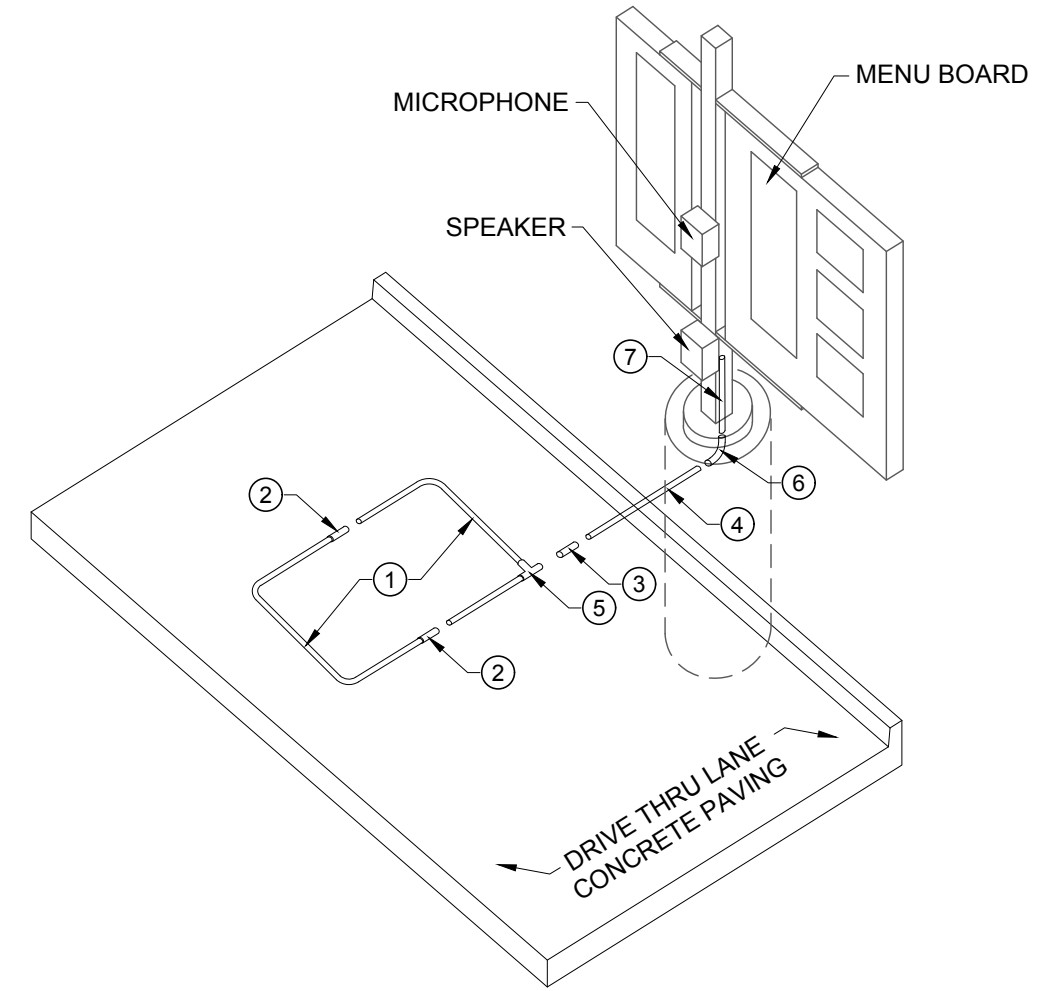


24 CONCRETE APRON @ TRASH ENCLOSURE
NOT TO SCALE

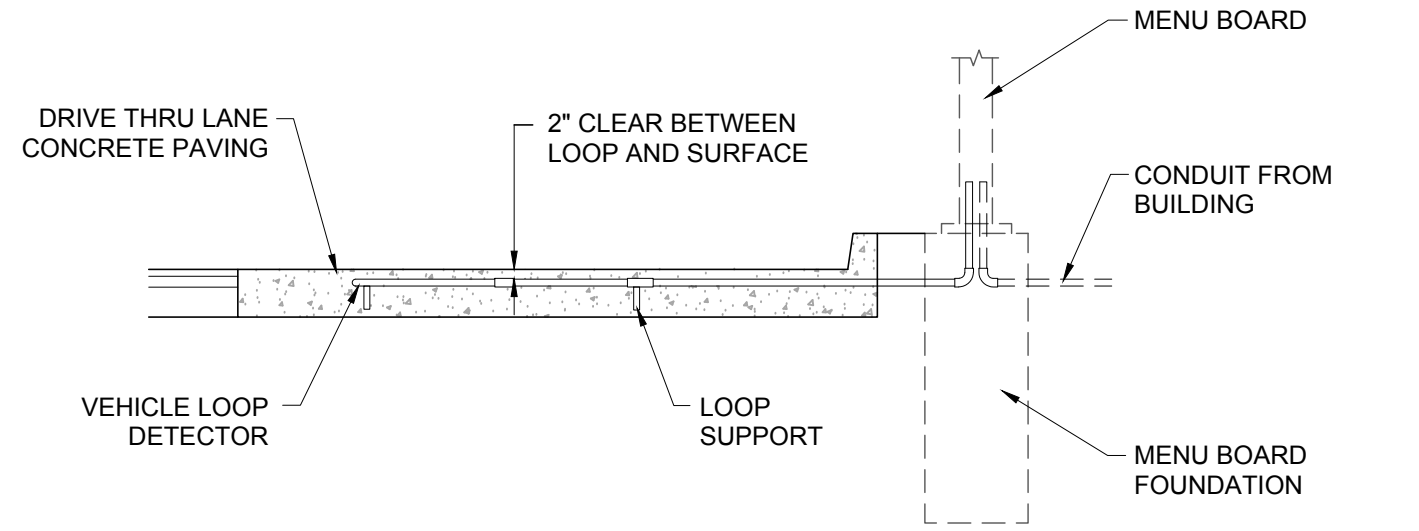
NOTE:
1. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.



PLAN VIEW



ISOMETRIC VIEW

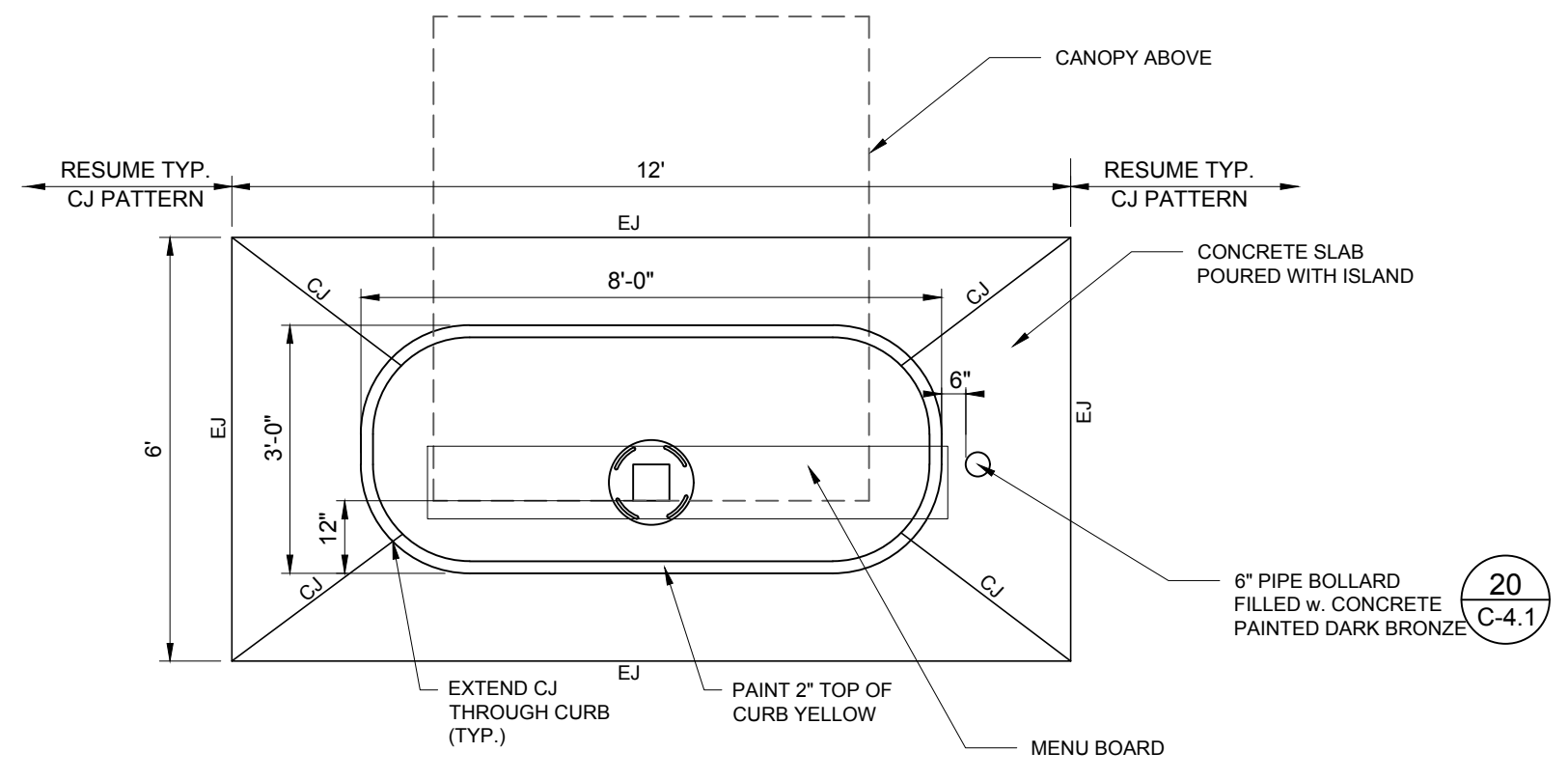


SECTION VIEW

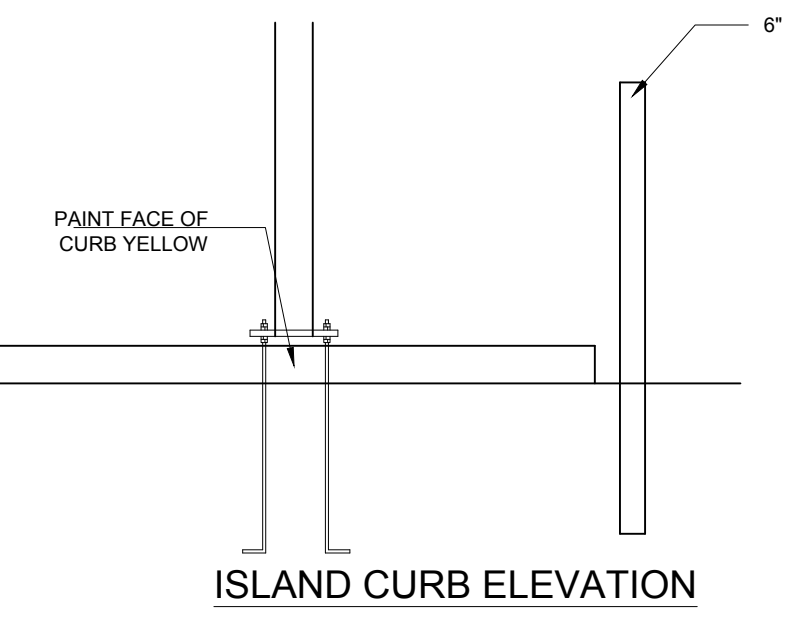
- PARTS LIST**
- 1 PREFAB (FOLDED) LOOP (1.5' x 5')
 - 2 1/2" PVC COUPLING
 - 3 1/2" PVC SLEEVE COUPLING
 - 4 1/2" PVC TUBING (3' LENGTH)
 - 5 1/2" PVC CORNER FITTING
 - 6 1/2" PVC 90° ELBOW
 - 7 1/2" PVC TUBING (2' LENGTH)

35 MENU BOARD LOOP DETECTION SYSTEM
NOT TO SCALE

NOTES:
1. LOOP DETECTOR IS MODEL NO. VDL100 VEHICLE DETECTION LOOP MANUFACTURED BY MH ELECTRONICS, INC.
2. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION.



ISLAND CURB PLAN



ISLAND CURB ELEVATION

34 DRIVE THRU ORDER POINT ISLAND CURB
NOT TO SCALE

NOTE:
1. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

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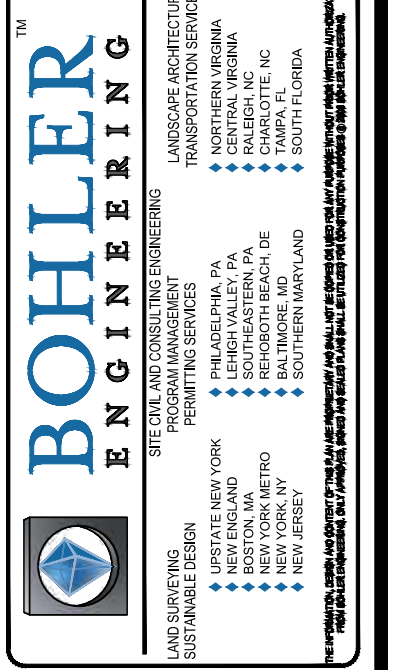
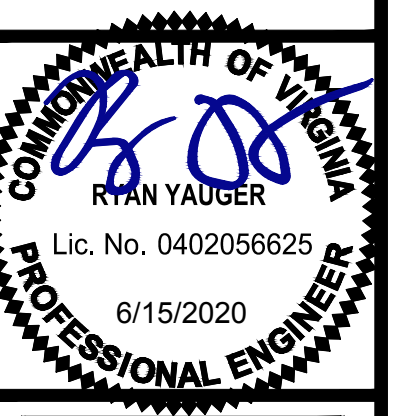


Revisions:

Mark	Date	By
1	4/2/2020	RTY

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2	6/15/2020	RTY

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VA@BohlerEng.com

STORE #4332
BARRACKS ROAD
SHOPPING CENTER
1000 EMMET STREET N
CHARLOTTESVILLE, VA

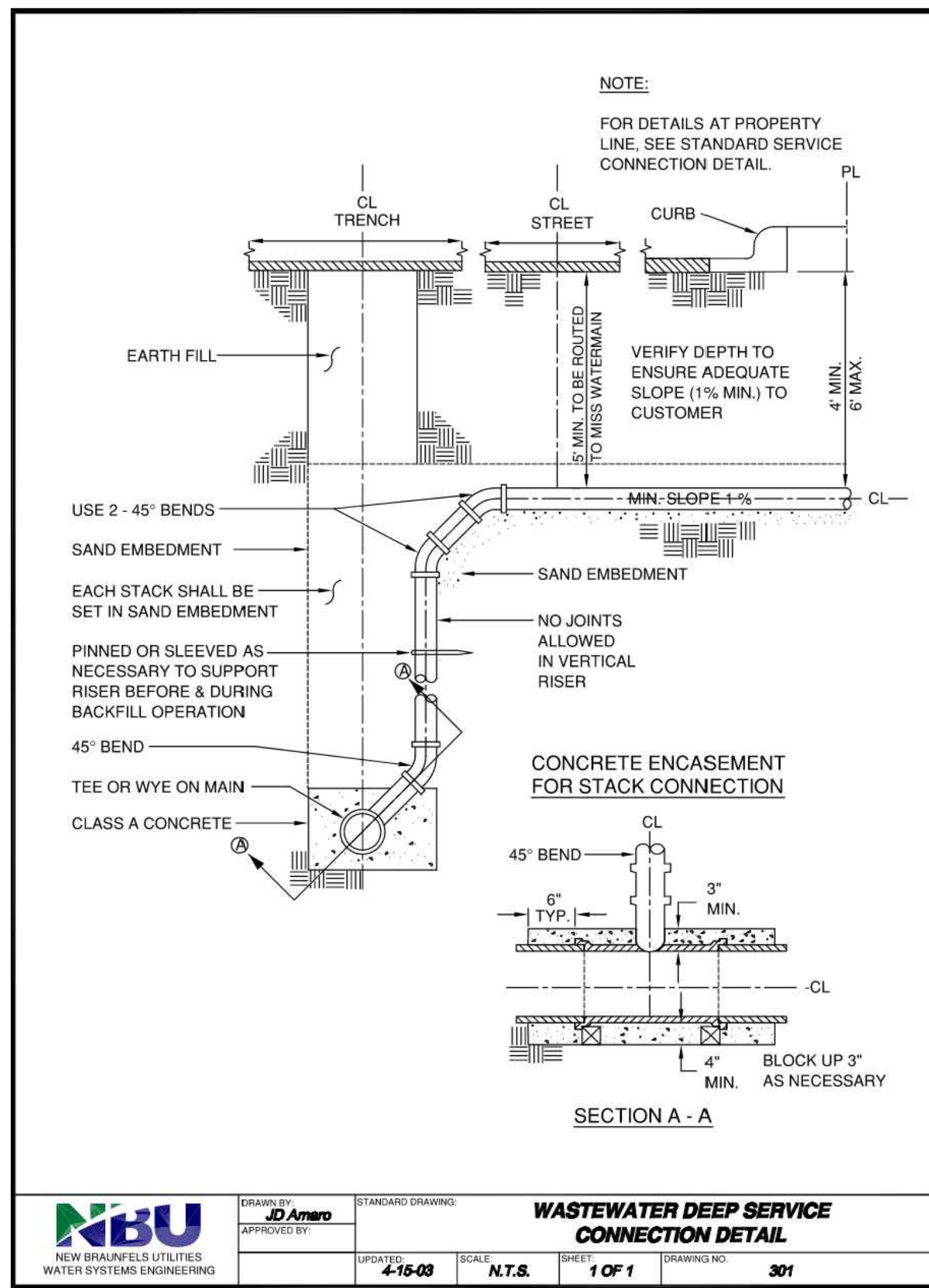
SHEET TITLE
SITE
DETAILS

DWG EDITION OD 0

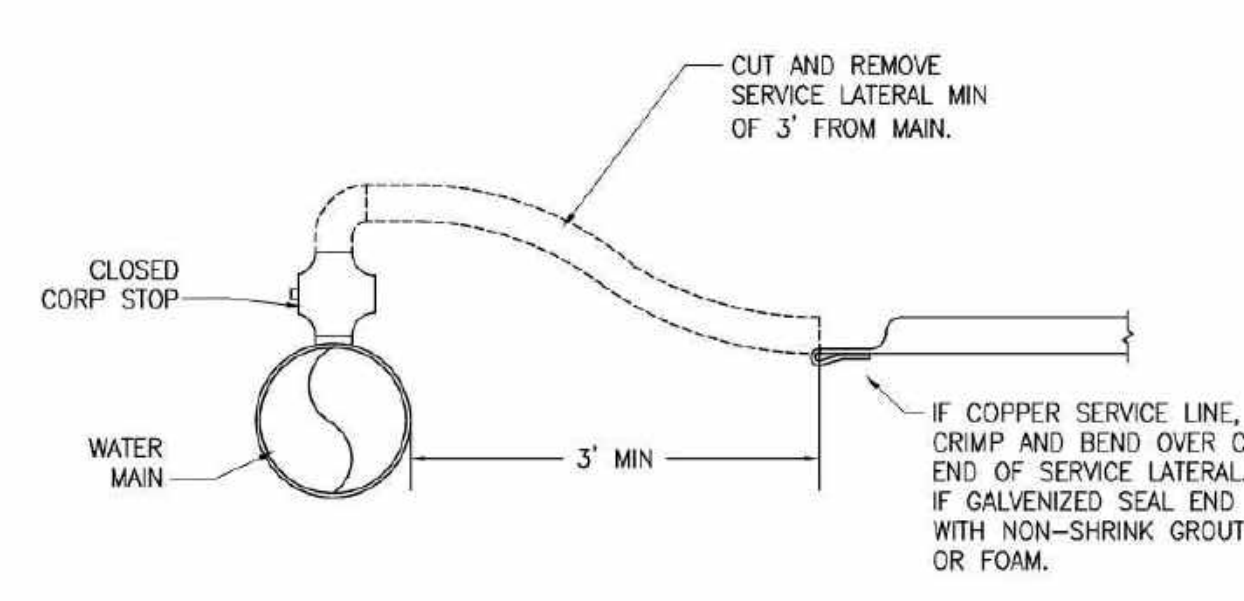
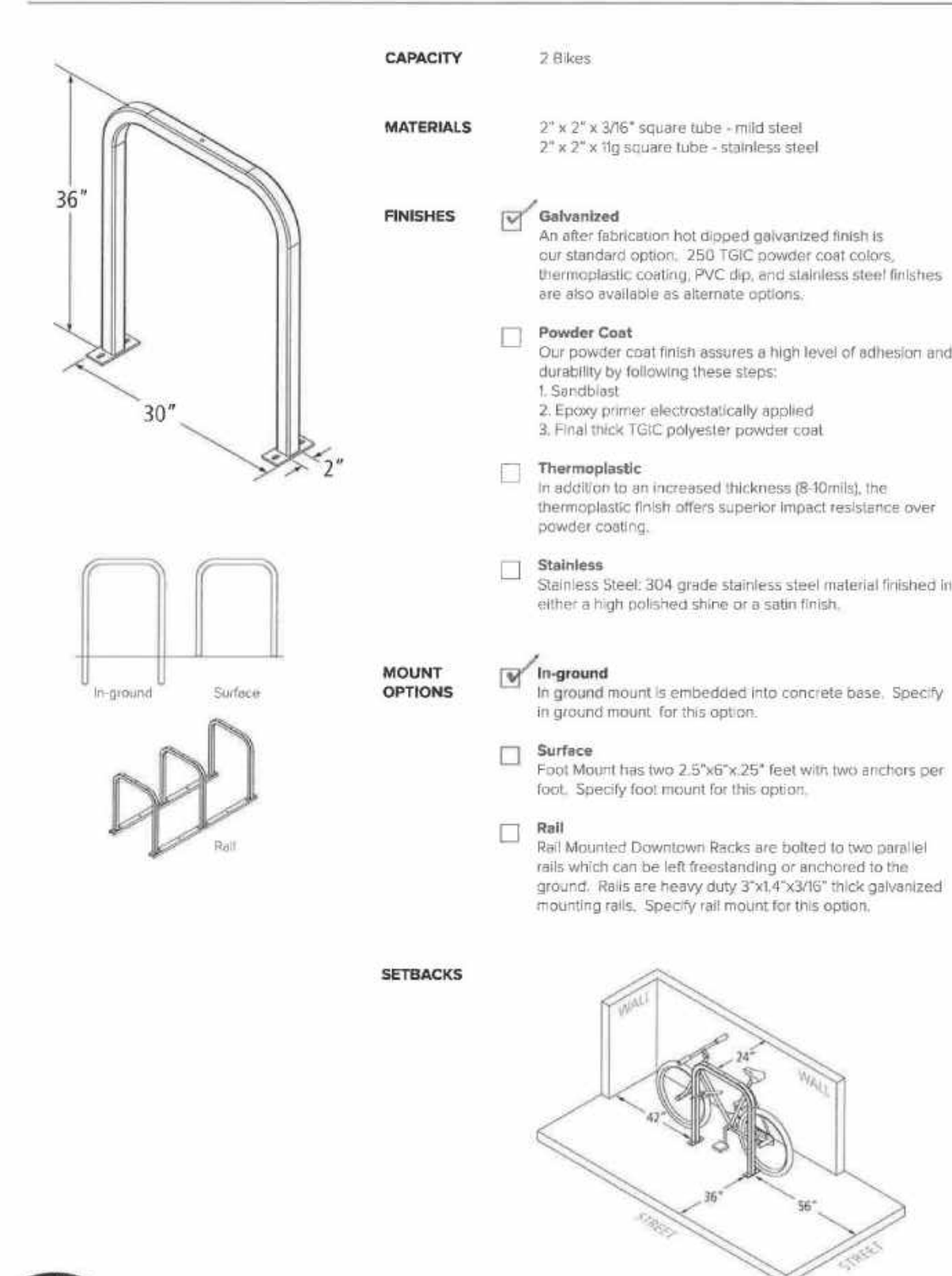
Job No. : V176502
Store : #4332
Date : 1/8/2020
Drawn By : JOC
Checked By : RTY

Sheet

C-4.2



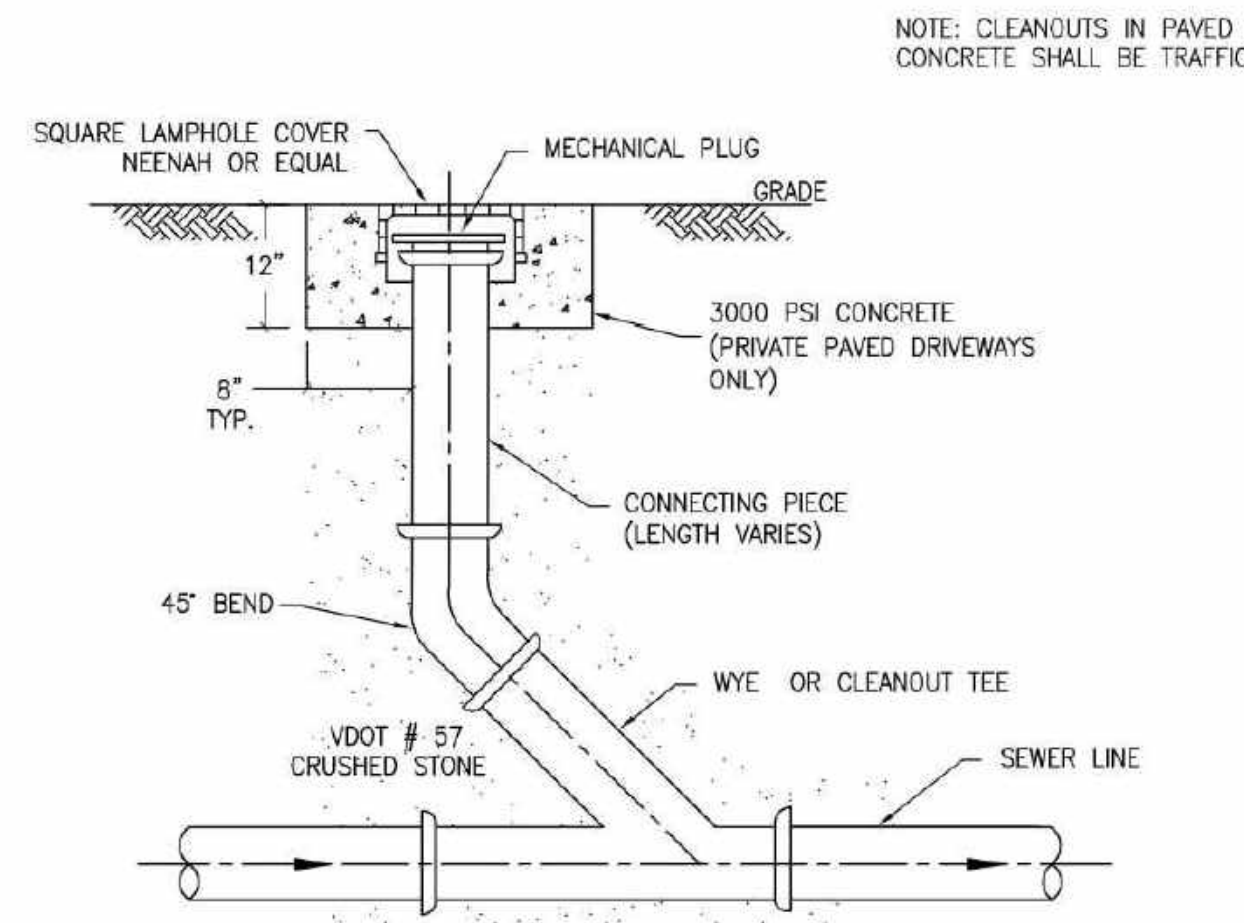
DOWNTOWN RACK
Submittal Sheet



CITY OF CHARLOTTESVILLE

JAN	2012	CITY STANDARDS
REVISION	DATE	SCALE: N.T.S. STANDARD NUMBER: W 7.1

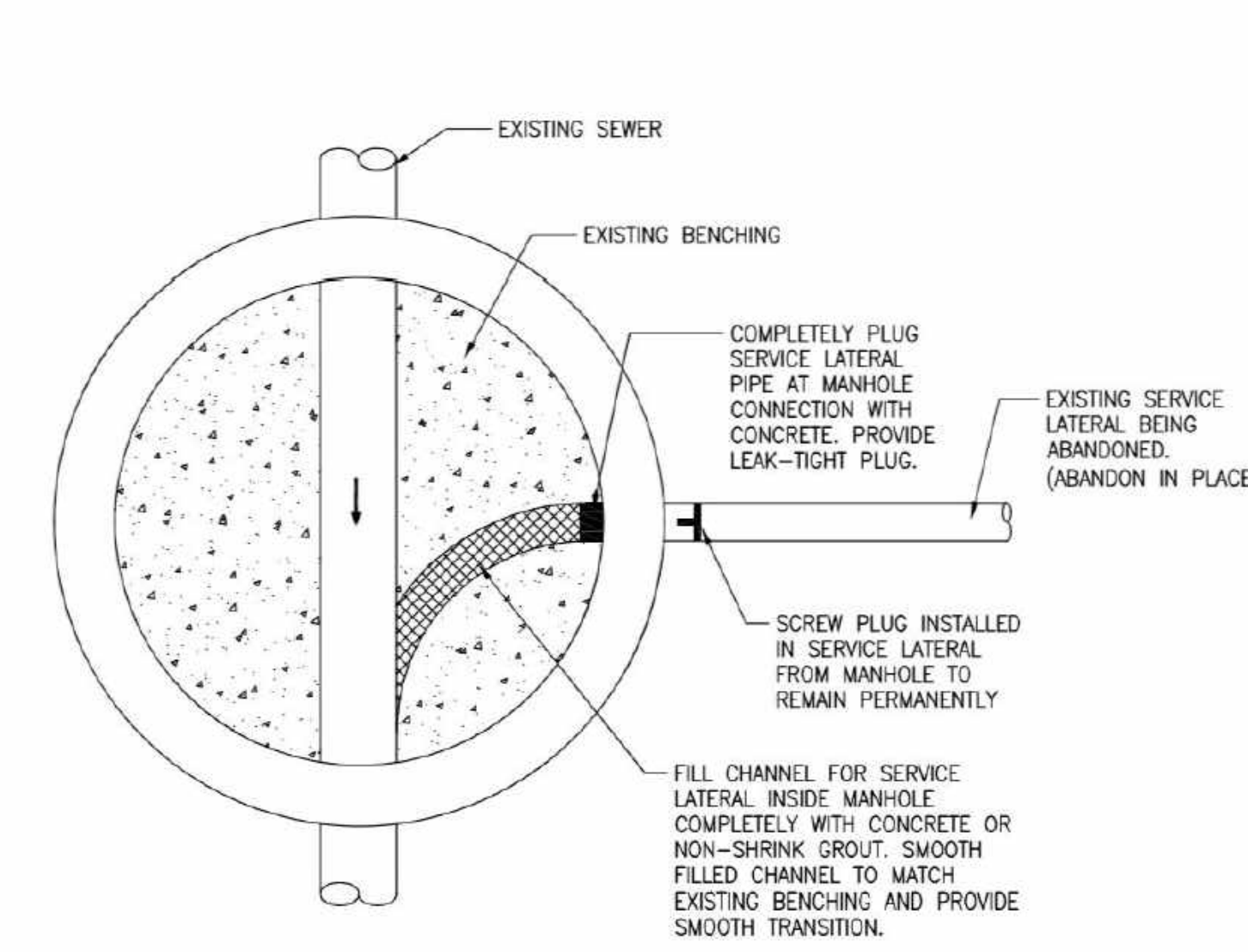
SERVICE LATERAL ABANDONMENT



CITY OF CHARLOTTESVILLE

JAN	2011	CITY STANDARDS
REVISION	DATE	SCALE: N.T.S. STANDARD NUMBER: WW 5.1

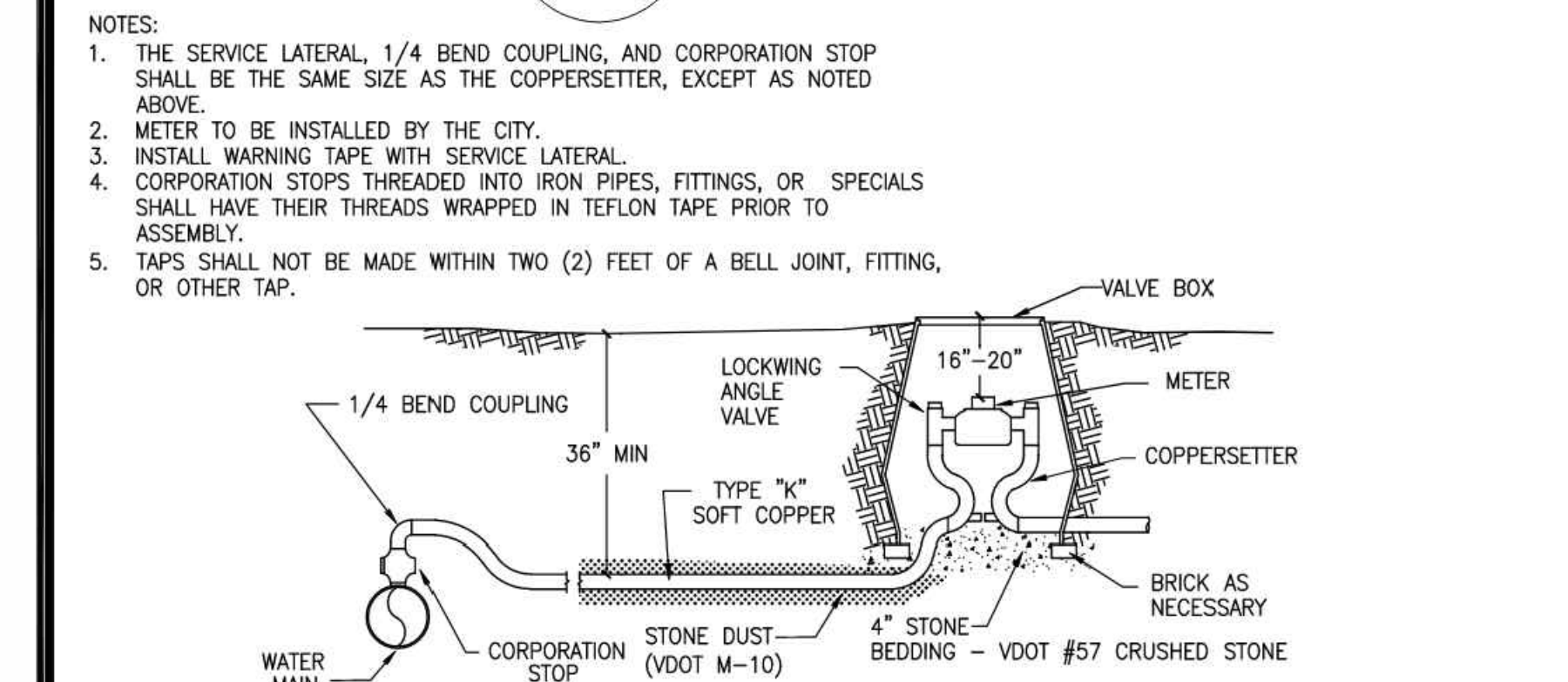
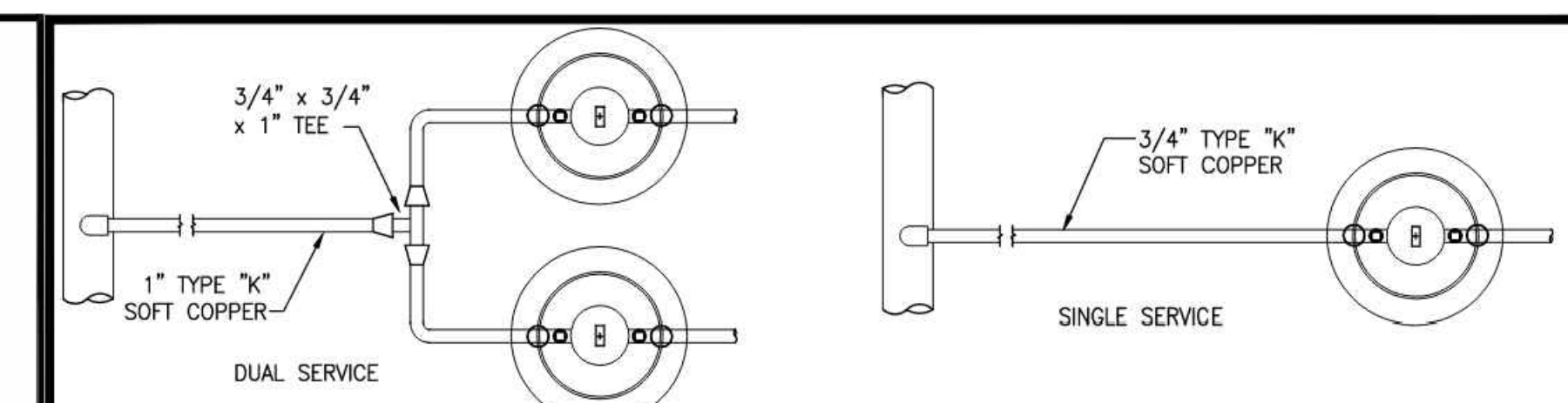
CLEANOUT DETAIL



CITY OF CHARLOTTESVILLE

JAN	2012	CITY STANDARDS
REVISION	DATE	SCALE: N.T.S. STANDARD NUMBER: WW 7.1

SEWER LATERAL ABANDONMENT AT MANHOLE



NOT USED [1] THE CONTRACTOR SHALL PROVIDE THE NECESSARY FITTINGS TO CONNECT THE NEW SERVICE LINE EXTENSION TO THE EXISTING SEWER STUB. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, MATERIAL AND INVERT ELEVATION PRIOR TO INSTALLING ANY SEWER FACILITIES. MINOR ADJUSTMENTS TO THE NEW SERVICE LINE INVERT ELEVATION MAY BE NECESSARY DEPENDING UPON FIELD MEASUREMENTS.

CAUTION/WARNING

THE CONTRACTOR SHALL USE EXTREME CAUTION TO PROPERLY SHEET, SHORE, AND DEWATER EXCAVATION TO COMPLETE THE CONNECTION IN A SAFE MANNER, AND WITHOUT DAMAGE OR SETTLEMENT TO EXISTING FACILITIES, ROAD OR SHOPPING CENTER DRIVE. PROVIDE THE NECESSARY TRAFFIC CONTROL MEASURES TO PREVENT TRAFFIC FROM DRIVING TO CLOSE TO THE EXCAVATIONS AND OTHER RELATED WORK AREAS.

- [2] INSTALL CLEANOUT. USE TRAFFIC RATED CLEANOUT IN ALL PAVEMENT AREAS AS REQUIRED.
- [3] 1.5" WATER METER FOR DOMESTIC WATER SUPPLY
THE 1.5" METER WILL REQUIRE A 2" METER SETTER. CONTRACTOR TO PROVIDE ADAPTOR BRACKETS TO INSTALL 1.5" METER IN THE 2" SETTER. CONTRACTOR SHALL COORDINATE WITH THE CITY OF CHARLOTTEVILLE FOR INSTALLATION OF WATER SERVICE TAP, WATER METER, AND METER BOX. CONTRACTOR'S BID PRICE SHALL INCLUDE THE COST OF THE WORK PERFORMED BY THE CITY (INCLUDING TAP FEES). TAPS SHALL BE MADE INITIALLY IN CONTRACTOR'S NAME AND TRANSFERRED AT PROJECT COMPLETION. DOMESTIC WATER LINE SHALL BE TYPE K COPPER.

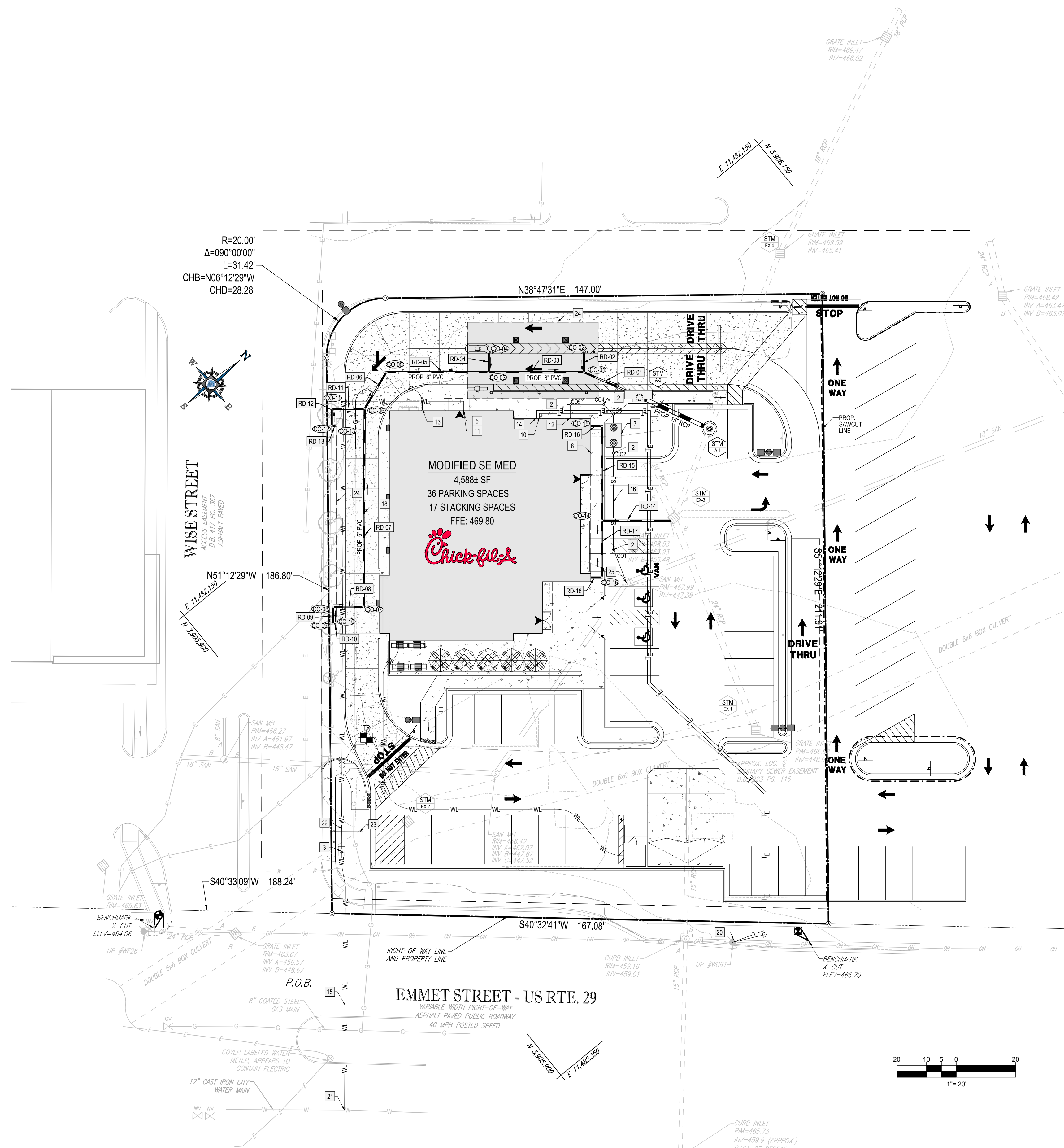
- NOT USED [4] EX. WATER METER FOR IRRIGATION WATER SUPPLY. CONTRACTOR TO VERIFY LOCATION AND CONDITION OF EXISTING METER. ON-SITE METER, ON-SITE MATERIALS SHALL BE INSTALLED BY THE IRRIGATION CONTRACTOR AS INDICATED ON THE IRRIGATION PLAN.
- [5] 2" BACKFLOW PREVENTER FOR DOMESTIC WATER SERVICE.
THE CONTRACTOR SHALL INSTALL A BACKFLOW PREVENTER (EBCO, WATTS, OR APPROVED EQUAL) FOR EACH WATER SERVICE LINE AS INDICATED ON THE DRAWINGS. INSTALLATION SHALL INCLUDE BOX OR VAULT, AS APPLICABLE. THE CONTRACTOR SHALL COORDINATE WITH THE CITY OF CHARLOTTEVILLE FOR INSPECTION, TESTING, AND CERTIFICATION OF ALL BACKFLOW PREVENTERS. ALL BACKFLOW DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY STANDARDS/SPECIFICATIONS. CONTRACTOR'S BID PRICE SHALL INCLUDE ALL COSTS ASSOCIATED WITH DEVICE INSTALLATION, INSPECTION, TESTING, CERTIFICATION, ETC., TO INCLUDE ANY FEES REQUIRED BY THE CITY.

- NOT USED [6] 1" BACKFLOW PREVENTER FOR IRRIGATION WATER SERVICE. (SEE NOTE #5 ABOVE.)
- [7] GREASE TRAP TO BE INSTALLED BY SITE UTILITY CONTRACTOR. COORDINATE INSTALLATION WITH BUILDING CONTRACTOR AND ARCHITECTURAL PLUMBING PLANS. CONNECT RESTROOM SERVICE LINE DOWNSTREAM OF GREASE TRAP OUTLET SIDE AT INVERT ELEVATION INDICATED. COORDINATE TOP ELEVATION OF GREASE TRAP WITH DRIVEWAY PAVEMENT ELEVATION.
- [8] 4" SEWER SERVICE LINE AND CLEANOUT FROM RESTROOM FACILITIES TO BE INSTALLED BY SITE UTILITY CONTRACTOR. COORDINATE WITH BUILDING CONTRACTOR AND ARCHITECTURAL PLUMBING PLANS. SERVICE LINE SHALL BY-PASS GREASE TRAP AND CONNECT BEYOND THE OUTLET SIDE.
- [9] 3" VENT LINE TO BE INSTALLED BY SITE UTILITY CONTRACTOR. SEE ARCHITECT PLUMBING PLANS.
- [10] UNDERGROUND TELEPHONE SERVICE CONNECTION LOCATION AT BUILDING. COORDINATE WITH BUILDING CONTRACTOR AND ARCHITECTURAL PLANS.
- [11] 2" DOMESTIC WATER SERVICE LINE CONNECTION LOCATION AT BUILDING. SITE UTILITY CONTRACTOR SHALL INSTALL DOMESTIC WATER SERVICE LINE FROM THE EXISTING WATER MAIN TO THE MAIN BUILDING CUTOFF VALVE. (SEE ARCHITECT PLUMBING PLAN).
- [12] 4" KITCHEN WASTE LINE. INSTALL CLEANOUT APPROXIMATELY 6' FROM FACE OF BUILDING. COORDINATE WITH BUILDING CONTRACTOR AND ARCHITECTURAL PLUMBING PLANS.
- [13] GAS SERVICE LINE AND METER INSTALLATION LOCATION. SEE ARCHITECTS PLUMBING PLANS FOR SIZE REQUIREMENTS AND EXACT CONNECTION LOCATION. COORDINATE WITH GAS COMPANY FOR GAS SERVICE LINE INSTALLATION.
- [14] UNDERGROUND ELECTRICAL SERVICE LINE CONNECTION AT BUILDING. CONTRACTOR SHALL INSTALL 4" DIAMETER SCHED 40 PVC CONDUIT WITH PULL WIRE FROM EXISTING ELECTRICAL FACILITIES WITHIN THE RIGHT-OF-WAY TO THE TRANSFORMER & ELECTRICAL PULL BOX LOCATED BEHIND THE CHICK-FIL-A SERVICE AREA. COORDINATE CROSSING OF CONDUIT WITH OTHER UTILITIES. CONDUIT SHALL BE BURIED ON FINISHED GRADE. ABRUPT BENDS SHALL NOT BE ALLOWED. USE LONG SWEEP ELBOWS AND OTHER NECESSARY FITTINGS TO PROVIDE GRADUAL CHANGES IN DIRECTION. ELECTRIC SERVICE INSTALLATION TO BE COORDINATED WITH LOCAL ELECTRIC COMPANY.
- [15] 2" MUNICIPEX WATERLINE TO METER (PUBLIC).
- [16] 6" PVC SCH 40 SANITARY SERVICE LINE.

- NOT USED [17] INSTALL 2" SCH 40 PVC CONDUIT WITH PULL WIRE AND PULL BOX FOR TELEPHONE SERVICE LINE INSTALLATION. USE LONG SWEEP RADIUS AT 90° AND 45° BENDS TO AVOID ABRUPT CHANGES IN DIRECTION. COORDINATE WITH TELEPHONE COMPANY FOR SPECIFIC LOCATION OF CONDUIT AT THE EXISTING PEDESTAL.
- [18] 3/4" C.W. TO DUMPSTER POST HYDRANT. SEE ARCHITECTS PLUMBING PLANS
- NOT USED [19] 1 EACH - 4" DIAMETER, SCHEDULE 40 PVC CONDUIT, TYPICAL. SEE BLANK CONDUIT INSTALLATION NOTE.
- [20] EX. TRANSFORMER.
- [21] 2" CORPORATION STOP. IF EXISTING CORP STOP IS FOUND TO BE PROPERLY SIZED AT 2" AND IN GOOD CONDITION, IT MAY BE REUSED FOR THE NEW WATER SERVICE AT THE DISCRETION OF THE UTILITIES INSPECTOR.
- [22] 1-1/2" INCH TYPE "K" COPPER TUBING WATERLINE AFTER METER (PRIVATE).
- [23] 20" PUBLIC WATER EASEMENT
- [24] CANOPY DOWNSPOUT TO SPILL ON GRADE.
- [25] SEWER LATERAL CONNECTION TO EXISTING CITY MANHOLE SHALL MATCH CROWNS WITH EXISTING 18" INCOMING PIPE. MANHOLE TO BE CORED AND BOOTED. INVERT SHARPING SHALL BE PROVIDED FOR THIS CONNECTION. THE PRIVATE DROP-STACK SHALL BE AT LEAST 5 FEET AWAY FROM THE MANHOLE.

UTILITY NOTES:

1. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION TO THE CITY OF CHARLOTTEVILLE SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. OWNER/DEVELOPER AND ARCHITECT SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
2. LOCATION OF ALL EXISTING AND PROPOSED UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATION OF SANITARY SEWER AND ALL OTHER UTILITY SERVICES CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR INFIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST POINT. CROSSINGS WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES. DISCONNECTIONS SHALL NOT BE CONDUCTED BY CONTRACTOR. ALL STORM DRAIN, WATER, SEWER AND PRODUCT PIPING UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF CHARLOTTEVILLE STANDARDS AND SPECIFICATION FOR UTILITY CONSTRUCTION.
4. ANY SEDIMENT CONTROL MEASURES REMOVED FOR THE PURPOSE OF UTILITY CONSTRUCTION SHALL BE REPLACED AT THE END OF THE DAY BY THE UTILITY CONTRACTORS.
5. SANITARY CLEANOUT TOPS TO BE ADJUSTED TO MATCH CROSS-PITCH AND SLOPE OF PROPOSED GRADES. CLEANOUT TOPS TO BE IDENTIFIED AS SANITARY CLEANOUTS. THREADED AND CONTAIN COUNTERSUNK PLUGS.
6. WATER SERVICE SHALL BE A 1-1/2" INCH TYPE "K" COPPER TUBING. SANITARY SEWER PIPE SHALL BE A SIX (6) INCH PVC SCH 40 AT CONNECTION OF KITCHEN WASTE AND RESTROOM WASTE. SEWER SERVICES TO BE 4 (4) INCH PVC SCH 40 AT CONNECTIONS AT BUILDING. WATER AND SEWER SERVICES SHALL BE COORDINATED WITH THE BUILDING CONTRACTOR FOR HORIZONTAL AND VERTICAL ALIGNMENT AND CONNECTIONS.
7. ALL FILL, COMPACTION AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION SHALL BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND SHALL BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS.
8. SEE ARCHITECTURAL PLANS FOR GREASE TRAP DETAILS.
9. ALL PIPES UNDER PRESSURE SHALL BE CONNECTED WITH WATER TIGHT JOINTS. INSPECTOR SHALL VERIFY MATERIALS AND INSPECT PRESSURE TREATED PIPE PRIOR TO COVERING UP OR PRESSURE TEST PIPE PER CITY STANDARDS.
10. ALL MATERIALS USED IN THE CONSTRUCTION OF THE PUBLIC WATER SYSTEM SHALL BE IN COMPLIANCE WITH PUBLIC LAW 111-380. THE REDUCTION OF LEAD IN DRINKING WATER ACT. PRODUCTS SHALL BEAR THE NSF/ANSI STANDARD 61 ANNEX G NSF 61-G CERTIFICATION MARK WEAR SPECIFIED BY LAW.
11. CONTRACTOR MUST UNCOVER AND EXPOSE THE CONNECTION POINTS OF BOTH WATER AND SEWER PRIOR TO CONSTRUCTION OF ANY WATER OR SEWER FACILITIES. THE ENGINEER MUST BE NOTIFIED OF ANY DISCREPANCIES WITH THE PLAN DESIGN.
12. PER THE VIRGINIA DEPARTMENT OF HEALTH WATERWORKS REGULATIONS (PART II, ARTICLE 3, SECTION 12 VAC 5-590 THROUGH 630), ALL BUILDINGS THAT HAVE THE POSSIBILITY OF CONTAMINATING THE POTABLE WATER DISTRIBUTION SYSTEM (HOSPITALS, INDUSTRIAL SITES, BREWERIES, ETC.) SHALL HAVE A BACKFLOW PREVENTION DEVICE INSTALLED WITHIN THE FACILITY. THIS DEVICE SHALL MEET SPECIFICATIONS OF THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE. SHALL BE TESTED IN REGULAR INTERVALS AS REQUIRED, AND TEST RESULTS SHALL BE SUBMITTED TO THE REGULATORY COMPLIANCE ADMINISTRATOR IN THE DEPARTMENT OF UTILITIES.
13. ALL BUILDINGS THAT MAY PRODUCE WASTES CONTAINING MORE THAN ONE HUNDRED (100) PARTS PER MILLION OF FATS, OIL, OR GREASE SHALL INSTALL A GREASE TRAP. THE GREASE TRAP SHALL MEET SPECIFICATIONS OF THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE, MAINTAIN RECORDS OF CLEANING AND MAINTENANCE, AND BE INSPECTED ON REGULAR INTERVALS BY THE REGULATORY COMPLIANCE ADMINISTRATOR IN THE DEPARTMENT OF UTILITIES.
14. PLEASE CONTACT THE REGULATORY COMPLIANCE ADMINISTRATOR AT 970-3032 WITH ANY QUESTIONS REGARDING THE GREASE TRAP OR BACKFLOW PREVENTION DEVICES.
15. THE AVERAGE DAILY FLOW FROM THE ENTIRE PROJECT IS 6,400 GPD BASED ON 128 TOTAL SEATS PROPOSED.
16. THE PEAK HOUR GAS DEMAND FOR THE PROPOSED RESTAURANT IS 1,600 CFH.



SANITARY LATERAL SCHEDULE

Upper Structure	Lower Structure	Invert Elev.		Length (ft)	Slope (%)	Dia. (in)	Material
		Upper (ft)	Lower (ft)				
Building	CO5	465.30	465.20	4.46	2.24%	4	PVC
	CO5	465.20	464.95	11.15	2.24%	4	PVC
	CO4	464.95	464.85	4.65	2.15%	4	PVC
	CO3	464.85	464.75	3.00	3.33%	4	PVC
Grease Trap	CO2	464.50	464.45	1.91	2.62%	4	PVC
	CO2	464.45	463.80	32.46	2.00%	6	PVC
	CO1	463.80	447.38	12.03	VARIES*	6	PVC
		464.80	464.45	7.55	4.64%	4	PVC

*CONTRACTOR TO IMPLEMENT RISER STRUCTURE TO MATCH CROWNS WITH THE EXISTING 18" PIPE AT THE CITY MANHOLE. SEE SHEET C-4.3 FOR REFERENCE DETAIL.

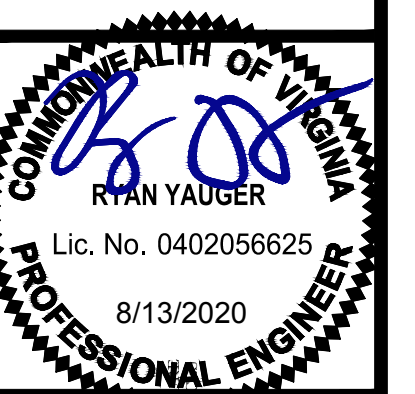


Revisions:

Mark	Date	By
1	4/2/2020	RTY

Mark	Date	By
2	6/15/2020	RTY

Mark	Date	By
3	8/13/2020	RTY



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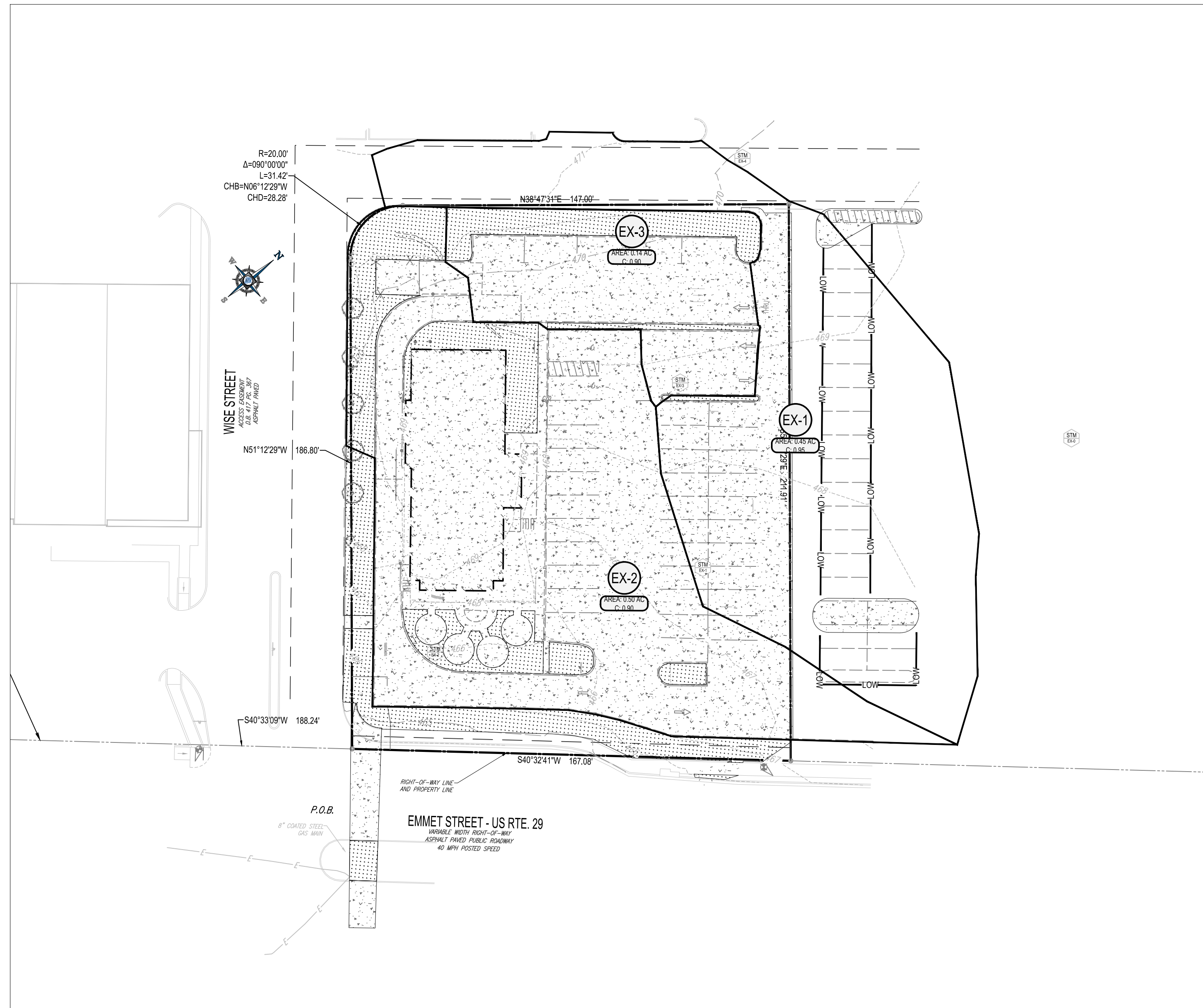
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STORE #4332
BARRACKS ROAD
SHOPPING CENTER
1000 EMMET STREET N
CHARLOTTEVILLE, VA

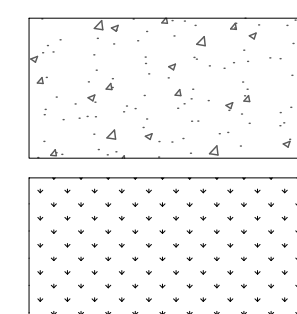
SHEET TITLE
PLUMBING SITE PLAN
DWG EDITION **SS0**

Job No. : V176502
Store : #4332
Date : 1/8/2020
Drawn By : JOC
Checked By : RTY

Sheet
PS-1.0

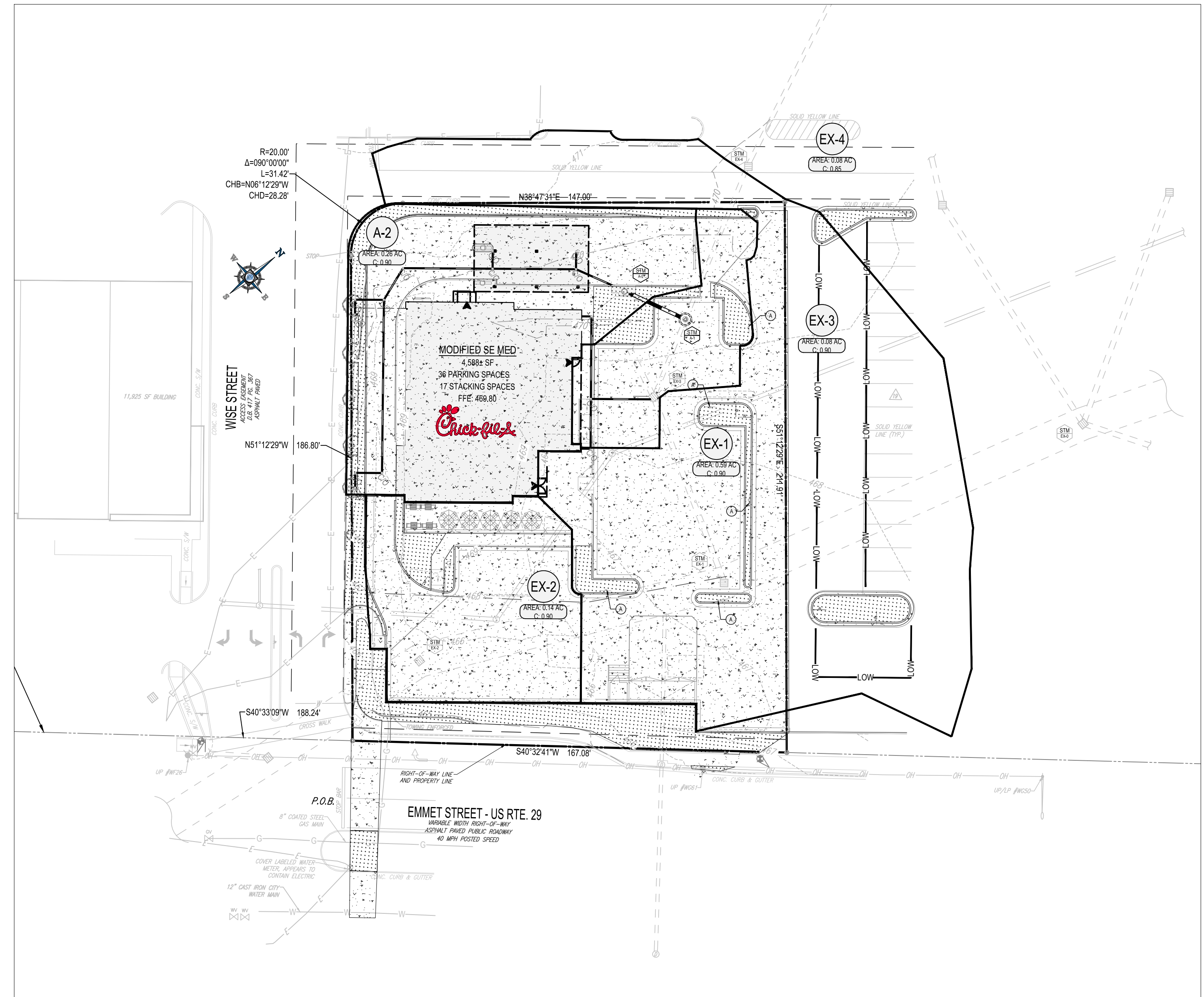
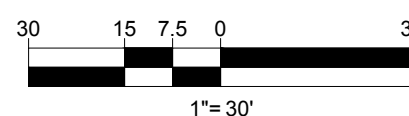


PRE DEVELOPED DRAINAGE PLAN

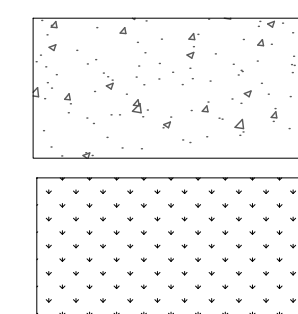


EXISTING IMPERVIOUS AREAS - 27,799 SF (0.64 AC)

EXISTING PERVIOUS AREAS - 7,040 SF (0.16 AC)

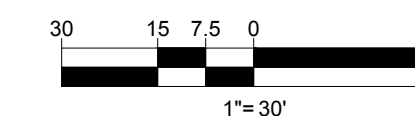


POST DEVELOPED DRAINAGE PLAN



PROPOSED IMPERVIOUS AREAS - 29,368 SF (0.67 AC)

PROPOSED PERVIOUS AREAS - 5,471 SF (0.13 AC)



STORMWATER MANAGEMENT NARRATIVE

OVERVIEW

THE SUBJECT SITE IS CURRENTLY DEVELOPED WITH AN EXISTING RESTAURANT, DRIVE-THRU, AND ASSOCIATED PARKING AND UTILITIES. THE PROPOSED IMPROVEMENTS INCLUDE THE CONSTRUCTION OF A NEW RESTAURANT, DRIVE THRU LANES, ASSOCIATED UTILITIES AND, MODIFICATIONS TO THE EXISTING PARKING AREA, AND OTHER ASSOCIATED SITE FEATURES.

EXISTING CONDITIONS

THE EXISTING PROPERTY IS CURRENTLY DEVELOPED AS AN EXISTING DRIVE-THRU RESTAURANT WITH ASSOCIATED PARKING, UTILITIES, AND LANDSCAPING. THE EXISTING RUNOFF FLOWS INTO EXISTING STORM INLETS THROUGHOUT THE SITE WHICH CONVEY THE DRAINAGE TO AN EXISTING DUAL 6" X 6" STORM BOX CULVERT THAT RUNS SOUTHEAST TO NORTHEAST OF THE SITE. THIS DUAL BOX CULVERT CONTINUES THROUGH BARRACKS ROAD SHOPPING CENTER, PASSES UNDER THE INTERSECTION OF EMMET STREET AND BARRACKS ROAD, AND ULTIMATELY OUTFALLS TO MEADOWBROOK CREEK WHICH FLOWS TO THE JAMES RIVER.

PROPOSED IMPROVEMENTS

THE PURPOSE OF THIS PROJECT IS TO DEMOLISH THE EXISTING BUILDING AND CONSTRUCT A NEW RESTAURANT, DRIVE-THRU LANES, AND ASSOCIATED UTILITIES AND SITE FEATURES, INCLUDING MODIFICATIONS TO THE EXISTING PARKING AREA. THE PROPOSED DISTURBANCE AREA IS 0.80 ACRES.

STORMWATER NARRATIVE

WATER QUALITY REQUIREMENTS FOR THIS SITE WILL BE MET THROUGH THE PURCHASE OF 0.20 LBS/YR OF NUTRIENT OFFSET CREDITS TO ENSURE THAT THERE IS NO DEGRADATION TO THE STORMWATER QUALITY CAUSED BY THE DEVELOPMENT OF THIS SITE.

WATER QUANTITY REQUIREMENTS WILL BE MET BY ANALYZING THE EXISTING DOWNSTREAM SYSTEM WHICH DRAINS TO THE POINT OF ANALYSIS, POI #1. THE SITE RUNOFF ENTERS THE EXISTING DUAL 6X6" STORM CULVERT, FLOWING TO THE INTERSECTION OF EMMET STREET AND BARRACKS ROAD. AT THIS POINT OF ANALYSIS, THE CONTRIBUTING DRAINAGE AREA FROM THE SUBJECT SITE (0.80 AC) IS LESS THAN 1% OF THE TOTAL WATERSHED AREA (86.0 ACRES), THEREFORE SATISFYING THE LIMIT OF ANALYSIS FOR CHANNEL AND FLOOD PROTECTION.

PLEASE SEE SHEET PS-1.2 FOR DRAINAGE MAPS SHOWING THE TOTAL WATERSHED AREA.

SINCE THE CHANGE IN RUNOFF COEFFICIENT FROM PRE-DEVELOPMENT TO POST-DEVELOPMENT CONDITIONS IS SO MINOR, THE AMOUNT OF INCREASED RUNOFF TO THE POINT OF ANALYSIS IS CONSIDERED TO BE NEGLIGIBLE. THEREFORE, TO ANALYZE THE ADEQUACY OF THE EXISTING UNDERGROUND CULVERT AT POI #1, THE FOLLOWING FLOW RATES FROM USGS STREAMSTATS DATA WERE UTILIZED:

THE URBAN PEAK-FLOW RATES BASED ON A 94.9%-DEVELOPED REGION FROM USGS:

- 1-YEAR FLOW = 228 CFS
- 2-YEAR FLOW = 256 CFS
- 10-YEAR FLOW = 405 CFS

AS SHOWN BY THE CULVERT COMPUTATION ON SHEET PS-1.2, THE EXISTING DUAL 6X6" STORM CULVERT HAS ADEQUATE CAPACITY TO HANDLE THE POST-DEVELOPMENT RUNOFF CONDITION. BECAUSE THE EXISTING STORM SYSTEM CAN ADEQUATELY CONVEY THE POST-DEVELOPMENT FLOWS FROM THE DEVELOPMENT AREA TO A POINT OF ANALYSIS WHICH IS LESS THAN 1% OF THE TOTAL CONTRIBUTING DRAINAGE AREA, BOTH CHANNEL PROTECTION AND FLOOD PROTECTION REQUIREMENTS HAVE BEEN MET. SINCE BOTH FLOOD PROTECTION AND CHANNEL PROTECTION REQUIREMENTS HAVE BEEN SATISFIED, ALL STORMWATER QUANTITY REQUIREMENTS HAVE BEEN MET AND NO FURTHER ANALYSIS OR CALCULATIONS ARE REQUIRED.

BEST MANAGEMENT PRACTICES NARRATIVE

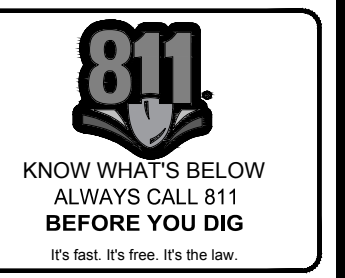
SINCE THE SUBJECT SITE IS A REDEVELOPED SITE, WATER QUALITY REQUIREMENTS WERE CALCULATED USING THE VIRGINIA RUNOFF REDUCTION METHOD (VRRM) RE DEVELOPMENT SPREADSHEET. USING THIS SPREADSHEET, IT WAS DETERMINED THAT THE DEVELOPMENT OF THIS SITE WOULD REQUIRE THE TREATMENT OF A TOTAL OF 0.20 LBS/YR OF PHOSPHORUS REMOVAL. THE REMOVAL REQUIREMENT WILL BE MET THROUGH THE PURCHASE OF NUTRIENT CREDITS. BECAUSE THE DEVELOPER SHALL PURCHASE AN AMOUNT OF CREDITS WITHIN THE SITE'S WATERSHED EQUIVALENT TO THE REQUIRED REMOVAL AMOUNT, ALL STORMWATER QUALITY REQUIREMENTS FOR THIS PROJECT HAVE BEEN MET AND NO FURTHER ANALYSIS IS REQUIRED.

CONCLUSION

SINCE CHANNEL AND FLOOD PROTECTION REQUIREMENTS HAVE BEEN MET AND THE AMOUNT OF NUTRIENT CREDITS PROPOSED TO BE PURCHASED MEETS THE VRRM REQUIREMENTS, IT IS THE OPINION OF THE ENGINEER THAT ALL STORMWATER REQUIREMENTS HAVE BEEN MET FOR THIS SITE.

ADEQUATE OUTFALL NARRATIVE

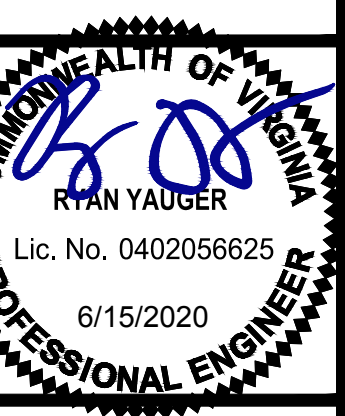
THE EXISTING ONSITE STORMWATER PIPES OUTFALL TO AN EXISTING DOWNSTREAM UNDERGROUND CULVERT. SINCE THE EXISTING UNDERGROUND CULVERT CAN ADEQUATELY CONVEY FLOW IN THE POST-DEVELOPED CONDITION AT THE POINT OF ANALYSIS, THE OUTFALL POINT IS CONSIDERED ADEQUATE.



Mark	Date	By
1	4/2/2020	RTY

Mark	Date	By
2	6/15/2020	RTY

Mark	Date	By
3		



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STORE #4332
 BARRACKS ROAD
 SHOPPING CENTER
 1000 EMMET STREET N
 CHARLOTTESVILLE, VA

SHEET TITLE
 STORMWATER MANAGEMENT PLAN
 DWG EDITION SWO

Job No.	V176502
Store	#4332
Date	1/8/2020
Drawn By	JCC
Checked By	RTY

Sheet
PS-1.1



June 16, 2020

Derek Reardon
Bohler Engineering
28 Blackwell Park Lane, Suite 201
Warrenton, VA 20186

Eco-Cap, LLC - Bailey Farm Nutrient Bank - Availability Letter

Project Reference: CFA Barracks Road

Derek,

This letter is to confirm the availability of Nutrient Credits sufficient to meet your project requirements at the Bailey Farm Nutrient Bank located in Appomattox County, Virginia. The Bailey Farm Nutrient Bank received approval and release from the Virginia Department of Environmental Quality on July 12th, 2019 with a release of 23.02 lbs. The nutrient reductions resulting from this activity will generate nonpoint source Nutrient "Credits" which are transferable to those entities requiring nutrient reductions in accordance with the Chesapeake Bay Watershed Nutrient Credit Exchange Program (VA Code § 62.1-44.19:14) and the Virginia Stormwater Credit Program (VA Code § 62.1-44.15:35).

The facility currently has **15.29** Credits available and will be able to meet your removal requirement of approximately **0.20** Credits.

Feel free to contact me if you require further assistance.

Casey J. Jensen

Casey J. Jensen
President
Eco-Cap, LLC

Manager
Bailey Farm Nutrient Bank

Phone: (804) 836-6636 Email: ecocapva@gmail.com Website: ecocapva.us

NUTRIENT CREDIT AVAILABILITY LETTER

BMP Design Specifications List: 2013 Draft Stds & Specs

Site Summary

Project Title: CFA Barracks Road
Date: 4/3/21

Total Rainfall (in):	43
Total Disturbed Acreage:	0.80

Site Land Cover Summary

Pre-Development Land Cover (acres)						
	A Soils	B Soils	C Soils	D Soils	Totals	% of Total
Forest/Open (acres)	0.00	0.00	0.00	0.00	0.00	0
Managed Turf (acres)	0.00	0.00	0.00	0.16	0.16	20
Impervious Cover (acres)	0.00	0.00	0.00	0.64	0.64	80
					0.80	100

Post-Development Land Cover (acres)						
	A Soils	B Soils	C Soils	D Soils	Totals	% of Total
Forest/Open (acres)	0.00	0.00	0.00	0.00	0.00	0
Managed Turf (acres)	0.00	0.00	0.00	0.13	0.13	16
Impervious Cover (acres)	0.00	0.00	0.00	0.67	0.67	84
					0.80	100

Site Tn and Land Cover Nutrient Loads				
	Final Post-Development (Post-Development & New Impervious)	Post-Development	Post-Development (New Impervious)	Adjusted Pre-Development
Site Tn	0.84	0.83	0.95	0.83
Treatment Volume (ft ³)	2,428	2,325	103	2,325
TP Load (lb/yr)	1.53	1.46	0.07	1.46

Total TP Load Reduction Required (lb/yr)	0.20	0.15	0.05
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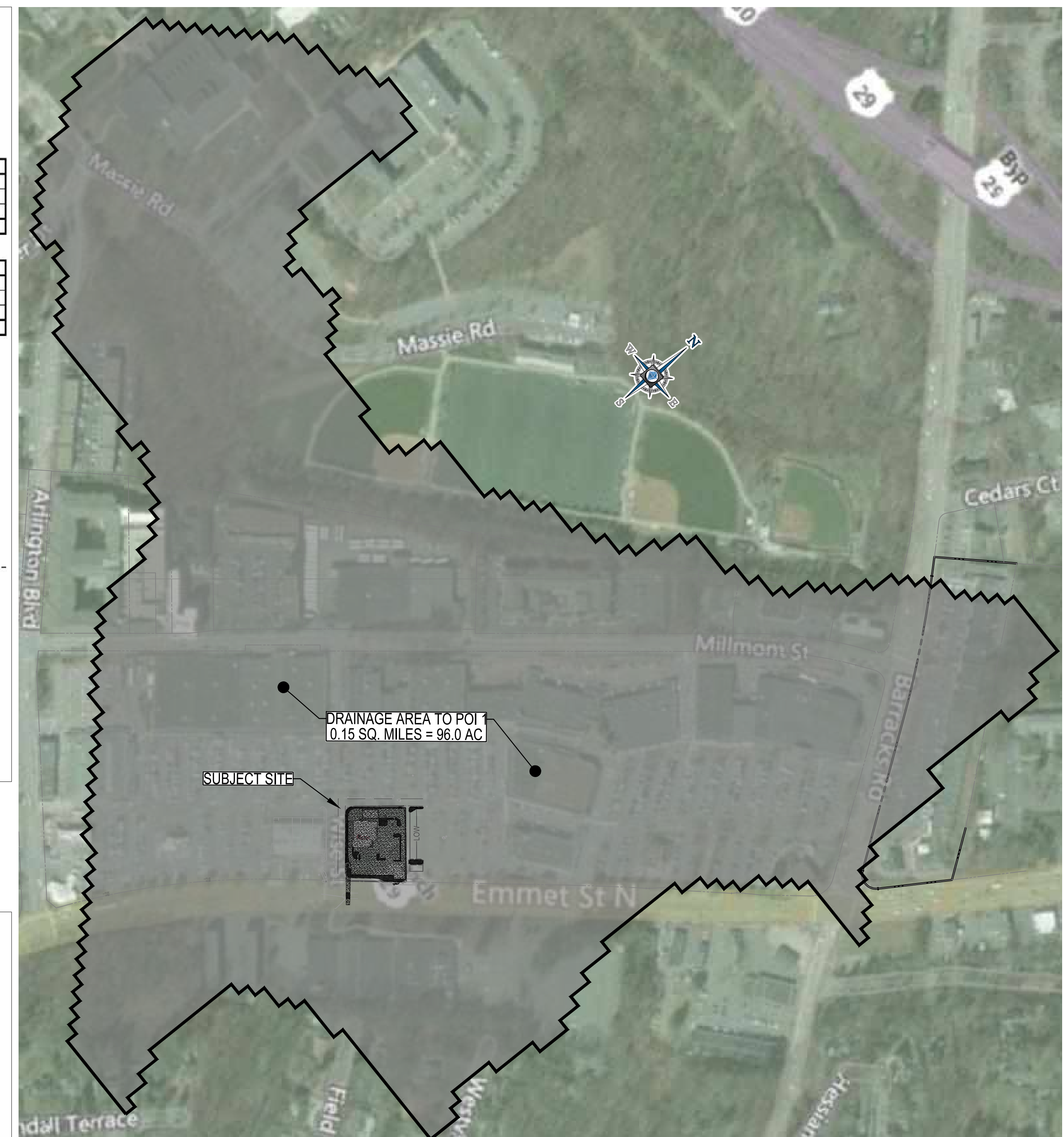
Final Post-Development Load (Post-Development & New Impervious)			Pre-Development
TN Load (lb/yr)	10.92		10.57

Site Compliance Summary

Maximum % Reduction Required Below Pre-Development Load	10%
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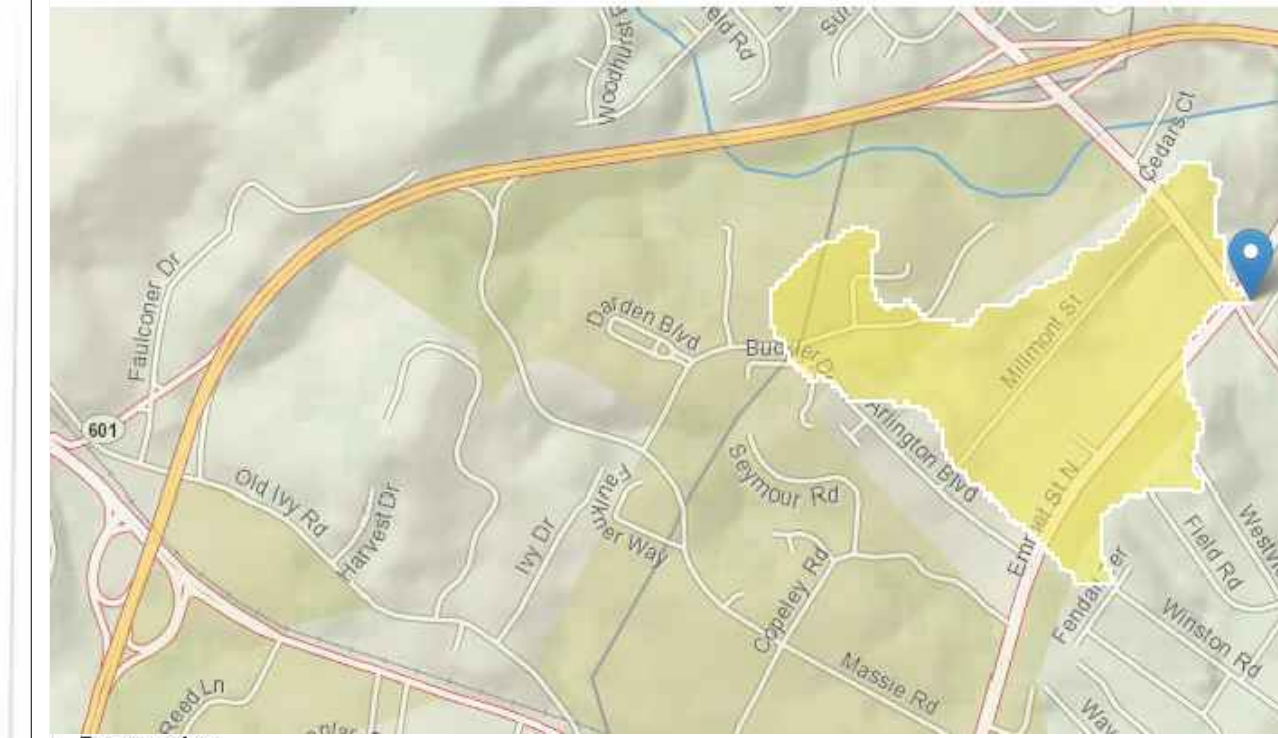
Total Runoff Volume Reduction (ft ³)	0
Total TP Load Reduction Achieved (lb/yr)	0.00
Total TN Load Reduction Achieved (lb/yr)	0.00
Remaining Post Development TP Load (lb/yr)	1.53
Remaining TP Load Reduction (lb/yr) Required	0.20

VRRM SPREADSHEET SUMMARY



StreamStats Report

Region ID: VA
Workspace ID: VA20190827185529941000
Clicked Point (Latitude, Longitude): 38.05277, -78.49873
Time: 2019-08-27 14:55:50 -0400



Parameter Code	Parameter Description	Value	Unit
DRNAREA	Area that drains to a point on a stream	0.15	square miles
LC01DEV	Percentage of land-use from NLCD 2001 classes 21-24	94.77	percent
LC06DEV	Percentage of land-use from NLCD 2006 classes 21-24	94.67	percent
LC11DEV	Percentage of developed (urban) land from NLCD 2011 classes 21-24	94.9	percent

POI #1 DRAINAGE AREA MAP

Urban PeakFlow Statistics Flow Report[Peak Urban01 2014-5206]

Statistic	Value	Unit	SEp
Urban 1.005 Year Peak Flood	228	ft ³ /s	70.4
Urban 1.01 Year Peak Flood	228	ft ³ /s	67.8
Urban 1.05 Year Peak Flood	183	ft ³ /s	60.5
Urban 1.11 Year Peak Flood	205	ft ³ /s	59.3
Urban 1.25 Year Peak Flood	205	ft ³ /s	57.5
Urban 1.5 Year Peak Flood	258	ft ³ /s	57.3
Urban 2 Year Peak Flood	256	ft ³ /s	57.3
Urban 2.33 Year Peak Flood	271	ft ³ /s	57.1
Urban 5 Year Peak Flood	332	ft ³ /s	60.6
Urban 10 Year Peak Flood	405	ft ³ /s	64.1
Urban 25 Year Peak Flood	452	ft ³ /s	74.4
Urban 50 Year Peak Flood	572	ft ³ /s	84.8
Urban 100 Year Peak Flood	798	ft ³ /s	97.9
Urban 200 Year Peak Flood	965	ft ³ /s	102
Urban 500 Year Peak Flood	1120	ft ³ /s	134

Commonwealth of Virginia
VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY
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P.O. Box 1105, Richmond, Virginia 23218
(800) 592-5482
www.deq.virginia.gov

Matthew J. Strickler
Secretary of Natural Resources

David K. Paylor
Director
(804) 698-4000

July 12, 2019

NONPOINT NUTRIENT CREDIT GENERATION CERTIFICATION
Certificate No. **James-056**

- Project Name: Bailey Farm Nutrient Bank
- Sponsor: Kevin and Melissa Bailey
c/o Eco-Cap, LLC
5584 Westover Drive
Richmond, Virginia 23225
- Authorized Nutrient Credit Broker: Eco-Cap, LLC
5584 Westover Drive
Richmond, Virginia 23225
- Transmitted Electronically: ecocapva@gmail.com
- Location of Project Site: North of State Route 661 (Blue Ridge Drive) and bisected by Wreck Island Creek in Appomattox County, Virginia.
- Project Description:
The Sponsors (Kevin and Melissa Bailey) have initiated a land use conversion on approximately 23.49 acres of hay fields in accordance with the Nutrient Reduction Implementation Plan (NRIP) for the Bailey Farm Nutrient Bank (BFNB) dated April 22, 2019. The land use conversion will generate 77.05 pounds of nitrogen and 23.02 pounds of phosphorus credits.
The nutrient reductions resulting from this activity will generate nonpoint source credits transferable to those entities requiring credits in accordance with the Chesapeake Bay Watershed Nutrient Credit Exchange Program (VA Code § 62.1-44.19:14 et seq). These credits are also transferable in accordance with the Virginia stormwater offset program (VA Code § 62.1-44.15:35) and the Virginia Soil and Water Conservation Board's Guidance Document on Stormwater Nonpoint Nutrient Offsets approved on July 23, 2009, to those regulated entities qualifying for nutrient credits.

NONPOINT NUTRIENT CREDIT GENERATION CERTIFICATION
Bailey Farm Nutrient Bank
July 12, 2019
Page 2 of 2

7. Findings:
A site visit conducted on February 28, 2019, found the 23.49-acre conversion area suitable for inclusion in the nutrient bank program and had reforested through natural succession. Because of the time of year, the density and types of woody species were difficult to assess. A follow up report provided June 3, 2019, demonstrated tree density exceeded the success criteria and ranged from 500 to 1,400 stems per acre. Typical species observed included black walnut, tulip poplar, persimmon, staghorn sumac, and white oak. A review of historical aerial imagery confirmed the land was managed for hay in the baseline year of 2005 and areas that were forested at that time were excluded from the conversion areas.
The Department of Environmental Quality (DEQ) requires land conversion activities to be protected through an enforceable land use restriction during the life of a credit transfer. A Declaration of Restrictive Covenants on the property was recorded on June 13, 2019.
Accordingly, the BFNB is approved and authorized to transfer 77.05 pounds of nitrogen and 23.02 pounds of phosphorus credits for sale. In the event that follow up inspections document that success criteria are not being met, up to 75% of the credits initially released may be recalled by DEQ.
Future thinning of the stand is allowed with the condition that a tree basal area of 30 square feet per acre is maintained at a breast height of 4.5 feet. DEQ shall be notified at least 90 days prior to thinning. Future timber harvesting shall adhere to best management practice as set forth by the Virginia Department of Forestry and comply with applicable local, state, and federal laws. A copy of the timbering plan shall be submitted to DEQ at least 90 days prior to the activity.
Monitoring reports shall be submitted by July 1, summarizing plot sampling methodology, woody stem density, percent of invasive species, and any corrective actions needed to achieve 400 stems per acre and less than 5% invasive species stems. Affidavits of credit sales and the most current credit transfer ledgers shall be provided to DEQ within 30 days of credit transfer. Transfer ledgers shall be provided to DEQ quarterly by January 10, April 10, July 10, and October 10 of each year if no sales were made during the previous quarter.

8. Agency Contact: Sara Felker, 804-698-4023

9. Approval by:
Melanie D. Davenport
Department of Environmental Quality
Water Permitting Division Director

Melanie D. Davenport July 12, 2019

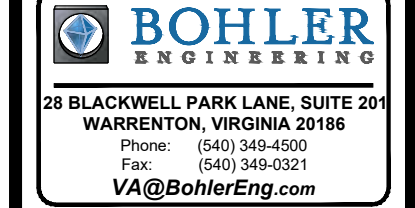
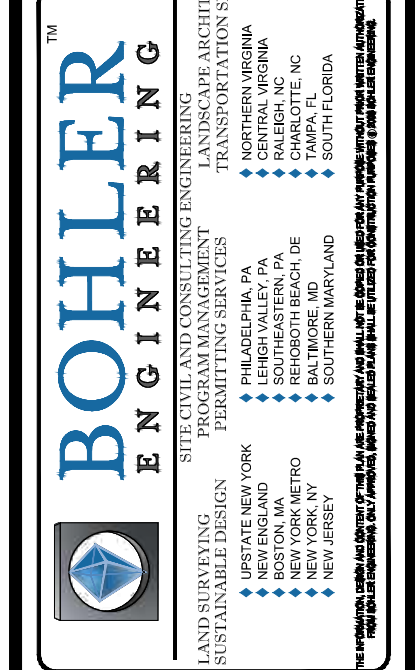
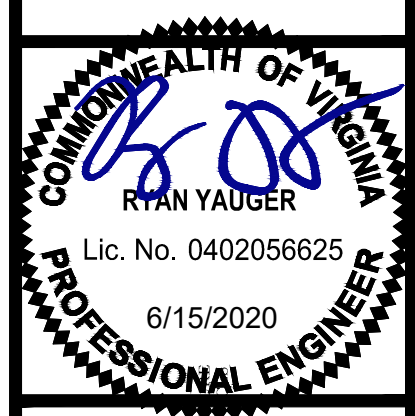


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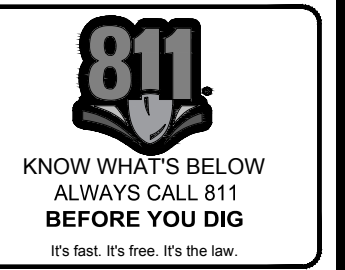


STORE
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BARRACKS ROAD
SHOPPING CENTER
1000 EMMET STREET N
CHARLOTTESVILLE, VA

SHEET TITLE
SWM AND BMP COMPUTATIONS
DWG EDITION **SWO**

Job No. : V176502
Store : #4332
Date : 1/8/2020
Drawn By : JOC
Checked By : RTY

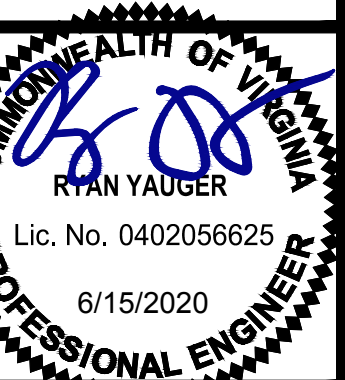
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SHEET TITLE
 WATER AND
 UTILITY
 INFORMATION
 DWG EDITION SWO

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Sheet
PS-1.4

Water Meter Sizing per AWWA M22, Third Edition

ESTIMATING DEMANDS USING FIXTURE VALUES 33

Project: Chick-fil-A #04332 Barracks Road
 STRAP #(s):
 Address: 1000 Emmet St. North
 City: Charlottesville State: VA Zip Code: 22903
 Type of Occupancy: Restaurant

Fixture	Fixture Value 60 psi		No. of Fixtures	=	Fixture Value
Bathtub	8	x	0	=	0
Bedpan Washers	10	x	0	=	0
Bidet	2	x	0	=	0
Dental Unit	2	x	0	=	0
Drinking Fountain - Public	2	x	0	=	0
Kitchen Sink	2.2	x	3	=	6.6
Lavatory	1.5	x	4	=	6.0
Showerhead (Shower Only)	2.5	x	0	=	0
Service Sink	4	x	1	=	4.0
Toilet - Flush Valve	35	x	3	=	105.0
- Tank Type	4	x	0	=	0
Urinal - Pedestal Flush Valve	35	x	0	=	0
- Wall Flush Valve	16	x	1	=	16.0
Wash Sink (Each Set of Faucets)	4	x	4	=	16.0
Dishwasher	2	x	1	=	2.0
Washing Machine	6	x	0	=	0
Hose (50 ft. Wash Down) - 1/2 in.	5	x	0	=	0
- 3/4 in.	9	x	2	=	18.0
- 1 in.	12	x	0	=	0

Combined Fixture Total 173.6 WSEU

Water-flow Demand per Fixture Value from Figure 4-2 or 4-3 x Pressure Adjustment Factor = 5.8 gpm
 *For Residual Pressures at Fixture Outlet from 60-80 psi, Pressure Adjustment Factor is 1.00 per Table 4-3
 ***Additional Fixtures Not Listed: Coffee, Tea, Sodas, & Ice = 12 gpm
 Add Irrigation - Sections * x 1.16 or 0.40† = gpm
 - Hose Bids x Fixture Value x Press. Adj. Factor = gpm
 Added Fixed Load = gpm
 TOTAL FIXED DEMAND = 70 gpm

*100 ft² area = 1 section
 †Spray systems - Use 1.16; Rotary systems - Use 0.40
 Meter size chosen per Table 6-1 = 1 1/2" in.

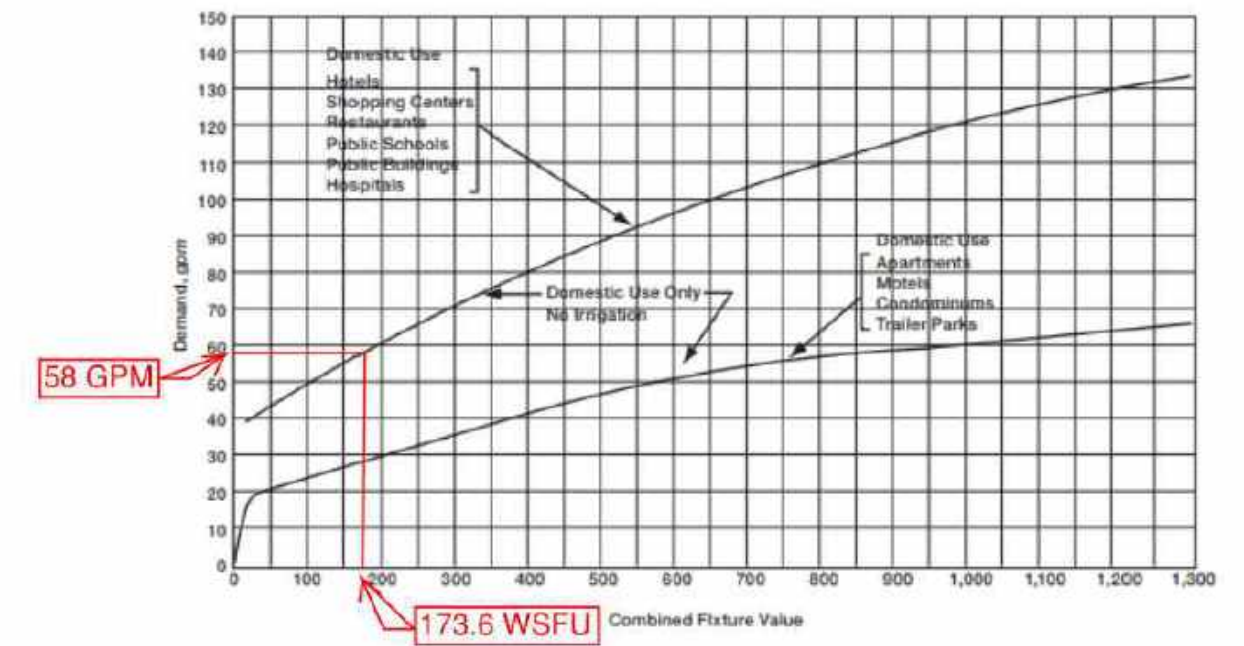


Figure 4-2 Water-flow demand per fixture value -enlarged scale from Figure 4-1

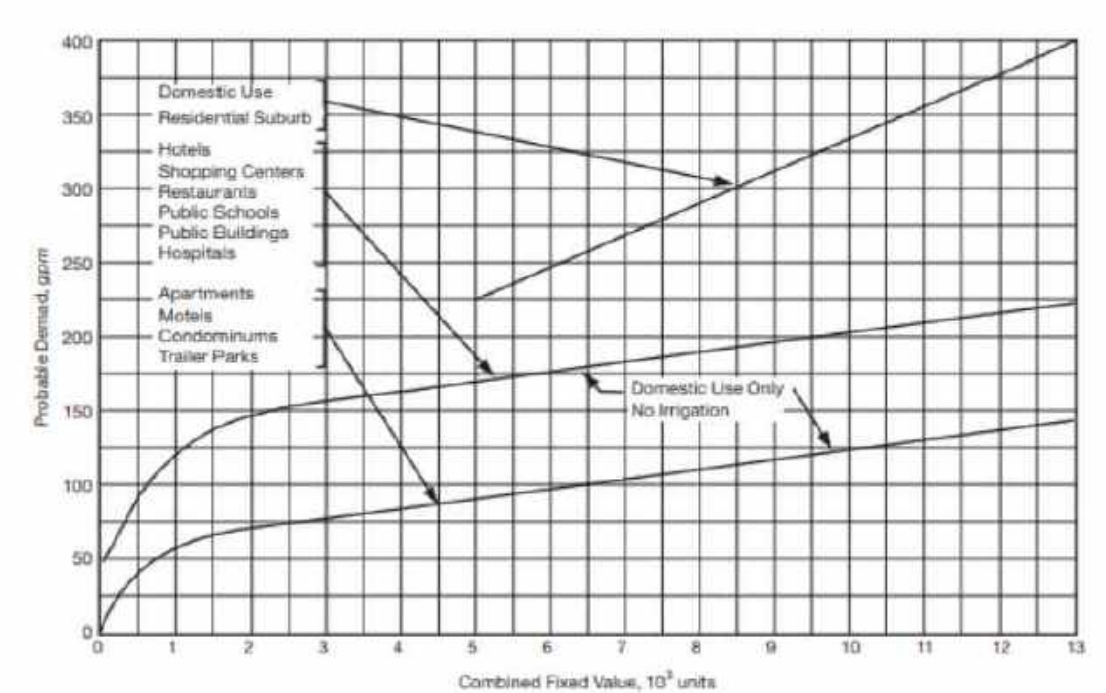
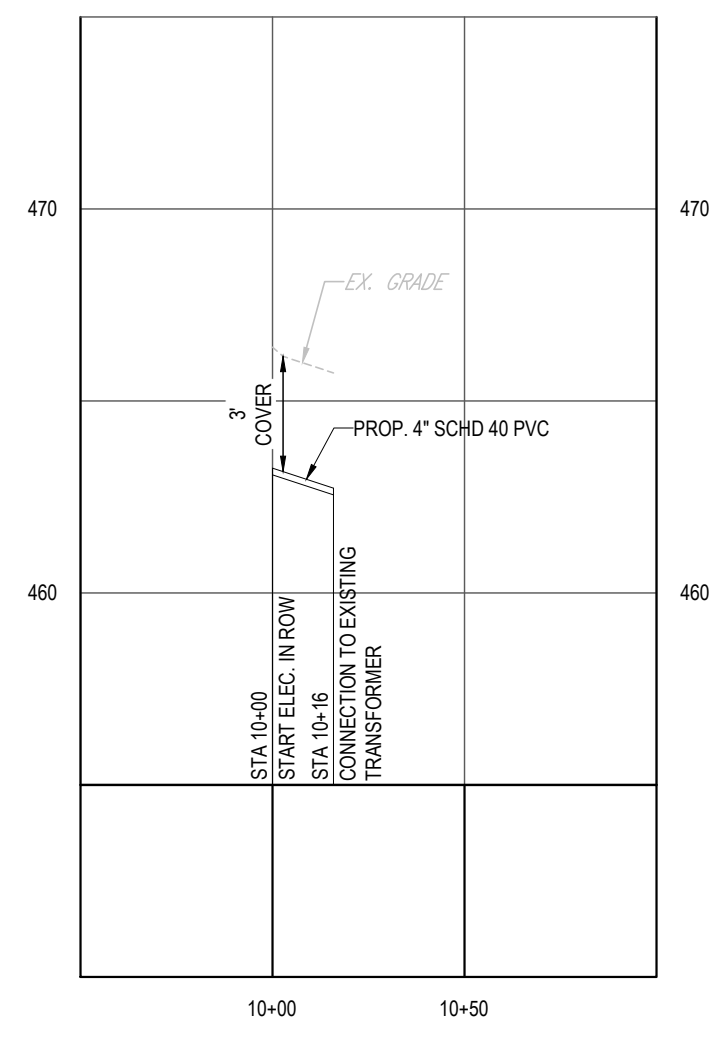
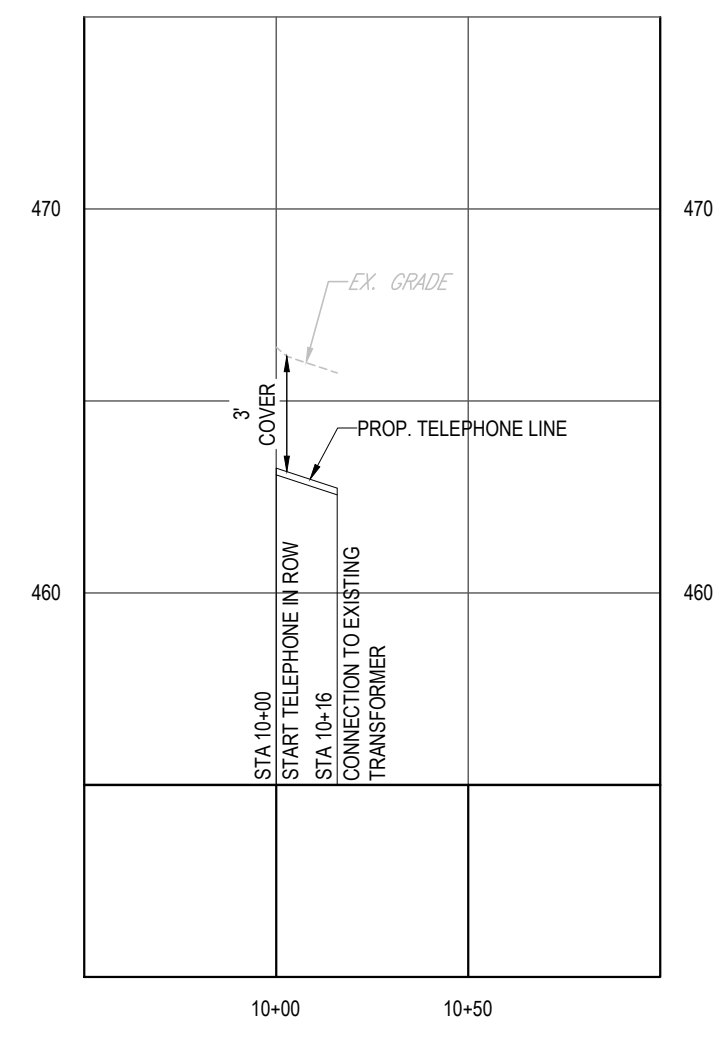


Figure 4-3 Water-flow demand per fixture value

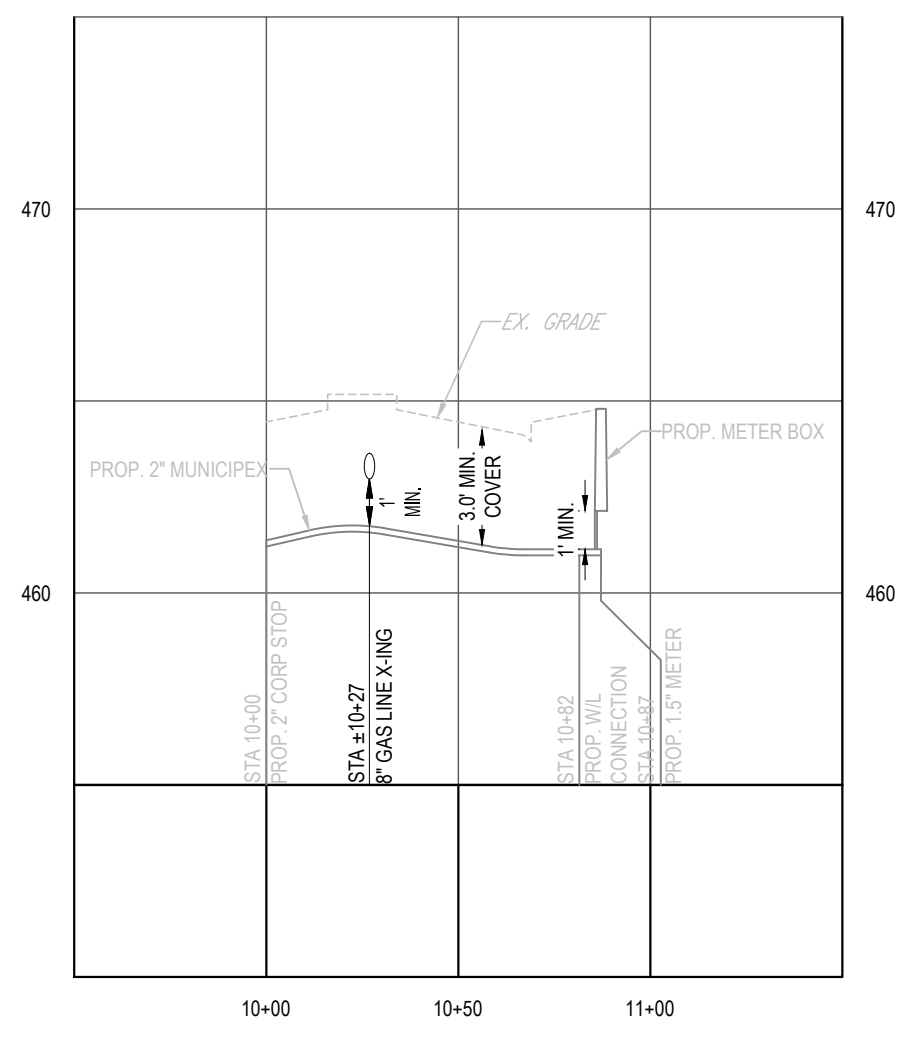
AWWA Manual M22



PROPOSED ELECTRIC LINE PROFILE
 SCALE: 1"= 50' HORIZONTAL
 1"= 5' VERTICAL

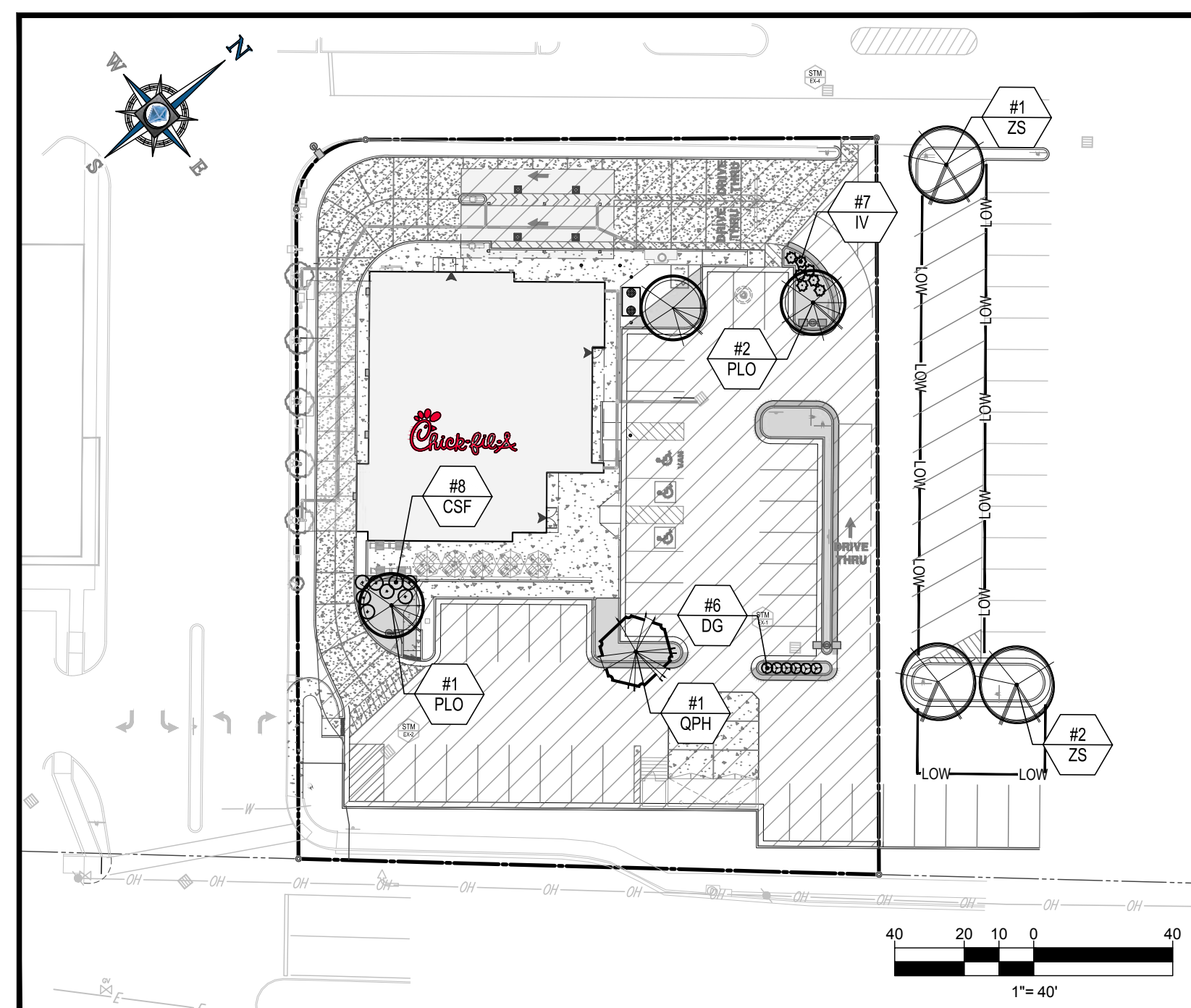
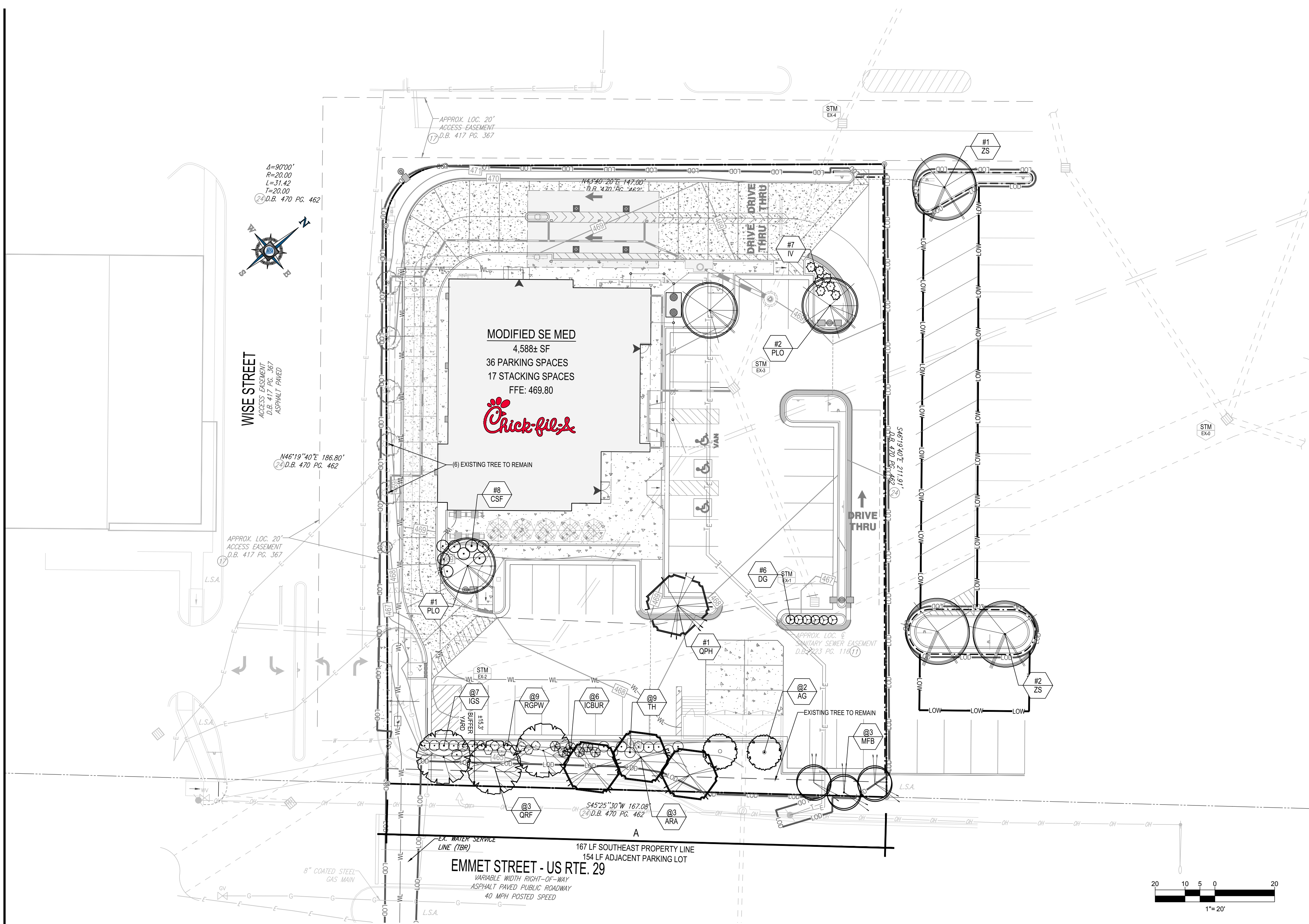


PROPOSED TELEPHONE LINE PROFILE
 SCALE: 1"= 50' HORIZONTAL
 1"= 5' VERTICAL



PROPOSED WATERLINE A
 SCALE: 1"= 50' HORIZONTAL
 1"= 5' VERTICAL

NOTE:
 1. THE PEAK HOUR DEMAND FOR THE 1.5" WATER METER HAS BEEN ESTIMATED TO BE 4,500 GPD



LEGEND

- PARKING LOT AREA
- PARKING LOT LANDSCAPE AREA

LANDSCAPE SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	CAL./HT.	CONT.	20 YR CANOPY	TOTAL CANOPY
SHADE TREES							
ARA	3	ACER RUBRUM ARMSTRONG	ARMSTRONG COLUMNAR RED MAPLE	2103" CAL./15'-2"	B+B	177	531
PLO	3	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	2103" CAL./15'-2"	B+B	123	379
OPH	1	QUERCUS PHELLOS	MILLOW OAK	2103" CAL./15'-2"	B+B	370	370
OPF	3	QUERCUS ROBUR FASTIGIATA	PYRAMIDAL ENGLISH OAK	2103" CAL./15'-2"	B+B	329	987
ZS	3	ZELKOVA SERRATA	JAPANESE ZELKOVA	2103" CAL./15'-2"	B+B	NA	NA
SUBTOTAL:	13					SUBTOTAL	1547
ORNAMENTAL TREES							
AG	2	ACER GINNALA	NIJARA MAPLE	112"-2" CAL./6'-8"	B+B	206	412
MFB	3	NAIUS FLORIBUNDA	JAPANESE FLOWERING CRABAPPLE	112"-2" CAL./6'-8"	B+B	75	225
SUBTOTAL:	5					SUBTOTAL	637
DECIDUOUS SHRUBS							
CSF	6	CORNUS SERICEA FLAVIRAMEA	YELLOW TIND DOGWOOD	24-37" HT. & SPREAD	41 CAN	72	576
DG	6	DELTOID GRACILIS	SLENDER DEUTZIA	24-37" HT. & SPREAD	41 CAN	10	60
IV	7	ITEA VIRGINICA HENRY'S GARNET	GARNET SPICEPIRE	24-37" HT. & SPREAD	41 CAN	16	112
SUBTOTAL:	21					SUBTOTAL	748
EVERGREEN SHRUBS							
ICBR	6	ILEX CORNUTA BURFORDII	BURFORD HOLLY	24-37" HT. & SPREAD	41 CAN	14	84
IGS	7	ILEX GLABRA SHARROCK	SHARROCK HOLLIBERRY HOLLY	24-37" HT. & SPREAD	41 CAN	23	161
IRPW	5	RHOODENDRON V. GRABO	GRABO PLEASANT WHITE AZALEA	24-37" HT. & SPREAD	41 CAN	6	54
TH	5	TAXUS MEDIA HICKSII	HICKS YEW	24-37" HT. & SPREAD	41 CAN	3	27
SUBTOTAL:	21					SUBTOTAL	328
						TOTAL	7388

CITY OF CHARLOTTESVILLE- LANDSCAPING REQUIREMENTS

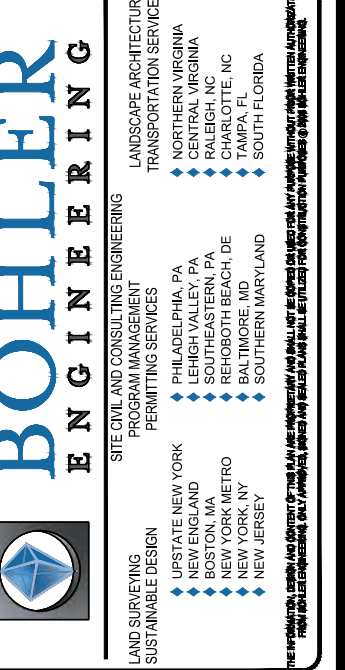
SECTION	REQUIREMENTS	CALCULATIONS/PROPOSED
SECTION 34-869 TREE COVER	<p>20 YEAR TREE COVER CANOPY</p> <p>1. WITHIN ALL ZONING DISTRICTS OTHER THAN THOSE SPECIFICALLY REFERENCED WITHIN PARAGRAPH (A), ABOVE, TREE COVER SHALL BE PROVIDED TO THE EXTENT THAT, AT TWENTY (20) YEARS, MINIMUM TREE CANOPIES OR COVERS WILL BE PROVIDED (RELATIVE TO THE GROSS AREA OF THE DEVELOPMENT SITE) AS FOLLOWS:</p> <p>1.1. TEN (10) PERCENT CANOPY FOR A DEVELOPMENT SITE ZONED FOR BUSINESS, COMMERCIAL OR INDUSTRIAL USE</p>	<p>20 YEAR TREE COVER CANOPY</p> <p>1. TOTAL SITE AREA: 34,877 SF</p> <p>2. REQUIREMENT: 10%</p> <p>3. CANOPY AREA: 34,877 SF X 10% = 3,488 SF REQUIRED</p> <p>1. CANOPY AREA: 7,358 SF (21.10%) PROVIDED</p>
SECTION 34-870 STREETSCAPE TREES	<p>PARKING LOTS ADJACENT TO OTHER PARKING LOTS</p> <p>1. STREETSCAPE TREES SHALL BE PLANTED WITH EVEN SPACING IN A ROW, AT INTERVALS SUFFICIENT TO ALLOW FOR THEIR HEALTHY GROWTH AND DEVELOPMENT.</p> <p>1.1. ONE (1) LARGE TREE SHALL BE REQUIRED FOR EVERY FORTY (40) FEET OF ROAD FRONTAGE, OR PORTION THEREOF, IF TWENTY-FIVE (25) FEET OR MORE; OR,</p> <p>1.2. WHERE PERMITTED, ONE (1) MEDIUM TREE SHALL BE REQUIRED FOR EVERY TWENTY-FIVE (25) FEET OF ROAD FRONTAGE, OR PORTION THEREOF, IF TWENTY (20) FEET OR MORE.</p> <p>1.3. WHERE REQUIRED ALONG THE EDGE OF A PARKING LOT (AS SET FORTH WITHIN SECTION 34-873, ONE (1) LARGE TREE SHALL BE REQUIRED FOR EVERY FIFTEEN (15) FEET OF STREET FRONTAGE.</p> <p>1.4. THERE SHALL BE A MINIMUM DISTANCE OF THIRTY (30) FEET BETWEEN A LARGE AND MEDIUM TREE PLANTED ADJACENT TO ONE ANOTHER. FLOWERING UNDERSTORY TREES SHALL BE PLANTED IN GROUPS; THERE SHALL BE A MINIMUM DISTANCE OF FIFTY (50) FEET BETWEEN SUCH GROUPS.</p>	<p>(A) SOUTHEAST PROPERTY (EMMET ST. US RTE. 29)</p> <p>1. PROPERTY LINE LENGTH: 167 LF</p> <p>2. REQUIREMENT: (1/25) X 167 LF = 7 TREES REQUIRED</p> <p>3. ADJACENT PARKING LENGTH: 154 LF</p> <p>4. REQUIREMENT: (1/15) X 154 SF = 11 TREES REQUIRED</p> <p>5. TOTAL: 18 TREES</p> <p>1. PROVIDED: 1 EX + 11 PROP. = 12 TREES PROVIDED</p> <p>*INDICATES PLANT MATERIAL UTILIZED TO FULFILL REQUIREMENT</p>
SECTION 34-873 PARKING LOTS SCREENING AND INTERIOR LANDSCAPING	<p>PARKING LOT STREET BUFFER</p> <p>1. A CONTINUOUS LANDSCAPED BUFFER TEN (10) FEET IN WIDTH SHALL BE ESTABLISHED BETWEEN THE EDGE OF A PARKING LOT AND ANY ADJACENT PUBLIC RIGHT-OF-WAY. IF RIGHT-OF-WAY IMPROVEMENTS ARE REQUIRED WITHIN SUCH FRONTAGE, THEN A CONTINUOUS LANDSCAPED BUFFER HAVING AN AVERAGE WIDTH OF TEN (10) FEET MAY BE PROVIDED.</p> <p>2. THE REQUIRED BUFFER SHALL CONSIST OF 3-3 SCREEN MATERIALS ("STREET PLANTINGS"), OTHER THAN TREES, BUT SHALL NOT INCLUDE ANY PLANTINGS OF A SIZE OR MATERIAL THAT WILL OBSTRUCT ANY REQUIRED SIGHT DISTANCES. THE LANDSCAPED BUFFER SHALL INCLUDE AT LEAST THREE (3) STREET PLANTINGS FOR EVERY FIFTEEN (15) FEET OF FRONTAGE, SPACED AT INTERVALS OF NOT MORE THAN FOUR (4) FEET. ALL PLANTINGS SHALL HAVE A MINIMUM HEIGHT OF EIGHTEEN (18) INCHES WHEN PLANTED. PLANTINGS SHALL BE EVENLY SPACED IN A ROW, AT INTERVALS SUFFICIENT TO ALLOW FOR THEIR HEALTHY GROWTH AND DEVELOPMENT</p> <p>INTERIOR PARKING LOT LANDSCAPING</p> <p>1. IN ADDITION TO THE OTHER APPLICABLE REQUIREMENTS OF THIS SECTION, AN AREA EQUAL TO FIVE (5) PERCENT OF THE GROSS AREA OF A PARKING LOT SHALL BE LANDSCAPED WITH TREES OR SHRUBS ("INTERIOR LANDSCAPED AREA").</p> <p>1.1. NO INTERIOR LANDSCAPED AREA SHALL BE LESS THAN ONE HUNDRED FORTY-FIVE (145) SQUARE FEET, OR HAVE A WIDTH OF LESS THAN NINE (9) FEET.</p> <p>1.2. PLANTINGS IMMEDIATELY ADJACENT TO (I.E., WITHIN FIFTEEN (15) FEET) A BUILDING SHALL NOT BE COUNTED TOWARD INTERIOR LANDSCAPING.</p> <p>2. INTERIOR LANDSCAPED AREAS SHALL CONSIST OF AT LEAST ONE (1) TREE, AND AT LEAST THREE (3) SHRUBS, PER EIGHT (8) PARKING SPACES OR PORTION THEREOF. INTERIOR LANDSCAPED AREAS WITH AN AREA OF LESS THAN 300 SQUARE FEET SHALL BE PLANTED WITH AT LEAST ONE (1) MEDIUM TREE; THOSE HAVING AN AREA OF 300 SQUARE FEET OR MORE SHALL CONTAIN AT LEAST ONE (1) LARGE TREE, OR TWO (2) MEDIUM TREES.</p> <p>3. INTERIOR LANDSCAPING SHALL BE PLACED IN REASONABLY DISPersed PLANTING ISLANDS. WHEN SCREENING IS REQUIRED ALONG THE FRONTAGE OF PUBLIC STREETS, THE DIRECTOR SHALL DETERMINE IF THE STREET TREE REQUIREMENT HAS BEEN MET.</p>	<p>(A) SOUTHEAST PROPERTY (EMMET ST. US RTE. 29)</p> <p>1. BUFFER YARD: 10' REQUIRED</p> <p>2. ADJACENT PARKING LENGTH: 154 LF</p> <p>3. SHRUBS: (3/15) X 154 SF = 31 SHRUBS REQUIRED</p> <p>1. BUFFER YARD: ±15' PROVIDED</p> <p>2. SHRUBS: 31 SHRUBS PROVIDED</p> <p>*INDICATES PLANT MATERIAL UTILIZED TO FULFILL REQUIREMENT</p> <p>INTERIOR PARKING LOT LANDSCAPE AREA</p> <p>1. PARKING LOT AREA: 20,711 SF</p> <p>2. REQUIREMENT: 5%</p> <p>3. LANDSCAPE AREA: 20,711 SF X 5% = 1,036 SF REQUIRED</p> <p>1. LANDSCAPE AREA: 1,568 SF (7.57%) PROVIDED</p> <p>INTERIOR PARKING LOT LANDSCAPING</p> <p>1. PARKING SPACES: 50 SPACES</p> <p>2. REQUIREMENT:</p> <p>TREES: (1/8) X 50 = 6 REQUIRED</p> <p>SHRUBS: (3/8) X 50 = 19 REQUIRED</p> <p>1. PROVIDED:</p> <p>TREES: 7 PROVIDED</p> <p>SHRUBS: 21 PROVIDED</p> <p>*INDICATES PLANT MATERIAL UTILIZED TO FULFILL REQUIREMENT</p>



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1. SCOPE OF WORK:

THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

2. MATERIALS

- A. GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.
B. TOPSOIL - NATURAL, FRABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLOS.
C. LAWN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM SIX INCH (6") THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED WITHIN THE SOIL EROSION AND SEDIMENT CONTROL NOTES.
1.1. LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED.
1.2. SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE-FREE WITH A UNIFORM THICKNESS.
1.3. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.
D. MULCH - THE MULCH AROUND THE PERIMETER OF THE BUILDING SHALL BE A 3" LAYER OF DOUBLE SHREDDED BLACK CEDAR MULCH ONLY. ALL OTHER AREAS SHALL BE MULCHED WITH A 3" LAYER OF DOUBLE SHREDDED DARK BROWN HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN.
E. FERTILIZER
1.1. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.
1.2. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.
F. PLANT MATERIAL
1.1. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
1.2. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.
1.3. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.
1.4. TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1/4", WHICH HAVE NOT BEEN COMPLETELY CALLEDUSE, SHALL BE REJECTED PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.
1.5. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH, WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE.
1.6. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.
1.7. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH.
1.8. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.

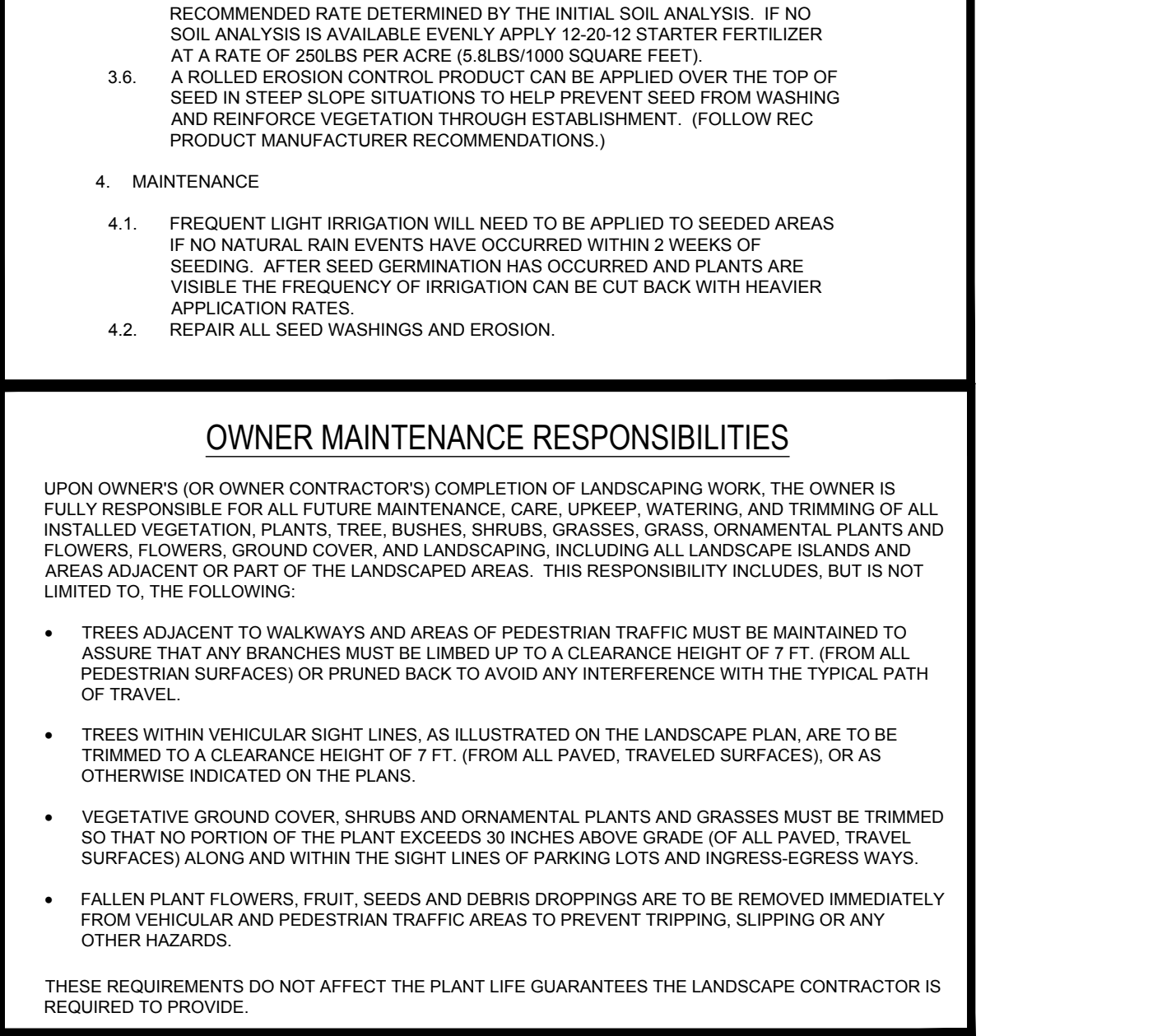
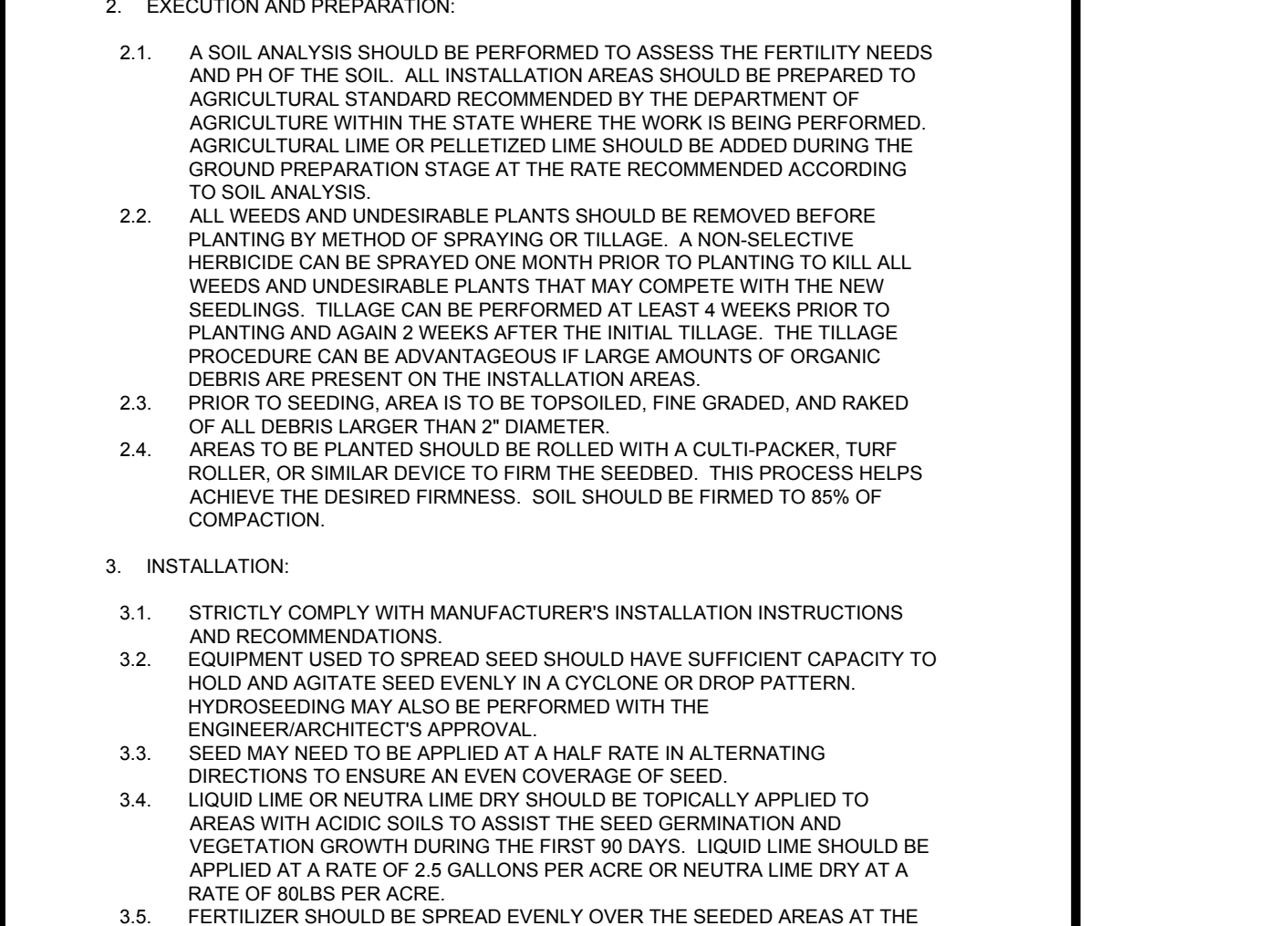
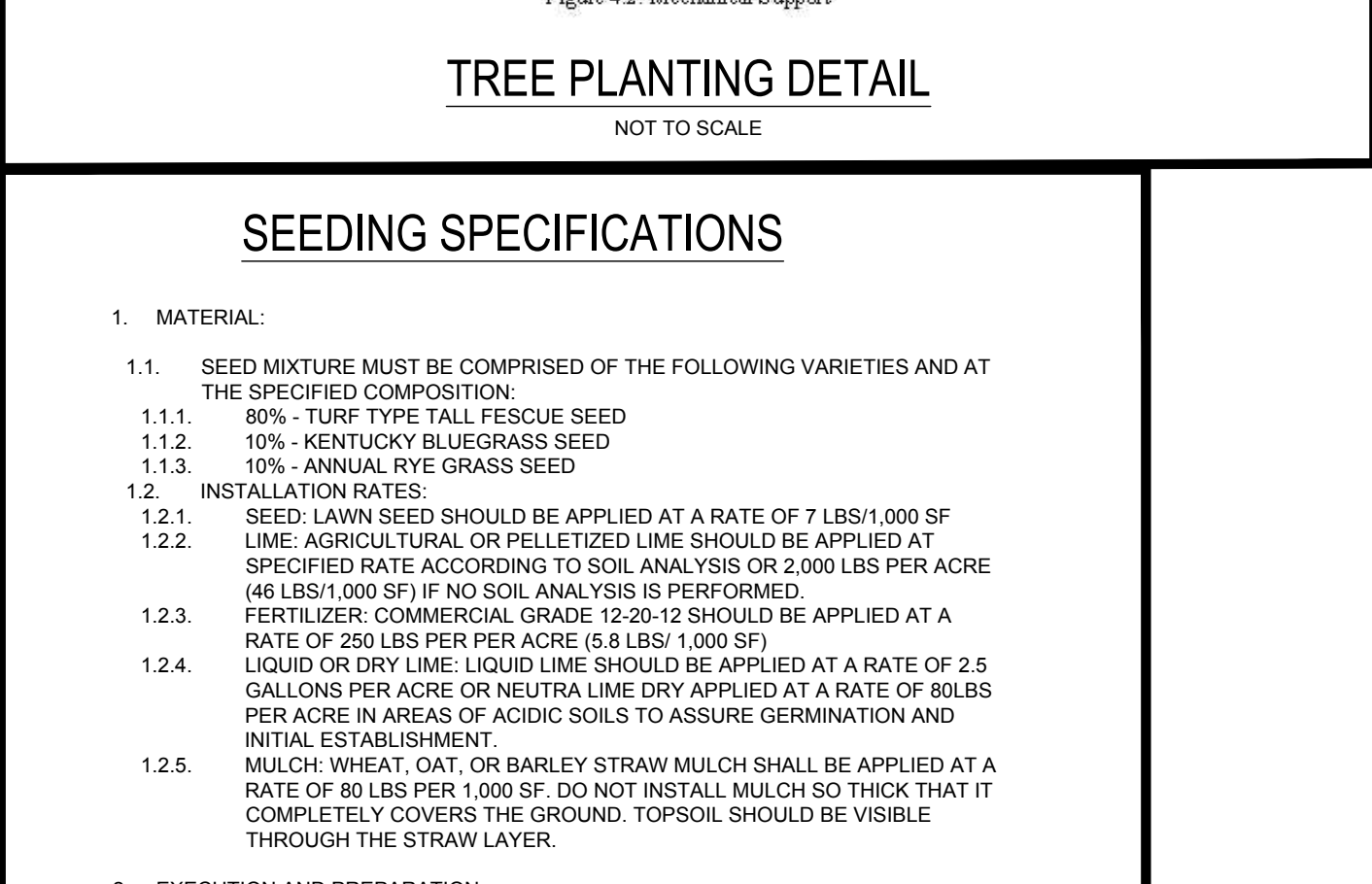
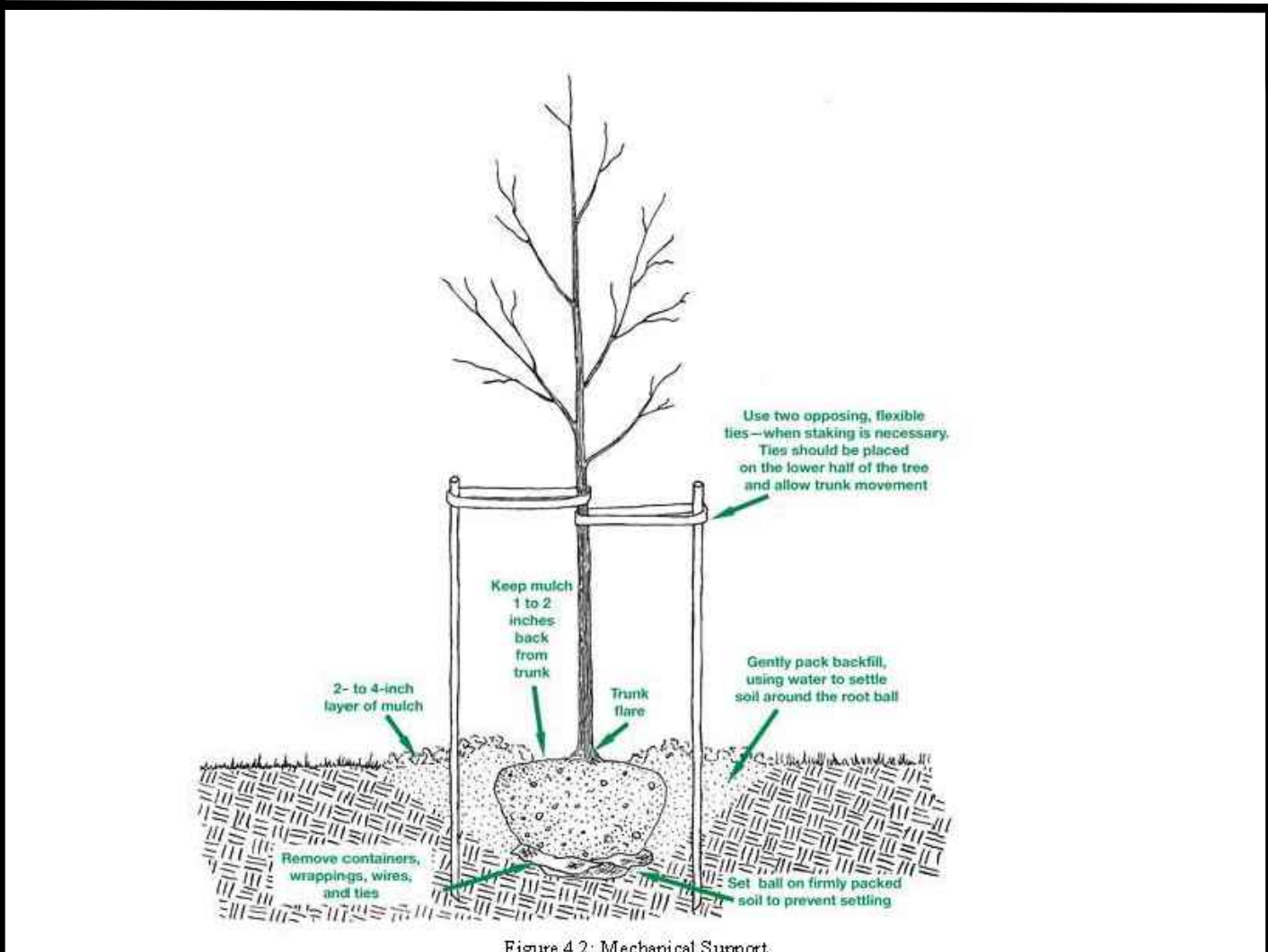
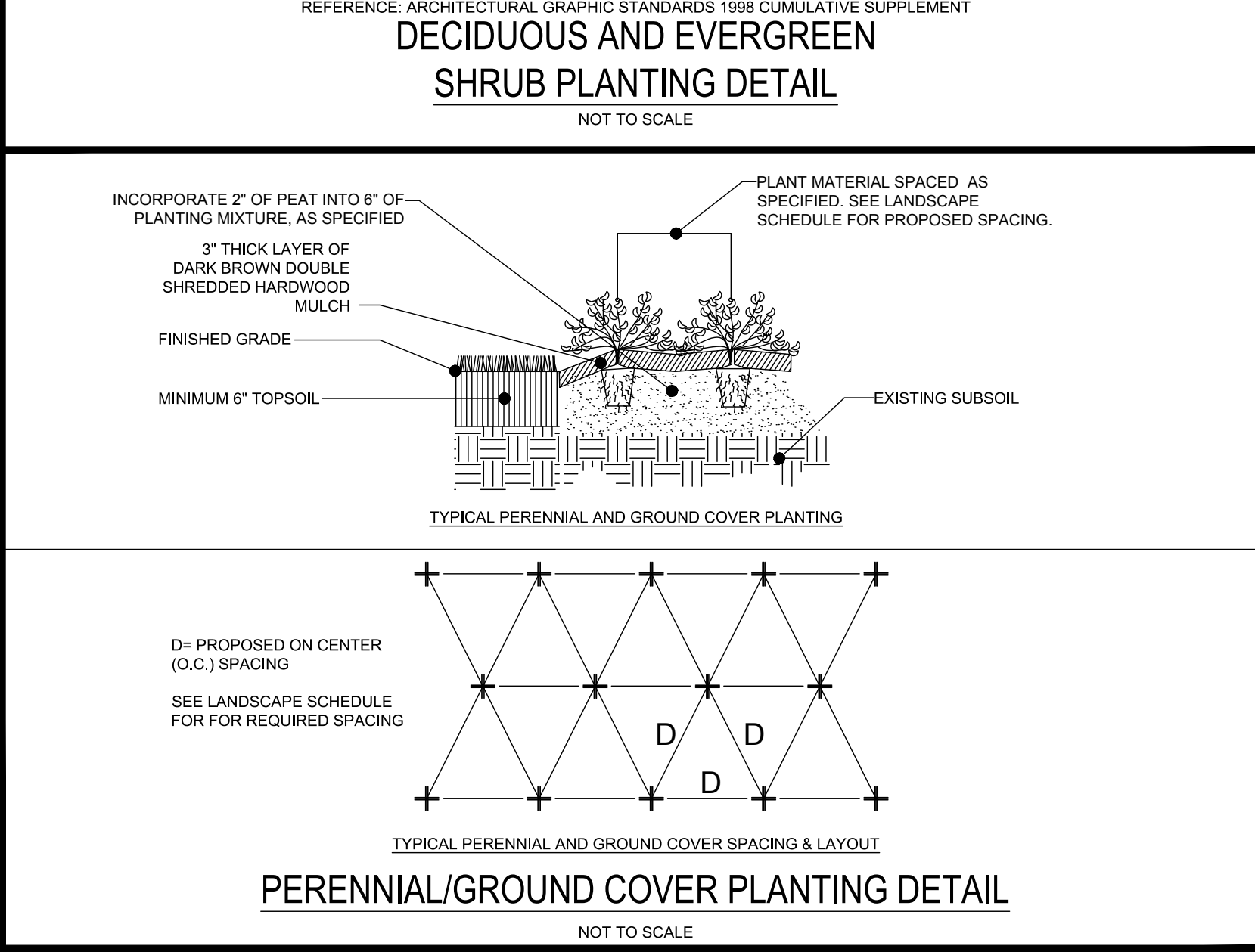
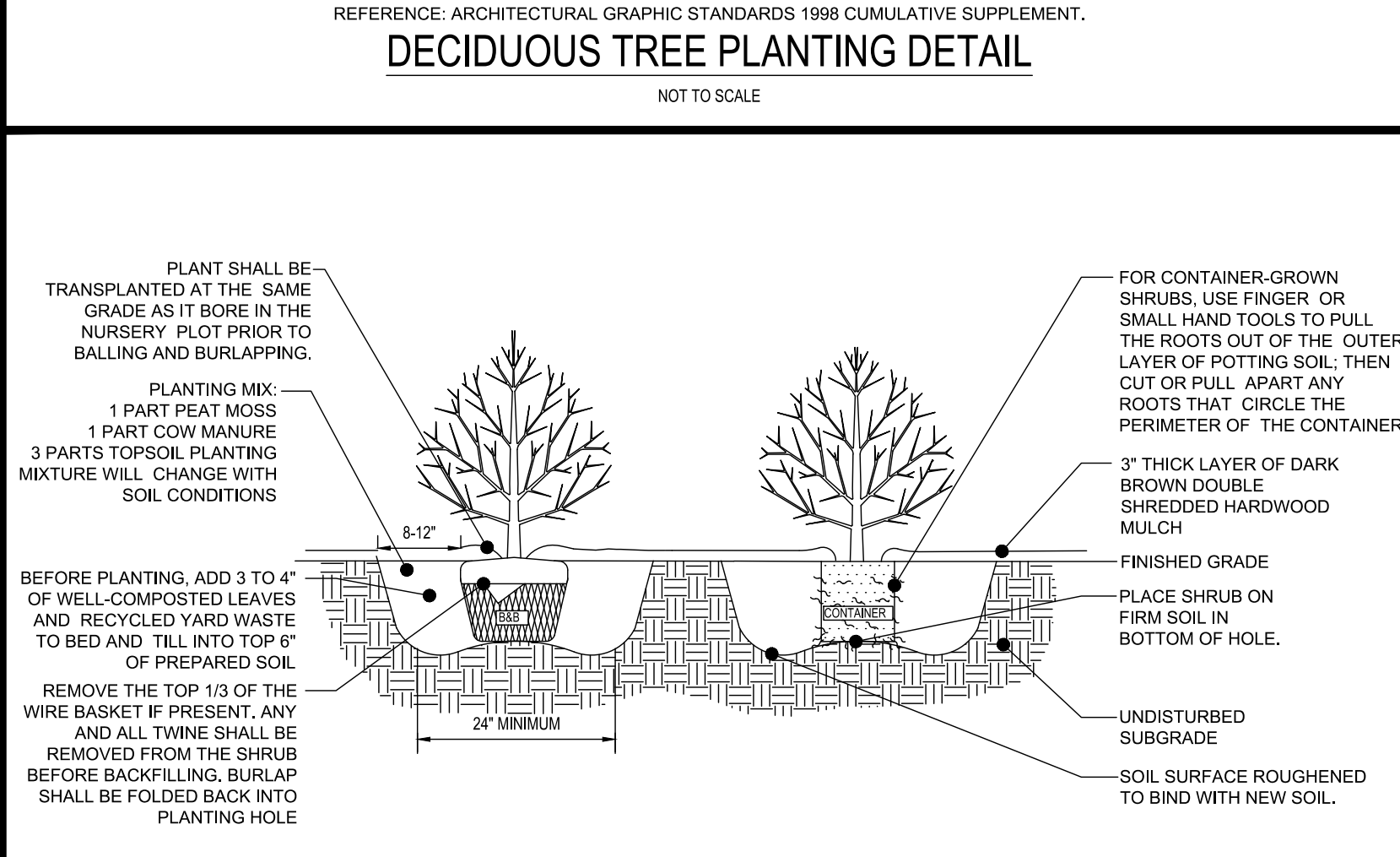
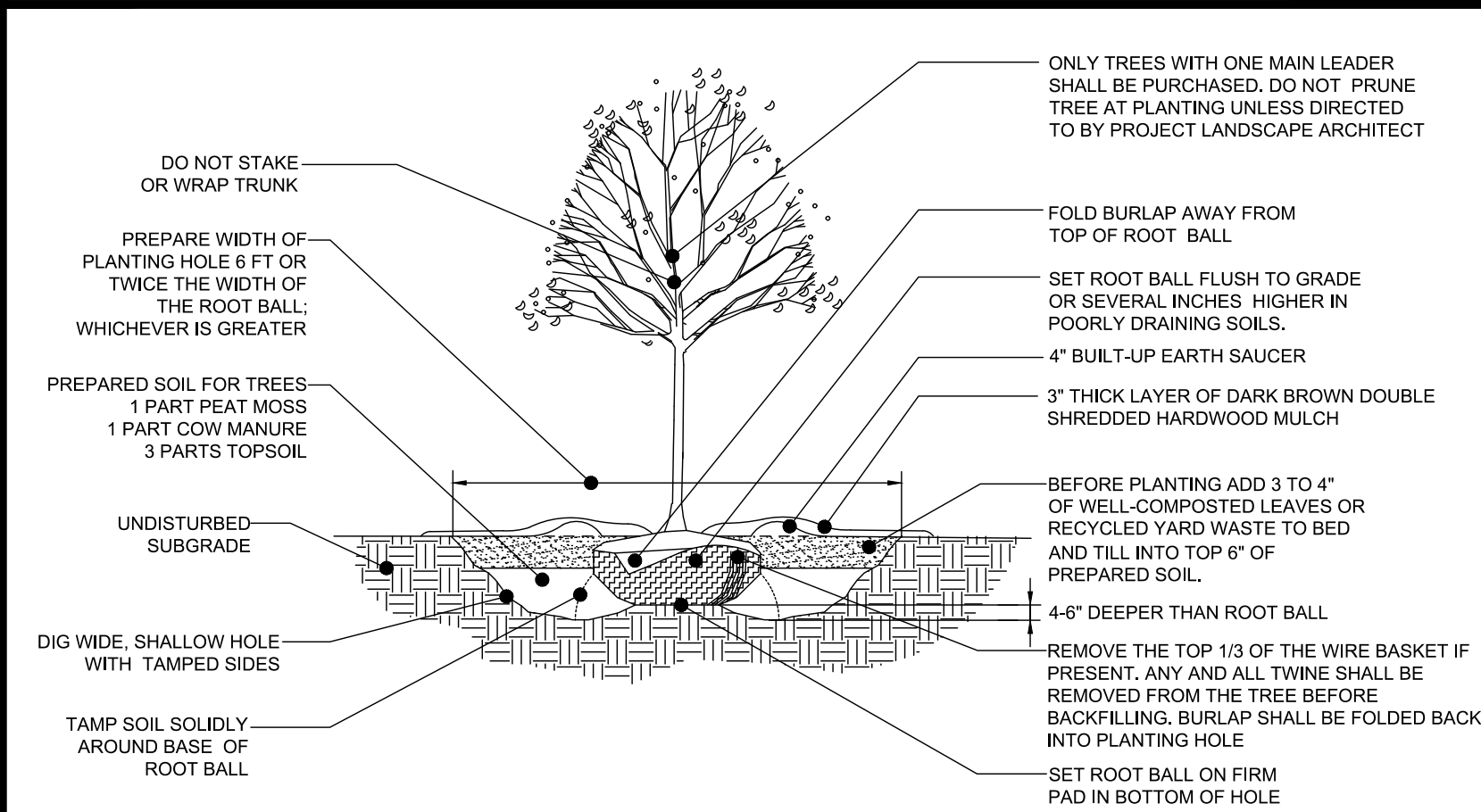
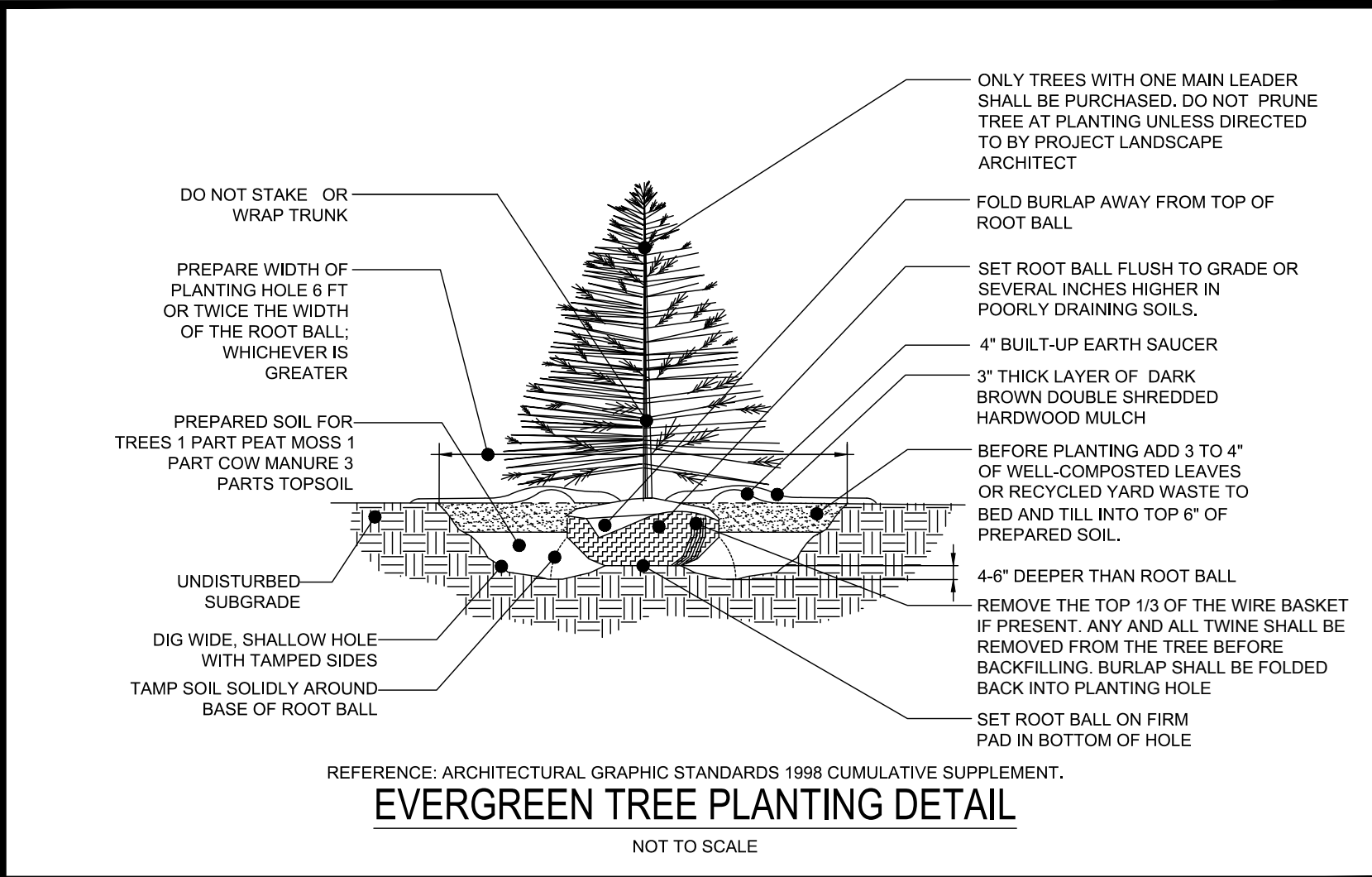
- 3. GENERAL WORK PROCEDURES
A. CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.
B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.
4. SITE PREPARATIONS
A. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.
B. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE TRUNK. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.
C. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.
5. TREE PROTECTION
A. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR 15 FEET FROM THE TRUNK OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.
B. A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY "YISH-FENCE" OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.
C. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
D. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.
6. SOIL MODIFICATIONS
A. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.
B. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.
C. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.
1.1. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5.
1.2. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.
1.3. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
7. FINISHED GRADING
A. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.
B. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1.3").
C. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.
D. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.
8. TOPSOILING
A. CONTRACTOR SHALL PROVIDE A SIX INCH (6") THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.
B. ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.
C. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.
D. ALL PLANTING AND LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND NOT TO BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE FILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA):
1.1. 20 POUNDS GROWTH PROMOTER OR APPROVED EQUAL.
1.2. 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP
E. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.

9. PLANTING

- A. INSURE THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.
B. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.
C. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.
D. ALL PLANTING CONTAINERS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.
E. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
F. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:
1.1. PLANTS: MARCH 15 TO DECEMBER 15
1.2. LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1
G. PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS.
H. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON:
ACER VARIETIES PLATANUS X ACERIFOLIA
BETULA VARIETIES POPULUS VARIETIES
CARPINUS VARIETIES PRUNUS VARIETIES
CORYLUS VARIETIES PYRUS VARIETIES
KOELREUTERIA QUERCUS VARIETIES
LIQUIDAMBER STRYACIFLUA TILIA TOMENTOSA
LIRIODENDRON TULIPIFERA ZELKOVA VARIETIES
I. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:
• 1 PART PEAT MOSS
• 1 PART COMPOSTED COW MANURE BY VOLUME
• 3 PARTS TOPSOIL BY VOLUME
• 21 GRAMS "AGRIFORM" PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:
A) 2 TABLETS PER 1 GALLON PLANT
B) 3 TABLETS PER 5 GALLON PLANT
C) 4 TABLETS PER 15 GALLON PLANT
D) LARGER PLANTS: 7 TABLETS PER 1/2" CALIPER OF TRUNK
J. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY.
K. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL.
L. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE.
M. GROUND COVER AREAS SHALL RECEIVE A 1/2" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION.
N. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS.
O. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.
P. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.

10. TRANSPLANTING (WHEN REQUIRED)

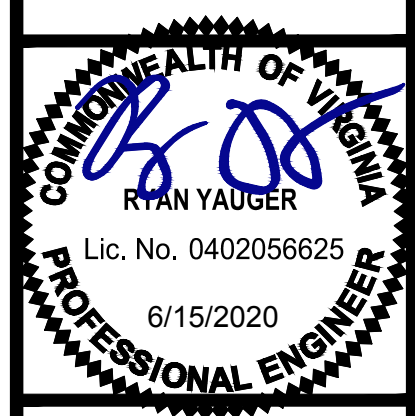
- A. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.
B. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.
C. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.
D. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.
E. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.
F. IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.
11. WATERING
A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED.
B. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES.
C. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.
12. GUARANTEE
A. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.
B. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION.
C. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE.
D. LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.
13. CLEANUP
A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED.
B. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.



Revisions table with columns: Mark, Date, By. Row 1: 1, 4/2/2020, RTY

Mark, Date, By table. Row 1: 2, 6/15/2020, RTY

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Bohler Engineering logo and contact information: 28 Blackwell Park Lane, Suite 204, Warrenton, Virginia 20146

Bohler Engineering logo and contact information: 28 Blackwell Park Lane, Suite 204, Warrenton, Virginia 20146

STORE #4332 BARRACKS ROAD SHOPPING CENTER 1000 EMMET STREET N CHARLOTTESVILLE, VA

SHEET TITLE LANDSCAPE NOTES AND DETAILS DWG EDITION SDO

Job No, Store, Date, Drawn By, Checked By table with values: V176502, #4332, 1/8/2020, JCC, RTY

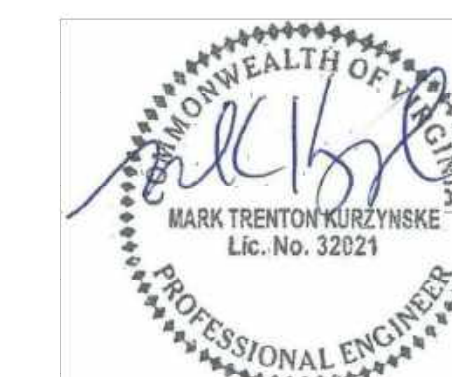
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Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia
 30349-2998



Kurzynske & Associates
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 Nashville, Tennessee 37214
 Telephone: (615) 255-5203
 Fax: (615) 255-5207
 Email: mail@kurzynske.com



9/09/19

CHICK-FIL-A
BARRACKS ROAD FSU
 1000 EMMET STREET N
 CHARLOTTEVILLE, VA 22901

FSR# 04321

REVISION SCHEDULE	NO.	DATE	DESCRIPTION

CURRENT DESIGN	2019-XX
NOTE APPLIED	
DISCIPLINE'S PROJECT NUMBER	19153.EH.S
PRINTED	PERMIT
SCALE	
DATE	09/09/2019
DRAWN BY	BTS

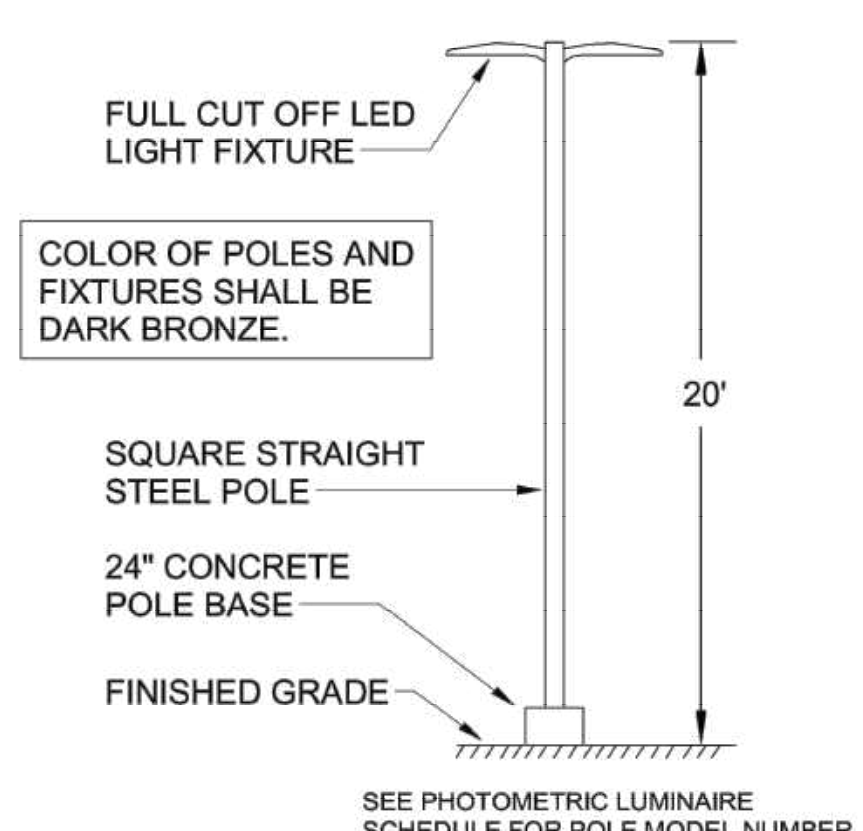
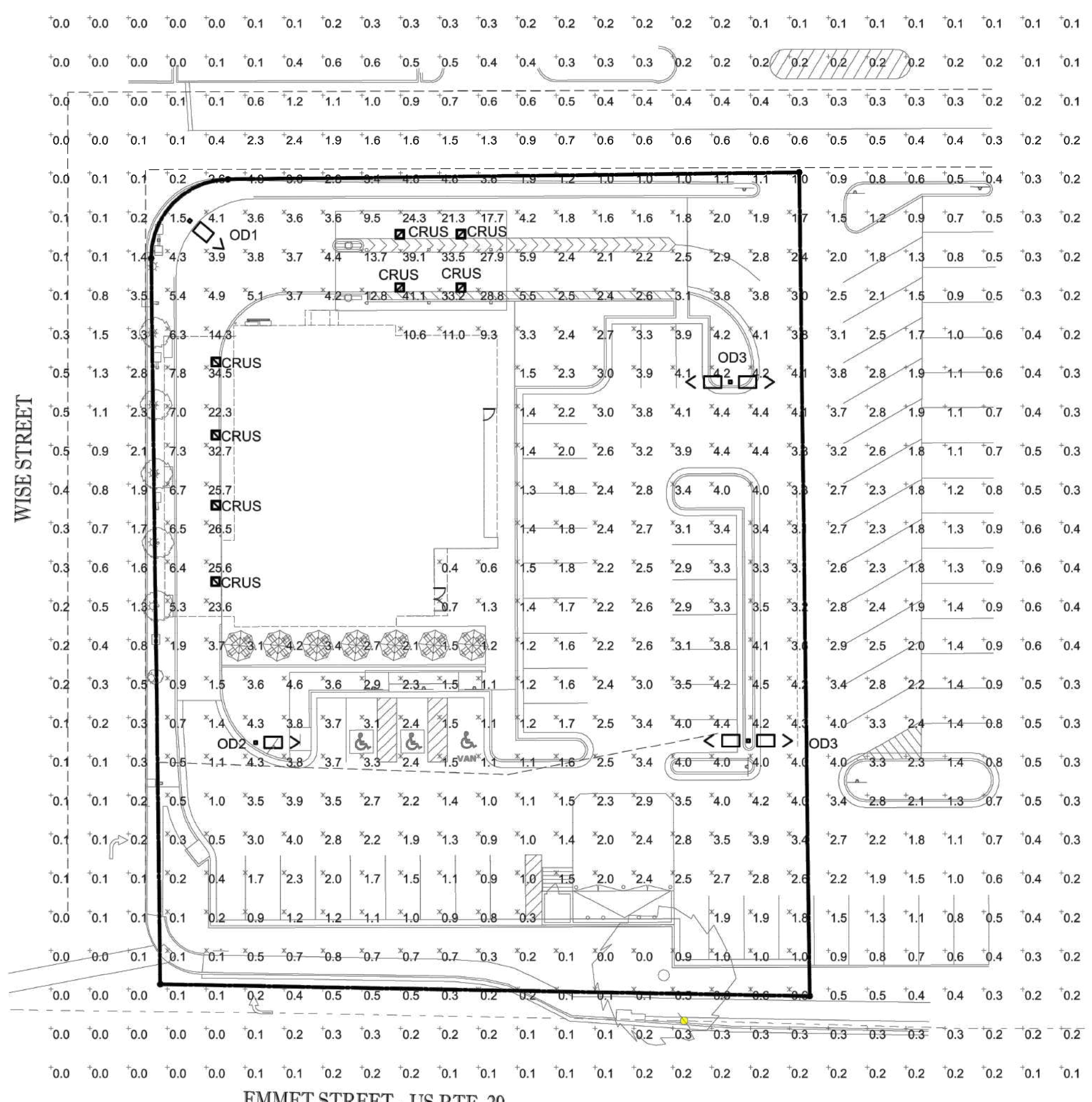
Information contained on this drawing and in all digital files produced for above named project may not be reproduced in any manner without express written or verbal consent from authorized project representatives.
 SHEET PHOTOMETRIC PLAN

SHEET NUMBER
E-102.

Symbol	Label	Quantity	Manufacturer	Catalog Number	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
□	OD1	1	EATON - LUMARK (FORMER COOPER LIGHTING)	PRV-A60-D-UNV-T4-BZ-HSS	2	8629	0.9	163
□	OD2	1	EATON - LUMARK (FORMER COOPER LIGHTING)	PRV-A60-D-UNV-T4-BZ	2	9469	0.9	163
□	OD3	2	EATON - LUMARK (FORMER COOPER LIGHTING)	PRV-A60-D-UNV-T5-BZ	2	9814	0.9	326
■	CRUS	8	LSI INDUSTRIES, INC	CRUS-SC-LED-LW-30	1	9966	0.95	73.5

SSP18-4.0-7-BRZ-DM10-BC (Single Luminaire Pole)
 SSP18-4.0-7-BRZ-DM2180-BC (Double Luminaire Pole)

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	2.2 fc	41.1 fc	0.0 fc	N/A	N/A
CFA Lot Summary	x	4.1 fc	41.1 fc	0.0 fc	N/A	N/A
Parking Lot Summary	x	2.6 fc	4.5 fc	0.3 fc	15.0:1	8.7:1



A3 SITE LIGHTING POLE DETAIL
 N.T.S.

A1 PHOTOMETRIC PLAN
 1" = 20'-0"

FOR REFERENCE ONLY



City of Charlottesville
Department of Neighborhood Development Services
Staff Report to the Entrance Corridor Review Board (ERB)



Entrance Corridor (EC) Certificate of Appropriateness

Date of Planning Commission Meeting: September 9, 2020

Project Name: 1000 Emmet Street North
Planner: Jeff Werner, AICP, Preservation and Design Planner
Applicant: Bohler Engineering (for Chick-Fil-A)
Applicant's Representative: Ryan Yauger, P.E.
Applicant's Relation to Owner: Project engineer

Application Information

Property Street Address: 1000 Emmet Street North
Property Owner: Federal Realty Investment Trust
Tax Map/Parcel #: 010001000
Total Square Footage/Acreage Site: 39.83 acres (project site is 0.8 acres)
Comprehensive Plan (Land Use Plan) Designation: Mixed Use
Current Zoning Classification: URB Urban Corridor with Entrance Corridor (EC) Overlay
Entrance Corridor Overlay District: Corridor 1, Sub-Area C. Route 29 North from corporate limits to Ivy Road.
Current Usage: One-story former fast food restaurant, building to be demolished.

Background

December 10, 2019 – The Entrance Corridor Review Board recommended to City Council that the proposed Special Use Permit (SP-19-00008) for drive-through windows would not have an adverse impact on the Route 29 North Entrance Corridor, Sub-Area C.

January 6, 2020 – City Council approved Special Use Permit SP-19-00008.

Applicant's Request

Certificate of appropriateness for a one-story, 4,588 square foot, fast food restaurant with drive-through service. The approximately 0.8-acre project site (located within the 39.8-acre Barracks Road Shopping Center) will accommodate the building, the drive through lanes, parking, an outdoor eating area, and a new landscaping. Parking for 36 cars (within the lease line), with accommodations for bicycle storage.

The building is simple and relatively unadorned, brick (two colors), single story with a flat roof, with windows and storefronts in black metal frames. The main elevation has three bays—a main central section flanked by slightly lower sections of a different brick color. At the front and side (east, facing Emmet Street, and north, respectively) the entrance features a concrete patio with tables and umbrellas. The drive through order stations are at the rear (west) beneath an open, flat

roof canopy of black metal. The order pick up window is at the side (south), enclosed within a porte cochere and further screened by existing trees and plantings.

Vehicular circulation is only from the Barracks Road Shopping Center parking lot; there is no direct ingress or egress from Emmet Street.

There is an existing public sidewalk along Emmet Street, which will remain.

Proposed landscaping includes trees and plantings within the site (adjacent to the building and in parking lot islands) and along Emmet Street.

Proposed signage is shown on the renderings and signage submittal; however signage will require a separate signage permit and must be consistent with the Comprehensive Signage Plan for the Barracks Road Shopping Center.

Staff Recommendation

The project meets the standards and guidelines for a certificate of appropriateness in the Entrance Corridor. Staff recommends approval of this application as submitted with the following conditions:

- The four (4) existing magnolia trees along Emmet Street shall be maintained and protected from damage during construction.
- Requirement that all door and window glass be clear (not less than 70% VLT);
- Prohibition of signage on the outdoor umbrellas and requiring they be of a uniform color.
- Exterior light fixtures shall have lamping that is dimmable and have a Color Temperature not to exceed 3000K. Additionally, the owner will address any reasonable public complaints about light glare by either dimming the lamp or replacing the lamps/fixtures.

Standard of Review

The Planning Commission serves as the Entrance Corridor Review board (ERB) responsible for administering the design review process in entrance corridor overlay districts. This development project requires a site plan, and therefore also requires a certificate of appropriateness from the ERB, pursuant to the provisions of §34-309(a)(3) of the City's Zoning Ordinance. The ERB shall act on an application within 60 days of the submittal date, and shall either approve, approve with conditions, or deny the application. Appeal would be to City Council.

Standards for considering certificates of appropriateness:

In conducting review of an application, the ERB must consider certain features and factors in determining the appropriateness of proposed construction, alteration, etc. of buildings or structures located within an entrance corridor overlay district. Following is a list of the standards set forth within §34-310 of the City Code:

§34-310(1): Overall architectural design, form, and style of the subject building or structure, including, but not limited to: the height, mass and scale;

§34-310(2): Exterior architectural details and features of the subject building or structure;

Staff comment: The new building will be in a similar location as the existing (to be demolished) and oriented to face Emmet Street. The all brick building features a center section of red brick, flanked to the north and south by slightly lower features, set back slightly from the front wall, and constructed of a buff colored brick above a red brick base and water table that continues from the center section. The entrance door is located on the side, at the NE corner. The east and north elevations, serving as the pedestrian entrance, feature a concrete patio with outdoor tables with umbrellas enclosed within a black metal railing.

The central section has limited, punched fenestration within a running bond, red brick wall with a slightly proud, single brick, rowlock course water table of and a three brick, slightly corbeled, soldier course cornice capped with metal coping.

The south section--a *porte cochere* that encloses the order pick up window—is supported by three wide piers supporting flat arches, all running bond buff brick (above the water table) with a simple cornice of white metal coping. The matching north section features a large, punched storefront, providing natural light to the dining area inside.

There is no fenestration at the rear (west) elevation, only a service entrance door. At this side of the building is the dual-lane order station beneath a simple, black metal canopy.

Trash collection and a small storage area will be enclosed within a 34'-8" long x 10'-8" deep 8'-8" tall brick structure located at the Emmet Street sidewalk. Access will be from the parking lot.

Being within the Barracks Road Shopping Center, exterior lighting is provided predominantly by the 20-ft high, pole-mounted fixtures in the parking lot, however the new building features eight wall sconces on the east, south and west elevations. The order canopy and the pick-up enclosure are illuminated by overhead LED fixtures.

A building of this height, mass and scale is appropriate in this location. The openings, changes in height, offset wall planes, and the variation in brick color contribute to articulation on all sides of the building. The architectural details are minimal, even understated, however that is generally consistent with buildings both within this shopping center and in this corridor sub-area.

§34-310(3): Texture, materials and color of materials proposed for use on the subject building or structure;

Materials and colors:

- Brick:
 - Main building: Redland Brick #651, “Takoma”
 - Drive through enclosure and north dining wing: Redland Brick #650, “Light Buff Matt”
 - Mortar: TBD
- Doors and Windows: Commercial storefront style, metal frames, “Dark Bronze”
- Roof: Flat roof, not visible.
- Canopies and drive through order canopy: Black metal, to match storefront.

Staff comment - Materials: Materials and colors are consistent with the EC Design Guidelines.

Lighting:

- Parking lot: Pole fixtures matching BRSC standard (full cut off)
 - OD1: Eaton-Lumark PRV-A60-D-UNV-T4-BZ-HSS
 - Lamping per cut sheets: Color Temperature available 3,000K and 5,000K. Dimmable control indicated by “D”.
 - OD2: Eaton-Lumark PRV-A60-D-UNV-T4-BZ
 - Lamping per cut sheets: Color Temperature available 3,000K and 5,000K. Dimmable control indicated by “D”.
 - OD3: Eaton-Lumark PRV-A60-D-UNV-T5-BZ
 - Lamping per cut sheets: Color Temperature available 3,000K and 5,000K. Dimmable control indicated by “D”.
- Drive through order canopy: LED Canopy Lights
 - CRUS: LSI Industries CRUS-SC-LED-LW-30
 - Lamping per cut sheets: Color Temperature 5000K. Dimmable control available.
- Exterior wall sconces:
 - Progress Lighting P5675-31/30K
 - Lamping per cut sheets: Color Temperature 3000K. Dimmable control available.
- Building canopy at entrances:
 - Recessed light Halo RL4- C7.
 - Lamping per cut sheets: Color Temperature not stated. Available at 3000K. Dimmable control available.

Staff comment - Lighting: All of the proposed light fixtures except one (the drive through order canopy LED lights) have lamping available that is dimmable and at a Color Temperature not to exceed 3000K, a level that reduces glare; criteria that is consistent with the EC Design Guidelines. However, the lamping is not specified, therefore staff recommends a condition that requires the exterior light fixtures to be dimmable and have a Color Temperature not to exceed 3000K. Additionally, because lighting cannot be fully evaluated until installed and complaints about glare from LED fixtures have become more common, staff recommends a condition that requires the owner to address any reasonable public complaints about glare by either dimming the lamp or replacing the lamps/fixtures.

Landscaping:

The proposed landscaping consists of the following, with the new plantings located predominantly along the sidewalk on Emmet Street. Six existing trees along the south elevation will remain.

- Shade trees
 - Red maple (3)
 - Sycamore (3)
 - English oak (3)
 - Zelkova (3)
 - Willow oak (1)
- Ornamental trees
 - Amur Maple (2)
 - Japanese Crabapple (3)

- Deciduous and evergreen plantings
 - 52 plants of seven varieties, including dogwood, holly, and azalea.

Staff comment - Landscaping: The proposed plants and trees are consistent with the EC Design Guidelines and the City’s Master Tree List. However, the plan proposes the removal of four magnolia trees along Emmet Street and replacing them with two different tree species. The existing are within a continuous line of magnolia trees, a streetscape feature that addresses in the design guidelines: *The attractive magnolia street trees along Emmet Street should be retained and new landscaping added to the streetscape as redevelopment occurs.*

The four (4) existing magnolia trees along Emmet Street should be maintained and protected from damage during construction.

§34-310(4): Design and arrangement of buildings and structures on the subject site;

Staff comment: This site is within one of the largest retail/commercial centers in the City. In that context, the design and orientation are primarily driven by the requirements and constraints of that larger facility.

Conditions in the Special Use Permit required an accessible pedestrian route from the public sidewalk on Emmet Street and a pedestrian route from the internal parking area of the Barracks Road Shopping. These are included in the proposed improvements.

The design and arrangement of the buildings and structures on site are appropriate. This is an auto-oriented use appropriately located on Emmet Street. There is a desire to make this general location more pedestrian-friendly. The proposed pedestrian connections as proposed will accomplish that goal on this site.

§34-310(5): The extent to which the features and characteristics described within paragraphs (1)-(4), above, are architecturally compatible (or incompatible) with similar features and characteristics of other buildings and structures having frontage on the same EC street(s) as the subject property.

Staff comment: The goals are to make the site function well for the users of this site and the entrance corridor, and to have an attractive development that is compatible with its surrounding context. The site design will function well, and this building will be architecturally compatible with other buildings in this area.

§34-310(6): Provisions of the Entrance Corridor Design Guidelines.

Relevant sections of the guidelines include:

Section 1 (Introduction)

The Entrance Corridor design principles are:

- Design For a Corridor Vision
 - Staff comment: Proposal complies generally with this guideline.
- Preserve History

- Staff comment: This guideline is not applicable.
- Facilitate Pedestrian Access
 - Staff comment: Conditions in the Special Use Permit require an accessible pedestrian route from the public sidewalk on Emmet Street and a pedestrian route from the internal parking area of the Barracks Road Shopping. These are indicated on the plan.

The request before the ERB is a CoA for alterations to only a 0.8 acre segment of a 40-acre shopping center. The proposed pedestrian solutions relate to only the proposed restaurant and, due to the constraints of this small site, those solutions are less than ideal. Staff recommends that, at a later date, the ERB discuss how such comprehensive planning might be initiated, maybe even required, and to amend the EC Design Guidelines to require an evaluation of incremental pedestrian solutions [on small outparcels] in the context of a comprehensive pedestrian access plan.

- Maintain Human Scale in Buildings and Spaces
 - Staff comment: Proposal complies generally with this guideline.
- Preserve and Enhance Natural Character
 - Staff comment: Relative to landscaping (trees and plantings), proposal complies generally with this guideline.
- Create a Sense of Place
 - Staff comment: Proposal complies generally with this guideline.
- Create an Inviting Public Realm
 - Staff comment: Proposal complies generally with this guideline.
- Create Restrained Communications
 - Staff comment: New signage will require a separate signage permit and must comply with the provisions of the Comprehensive Signage Plan for Barracks Road Shopping Center. However, staff recommends a condition that prohibits signage on the outdoor umbrellas and requires that they be of a uniform color.
- Screen Incompatible Uses and Appurtenances
 - Staff comment: Proposal complies generally with this guideline.
- Respect and Enhance Charlottesville’s Character: Charlottesville seeks new construction that reflects the unique character, history, and cultural diversity of this place. Architectural transplants from other locales, or shallow imitations of historic architectural styles, for

example, are neither appropriate nor desirable. Incompatible aspects of franchise design or corporate signature buildings must be modified to fit the character of this community.

- Staff comment: Proposal complies generally with this guideline. While the materials and color palette are similar to those at other Chick-fil-a locations in Virginia, there appears to be no standard or typical building design. That is, other than the signage, the building itself is not readily identifiable as a Chick-fil-a franchise. Architecturally, the building is simple and relatively unadorned. While not reflective of any particular local style or character, it is neither out of place within this shopping center or inconsistent with the style, scale and character of this commercial corridor. In many ways, this brick building corresponds with modernist/post-modernist architecture of the University's administrative buildings immediately across Emmet Street.

Section 2 (Streetscape)

- Staff comment: The existing streetscape (along Emmet Street) will be retained, provided the existing magnolia trees are either retained.

Section 3 (Site)

- Staff comment: The site features are appropriate.

Section 4 (Buildings)

- Staff comment: The building design is generally appropriate.

Section 5 (Individual Corridors):

Corridor 1: Route 29 North, Sub-Area C: Barracks Road to Ivy Road

Vision: Emmet Street has the potential to become more of an urban boulevard, with lively pedestrian activity and a greater mix and integration of uses. Both Barracks Road Shopping Center and Meadowbrook Shopping Center may redevelop with retail, office, hotels, housing, and structured parking. *The attractive magnolia street trees along Emmet Street should be retained and new landscaping added to the streetscape as redevelopment occurs. There are opportunities for unified landscaping along the corridor that would help enhance the pedestrian connection.* If possible, character-defining architecture should be incorporated into redevelopment plans. As the University redevelops its property on the southern end of the sub-area, including the University Arts Center, there may be opportunities to include student housing and community-related facilities in mixed-use projects that front on Emmet Street. [emphasis added]

Staff comment: The plan proposes the removal of four magnolia trees along Emmet Street and replacing them with two different tree species. The existing are within a continuous line of magnolia trees, a streetscape feature that is addressed in the design guidelines: *The attractive magnolia street trees along Emmet Street should be retained and new landscaping added to the streetscape as redevelopment occurs.*

Staff recommend that a condition of approval require that the four (4) existing magnolia trees along Emmet Street shall be maintained and protected from damage during construction.

Public Comments Received

No comments received.

Staff Recommendations

The project meets the standards and guidelines for a certificate of appropriateness in the Entrance Corridor. Staff recommends approval of this application as submitted with the following conditions:

- The four (4) existing magnolia trees along Emmet Street shall be maintained and protected from damage during construction.
- Requirement that all door and window glass be clear (not less than 70% VLT);
- Prohibition of signage on the outdoor umbrellas and requiring they be of a uniform color.
- Exterior light fixtures shall have lamping that is dimmable and have a Color Temperature not to exceed 3000K. Additionally, the owner will address any reasonable public complaints about light glare by either dimming the lamp or replacing the lamps/fixtures.

Suggested Motion

Having considered the standards set forth within the City's Entrance Corridor Design Guidelines, I move to find that the proposed design for the Chick-Fil-A at 1000 Emmet Street North is consistent with the Guidelines and compatible with the goals of this Entrance Corridor, and that the ERB approves the Certificate of Appropriateness application as submitted with the following conditions:

- The four (4) existing magnolia trees along Emmet Street shall be maintained and protected from damage during construction.
- Requirement that all door and window glass be clear (not less than 70% VLT);
- Prohibition of signage on the outdoor umbrellas and requiring they be of a uniform color.
- Exterior light fixtures shall have lamping that is dimmable and have a Color Temperature not to exceed 3000K. Additionally, the owner will address any reasonable public complaints about light glare by either dimming the lamp or replacing the lamps/fixtures.

Alternate Motions

Deferral: I move to defer (or deny) the Entrance Corridor Certificate of Appropriateness application for Chick Fil A at 1000 Emmet Street North.

Denial: Having considered the standards set forth within the City's Entrance Corridor Design Guidelines, I move to find that the proposed design for the Chick-Fil-A at 1000 Emmet Street North is not consistent with the Guidelines and is not compatible with the goals of this Entrance Corridor, and for the following reasons the ERB denies the Certificate of Appropriateness application as submitted...

Attachments/Referenced Material:

Refer to Special Use Permit Resolution (See page 6 of link):

<http://weblink.charlottesville.org/public/0/edoc/793564/20200106Jan06.pdf>

Refer to Bohler Engineering Site Plan, dated June 15, 2020, Sheets C-0.0, C-0.1, C-0.2, C-1.0, C1.1, C-1.2, C-2.0 - C-2.2, C-3.0 - C-3.4, C-4.0 - C-4.3, PS-1.0 - PS-1.4, L-1.0, L-1.1, and E-102.

E+H Architects drawings and materials board:

Elevations and Perspectives, dated August 20, 2019: Sheets G-009 and G-010.

Refuse Enclosure, dated April 2, 2020: Sheet A-103.

Order Point Canopy, date September 3, 2019: Sheet A-104.

Materials, dated January 30, 2020.

Lighting cut sheets.

LSI Industries CRUS-SC-LED-LW-30

Progress Lighting P5675-31/30K

Halo RL4- C7.

Clayton Signs submittal, dated November 13, 2019.

Sign A. Monument sign.

Signs B, C, and E. LED-illuminated channel letters.

Sign F. Painted wall mural



Entrance Corridor Review Application (EC) Certificate of Appropriateness

Please Return To:
City of Charlottesville
Department of Neighborhood Development Services
P.O. Box 911, City Hall
Charlottesville, Virginia 22902
Telephone (434) 970-3130

Please submit one (1) hard copy and one (1) digital copy of application form and all attachments.
Please include application fee as follows: New construction project \$375; Additions and other projects requiring ERB approval \$125; Administrative approval \$100.
Make checks payable to the City of Charlottesville.

The Entrance Corridor Review Board (ERB) meets the second Tuesday of the month.
Deadline for submittals is Tuesday 3 weeks prior to next ERB meeting by 3:30 p.m.

Owner Name Federal Realty Investments Trust Applicant Name Christine McGuirl
Project Name/Description Chick-fil-A Barracks Road #04332 Parcel Number 010001000
Project Street Address 1000 Emmet Street North, Charlottesville, VA 22903

Applicant Information

Address: Chick-fil-A, Inc., Brent Edmiston
5200 Buffington Road, Atlanta, GA. 30346
Email: brent.edmiston@cfacorp.com
Phone: (W) (336) 210-6072 (C) _____

Property Owner (if not applicant)

Address: Federal Realty Investments Trust, Christine McGuirl
1626 East Jefferson Street, Rockville, MD. 20852
Email: cmcguirl@federalrealty.com
Phone: (W) (301) 998-8393 (C) _____

Signature of Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct.

Brent Edmiston 1/24/2020
Signature Date
Brent Edmiston 1/24/2020
Print Name Date

Property Owner Permission (if not applicant)

I have read this application and hereby give my consent to its submission.

Christine McGuirl 1/24/2020
Signature Date
CHRISTINE MCGUIRL 1/24/2020
Print Name Date

Description of Proposed Work (attach separate narrative if necessary): To construct a +/- 4,855 building,
drive thru canopies, minor adjustments to parking lot, and utility reconfiguration.

Attachments (see reverse side for submittal requirements): _____

For Office Use Only

Received by: _____
Fee paid: _____ Cash/Ck. # _____
Date Received: _____

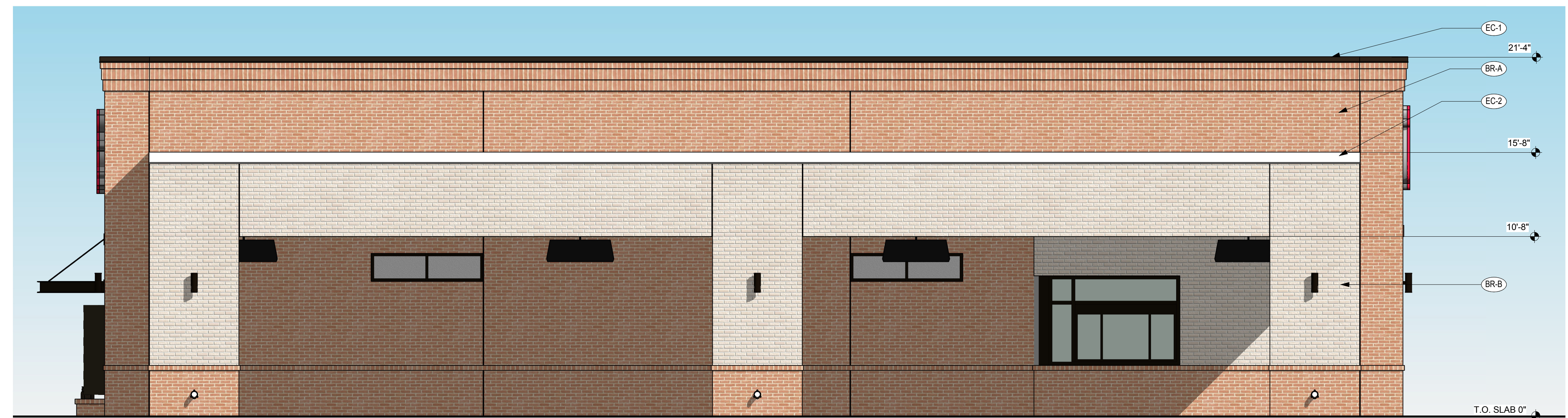
Approved/Disapproved by: _____
Date: _____
Conditions of approval: _____

ENTRANCE CORRIDOR ORDINANCE: You can review the *Entrance Corridor Overlay Districts* regulations in the City of Charlottesville Zoning Ordinance starting with Section 34-306 online at www.charlottesville.org or at www.municode.com for the City of Charlottesville.

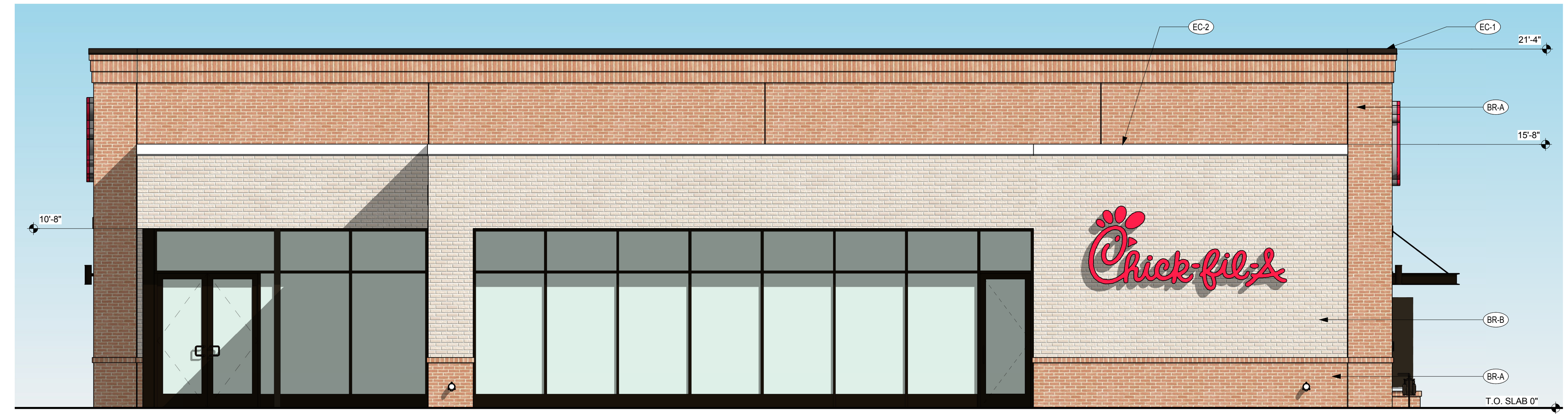
DESIGN GUIDELINES: Please refer to the current *Entrance Corridor Design Guidelines* online at www.charlottesville.org.

SUBMITTAL REQUIREMENTS: The following information and exhibits shall be submitted along with each application for Certificate of Appropriateness, per Sec. 34-310-312 in the City of Charlottesville Zoning Ordinance:

- (1) Overall architectural design, form, and style of the subject building or structure, including, but not limited to: the height, mass and scale;
- (2) Exterior architectural details and features of the subject building or structure;
- (3) Texture, materials and color of materials proposed for use on the subject building or structure;
- (4) Design and arrangement of buildings and structures on the subject site;
- (5) The extent to which the features and characteristics described within paragraphs (1)-(4), above, are architecturally compatible (or incompatible) with similar features and characteristics of other buildings and structures having frontage on the same EC street(s) as the subject property.
- (6) Provisions of the Entrance Corridor Design Guidelines.
- (7) A complete application shall include all plans, maps, studies, reports, photographs, drawings, and other informational materials which may be reasonably required in order make the determinations called for in a particular case.
- (8) Building elevations shall be provided, unless waived by the director.
- (9) Each application shall include a landscaping plan as outlined in the ordinance
- (10) Each application shall include information about proposed lighting as outlined in the provisions of Article IX, Division 3, Sec. 34-100, et seq.



1 EXTERIOR ELEVATION - NORTH
1/4" = 1'-0"



2 EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"



3 EXTERIOR ELEVATION - EAST
1/4" = 1'-0"



4 EXTERIOR ELEVATION - WEST
1/4" = 1'-0"

EXTERIOR FINISHES

	BR-A (BRICK VENEER) TBD SELECT TO MATCH SHOPPING CENTER MATERIALS
	BR-B (BRICK VENEER) TBD SELECT TO MATCH SHOPPING CENTER MATERIALS
	EC-1 (PREFINISHED METAL COPING) MFR: EXCEPTIONAL METALS COLOR: "DARK BRONZE" (MATT)
	EC-2 (PREFINISHED METAL COPING) MFR: EXCEPTIONAL METALS COLOR: "SNOWWHITE"
	PT-9 (EXTERIOR PAINT) COLOR: DARK BRONZE
	ST-1 (STOREFRONT) COLOR: DARK BRONZE FINISH: SEMI-GLOSS



Chick-fil-A

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998



E+H ARCHITECTS P.C.
750 OLD HICKORY BLVD, SUITE 250
BRENTWOOD, TN 37027
PHONE: 615.377.3111
FAX: 615.377.0978
EMAIL: GENMAIL@EANDHARCH.COM
I HEREBY CERTIFY THAT THESE PLANS
HAVE BEEN PREPARED UNDER MY
SUPERVISION AND THAT TO THE BEST OF
MY KNOWLEDGE, THE SAME COMPLY WITH
ALL RULES, REGULATIONS AND
ORDINANCES OF

CHICK-FIL-A
Barracks Road
Emmet Street
Charlottesville, VA 22903

FSR#04332
BUILDING TYPE / SIZE: P12 LS ALL
RELEASE: v2_19_05

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

PRELIMINARY

CONSULTANT PROJECT #	####
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SHEET
ELEVATIONS

SHEET NUMBER
G-009



1 PERSPECTIVE VIEW - SOUTH



2 PERSPECTIVE VIEW - EAST



3 PERSPECTIVE VIEW - NORTH



4 PERSPECTIVE VIEW - WEST



Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia 30349-2998



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CHICK-FIL-A
 Barracks Road
 Emmet Street
 Charlottesville, VA 22903

FSR#04332
 BUILDING TYPE / SIZE: P12 LS ALL
 RELEASE: v2_19/05

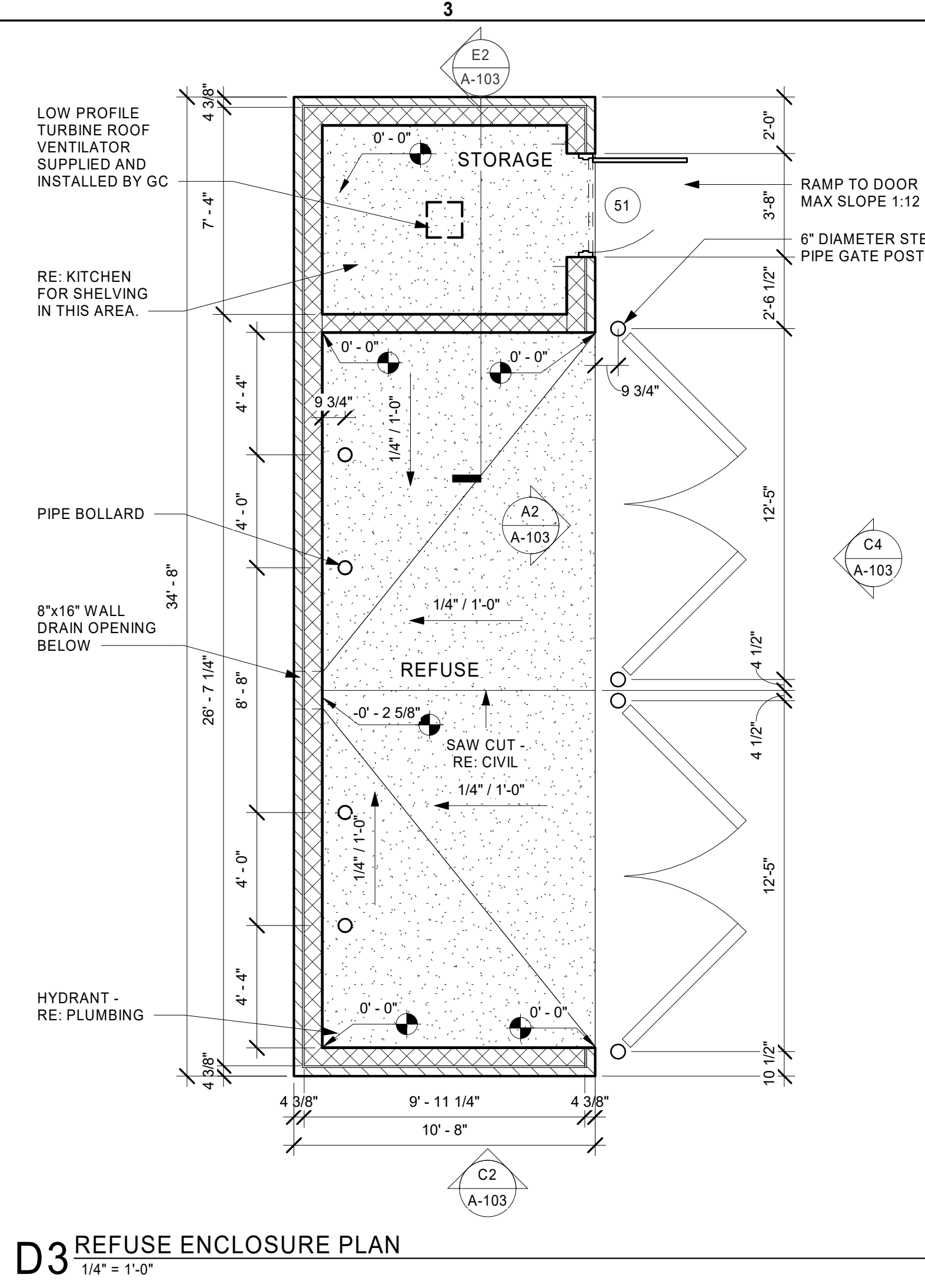
REVISION SCHEDULE

NO.	DATE	DESCRIPTION

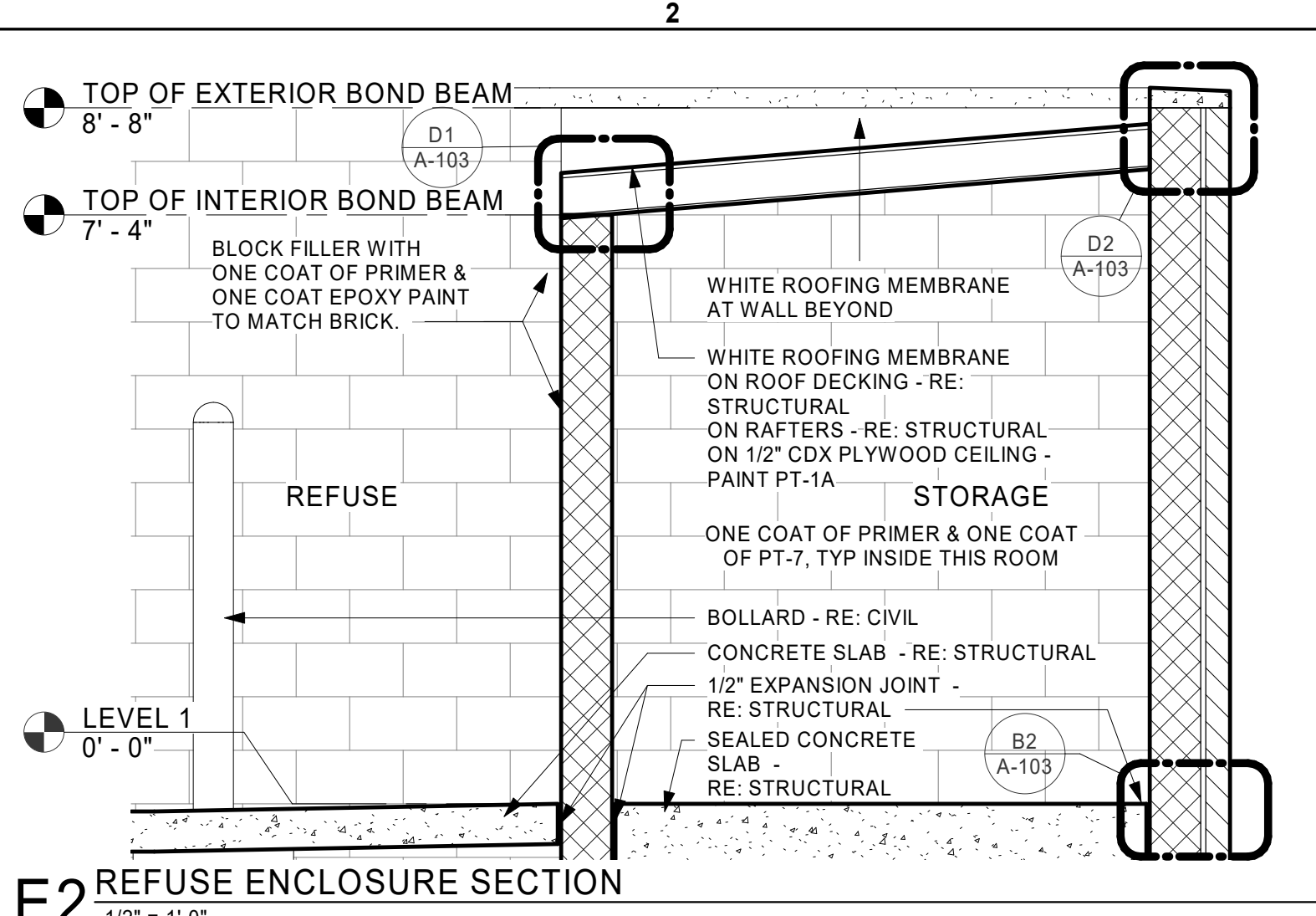
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 SHEET
 PERSPECTIVES

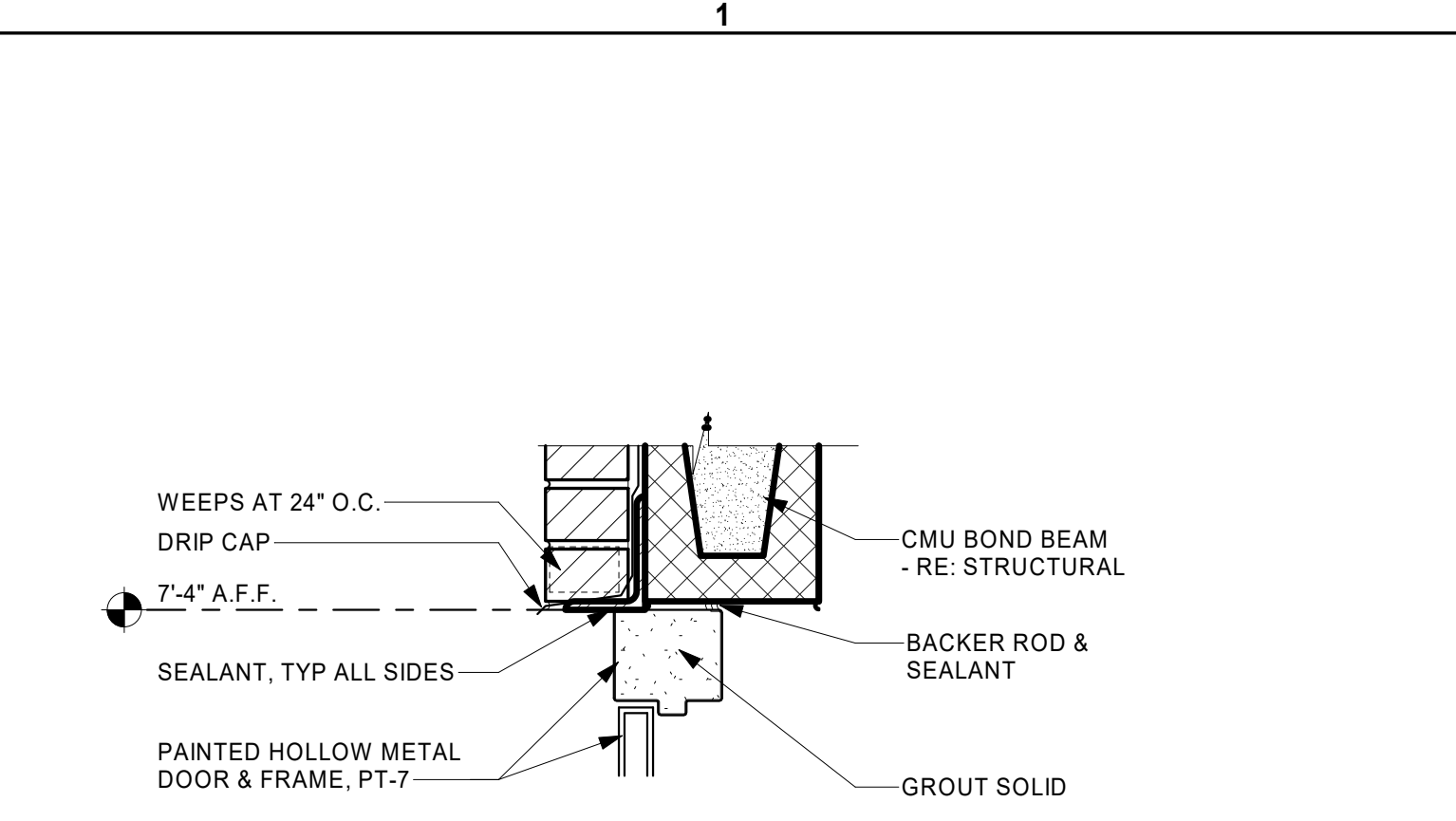
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G-010



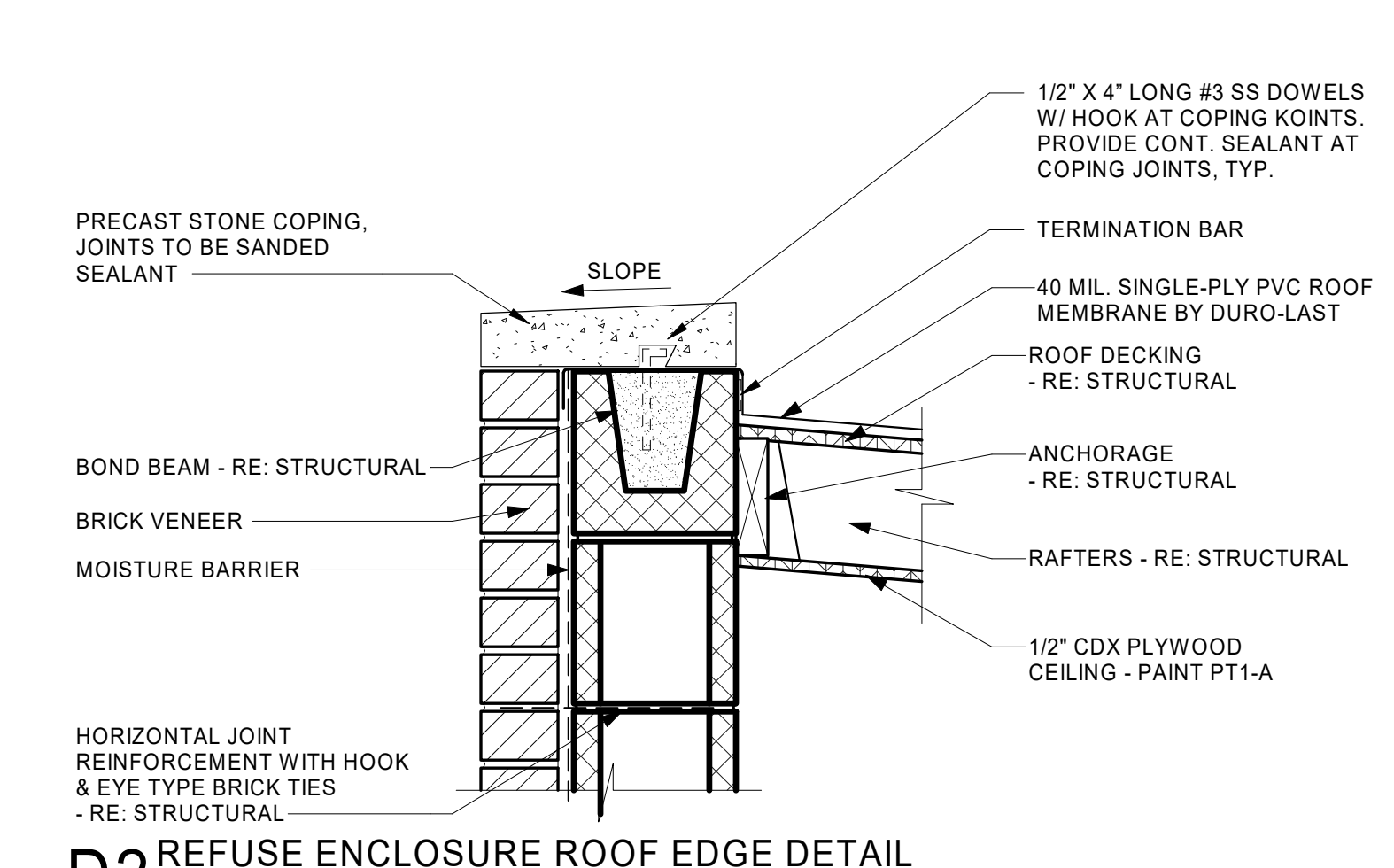
D3 REFUSE ENCLOSURE PLAN
1/4" = 1'-0"



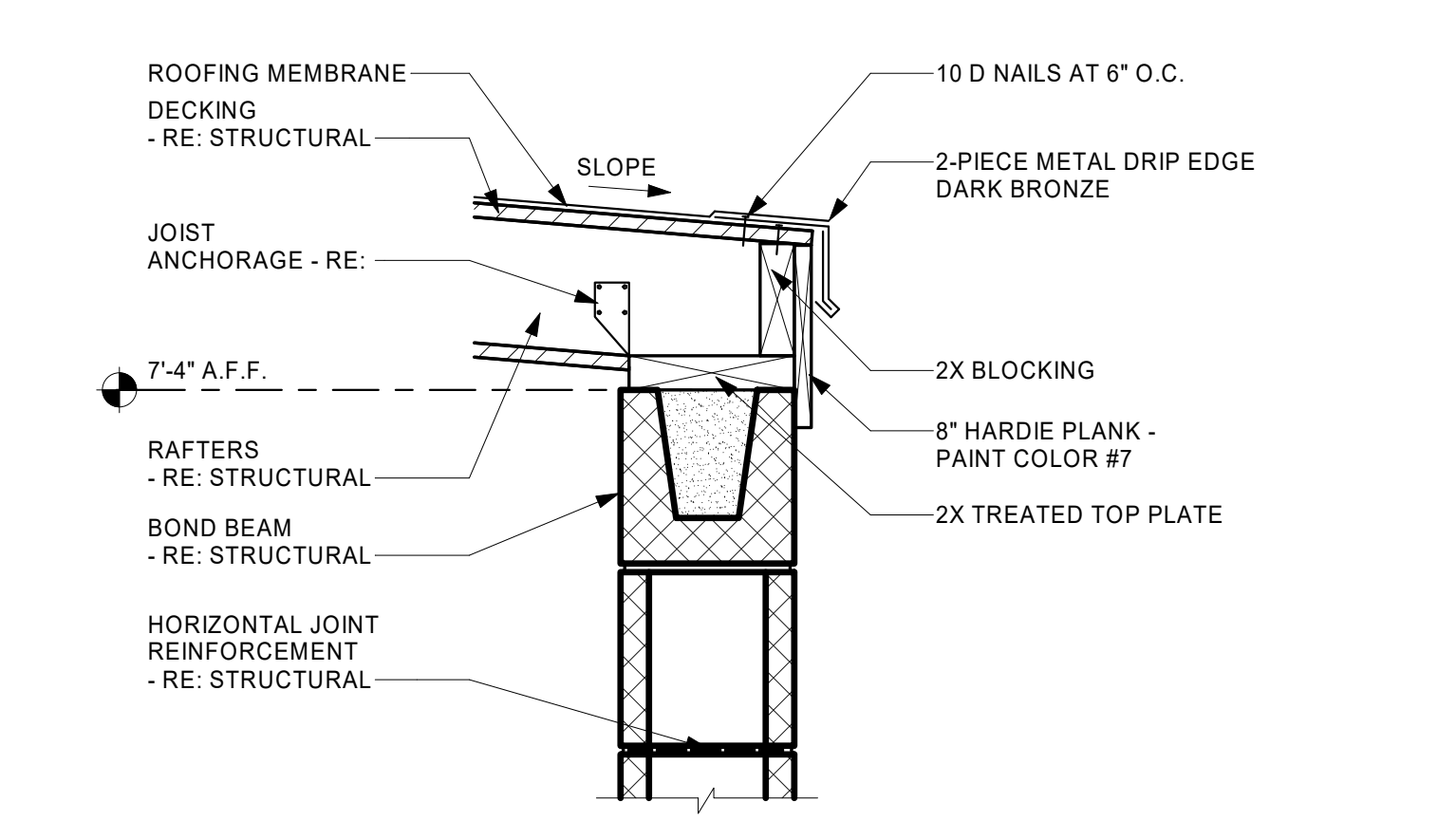
E2 REFUSE ENCLOSURE SECTION
1/2" = 1'-0"



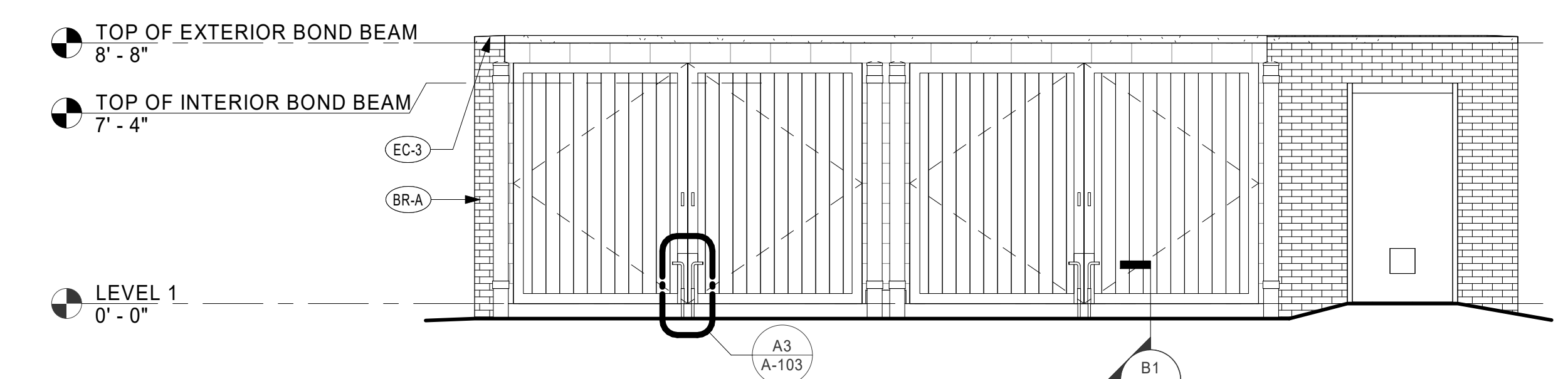
E1 REFUSE ENCLOSURE DOOR HEAD DETAIL
1 1/2" = 1'-0"



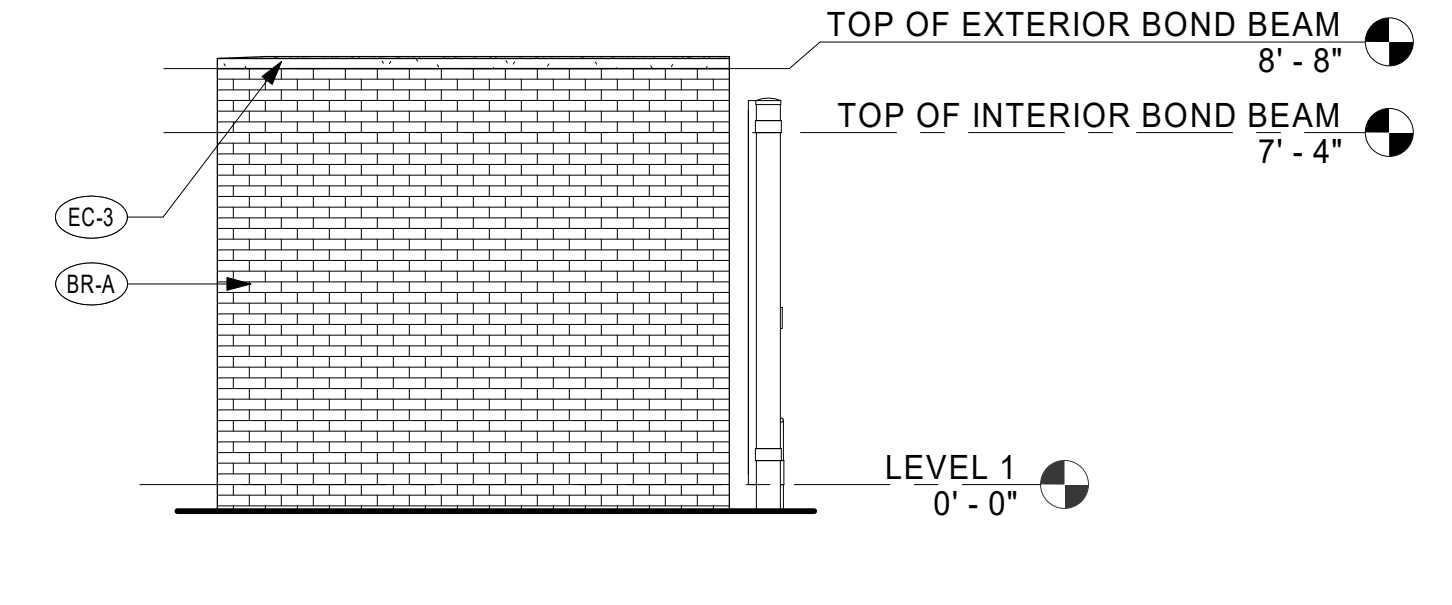
D2 REFUSE ENCLOSURE ROOF EDGE DETAIL
1 1/2" = 1'-0"



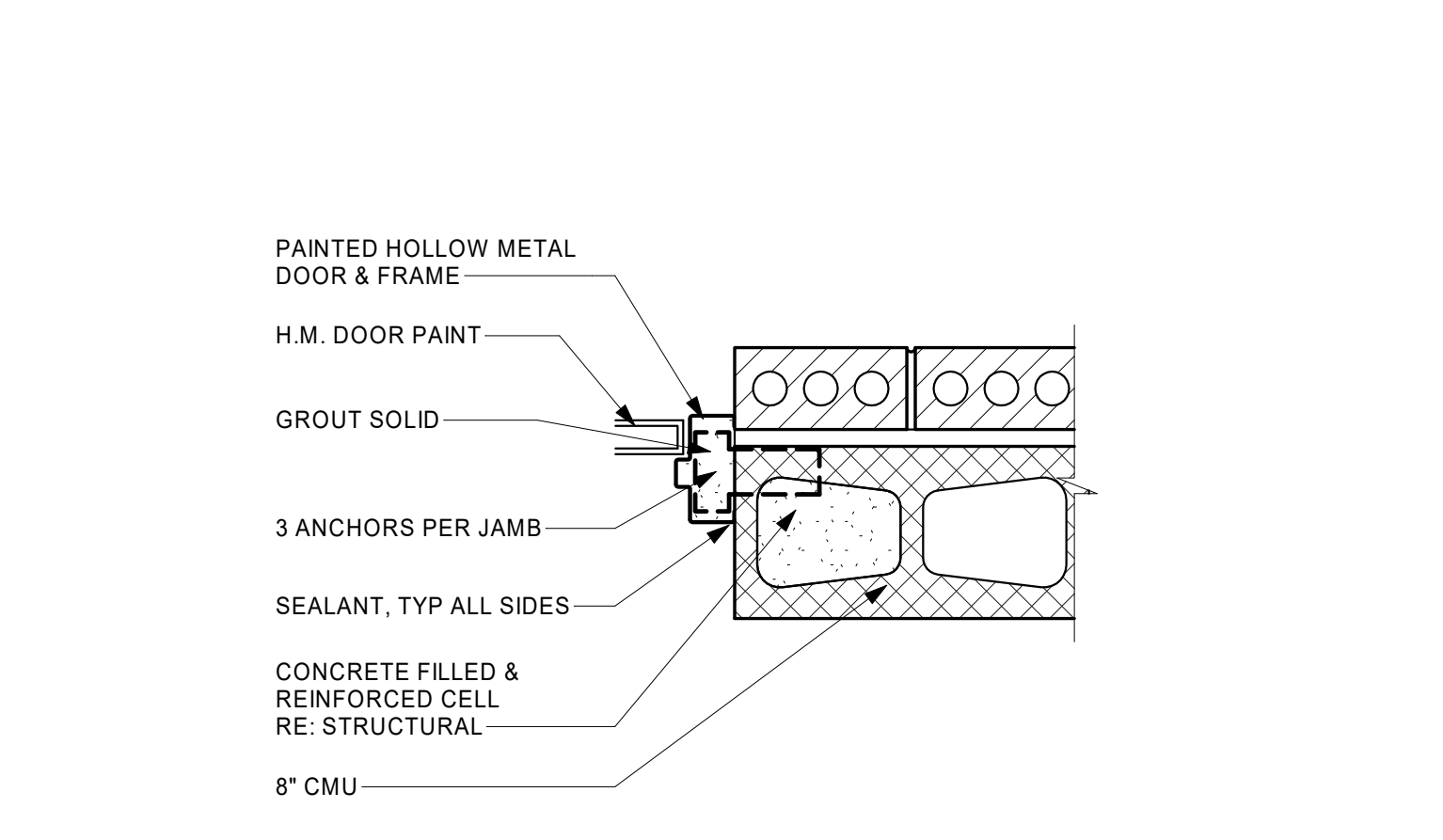
D1 REFUSE ENCLOSURE DRIP EDGE
1 1/2" = 1'-0"



C4 REFUSE ENCLOSURE ELEVATION
1/4" = 1'-0"

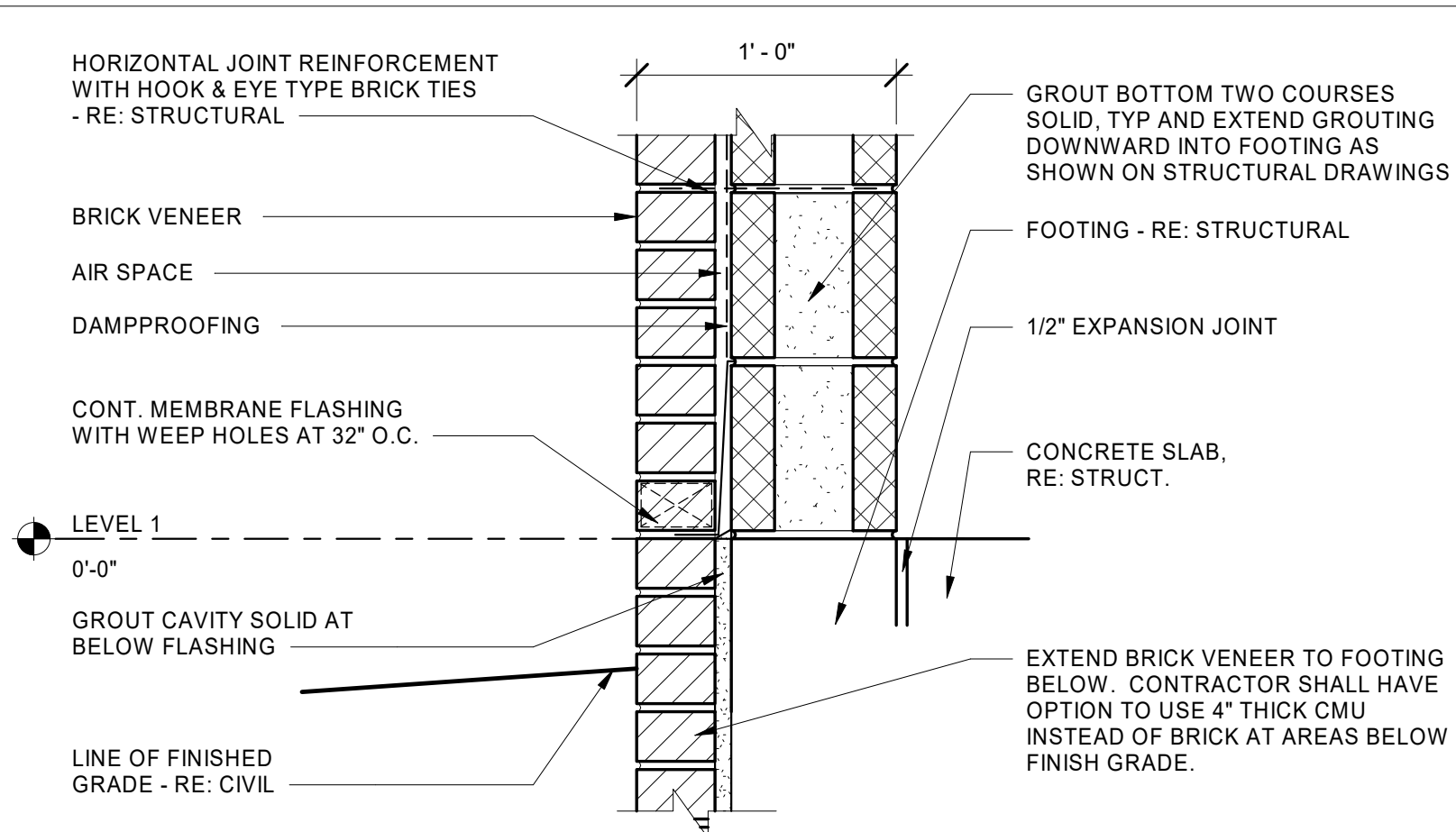


C2 REFUSE ENCLOSURE ELEVATION
1/4" = 1'-0"

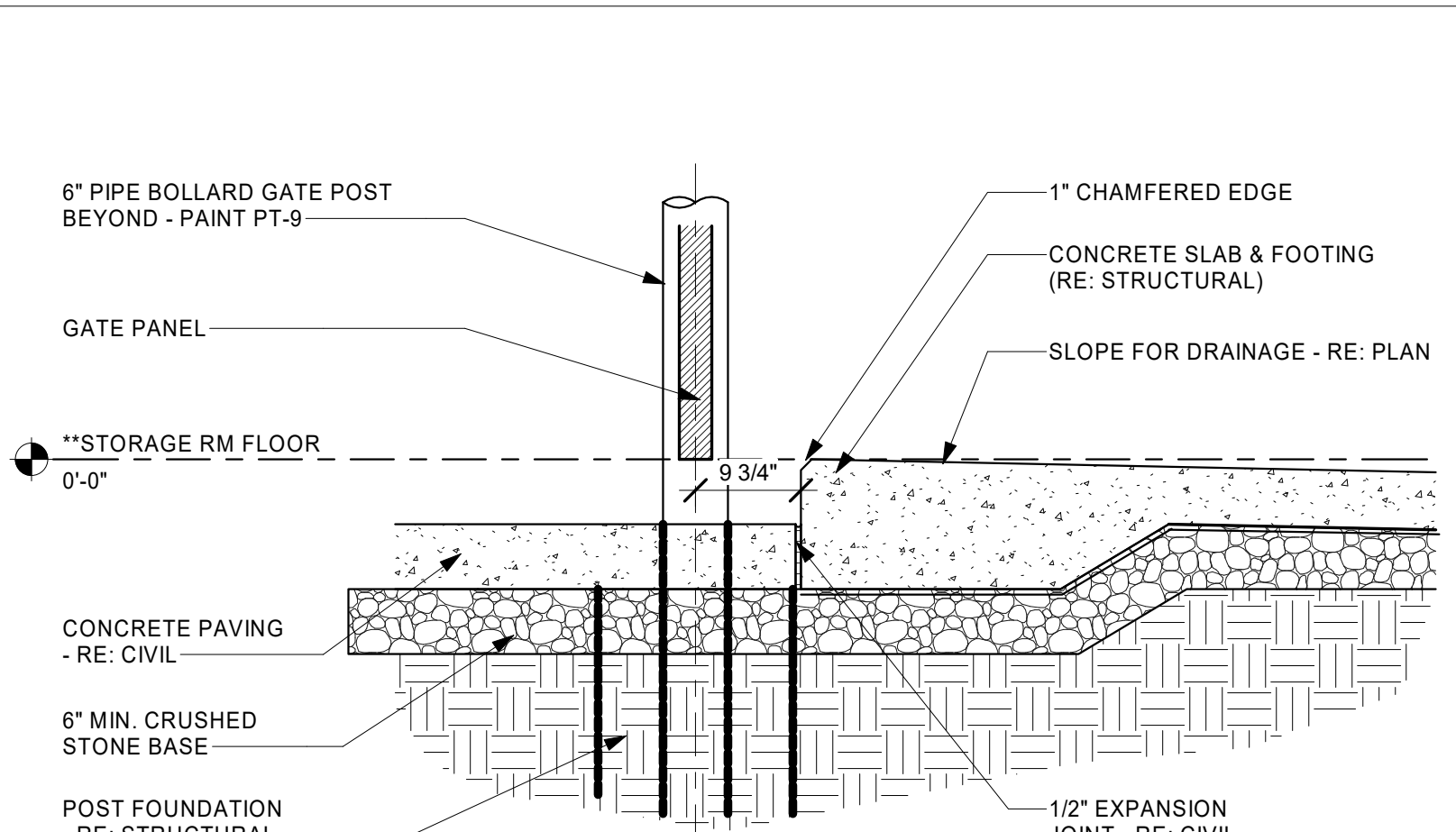


C1 REFUSE ENCLOSURE DOOR JAMB DETAIL
1 1/2" = 1'-0"

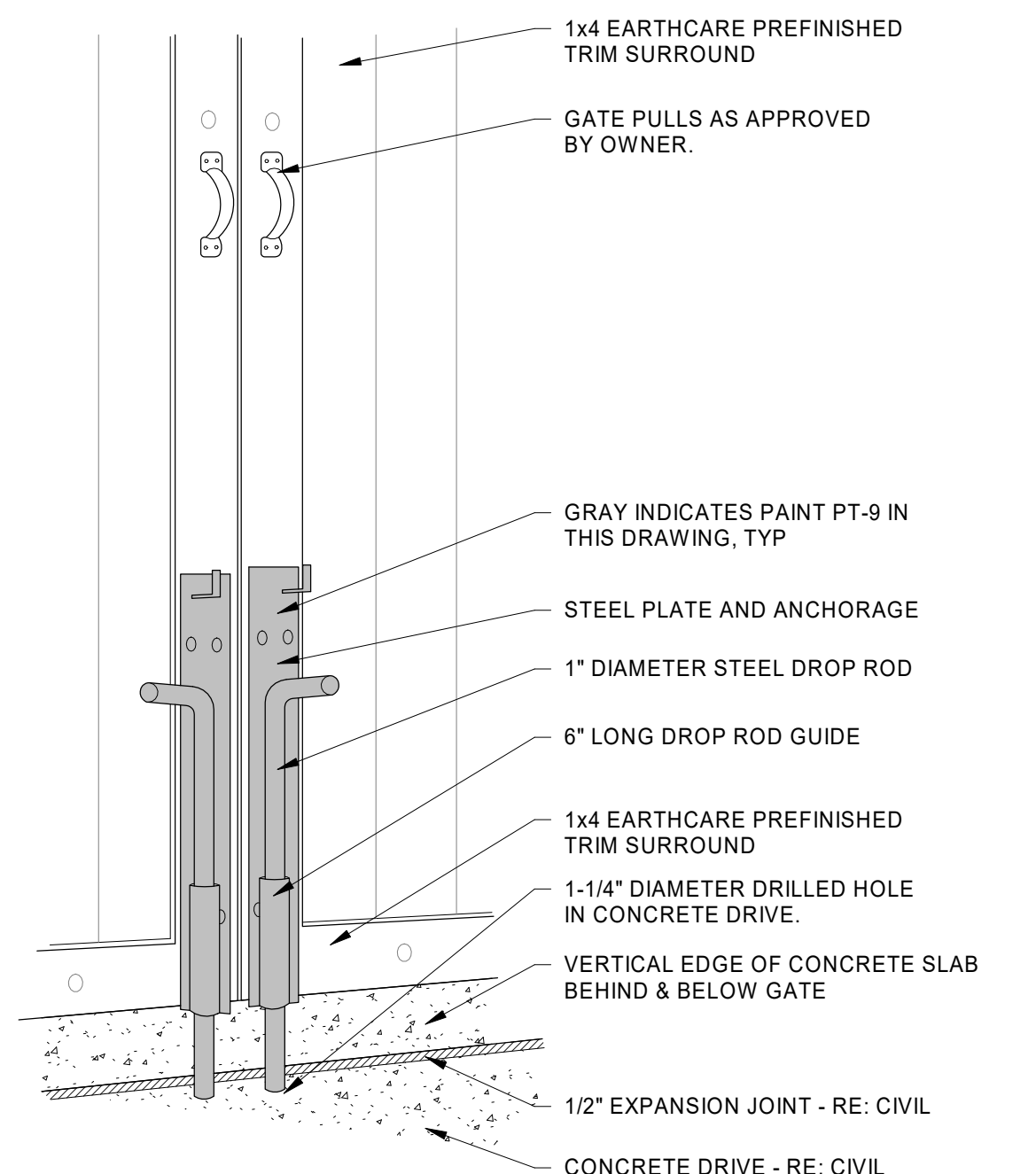
A301_FINISH SCHEDULE - EXTERIOR						
MARK	DESCRIPTION	MANUFACTURER	MODEL NAME	MODEL NUMBER	COLOR	NOTE
EXTERIOR						
BR-A	BRICK VENEER (PRIMARY)	REDLAND BRICK	MODULAR		TAKOMA #651	
BR-B	BRICK VENEER (ACCENT)	REDLAND BRICK	MODULAR		LIGHT BUFF MATT	
CP-1	CANOPY METAL FASCIA		DURA COAT	DC19ST-2703	DARK BRONZE	OIL RUBBED BRONZE METALLIC TEXTURE PVD
CP-2	CANOPY METAL DECK				WHITE	SMOOTH WHITE, HIGH GLOSS
EC-1	PARAPET WALL COPING	DUROLAST / EXCEPTIONAL METALS			DARK BRONZE (MATTE)	
EC-2	PARAPET WALL COPING	DUROLAST / EXCEPTIONAL METALS			ALMOND (MATTE)	
EC-3	PRECAST STONE COPING	ROCKCAST	#CO-300 12"W x 47 5/8"L		BUFFSTONE	
PT-100	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC #B66-350	SW 2807	ROOKWOOD	REFUSE ENCLOSURE. FINISH: SEMI-GLOSS ON DOOR FRAMES, SATIN ON WALLS
PT-113	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC #B66-350		DARK BRONZE	FINISH: SEMI-GLOSS
ST-1	STOREFRONT	YKK	YES 45		DARK BRONZE (MATTE)	



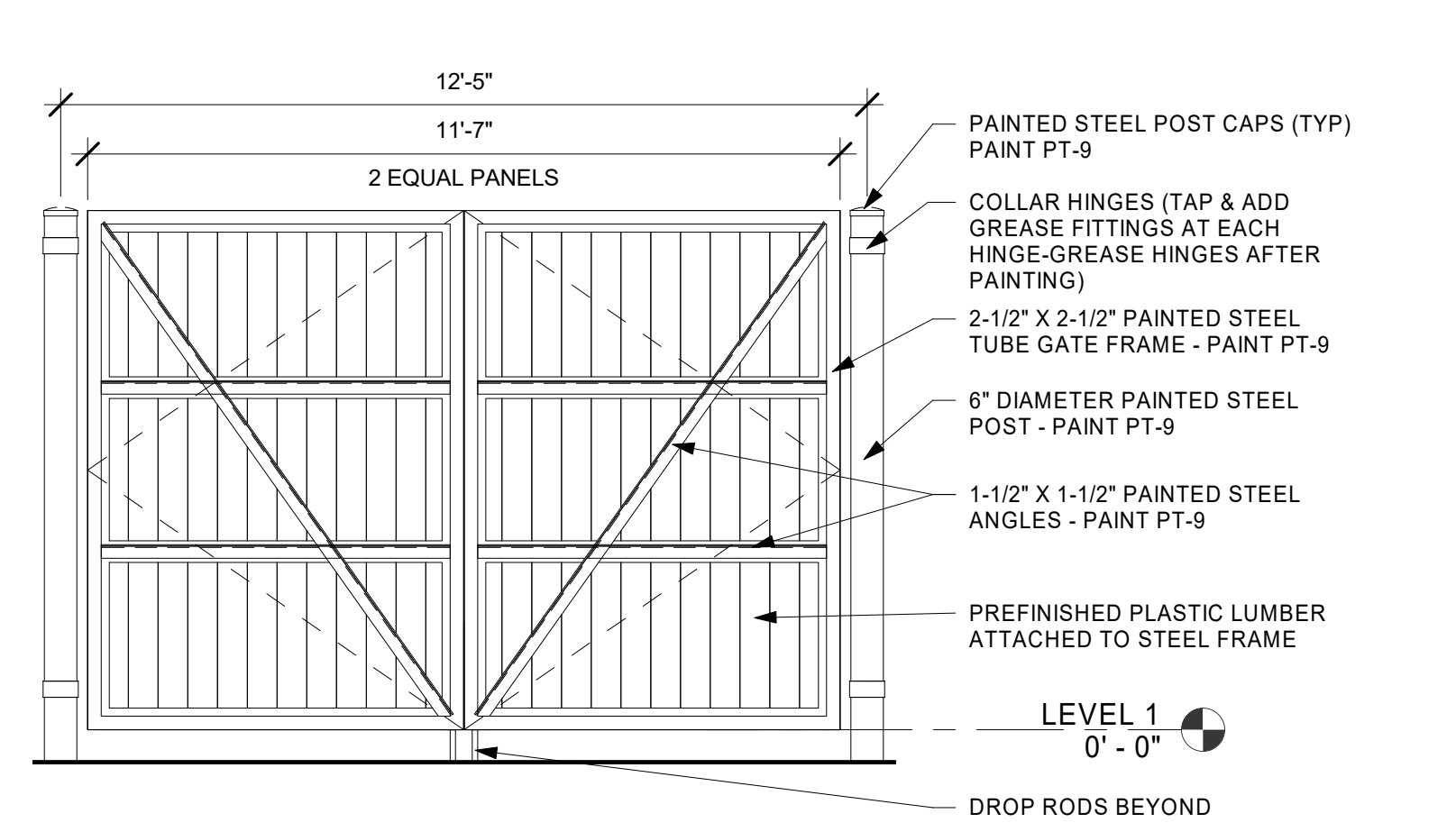
B2 REFUSE ENCLOSURE BASE DETAIL
1 1/2" = 1'-0"



B1 REFUSE PAD AT CONCRETE PAVING DETAIL
3/4" = 1'-0"



A3 REFUSE ENCLOSURE DROP ROD 3-D DETAIL
N.T.S.



A2 REFUSE ENCLOSURE ELEVATION
3/8" = 1'-0"

REFUSE ENCLOSURE NOTES

- ** IN THE ARCHITECTURAL DRAWINGS, REFUSE ENCLOSURE AND MAIN BUILDING ARE BOTH NOTED WITH FINISH SLAB AT 0'-0". ACTUAL FINISH SLAB HEIGHTS WILL VARY BETWEEN MAIN BUILDING AND REFUSE ENCLOSURE. REFER TO CIVIL FOR ALL FINISH SLAB HEIGHTS.

BIM 360/VA/04332_Barracks Road_Charlottesville_VA_FSR_Custom FSR_04332_Barracks Road_ARC.rvt
4/27/2020 10:23:32 AM
10-04332-A-103-REFUSE ENCLOSURE



CHICK-FIL-A
Barracks Road
Emmet Street
Charlottesville, VA 22903

FSR#04332
BUILDING TYPE / SIZE:
RELEASE: v2_19_05

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

PRELIMINARY

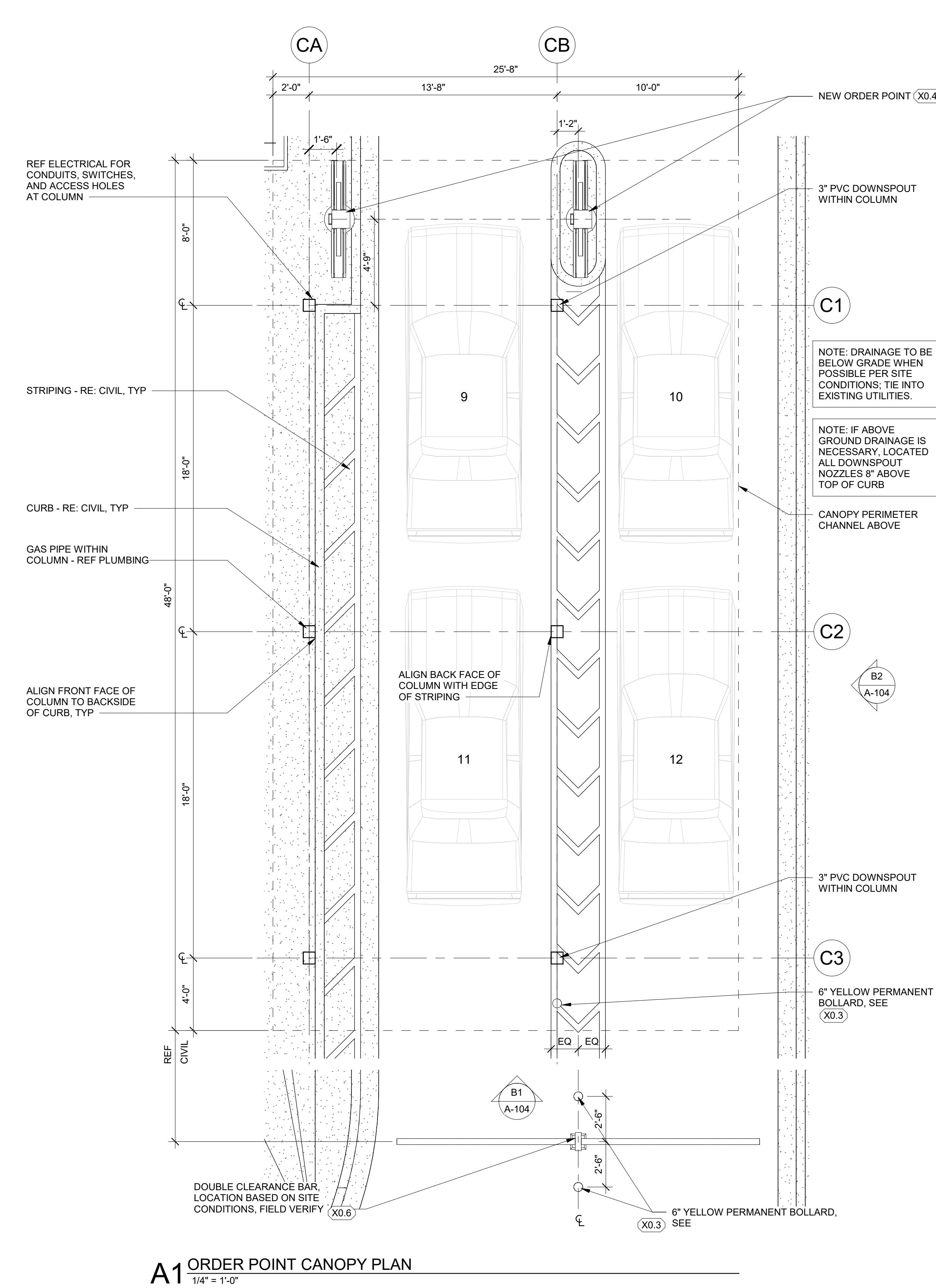
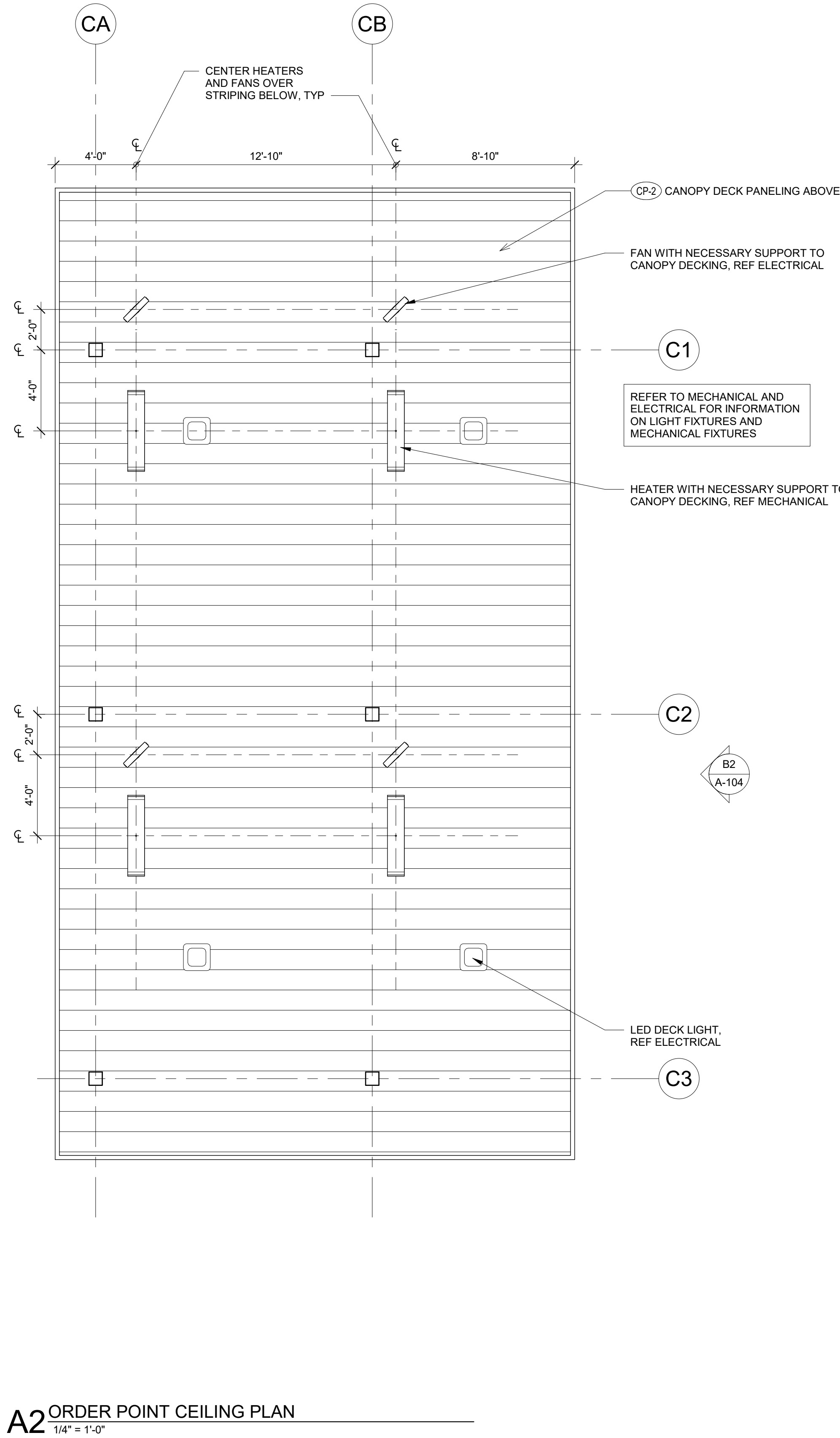
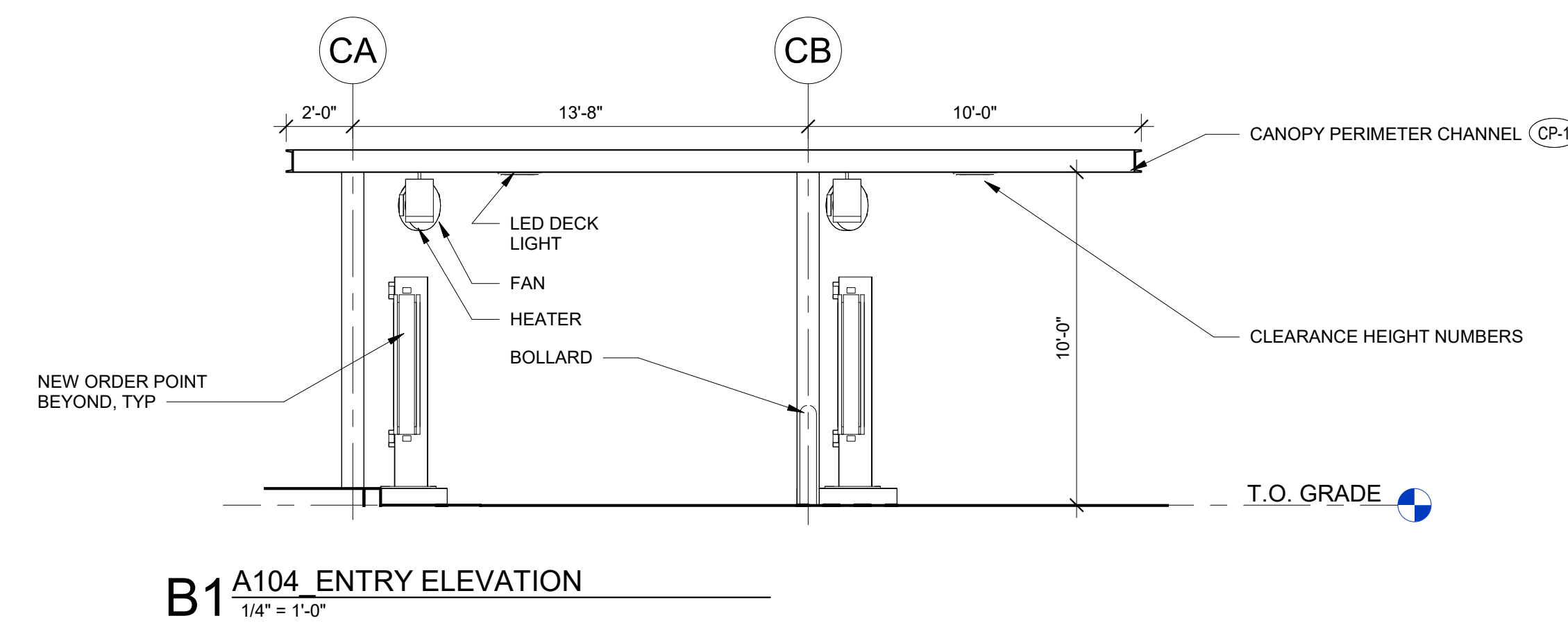
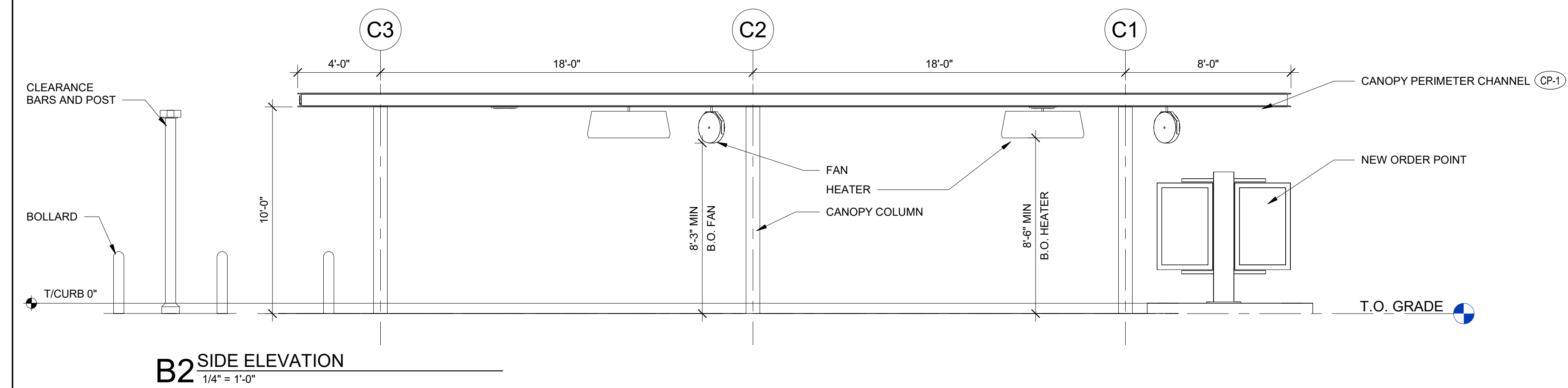
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SHEET
REFUSE ENCLOSURE

SHEET NUMBER
A-103

A104_ORDER POINT EQUIPMENT SCHEDULE									
TAG	EQUIPMENT	APPLICABLE TIER			SUPPLIER	CONTACT	MANUFACTURER	MODEL NUMBER	COMMENTS
		1	2	3					
X0.3	BOLLARD SLEEVE	-	X	X	GC	-	INTERSTATE PRODUCTS OR EQUAL	1736YRS - EAGLE 6"	6 7/8" ID, 7 3/8" OD, 56" H; Color: Safety Yellow w/ reflective Red Stripe. High-density polyethylene (HDPE) construction with uv inhibitors; Slide-on & trim per manufacturer's installation instructions
X0.4	C7 ORDER POINT TWO CANOPY	-	X	X	UNISTRUCTURES OR CHANDLER SIGNS	Carolyn Ward (678-974-1759) c.ward@unistructures.com OR Kristen Hamilton, Amy McCann, or Scarlett Quintero (210-349-3804) CFA@chandlersigns.com	UNISTRUCTURES OR CHANDLER SIGNS	-	83" L x 15" W x 77" H. See shop drawings for more information; Matte Black textured finish. Route conduit from building to order point as indicated on drawings
X0.6	C7 DOUBLE CLEARANCE BAR	-	BY SITE	BY SITE	UNISTRUCTURES OR CHANDLER SIGNS	SEE X0.4	UNISTRUCTURES OR CHANDLER SIGNS	-	14'-6 1/2" L x 9'-0" H. See shop drawings for more information; Matte Black textured finish
X0.19	CLEARANCE TEXT	-	X	X	LANE OR FASHION	Larry Tolbert (705-545-7615) ltolbert@lanesupplyinc.com OR Jason Holmes (765-242-8111) jholmes@fashioninc.com	LANE OR FASHION	-	9'-0" clearance text; metallic vinyl numbers. Text heights vary by canopy - see shops for component and dimension info. Canopy vendor to install on order point canopies per drawings.



Chick-fil-A

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998



E+H ARCHITECTS P.C.
750 OLD HICKORY BLVD, SUITE 250
BRENTWOOD, TN 37027
PHONE: 615.377.3111
FAX: 615.377.0978
EMAIL: GENMAIL@EANDHARCH.COM
I HEREBY CERTIFY THAT THESE PLANS
HAVE BEEN PREPARED UNDER MY
SUPERVISION AND THAT TO THE BEST OF
MY KNOWLEDGE, THE SAME COMPLY WITH
ALL RULES, REGULATIONS AND
ORDINANCES OF

CHICK-FIL-A
Barracks Road
Emmet Street
Charlottesville, VA 22903

FSR#04332
BUILDING TYPE / SIZE: P12 LS ALL
RELEASE: v2_19.05

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

PRELIMINARY

CONSULTANT PROJECT #
PRINTED FOR: PRELIMINARY
DATE: 09/03/2019
DRAWN BY: Author

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SHEET: ORDER POINT CANOPY
SHEET NUMBER: **A-104**

BIM: 360/VA_04332_Barracks Road_Charrlottesville_VA_FSR_04332_Barracks Road_ARC.rvt
3/25/2020 9:16:28 AM
10-LS-04332-A-104-ORDER POINT CANOPY



"LIGHT BUFF MATT" #850 BY
REDLAND BRICK

"TAKOMA" #651 BY REDLAND
BRICK

ALUMINUM STOREFRONT IN
"DARK BRONZE" BY YKK

SPECIFICATIONS

SIGN CABINET IS ALUMINUM CONSTRUCTION DECORATED WITH CHANNEL LETTER LOGOS ON SURFACE OF CABINET

MASONRY WORK AND CONCRETE PAD FOR MASONRY WORK IS FURNISHED BY THE GENERAL CONTRACTOR SIGN FOUNDATION IS FURNISHED BY CLAYTON SIGNS, INC.

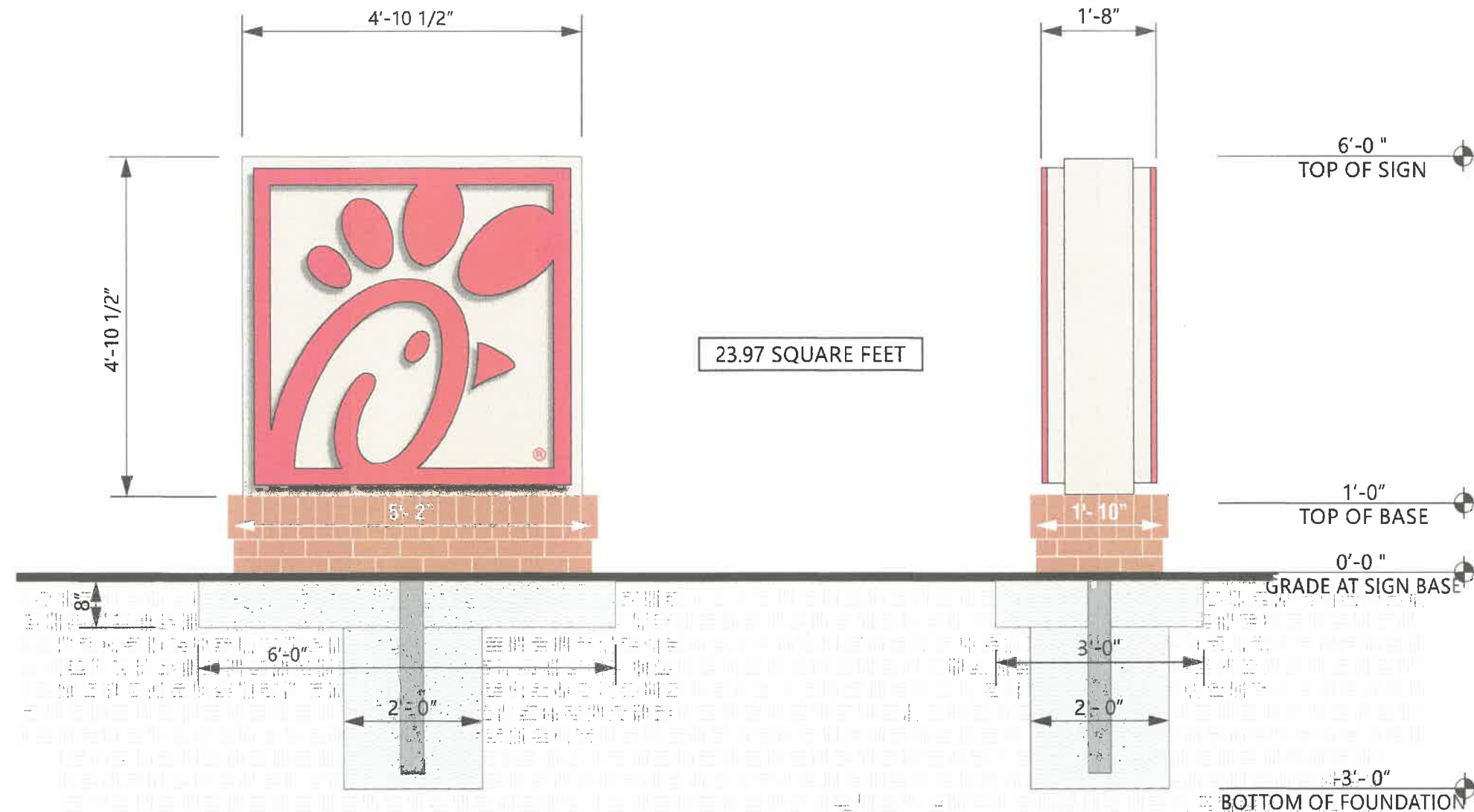
 CHANNEL LETTER FACES
2793 RED ACRYLIC TRIMCAP RETAINER-
1" RED JEWELITE TRIMCAP

 ALUMINUM RETURNS PAINTED TO MATCH BUILDING

 MASONRY TO MATCH BUILDING



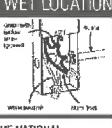
THE LEVEL OF ILLUMINATION PROVIDED BY THE LED LIGHTS WILL NOT EXCEED THE ILLUMINATION PRODUCED BY A SINGLE STROKE OF 30 MILLIAMPS (MA) NEON.

THE CABINET BACKGROUND SHALL BE OPAQUE WHEN ILLUMINATED; ONLY THE GRAPHIC SHALL ILLUMINATE.



ELEVATION
SCALE - 1/2" = 1'- 0"

END VIEW
SCALE - 1/2" = 1'- 0"

 DOUBLE FACED CABINET 	LEADS GEWHICSP6 - 71K - DOUBLE SIDED POWER SUPPLY 6PWS24 - 24V POWER SUPPLY	WET LOCATION 
	DONOR: THE SIGNS ARE TO BE BLACK SURF AND WHITE (NEUTRAL) INLET WIRES OF THE POWER SUPPLY USING 18-14 AWG TWIST TWI WIRE CONNECTORS. GROUND POWER SUPPLY GREEN WIRE TO GROUNDING SCREW. REPLACE JUNCTION BOX COVER.	
THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING & BONDING OF THE SIGN.		



5198 North Lake Drive
Lake City, GA 30260
404.361.3800
www.claytonsigns.com

MONUMENT SIGN

DRAWING FILE - CFA - CHARLOTTESVILLE, VA (BARRACKS) SIGNAGE.CDR

ALL ELECTRICAL SIGNS ARE 120 VOLTS UNLESS OTHERWISE INDICATED

DRAWN BY Ben Holliday
ACCOUNT REP. Ben Holliday
DRAWING DATE November 13, 2019
REVISION DATE November 13, 2019

STORE NUMBER	STORE ADDRESS
L04332	Chick-fil-A at Charlottesville, VA (Barracks) 1000 Emmet Street North Charlottesville, VA 22903

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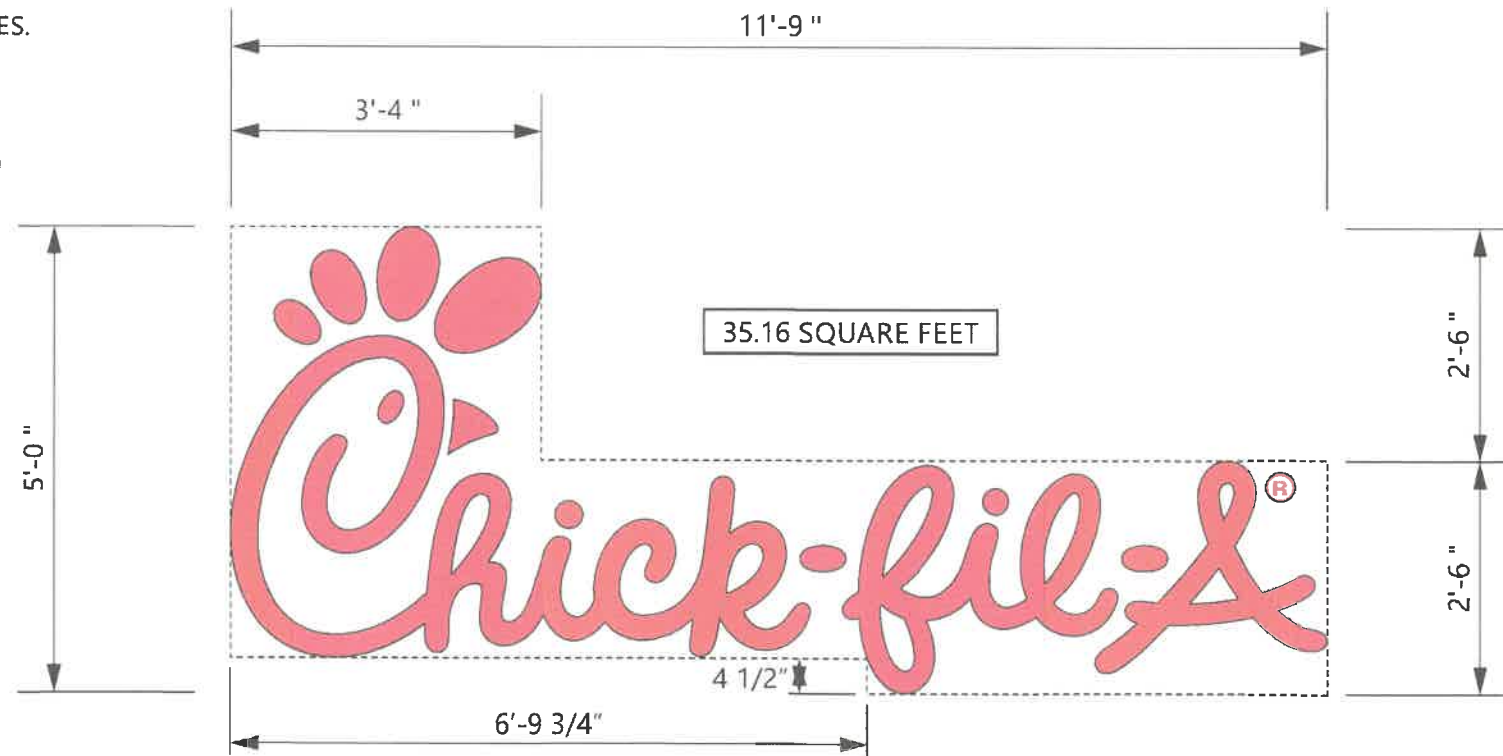
LOCATION
A

SPECIFICATIONS

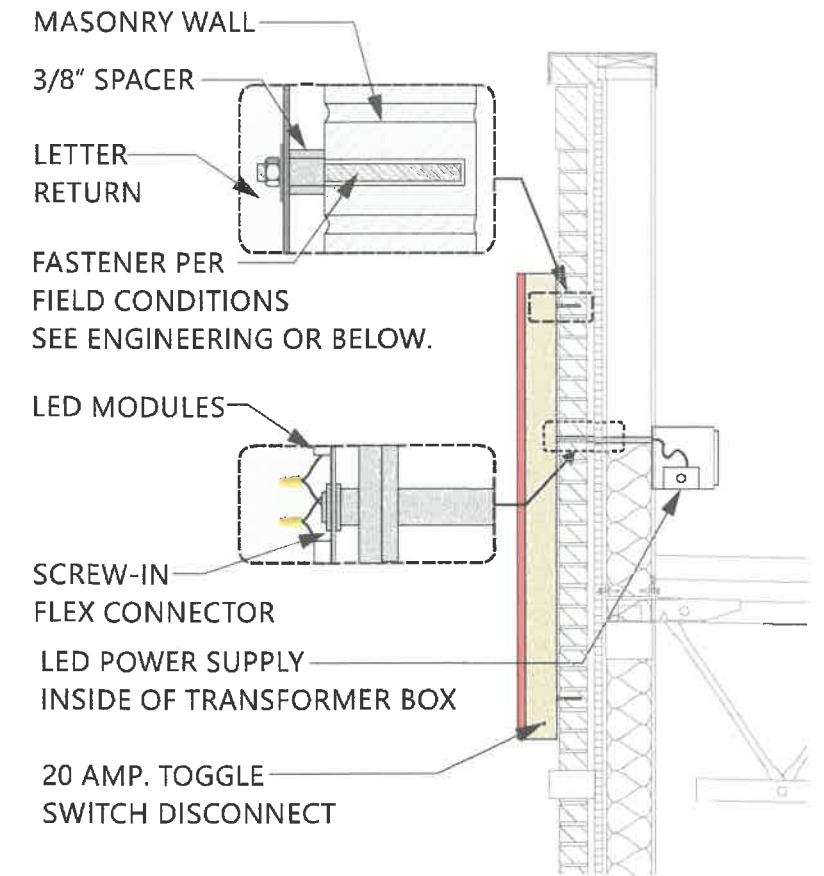
CHICK-FIL-A SCRIPT LETTERS
 LETTERS ARE LED-ILLUMINATED
 CHANNEL LETTERS MOUNTED
 ON ALUMINUM SURFACE OF BUILDING
 WITH TRANSFORMERS REMOTELY
 LOCATED BEHIND THE WALL IN
 UL APPROVED TRANSFORMER BOXES.
 FACES ARE 3/16" ACRYLIC
 RETURNS ARE .063 ALUMINUM
 BACKS ARE .080 ALUMINUM
 ALL RETURNS ARE ARC-WELDED TO
 LETTER BACKS

- CHANNEL LETTER FACES
 2793 RED ACRYLIC
 TRIMCAP RETAINER-
 1" RED JEWELITE TRIMCAP
- ALUMINUM RETURNS
 PAINTED TO MATCH
 SHERWIN WILLIAMS
 SW6108 LATTE

THE LEVEL OF ILLUMINATION PROVIDED BY THE LED LIGHTS
 WILL NOT EXCEED THE ILLUMINATION PRODUCED BY A
 SINGLE STROKE OF 30 MILLIAMPER (MA) NEON.



ELEVATION
 SCALE - 1/2" = 1'- 0"



FASTENER NOTE:
 USE 18-8 STAINLESS STEEL BOLTS W/ SPACERS THRU EIFS.
 EXPANSION BOLTS IN CONCRETE OR BRICK WALLS.
 TOGGLE BOLTS IN CONCRETE BLOCK OR PANEL WALLS.
 TEK SCREWS IN METAL STUDS. LAG-BOLTS IN WOOD STUDS.
 ALL THREAD BOLTS WITH BLOCKING BETWEEN STUDS.

CROSS-SECTION
 SCALE - 1/2" = 1'- 0"

CLAYTON Signs UL LISTED	CHANNEL LETTERS (RED ILLUMINATION) LED'S JTSLS016R-Q 4 RED LED POWER SUPPLY 3L-120-12-60 POWER SUPPLY	WET LOCATION CONNECT THE AC LINE TO THE BLACK (LINE) AND WHITE (NEUTRAL) HOT WIRES OF THE POWER SUPPLY LEADS 18-14 AWG TWIST ON WIRE CONNECTORS. GROUND POWER SUPPLY GREEN WIRE TO GROUNDING SCREW. REPLACE JUNCTION BOX COVER.
THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING & BONDING OF THE SIGN.		



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**LED-ILLUMINATED
 CHANNEL LETTERS**

DRAWING FILE - CFA - CI CHARLOTTESVILLE, VA (BARRACKS) SIGNAGC.CDR

ALL ELECTRICAL
 SIGNS ARE
 120 VOLTS
 UNLESS
 OTHERWISE INDICATED

DRAWN BY Ben Holliday
 ACCOUNT REP. Ben Holliday
 DRAWING DATE November 13, 2019
 REVISION DATE November 13, 2019

STORE NUMBER	STORE ADDRESS
L04332	Chick-fil-A at Charlottesville, VA (Barracks) 1000 Emmet Street North Charlottesville, VA 22903

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**LOCATION
 B,C,E**

SPECIFICATIONS

GRAPHICS ARE PAINTED ON BRICK SURFACE



PAINTED TO MATCH
PANTONE 186C RED



ELEVATION

SCALE - 3/8" = 1'- 0"



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PAINTED WALL MURAL

DRAWING FILE - CFA - CI1 (ARLOTTESVILLE, VA (BARRACKS)) SIGNAGE.CDR

ALL ELECTRICAL
SIGNS ARE
120 VOLTS
UNLESS
OTHERWISE INDICATED

DRAWN BY Ben Holliday
ACCOUNT REP. Ben Holliday
DRAWING DATE November 13, 2019
REVISION DATE November 13, 2019

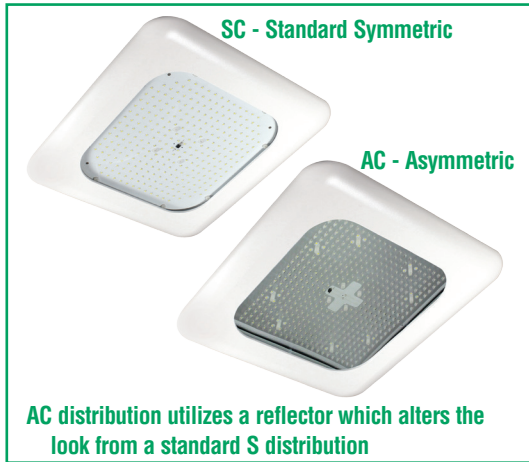
STORE NUMBER	STORE ADDRESS
L04332	Chick-fil-A at Charlottesville, VA (Barracks) 1000 Emmet Street North Charlottesville, VA 22903

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LOCATION

F

LED CANOPY LIGHT - LEGACY™ (CRUS)



DOE LIGHTING FACTS

Department of Energy has verified representative product test data and results in accordance with its Lighting Facts Program. Visit www.lightingfacts.com for specific catalog strings.

US & Int'l. patents pending.

HOUSING - Low profile, durable die-cast, aluminum construction, providing a reliable weather-tight seal.

LEDS - Features an array of select, mid-power, high brightness, high efficiency LED chips; 5000K color temperature, 70 CRI (nominal).

DRIVE CURRENT - Choice of Very Low Wattage (VLW), Low Wattage (LW), Super Saver (SS), High Output (HO) or Very High Output (VHO).

OPTICS / DISTRIBUTION - Choice of Symmetrical or Asymmetrical, which directs light through a clear tempered glass lens, to provide a uniform distribution of light to vertical and horizontal surfaces.

OPTICAL UNIT - Features an ultra-slim 7/8" profile die-cast housing, with a flat glass lens. Unit is water-resistant, sealed to an IP67 rating. Integral designed heat sink does not trap dirt and grime, ensuring cool running performance over the life of the fixture.

PRESSURE STABILIZING VENT - Luminaire assembly incorporates a pressure stabilizing vent breather to prevent seal fatigue and failure.

HAZARDOUS LOCATION - Designed for lighter than air fuel applications. Product is suitable for Class 1 Division 2 only when properly installed per LSI installation instructions (consult factory).

DRIVER - State-of-the-art driver technology superior energy efficiency and optimum light output. Driver components are fully encased in potting for moisture resistance. Complies with IEC and FCC standards. 0-10 V dimming supplied standard with all drive currents.

DRIVER HOUSING - Die-cast aluminum, wet location rated driver/electrical enclosure is elevated above canopy deck to prevent water entry, provide easy "knock-out" connection of primary wiring and contributes to attaining the lowest operating temperatures available. Seals to optical housing via one-piece molded silicone gasket.

OPERATING TEMPERATURE - -40°C to 50°C (-40°F to +122°F)

ELECTRICAL - Universal voltage power supply, 120-277 VAC, 50/60 HZ input. Drivers feature two-stage surge protection (including separate surge protection built into electronic driver) meets IEEE C62.41.2-2002, Scenario 1, Location Category C.

FINISH - Standard color is white and is finished with LSI's DuraGrip® polyester powder coat process. DuraGrip withstands extreme weather changes without cracking or peeling.

INSTALLATION - One person installation. No additional sealant required. Installs in a 12" or 16" deck pan. Deck penetration consists of a 4" hole, simplifying installation and water sealing. Unit is designed to quickly retrofit into existing Scottsdale (4") hole as well as openings for Encore and Encore Top Access and to reconnect wiring for the SC/ECTA without having to relocate the conduit. Retro panels are available for existing Encores (see back page) as well as kits for recessed and 2x2 installations (see separate spec sheets). Support brackets are provided standard, to prevent sagging of deck.

SHIPPING WEIGHT - 27 pounds (single pack), 48 pounds (double pack).

EXPECTED LIFE - Minimum 60,000 to 100,000 hours depending upon the ambient temperature of the installation location. See LSI web site for specific guidance.

WARRANTY - Limited 5-year warranty.

LISTING - UL and ETL listed to UL 1598, UL 8750 and other U.S. and International safety standards. Suitable for wet locations.

PHOTOMETRICS - Please visit our web site at www.lsi-industries.com for detailed photometric data.

Consult Factory

Class 1, Division 2 – Available on LW and SS

T5 Temperature Classification – The surface temperature of this product will not rise above 100°C., within a 40°C ambient.

Gas Groups A,B,C, and D – Group A: Acetylene / Group B: Hydrogen / Group C: Propane and Ethylene / Group D: Benzene, Butane, Methane & Propane.

This product, or selected versions of this product, meet the standards listed below. Please consult factory for your specific requirements.



IP67



Project Name _____ Fixture Type _____
 Catalog # _____

08/28/17

© 2017
 LSI INDUSTRIES INC.

LED CANOPY LIGHT - LEGACY™ (CRUS) LSI Industries CRUS-SC-LED-LW-30

LUMINAIRE ORDERING INFORMATION

TYPICAL ORDER EXAMPLE: **CRUS SC LED HO 50 UE WHT**

Prefix	Distribution ¹	Light Source	Drive Current	Color Temperature	Input Voltage	Finish	Options
CRUS	SC - Standard Symmetric AC - Asymmetric	LED	VLW - Very Low Watt LW - Low Watt SS - Super Saver HO - High Output VHO - Very High Output	50 - 5000K *	UE - Universal Voltage (120-277V) 347 - 480V	WHT - White BRZ - Bronze BLK - Black	HL - Hazardous location available on LW and SS

FOOTNOTES:

1- AC distribution utilizes a reflector which alters the look from a standard S distribution.

* City staff note: Lamp with 3000K CT is available. (-30)

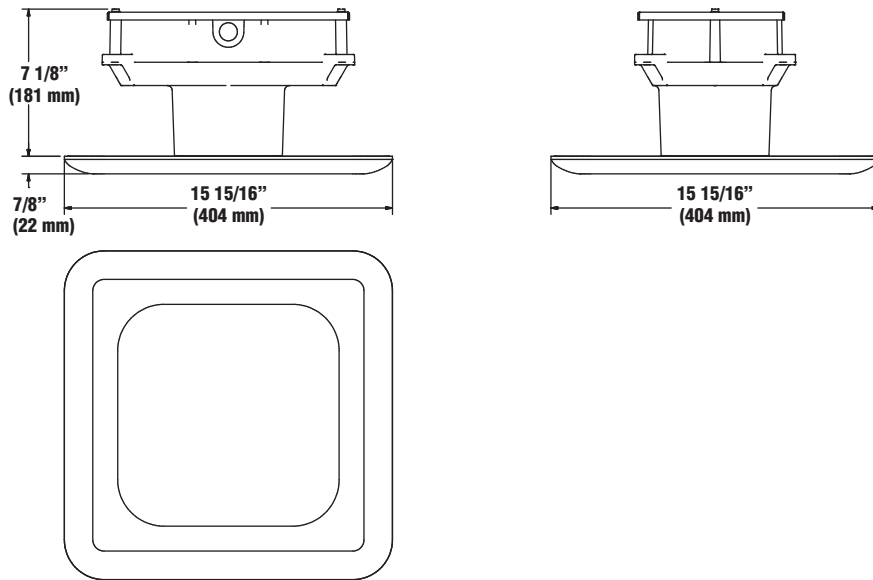
See <https://www.lsicorp.com/wp-content/uploads/documents/products/crus-specsheet.pdf>

ACCESSORY ORDERING INFORMATION

(Accessories are field installed)

Description	Order Number	Description	Order Number
Retrofit Panels - EC / ECTA / SCF to CRU, for 16" Deck Panel	525946	Kit - Hole Plugs and Silicone (enough for 25 retrofits) ¹	1320540
Retrofit Panels - ECTA / SCF to CRU, for 12" Deck Panel	530281	1- Consists of (25) 7/8" hole plugs and (1) 10.3 oz tube of RTV	
Retrofit 2x2 Cover Panel Blank (no holes)	357282		
Retrofit RIC Cover Panel Blank (no holes)	354702		

DIMENSIONS



LIGHT OUTPUT - CRUS

		Lumens		Watts SC/AC	LPW	
		SC	AC		SC	AC
Cool White	VLW - Very Low Watt	9055	7632	61	148	125
	LW - Low Watt	10525	8884	74	142	120
	SS - Super Saver	13674	11595	98	140	118
	HO - High Output	18633	15145	132	141	115
	VHO - Very High Output	22418	17262	159	141	109



Project Name _____ Fixture Type _____
Catalog # _____

08/28/17
© 2017
LSI INDUSTRIES INC.

CYLINDER

Wall mounted • Damp location listed



Specifications:

Description:

The P5675 Series are ideal for a wide variety of interior and exterior applications including residential and commercial. The Cylinders feature a 120V alternating current source and eliminates the need for a traditional LED driver. This modular approach results in an encapsulated luminaire that unites performance, cost and safety benefits.

Construction:

- Black (-31) (powdercoat)
- Die cast and extruded aluminum construction metal shade
- Flicker-free dimming to 10% brightness with most ELV type dimmers (See Dimming Notes)
- Back plate covers a standard 4" hexagonal recessed outlet box
- Mounting strap for outlet box included
- 6" of wire supplied
- Wet location listed when used with P8799 lens cover (sold separately)

Performance:

Number of Modules	2
Input Power	17W
Input Voltage	120V
Input Frequency	60Hz
Lumens/LPW (Down)	795/46 (LM-79) per module
Lumens/LPW (Up)	795/46 (LM-79) per module
CCT	3000K
CRI	90
Life	60,000 (L70/TM-21)
EMI/RFI	FCC Title 47, Part 15, Class B
Min. Start Temp	-30° C
Max. Operating Temp	30° C
Warranty	5 year warranty
Labels	cCSAus Damp location listed

P5675-31/30K

Images:



Dimensions:

- Width: 5"
- Height: 14"
- Depth: 8-7/8"
- H/CTR: 8"

Catalog number:

Base	Finish	Color Temp	CRI
P5675	31 - Black	30K - 3000K	Blank- 90 CRI

P5675-31/30K

Dimming Notes:

P5675 is designed to be compatible with many Electronic Low Voltage (ELV-Reverse Phase) controls.

The following is a partial list of known compatible dimmer controls:

Electronic Low Voltage ELV Reverse Phase Controls

Lutron	Diva Series	(Part Number DVELV-300P)
Lutron	Nova T Series	(Part Number NTELV-300)
Lutron	Vierti Series	(Part Number VTELV-600)
Lutron		(Part Number MAELV-600)
Lutron		(Part Number SPELV-600)
Leviton		(Part Number AWRMG-EAW)
Leviton		(Part Number 6615-P)

Digital type dimmers are not recommended.

Dimming capabilities will vary depending on the dimmer control, load, and circuit installation.

Always refer to dimmer manufacturer instructions or a controls specialist for specific requirements.

Dimmer control brand names where identified above are trade names or registered trademarks of each respective company.

DESCRIPTION

The Halo RL4 series is a retrofit LED Baffle-Trim Module for 4" aperture recessed downlights. The RL4 is designed for use with compatible 4" housings. The RL4 integral LED driver is dimmable at 120 volts. The RL4 lens provides uniform illumination and wet location listing. The RL4 die-cast construction makes any housing AIR-TITE for added HVAC savings and code compliance.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

MECHANICAL Module-Trim

- Module construction includes LED, heat sink, reflector, lens, baffle and trim ring
- Durable die-cast aluminum construction
- Regressed baffle
- Heat sink designed to conduct heat away from the LED keeping the junction temperatures below specified maximums, even when installed in insulated ceiling environments
- Halo finish options
 - Matte White paint finish (WH)
 - Satin Nickel plated finish (SN)

Lens

- Regressed lens
- Impact-resistant polycarbonate
- Convex form for lamp-like appearance
- High lumen transmission
- Diffusing for even illumination

MOUNTING

Friction Blades

- Precision formed spring blades secure module to compatible housings.
- Friction blade design allows the RL4 to be installed in any position within the housing aperture (360 degrees).

Housing Compatibility

See Housing Compatibility section.

LED

- Color Temperature (CCT)[†]
Options: 2700K, 3000K, and 3500K
- Color Rendering Index (CRI)[†]
Options: 80 and 90
- LED is a chip on board design consisting of a multiple LED package with proximity phosphor coating to create one virtual white light source for a productive "cone of light"

ELECTRICAL

Power Connections

- LED connector is a non-screw base luminaire disconnect offering easy installation with the matching Halo H995 Series housings.
- LED Connector meets California Title-24 high-efficacy luminaire requirement for a non-screw base socket, and where required to qualify as a high-efficacy luminaire.
- The included E26 medium screw-base Edison adapter provides easy retrofit of incandescent housings (see Housing Compatibility).

Ground Connection

- Separate grounding cable included on the RL4 module for attachment to the housing during installation.

LED Driver

- Dimmable driver is a 120 Volt, high efficiency, electronic power supply providing DC power to the LED.
- Driver meets FCC EMI/RFI Consumer Level limits for use in residential and commercial installations.
- Driver features high power factor, low THD, and has integral thermal protection in the event of over temperature or internal failure.
- Driver mounts externally to the module, allowing future replacement, if needed.

Dimming

- The Halo RL4 LED is designed for dimming capability to 10% in normal operation with standard 120V LED-Rated, electronic low voltage, and many incandescent dimmers. The LED module may also dim to 5% nominal using dimmers with low end trim adjustment. (Consult dimmer manufacturer for dimmer details. Note, some dimmers require a neutral in the wallbox.)

Warranty

Cooper Lighting provides a five year limited warranty on the RL4 LED.

COMPLIANCE Labels

- UL/cUL Listed 1598 Luminaire (with listed housings)
- UL/cUL Listed for Damp Location
- UL/cUL Listed for Wet Location – Shower Applications
- IP65 Ingress Protection rated
- May be installed in housings in direct contact with air-permeable insulation** and combustible material

Qualification

- ENERGY STAR[®] qualified residential and commercial*
- Can be used for State of California Title 24 high efficacy luminaire compliance*
- Can be used for Washington State Energy Code (WSEC) and International Energy Conservation Code (IECC) high efficacy luminaire compliance

IC and AIR-TITE[™]

Certified under ASTM-E283 and listed UL/cUL 1598 with compatible housings, may be used to meet insulated ceiling** and restricted air-flow requirements such as:

- Washington State Energy Code (WSEC)
- International Energy Conservation Code (IECC)
- New York State Energy Conservation Construction Code (NY-ECCC)
- State of California Title 24 "Recessed Luminaires in Insulated Ceilings."



RL460WH[†]
White



RL460SN[†]
Satin Nickel

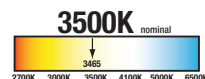
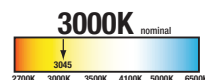
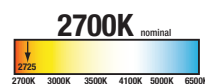
80CRI
2700K, 3000K and 3500K

90CRI
2700K, 3000K and 3500K

**4-Inch LED
Recessed Retrofit
Module-Trim**

**FOR USE IN
INSULATED CEILING
AND NON-INSULATED
CEILING RATED
HOUSINGS**

**HIGH EFFICACY LED
WITH INTEGRAL
DRIVER - DIMMABLE**



* Qualified and compliant. Refer to ENERGY STAR[®] Qualified Products List and CEC (T24) Appliance Database for listings.



LIGHTING FACTS

RL460WH827PK
2700K Source

lighting facts
A Program of the U.S. DOE

Light Output (Lumens)	575
Watts	10.5
Lumens per Watt (Efficacy)	54

Color Accuracy
Color Rendering Index (CRI) 81

Light Color
Correlated Color Temperature (CCT) 2700 (Warm White)

Warm White | Bright White | Daylight
2700K | 3000K | 4500K | 6500K

Warranty** Yes

All results, except LED Lumen Maintenance, are according to IESNA LM-79-2008. Approved Method for the Electrical and Photometric Testing of Solid-State Lighting. The U.S. Department of Energy (DOE) verifies product test data and results.

** See www.lightingfacts.com/products for details.

Registration Number: F4QJ4N4HZ4 (1/2/2013)
Model Number: RL460WH827 (approved 12/19/2012)
Type: Recessed downlight

RL460WH830PK
3000K Source

lighting facts
A Program of the U.S. DOE

Light Output (Lumens)	600
Watts	10.5
Lumens per Watt (Efficacy)	57

Color Accuracy
Color Rendering Index (CRI) 81

Light Color
Correlated Color Temperature (CCT) 3000 (Bright White)

Warm White | Bright White | Daylight
2700K | 3000K | 4500K | 6500K

Warranty** Yes

All results, except LED Lumen Maintenance, are according to IESNA LM-79-2008. Approved Method for the Electrical and Photometric Testing of Solid-State Lighting. The U.S. Department of Energy (DOE) verifies product test data and results.

** See www.lightingfacts.com/products for details.

Registration Number: F4QJ4C3YXK (1/2/2013)
Model Number: RL460WH830 (approved 12/19/2012)
Type: Recessed downlight

RL460WH835PK
3500K Source

lighting facts
A Program of the U.S. DOE

Light Output (Lumens)	650
Watts	10.5
Lumens per Watt (Efficacy)	61

Color Accuracy
Color Rendering Index (CRI) 81

Light Color
Correlated Color Temperature (CCT) 3441 (Bright White)

Warm White | Bright White | Daylight
2700K | 3000K | 4500K | 6500K

Warranty** Yes

All results are according to IESNA LM-79-2008. Approved Method for the Electrical and Photometric Testing of Solid-State Lighting. The U.S. Department of Energy (DOE) verifies product test data and results.

Visit www.lightingfacts.com for the Label Reference Guide.

Registration Number: F4QJ4K24X4 (6/24/2013)
Model Number: RL460WH835 (UPGRADE 06/2013)
Type: Recessed downlight

RL460WH930PK
3000K Source

lighting facts
A Program of the U.S. DOE

Light Output (Lumens)	525
Watts	10.5
Lumens per Watt (Efficacy)	50

Color Accuracy
Color Rendering Index (CRI) 92

Light Color
Correlated Color Temperature (CCT) 3000 (Bright White)

Warm White | Bright White | Daylight
2700K | 3000K | 4500K | 6500K

Warranty** Yes

All results are according to IESNA LM-79-2008. Approved Method for the Electrical and Photometric Testing of Solid-State Lighting. The U.S. Department of Energy (DOE) verifies product test data and results.

Visit www.lightingfacts.com for the Label Reference Guide.

Registration Number: F4QJ4YKQY (8/4/2013)
Model Number: RL460WH930
Type: Recessed downlight

RL460WH935PK
3500K Source

lighting facts
A Program of the U.S. DOE

Light Output (Lumens)	550
Watts	10.5
Lumens per Watt (Efficacy)	52

Color Accuracy
Color Rendering Index (CRI) 92

Light Color
Correlated Color Temperature (CCT) 3500 (Bright White)

Warm White | Bright White | Daylight
2700K | 3000K | 4500K | 6500K

Warranty** Yes

All results are according to IESNA LM-79-2008. Approved Method for the Electrical and Photometric Testing of Solid-State Lighting. The U.S. Department of Energy (DOE) verifies product test data and results.

Visit www.lightingfacts.com for the Label Reference Guide.

Registration Number: F4QJ4AR6SQ (8/28/2013)
Model Number: RL460WH935
Type: Recessed downlight

RL460SN827PK
2700K Source

lighting facts
A Program of the U.S. DOE

Light Output (Lumens)	525
Watts	10.5
Lumens per Watt (Efficacy)	50

Color Accuracy
Color Rendering Index (CRI) 81

Light Color
Correlated Color Temperature (CCT) 2700 (Warm White)

Warm White | Bright White | Daylight
2700K | 3000K | 4500K | 6500K

Warranty** Yes

All results, except LED Lumen Maintenance, are according to IESNA LM-79-2008. Approved Method for the Electrical and Photometric Testing of Solid-State Lighting. The U.S. Department of Energy (DOE) verifies product test data and results.

** See www.lightingfacts.com/products for details.

Registration Number: F4QJ4QY2X5 (1/4/2013)
Model Number: RL460SN827
Type: Recessed downlight

RL460SN830PK
3000K Source

lighting facts
A Program of the U.S. DOE

Light Output (Lumens)	550
Watts	10.5
Lumens per Watt (Efficacy)	52

Color Accuracy
Color Rendering Index (CRI) 81

Light Color
Correlated Color Temperature (CCT) 3000 (Bright White)

Warm White | Bright White | Daylight
2700K | 3000K | 4500K | 6500K

Warranty** Yes

All results, except LED Lumen Maintenance, are according to IESNA LM-79-2008. Approved Method for the Electrical and Photometric Testing of Solid-State Lighting. The U.S. Department of Energy (DOE) verifies product test data and results.

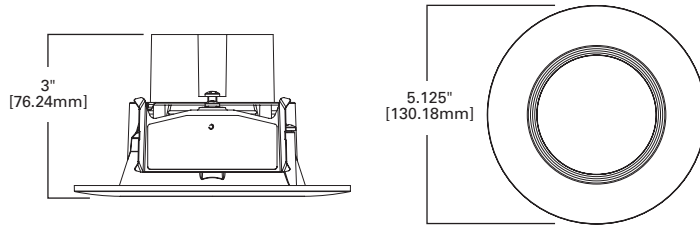
** See www.lightingfacts.com/products for details.

Registration Number: F4QJ4R289R (1/2/2013)
Model Number: RL460SN830 (approved 12/19/2012)
Type: Recessed downlight

ENERGY DATA

Energy Data (Typical)	
Min. Starting Temp -30°C (-22°F)	Sound Rating: Class A
EMI/RFI: FCC Title 47 CFR, Part 15, Class B (Consumer)	
Input Frequency: 50/60Hz	Input Voltage: 120V
THD: <20%	Power Factor: >0.90
Input Power: 9.0W - 10.5W (per CRI and CCT)	Input Current: 0.075A - 0.0875A (per input power)
Driver-Safety Agency Approvals: UL60950-1 Recognized, LPS output UL8750 Compliant	
Maximum IC (Insulated Ceiling) Ambient Continuous Operating Temperature: 25°C (77°F)	
Maximum Non-IC (NON-Insulated Ceiling) Ambient Continuous Operating Temperature: 40°C (104°F)	

DIMENSIONS



ORDERING INFORMATION

RL4 LED Module

SAMPLE NUMBER: RL460WH827PK

Complete unit includes RL4 LED and Halo H995 series LED housing, or compatible 4" E26 screw based housing (see: Housing Compatibility).

RL4 LED and housing to be ordered separately.

RL460WH Models

80 CRI

- RL460WH827PK= 4" LED Retrofit Module with regressed baffle and lens, White Baffle and Ring, 80 CRI, 2700K
- RL460SN827PK= 4" LED Retrofit Module with regressed baffle and lens, Satin Nickel Baffle and Ring, 80 CRI, 2700K
- RL460WH830PK= 4" LED Retrofit Module with regressed baffle and lens, White Baffle and Ring, 80 CRI, 3000K
- RL460SN830PK= 4" LED Retrofit Module with regressed baffle and lens, Satin Nickel Baffle and Ring, 80 CRI, 3000K
- RL460WH835PK= 4" LED Retrofit Module with regressed baffle and lens, White Baffle and Ring, 80 CRI, 3500K

90 CRI

- RL460WH927PK= 4" LED Retrofit Module with regressed baffle and lens, White Baffle and Ring, 90 CRI, 2700K
- RL460SN927PK= 4" LED Retrofit Module with regressed baffle and lens, Satin Nickel Baffle and Ring, 90 CRI, 2700K
- RL460WH930PK= 4" LED Retrofit Module with regressed baffle and lens, White Baffle and Ring, 90 CRI, 3000K
- RL460SN930PK= 4" LED Retrofit Module with regressed baffle and lens, Satin Nickel Baffle and Ring, 90 CRI, 3000K
- RL460WH935PK= 4" LED Retrofit Module with regressed baffle and lens, White Baffle and Ring, 90 CRI, 3500K

Accessories (order separately)

HE26LED=Replacement screw base adapter (one included with unit)

LED Housing

Series

- H995ICAT= 4" Dedicated LED Insulated Ceiling, AIR-TITE New Construction Housing with LED luminaire connector (high efficacy compliant)
- H995RICAT= 4" Dedicated LED Insulated Ceiling, AIR-TITE Remodel Housing with LED luminaire connector (high efficacy compliant)

HOUSING COMPATIBLTY - E26 SCREW BASE RETROFIT

RL460WH / RL460SN		
UL Listed UL/cUL Listed for installation in the following Halo and All-Pro 4" recessed E26 screw based and LED dedicated housings.	All-Pro™	ET400ATSB, ET400RATSB, EI400ATSB
	Halo®	H99ICAT, H99RTAT, H99TAT, H995ICAT, H995RICAT
UL Classified UL Classified for retrofit in the following 4" recessed E26 screw based housings.	Utilitech	CR04ICAT
	Thomas®	PS4
	Lithonia Lighting®	L3, L3R
	Commercial Electric™	HBR2000B
	Juno®	TC1, TC1R
	Progress Lighting®	P830-TG, P832-TG

Juno®, Lithonia Lighting®, Thomas® Lighting, Progress® Lighting, Utilitech, and Commercial Electric™ and their product brand names, where identified above, are tradenames or trademarks of each respective company and Cooper makes no representations on these trademarks.

Note: Specifications and Dimensions subject to change without notice.

CYLINDER

wall mounted • Damp location listed

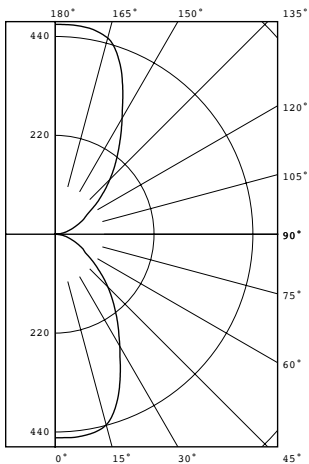


Photometrics:

P5675-31/30K

ELECTRICAL DATA	P5675-31/30K
Input Voltage	120V
Input Frequency	60Hz
Input Current	0.11A
Input Power	17W
Power Factor	>0.90
THD	<20%
EMI Filtering	FCC Title 47, Part 15, Class B
Operating Temperature	-30° C to 30° C
Dimming	Yes*
Over-voltage, over-current, short-circuit protected	
*See Dimming Notes for more information	

P5675-31/30K
 LED Light Engine: 3000K 90 CRI
 System Wattage: 33.0
 Fixture delivered lumens: 1549
 Fixture Efficacy: 49.0
 Spacing Criteria: 1.0



CANDELA DISTRIBUTION	
DEG	CANDELA
0	453
5	454
15	439
25	343
35	243
45	166
55	99
65	60
75	31
85	9
90	0
95	9
105	31
115	62
125	103
135	172
145	251
155	356
165	452
175	467
180	467

ZONAL LUMEN SUMMARY		
ZONE	LUMENS	%LUMINAIRE
0-30	323	20.0%
0-40	475	29.4%
0-60	692	42.8%
0-90	795	49.2%
90-120	105	6.5%
90-130	198	12.3%
90-150	488	30.2%
90-180	822	50.8%
0-180	1617	100.0%

COEFFICIENTS OF UTILIZATION Zonal Cavity Method

Room Cavity Ratio	% Effective Ceiling Cavity Reflectance									
	80%		70%		50%		30%			
	20% Effective Floor Cavity Reflectance									
	% Wall Reflectance									
	70	50	30	10	70	50	30	10		
1	98	94	91	87	91	81	74	69	61	58
3	83	74	67	62	76	58	59	50	49	43
5	70	59	52	46	65	43	48	38	40	34
7	60	49	41	36	56	34	40	30	31	24
9	53	41	34	29	49	28	34	25	27	20

Test No. 16.00018

Tested at 25°C Ambient in accordance to IESNA LM-79-2008

P5675-31/30K

Test No. 16.00018

CITY OF CHARLOTTESVILLE

"A Great Place to Live for All of Our Citizens"

Department of Neighborhood Development Services

City Hall Post Office Box 911
Charlottesville, Virginia 22902

Telephone 434-970-3182

Fax 434-970-3359

www.charlottesville.org



TO: Charlottesville Planning Commission
FROM: Read Brodhead, Zoning Administrator
Craig Fabio, Assistant Zoning Administrator
Missy Creasy, AICP, Assistant Director NDS
Lisa Robertson, Chief Deputy City Attorney
DATE: August 31, 2020
SUBJECT: **Family Day Home Ordinance Discussion**

At the July 2020 Planning Commission meeting, the following Zoning Text Amendment request was initiated:

A Zoning Text Initiation to make both family day homes for up to 12 children by right uses in all zoning districts and exempt them from off street parking requirements, and to also ask staff to develop standard drop off and pick up code to ensure safety given this change. In addition, make all efforts to administratively speed up childcare applications.

Staff took two different routes for review of this item including state and local actions. Ms. Robertson contacted the City Council's legislative subcommittee about this matter and worked to develop more specific recommendations for Delegate Hudson and Senator Deeds, as to which of the state regulations the City contemplates might be most easily [and safely] relaxed during COVID. Though legislative items must come from Council directly, this is likely an item to receive their support.

In addition, Ms. Robertson put together an informational/ background memo for the PC and council subcommittee on this issue which was sent to you on July 22, 2020 and included with these materials.

The request for changes required at the state level has been submitted and feedback is forthcoming.

In addition to state level consideration, staff reviewed the city code provisions and state code updates and drafted language for consideration that would bring our local ordinance up to date and provide for additional allowances for larger family day homes. Please note that any state code requirement currently in place is allowable regardless of the outdated language we have in the current city code.

The attached draft code language is proposed for your consideration. It provides for compliance with the number of children per state code, allowances in all areas allowing for residential use and provisional use permit requirements for Family Day Home (5-12 children).

Staff is requesting that the Commission review the proposal and provide feedback. Questions for consideration include:

Are there variations needed to the areas where Family Day Home (5-12 children) is allowable by right or by provisional use permit?

Are there updates need to the provisional permit regulations proposed?

Following this discussion, determination can be made concerning a schedule for public hearing.

Attached:

Proposed Ordinance updates

Background data on Daycare regulations

Family Day home - Draft language for discussion

Family day home means a child care program serving one (1) to twelve (12) children under the age of thirteen (13) (exclusive of the provider's own children and any children who reside in the home), where such program is offered in the residence of the provider or the residence of any of the children in care. Any program serving more than twelve (12) children shall be considered a child daycare facility.

Occupancy, residential for purposes of this zoning ordinance, this term refers to the number of persons who may reside together within one (1) dwelling unit, as a single housekeeping unit. Each of the following shall be deemed a single housekeeping unit: (i) one (1) person; (ii) two (2) or more persons related by blood or marriage, together with any number of their children (including biological children, stepchildren, foster children, or adopted children); (iii) two (2) persons unrelated by blood or marriage, together with any number of the children of either of them (including biological children, stepchildren, foster children, or adopted children); (iv) within certain designated university residential zoning districts: up to three (3) persons unrelated by blood or marriage; (v) within all other residential zoning districts: up to four (4) persons unrelated by blood or marriage; (vi) group homes, residential facilities and assisted living facilities, as defined in the Code of Virginia, § 15.2-2291, which are licensed by the department of social services or the department of behavioral health and developmental services and which are occupied by no more than eight (8) mentally ill, mentally retarded, developmentally disabled, aged, infirm, or disabled persons together with one (1) or more resident counselors; (vii) a group of persons required by law to be treated as a single housekeeping unit, in accordance with the Federal Fair Housing Act, or a similar state law. A family day home that serves one (1) to (4) four children shall be considered part of a residential occupancy by a single family.

Update 34-420 Use Matrix, 34-480 Use Matrix, and 34-796 Use Matrix

Family Day Home

1-4 Children - "B" in all districts which allow single family residential

5-12 Children – "B" to remain for B-1, B-2 and B-3 to mirror current allowances

5-12 Children - "P" in all districts besides B-1, B-2 and B-3 which allow residential

Add this section under Article IX. Generally Applicable Regulations, Division 9. Standards for Provisional Use

Sec. 34-XXXX. Family Day Home (5-12 children)

A provisional use permit that authorizes a Family Day Home (5-12 children) shall be subject to the following regulations:

1. Each provisional use permit for a family day home will be valid from January 1 (or such other date during a calendar year on which such permit is issued) through December 31 of the calendar year in which the permit is issued.
2. The operator of the Family Day Home must reside at the property as his/her primary residence, or must be caring for children who reside within the residence.
3. No clients or employees shall be allowed to visit the property on which a family day home is conducted earlier than 7:00 a.m. or later than 6:00 p.m.
4. Applicants for a family day home provisional use permit must obtain, and provide to the zoning administrator:
 - a. A copy of a valid city business license (or a statement from the commissioner of revenue that no city business license is required)

- b. A copy of a valid state license. Following initial issuance of the provisional use permit, the operator shall keep the zoning administrator supplied with a valid state license at all times while the provisional use permit is valid.
 - c. A traffic safety plan that addresses drop-off and pick-up procedures related to automotive traffic.
- 5. In addition to the resident(s) of the dwelling, not more than one (1) other individual may be engaged in the activities of the family day home on the property at any given time.
- 6. One (1) exterior sign, of dimensions no greater than two (2) square feet, may be placed on the exterior of the dwelling or an accessory structure to indicate the presence of the family day home. The sign shall not be lighted.
- 7. A provisional use permit for a family day home may be revoked by the Zoning Administrator should a permit holder fail to maintain compliance with any of the regulations set forward in this section. An operator whose provisional use permit has been revoked pursuant to this paragraph shall not be permitted to apply for a new permit for any location for one calendar year after the end of the permit term.
- 8. Once an application requesting a provisional use permit is received by the Zoning Administrator, notification shall be sent by registered or certified letter to the last known address of each adjacent property owner. If the zoning administrator receives no written objection from a person so notified within 30 days of the date of sending the letter and determines that the family day home otherwise complies with the provisions of the ordinance and all other applicable local ordinances, the zoning administrator shall issue the permit. If the zoning administrator receives a written objection from a person so notified within 30 days of the date of sending the letter and determines that the family day home otherwise complies with the provisions of the ordinance, the zoning administrator shall consider such objection and may (i) issue or deny the permit or (ii) refer the permit to the local governing body for consideration.

Background data on Daycare regulations

Provided by Lisa Robertson, Chief Deputy City Attorney on July 22, 2020

Following is a compilation of information regarding the layers of regulation for the two categories of child care facilities: “family day homes” and “child day centers”. At your meeting on July 14, 2020, several of you expressed interest in having a summary of state enabling legislation and regulations (to help understand how you might want to amend zoning ordinance provisions), and also for the City to ask its legislators to consider bringing forward proposals within the August 2020 special session—to make it easier for new day care facilities to quickly be established, particularly if schools cannot be reopened in the Fall during the continuing COVID emergency. We will also share all of this information with the City’s legislators.

General Background Information about Regulation of Child Care Providers and Facilities

Daycare for children is regulated at the state level, currently by the Virginia Department of Social Services. Beginning in 2021 the state regulating authority will become the State Board of Education, *see* Va. Acts of Assembly (2020), ch. 860. Generally, daycare services are provided in operations referred to as “Family day homes” or “child day centers”. Regulatory authority falls into three categories:

Zoning regulations [local]--Under state law, *see* Va. Code §15.2-2292, the City’s zoning ordinance, for all purposes, must treat a “family day home” serving 1-4 children in a provider’s home, exclusive of the provider’s own children) as a residential occupancy by a single family (as a practical matter, that means “family day home” is a lawful accessory use everywhere in the City that is lawfully occupied as a person’s residence). No conditions can be imposed on the family day home use can be more restrictive than conditions/ regulations applicable to the residential occupancy by a single family. Separately, however, the family day home use may constitute taxable business activity; Religious institutions are not per se exempt from zoning regulations (but see the reference to a federal law known as “RLUIPA”, below in this email). [*note*: the City’s current zoning regulations are outdated; if you review the Use Matrix for each zoning district, “family day home 1-5 children” is allowed by right; according to the current provisions of 15.2-2292, that should be “family day home 1-4 children”.]

State regulation of operations—State regulations vary, depending on whether child care is provided in (i) a “family day home” (no license is required; providers may go through a process to voluntarily become registered with the state, after demonstrating compliance with certain standards) or (ii) a “child day center” (state license is required) and (iii) whether or not the operator of a “child day center” is exempted from state licensure, but still subject to state-mandated minimum standards. Religious institutions are exempt from state licensing requirements for “child day centers”.

Local regulation and licensing of providers and facilities—(i) state law allows the City, and certain counties, to enact ordinances regulating and requiring licensing of persons who provide “child care services” for compensation and regulation and licensing of “child care facilities” (*see* Va Code §15.2-914). Charlottesville does not regulate daycare under the authority of Va. Code §15.2-914, which contains some limitations (localities cannot regulate or require licensing of any facility already licensed by the state, cannot license or regulate any facility operated by a religious institution, and cannot enact regulations more extensive than state regulations of “family day homes”); and (ii) “Family day homes” or “child day centers” may constitute business activity that is taxable under the City’s business license tax ordinance. If so, then the annual fee for a business license is \$35 (or, if the provider realizes annual revenues of \$50K to \$100K, the fee is \$50).

Planning Commission Recommendations Relating to the COVID emergency

At the planning commission meeting July 14, 2020, the Commission expressed interest in asking legislators to discuss, at the upcoming August 2020 special session, the possible relaxing some of the state requirements that may apply to the establishment of new providers of child care services, as may be necessary to meet families’ needs during the continuing COVID emergency (especially if schools do not open in the Fall). The City’s legislative positions and agenda is set by City Council. **I have made Council’s legislative subcommittee aware of the Commission’s discussion and recommendations.** The most difficult task will be identifying specific state regulations that could be waived or relaxed, without compromising safety (perhaps waiver of application fees, inspection fees, background check fees, etc.?) for persons seeking to quickly establish new “**child day center**” operations. We will keep you informed of any developments with legislators during the August 2020 Special Session.

References to state regulations

When the City’s zoning ordinance is rewritten, one of the topics that requires updating are the City’s regulations of “family day homes”. Also, the Planning Commission may want to consider proposing updates to the City’s regulations governing where “child day centers” can be located, what local regulations would be in the public’s best interests, and whether or not an administrative approval (zoning permit)—rather than a special use permit—is the preferred mechanism for review of the

impacts of a child day center at a particular location. As you move forward, please keep the following terminology and laws in mind when discussing regulation of daycare:

Va. Code §63.2-100: “**Family day home**”, is defined as a child day program offered in the residence of the provider or the home of any of the children in care for one through 12 children under the age of 13, exclusive of the provider's own children and any children who reside in the home, when at least one child receives care for compensation....**Family day homes serving five through 12 children, exclusive of the provider's own children and any children who reside in the home, shall be licensed.** However, no family day home shall care for more than four children under the age of two, including the provider's own children and any children who reside in the home, unless the family day home is licensed or voluntarily registered....[A] family day home where the children in care are all related to the provider by blood or marriage shall not be required to be licensed.

Va. Code §63.2-100: “**Child day center**” is defined as a child day program offered to (i) two or more children under the age of 13 in a facility that is not the residence of the provider or of any of the children in care or (ii) 13 or more children at any location. (“Child day program” means a regularly operating service arrangement for children where, during the absence of a parent or guardian, a person or organization has agreed to assume responsibility for the supervision, protection, and well-being of a child under the age of 13 for less than a 24-hour period). *See* Va. Code §63.2-100.

Va. Code §63.2-1716: A **child day center operated by a religious institution is exempt from state licensure requirements**, but must satisfy a statutory list of criteria (including building and fire code inspection of facilities, mandatory staff ratios, physician certification of supervisors’ ability to care for children, background checks, CPR training for at least one person, etc.). *See* Va. Code 63.2-1716, <https://law.lis.virginia.gov/vacode/title63.2/chapter17/section63.2-1716/>. Information regarding the documentation required from religious institutions for the exemption can be found at https://www.dss.virginia.gov/files/division/licensing/recdc/intro_page/applicants/guidance_procedures/documentation_for_religiously_exempt_cdc.pdf

RLUIPA: Child day centers operated by religious institutions are not exempt from local zoning ordinance requirements. However, Planning Commissioners, Councilors and state legislators should be cognizant of a federal law called the Religious Land Use and Institutionalized Persons Act, 42 USC 2000ccc (“RLUIPA”). One section of RLUIPA specifies that a government may not impose or implement a land use regulation in a manner that imposes a substantial burden on the religious exercise of a religious assembly or institution, unless the government regulation is in furtherance of a compelling governmental interest and is the least restrictive means of furthering that interest. “Secular activities do not become acts of faith just because they occur on church property.” *Calvary Christian Center v. City of Fredericksburg*, 800 F.Supp.2d 760, 774 (E. Dist. Va., 2011). Whether or not a particular zoning requirement imposed or implemented relative to a particular property will result in a substantial burden on religious exercise is a fact-specific determination.

CITY OF CHARLOTTESVILLE
DEPARTMENT OF NEIGHBORHOOD DEVELOPMENT SERVICES
STAFF REPORT



PRELIMINARY DISCUSSION: DEVELOPMENT

DATE OF PLANNING COMMISSION MEETING: September 9, 2020

Project Planner: Matt Alfele

Date of Staff Report: August 25, 2020

Project Name: Development of 240 Stribling Avenue

Property Owner: Carrsgrove Properties, LLC

Applicant's Representative: Charlie Armstrong, Southern Development Group, Inc.

RE: Planning Commission Work Session for a proposed development of 240 Stribling Avenue

Background

Charlie Armstrong, (Southern Development Group, Inc.) contract purchaser for property owned by Carrsgrove Properties, LLC (owner), is proposing to develop the property at 240 Stribling Avenue (TMP 18A025000) outside the current by-right land use designation. 240 Stribling Avenue is approximately 12.07 acres with road frontage on Stribling Avenue. The Comprehensive Land Use Map for this area calls for Low Density Residential. Low Density Residential is described as land occupied by single or two-family types of housing. The density in these areas by-right should be no greater than 15 units per acre. Prior to submitting an application to the City, Mr. Armstrong requested feedback from the Planning Commission at the February 26, 2020 Work Session. The feedback the applicant received on the preliminary design included:

- Positive reception on the design (mix of housing type with central greens and access to Moores Creek).
- Positive reception to the proposed density (15 DUA with up to 170 units)
- The Planning Commission would like to see more affordable units below 80% AMI.
- The Planning Commission would like to see more protection of Moores Creek.
- The Planning Commission would like to see the applicant work with the City on improving Stribling Avenue.

In addition to the Planning Commission Work Session on February 26, 2020, the applicant attended the Fry's Spring Neighborhood Association meeting on January 22, 2020, to get

feedback on any proposed development of 240 Stribling Avenue. The following were points raised by the neighborhood:

- Any development in this area will put more cars on Stribling Avenue. Improvements need to be made to Stribling.
- More units will create more need for parking and could have a negative impact.
- The neighborhood is concerned with any development on this site.

In mid-August the applicant formally submitted a rezoning application and critical slope waiver application for the subject property. As part of the rezoning process, the applicant held a virtual Community Engagement meeting on September 3, 2020. This report was prepared prior to that meeting and any feedback from that meeting or other comments will be included in the Public Hearing Staff Report. Prior to placing the rezoning request on the Planning Commission’s agenda for a Public Hearing, the applicant has requested an additional Work Session. The proposal you are seeing tonight is very similar to the draft design from February, but more detail is now available.

February 26, 2020 Work Session	September 9, 2020 Work Session
Up to 170 units	Maximum DUA of 15 (for a max build out of 181 units) within duplex, townhomes, and apartments/condos.
Design of clustered units around green space	Design of clustered units around green space
	A proffer statement with a cash contribution to improve Stribling and 15% of units designated for persons making between 25% and 60% AMI

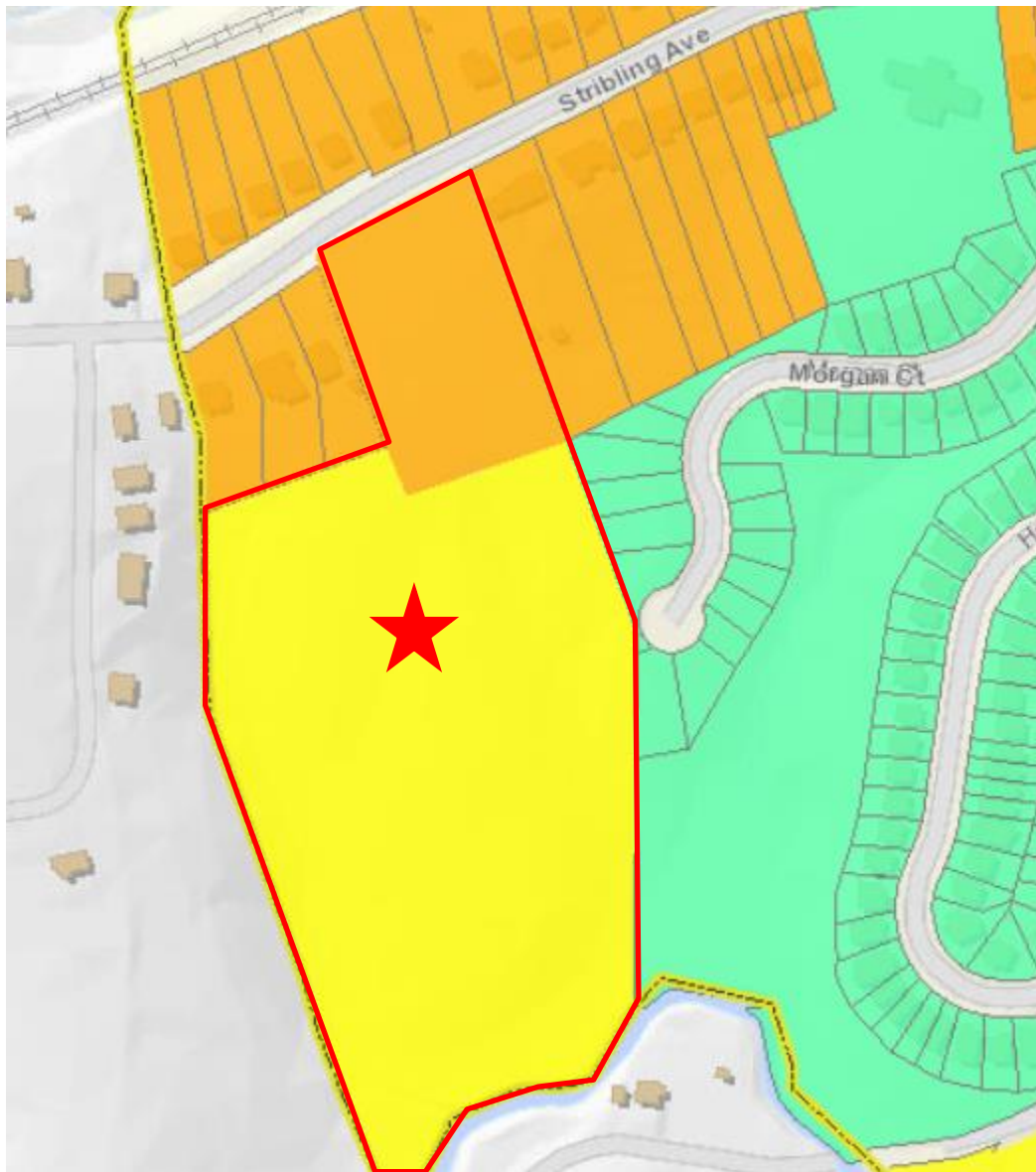
Proposed Discussion points for the Planning Commission:

1. How will the connection from the development to Morgan Ct. work?
2. Will the roads within the development meet City Standards?
3. How will the development impact Stribling Avenue?
4. How will the proffers improve Stribling Avenue?
5. How is Moores Creek being protected?

Vicinity Map

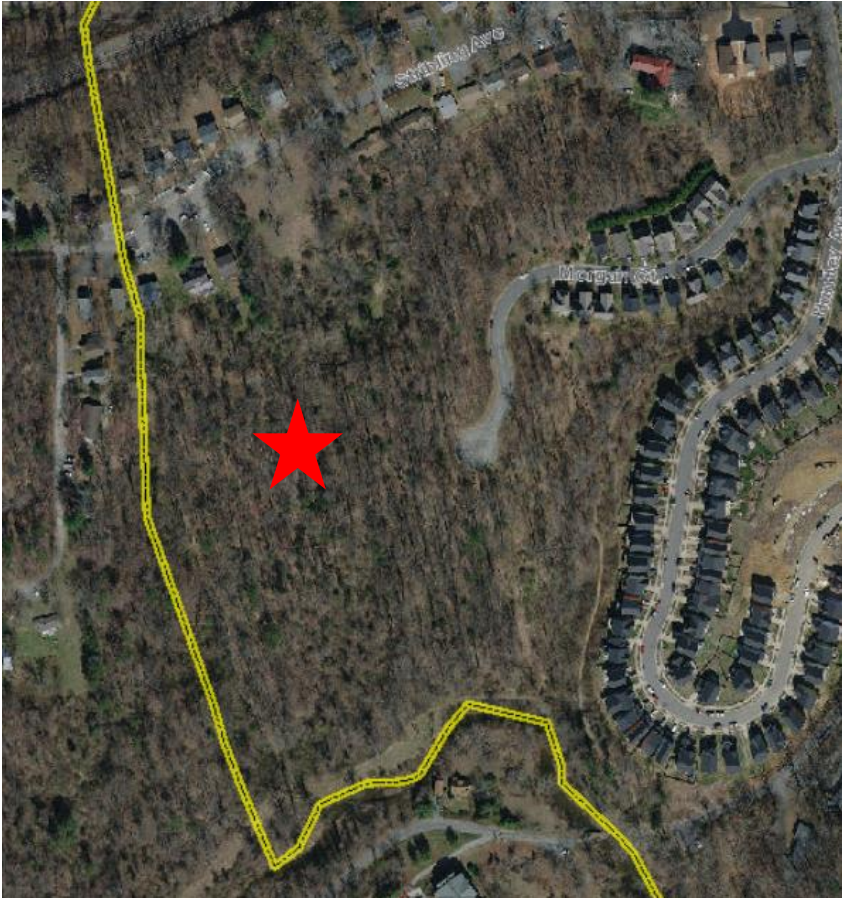


Zoning Map

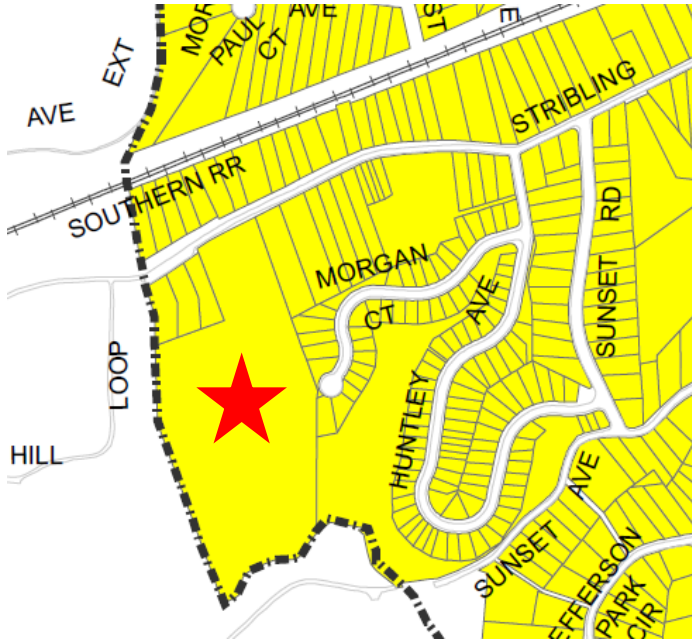


Orange: R-2 (Two-family), Yellow: R-1S (Single-Family), Green: Huntley PUD

2016 Aerial



2013 Comp Plan



Yellow: Low Density Residential

Attachments

- A. PUD Development Plan and Supplemental Plan.

PUD DEVELOPMENT PLAN

240 STRIBLING AVENUE

CITY OF CHARLOTTESVILLE, VIRGINIA

TABLE OF CONTENTS
PUD DEVELOPMENT PLAN (SEC 34-517)

THIS PUD DEVELOPMENT PLAN MEETS THE REQUIREMENTS OF CHARLOTTESVILLE CITY CODE SECTION 34-517 (a). THE BELOW TABLE OF CONTENTS LISTS THE PUD REQUIREMENTS AND REFERENCES WHERE IN THE PUD DEVELOPMENT PLAN THE REQUIREMENTS ARE ILLUSTRATED OR DESCRIBED.

34-517 (1)a A SURVEY PLAT DESCRIBING AND DEPICTING THE ENTIRE LAND AREA TO BE INCLUDED WITHIN THE PUD DEVELOPMENT SITE, INCLUDING IDENTIFICATION OF PRESENT OWNERSHIP, EXISTING ZONING DISTRICT CLASSIFICATION(S) OF THE PARCEL(S) TO BE INCLUDED WITHIN THE PUD.
PAGE 2: EXISTING CONDITIONS

34-517 (2)a A NARRATIVE STATEMENT OF HOW THE OBJECTIVES DESCRIBED WITHIN SECTION 34-490 ARE MET BY THE PROPOSED PUD.
PAGE 3: NARRATIVE

34-517 (3)a A CONCEPTUAL DEVELOPMENT PLAN, SUPPORTING MAPS, AND WRITTEN OR PHOTOGRAPHIC DATA AND ANALYSIS WHICH SHOW:

A. LOCATION AND SIZE OF EXISTING WATER AND SANITARY AND STORM SEWER FACILITIES AND EASEMENTS;
PAGE 2: EXISTING CONDITIONS

B. LAYOUT FOR PROPOSED WATER AND SANITARY SEWER FACILITIES AND STORM DRAINAGE FACILITIES;
PAGES 6-7: CONCEPTUAL LAND USE PLAN

C. LOCATION OF OTHER PROPOSED UTILITIES;
PAGES 6-7: CONCEPTUAL LAND USE PLAN

D. LOCATION OF EXISTING AND PROPOSED INGRESS AND EGRESS FROM THE DEVELOPMENT; LOCATION AND SIZE OF EXISTING AND PROPOSED STREETS;
PAGES 6-7: CONCEPTUAL LAND USE PLAN

E. LOCATION OF EXISTING AND PROPOSED PEDESTRIAN AND BICYCLE IMPROVEMENTS, INCLUDING CONNECTIONS TO NEARBY SCHOOLS;
PAGES 6-7: CONCEPTUAL LAND USE PLAN.

F. AN INVENTORY, BY TAX MAP PARCEL NUMBER AND STREET ADDRESS, OF ALL ADJACENT PARCELS WITHIN A FIVE HUNDRED-FOOT RADIUS OF THE PERIMETER OF THE PUD, INDICATING THE EXISTING ZONING DISTRICT CLASSIFICATION OF EACH.
PAGE 1: COVER SHEET

G. A SITE INVENTORY OF THE SIGNIFICANT NATURAL, ENVIRONMENTAL AND CULTURAL FEATURES OF A SITE, INCLUDING AT A MINIMUM: HISTORIC LANDMARKS CONTAINED ON ANY STATE OR FEDERAL REGISTER; VEGETATION; EXISTING TREES OF EIGHT-INCH CALIPER OR GREATER; WETLANDS, TOPOGRAPHY, SHOWN AT INTERVALS OF FIVE (5) FEET OR LESS, CRITICAL SLOPES, AND OTHER, SIMILAR CHARACTERISTICS OR FEATURES, AND A PLAN FOR PRESERVING, PROTECTING, UTILIZING AND/OR INCORPORATING SUCH FEATURES INTO THE DESIGN AND FUNCTION OF THE PROPOSED PUD.
PAGE 8: ENVIRONMENTAL FEATURES

34-517(4)a A PROPOSED LAND USE PLAN. SUCH PLAN WILL IDENTIFY:

A. PROPOSED LAND USES AND THEIR GENERAL LOCATIONS, INCLUDING WITHOUT LIMITATION, BUILDING AND SETBACKS;
PAGE 4: LAND USE PLAN

B. PROPOSED DENSITIES OF PROPOSED RESIDENTIAL DEVELOPMENT;
PAGES 11-12: MATRIX OF USE TYPES

C. LOCATION AND ACREAGE OF REQUIRED OPEN SPACE;
PAGE 4: LAND USE PLAN

D. SQUARE FOOTAGE FOR NON-RESIDENTIAL USES;
PAGE 4: LAND USE PLAN. NOTE, THERE ARE NO NON-RESIDENTIAL USES PROPOSED.

E. MAXIMUM HEIGHT OF BUILDINGS AND STRUCTURES IN AREA OF PUD.
PAGE 4: LAND USE PLAN

34-517 (5)a A GENERAL LANDSCAPE PLAN WHICH FOCUSES ON THE GENERAL LOCATION AND TYPE OF LANDSCAPING TO BE USED WITHIN THE PROJECT AS WELL AS THE SPECIAL BUFFERING TREATMENT PROPOSED BETWEEN PROJECT LAND USES AND ADJACENT ZONING DISTRICTS;
PAGES 9-10: LANDSCAPE PLAN

34-517(6)a A PHASING PLAN IF NEEDED. EACH PHASE SHALL INDIVIDUALLY MEET THE REQUIREMENTS OF THIS SECTION.
PAGE 5: PHASING PLAN

34-517(7)a A STATEMENT FROM THE CITY PUBLIC UTILITIES DEPARTMENT VERIFYING WHETHER WATER AND SEWER INFRASTRUCTURE CAPACITY DOES OR DOES NOT EXIST FOR THE PROPOSED LAND USE(S).
ESTIMATED WATER AND SEWER DEMANDS HAVE BEEN PROVIDED TO CITY PUBLIC UTILITIES DEPARTMENT AND ADEQUATE CAPACITY HAS BEEN VERIFIED.

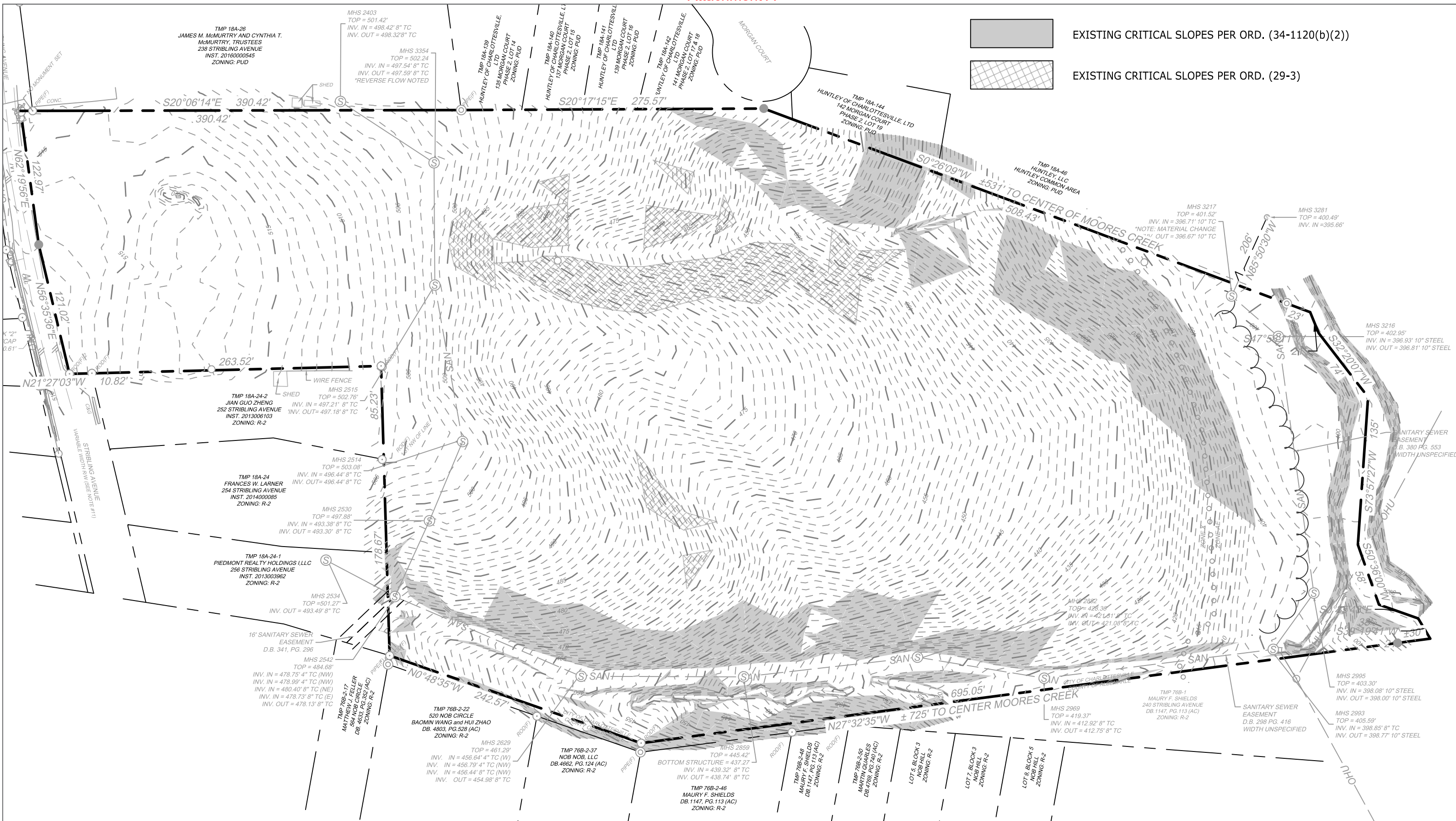
34-517(8)a A STATEMENT FROM THE FIRE MARSHAL VERIFYING WHETHER ADEQUATE FIRE FLOW SERVICE DOES OR DOES NOT EXIST FOR THE PROPOSED LAND USE(S).
THE FIRE FLOW TEST RESULTS HAVE BEEN PROVIDED AND APPROVED BY THE FIRE MARSHALL.

500' RAIDUS FOR ADJACENT PROPERTIES

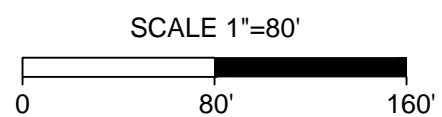
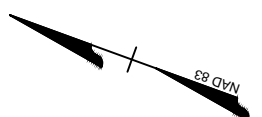
OWNER	ADDRESS	CITY/STATE	ZIP	PROPERTY ADDRESS
TAPSCOTT, TWANNA L	176 BAYLOR LANE	CHARLOTTESVILLE VA	22902	223 STRIBLING AVE A&B
STEGER, CHARLES	227 STRIBLING AVE	CHARLOTTESVILLE VA	22903	227 STRIBLING AVE
PAUL, GARY A	P O BOX 1398	LOUISA VA	23093	229 STRIBLING AVE
SPRINKLE, MATTHEW & KRISTEN WINTERSON	4939 RICHMOND RD	KESWICK VA	22947	231 STRIBLING AVE
WELLS FARGO BANK, NA, EX PHYLLIS STEGER ESTATE	1753 PINNACLE DR 4TH FL	MCLEAN VA	22102	233 STRIBLING AVE
CASTEEN, BOBBY LEE II & KIM W	6080 BUCK RIDGE ROAD	EARLYSVILLE VA	22936	235 STRIBLING AVE
COWGILL, THOMAS & MARGARET SMITH	237 STRIBLING AVENUE	CHARLOTTESVILLE VA	22903	237 STRIBLING AVE
MARSHALL, JOHN C	1225 N UTAH ST	ARLINGTON VA	22201	0 STRIBLING AVE
MARSHALL, JOHN C	1225 N UTAH ST	ARLINGTON VA	22201	239 STRIBLING AVE
GOCHENOUR, GREGORY A & CAROLYN ANN	2113 VAUGHN SUMMIT	LURAY VA	22835	218 STRIBLING AVE
ANAND, MANINDER & MONICA	23 S LITTLE CHURCH STREET	PETERSBURG VA	238034430	220 STRIBLING AVE
GODFREY, GREGORY H & SALLY M	2700 MILTON ROAD	CHARLOTTESVILLE VA	22902	222 STRIBLING AVE
SCHILLING, ROBERT S & JOAN CARLIN	P O BOX 5471	CHARLOTTESVILLE VA	22905	224 STRIBLING AVE
PIEDMONT REALTY HOLDINGS I, LLC	6535 WOODBOURNE LN	CROZET VA	22932	247 STRIBLING AVE
MARSHALL, JOHN C	106 ROBERTSON AVE	CHARLOTTESVILLE VA	22903	226 STRIBLING AVE
PIEDMONT REALTY HOLDINGS I, LLC	6535 WOODBOURNE LN	CROZET VA	22932	249 STRIBLING AVE
DEMALLIE, MARGARET W, TRUSTEE	667 EIGHT WOODS LN	CHARLOTTESVILLE VA	22903	228 STRIBLING AVE
PIEDMONT REALTY HOLDINGS I, LLC	6535 WOODBOURNE LN	CROZET VA	22932	251 STRIBLING AVE
MACKEY, PETER M & LAUREN R	2315 TARLETON DR	CHARLOTTESVILLE VA	22901	230 STRIBLING AVE
PIEDMONT REALTY HOLDINGS I, LLC	6535 WOODBOURNE LN	CROZET VA	22932	253 STRIBLING AVE
MUNKACSY, WILLIAM A, III, WILLIAM A, JR & KARLA	15 KINGSWOOD RD	PALMYRA VA	22963	255 STRIBLING AVE
THIEDE, BRIAN P & MICHAEL G	1627 STONEY CREEK DR	CHARLOTTESVILLE VA	22902	234 STRIBLING AVE
RALLS, WALTER BROOKE	2885 SOUTHERN HILLS DR	NORTH GARDEN VA	22959	236 STRIBLING AVE
MCCURRY, JAMES M & CYNTHIA T, TRUSTEES	13620 SOLTICE CLOSE	MIDLOTHIAN VA	23113	238 STRIBLING AVE
CARRSGROVE PROPERTIES, LLC	503 SUMMIT AVENUE	MAPLEWOOD NJ	070401307	240 STRIBLING AVE
ZHENG, JIAN GUO	118 LYONS LN	RUCKERSVILLE VA	22968	252 STRIBLING AVE
LARNER, FRANCES W	3071 SLATE MILLS RD	SPERRYVILLE VA	22740	254 STRIBLING AVE
PIEDMONT REALTY HOLDINGS I, LLC	6535 WOODBOURNE LN	CROZET VA	22932	256 STRIBLING AVE
RENSHAW, ANDREW &	221 HUNTLEY AVE	CHARLOTTESVILLE VA	22903	221 HUNTLEY AVE
VAN HOOK, RICHARD & ELIZABETH	223 HUNTLEY AVENUE	CHARLOTTESVILLE VA	22903	223 HUNTLEY AVE
HUFFMAN, JOHN L	2515 LEAFTON XING	EARLYSVILLE VA	22936	225 HUNTLEY AVE
LATHER, LEIGH ANN	227 HUNTLEY AVE	CHARLOTTESVILLE VA	22903	227 HUNTLEY AVE
GOODMAN, JUSTIN H &	259 HUNTLEY AVENUE	CHARLOTTESVILLE VA	22903	259 HUNTLEY AVE
BARGER, CYRUS PHILLIP, III	261 HUNTLEY AVE	CHARLOTTESVILLE VA	22903	261 HUNTLEY AVE
HEINAN, KRISTEN C	249 HUNTLEY AVENUE	CHARLOTTESVILLE VA	22903	249 HUNTLEY AVE
WARREN, JESSE M & AMY L	620 RAINIER RD	CHARLOTTESVILLE VA	22903	247 HUNTLEY AVE
THOM, CHRISTOPHER D	245 HUNTLEY AVE	CHARLOTTESVILLE VA	22903	245 HUNTLEY AVE
MILLER, SARAH E G & KEVIN P	251 HUNTLEY AVENUE	CHARLOTTESVILLE VA	22903	251 HUNTLEY AVE
BENDER, TIMOTHY M &	253 HUNTLEY AVE	CHARLOTTESVILLE VA	22903	253 HUNTLEY AVE
CITY OF CHARLOTTESVILLE	P O BOX 911	CHARLOTTESVILLE VA	22902	0 SUNSET AVE
JOHNSON, JESS A, JR & AMBER A	254 HUNTLEY AVE	CHARLOTTESVILLE VA	22903	254 HUNTLEY AVE
CROCKER, ROBERT J, JR & DIANE M	250 HUNTLEY AVENUE	CHARLOTTESVILLE VA	22903	250 HUNTLEY AVE
CADY, NICHOLAS E & TAYLOR K	246 HUNTLEY AVE	CHARLOTTESVILLE VA	22903	246 HUNTLEY AVE
DUNN, CATHERINE S & TYLER C	244 HUNTLEY AVE	CHARLOTTESVILLE VA	22903	244 HUNTLEY AVE
GOODRICH, KATHERINE A	242 HUNTLEY AVE	CHARLOTTESVILLE VA	22903	242 HUNTLEY AVE
HUNTLEY, LLC	660 HUNTERS PL STE 101	CHARLOTTESVILLE VA	22911	0 STRIBLING AVE
SUN, WEI & LIPING HUANG	119 MORGAN CT	CHARLOTTESVILLE VA	22903	119 MORGAN CT
CONDI, JOHN J, JR & GINA T	116 MORGAN CT	CHARLOTTESVILLE VA	22903	116 MORGAN CT
MEUSCH, JACOB E & YOKO K	118 MORGAN CT	CHARLOTTESVILLE VA	22903	118 MORGAN CT
PARE, TIMOTHY J & ABIGAIL	795 WINTERBERRY DR	FREDERICKSBURG VA	22405	120 MORGAN CT
SWINFORD, MARILYN J	122 MORGAN COURT	CHARLOTTESVILLE VA	22903	122 MORGAN CT
WILLIAMS, JOSEPH M & ERICA B	124 MORGAN CT	CHARLOTTESVILLE VA	22903	124 MORGAN CT
HUNTLEY OF CHARLOTTESVILLE, LTD	660 HUNTER' S PLACE STE 101	CHARLOTTESVILLE VA	22911	128 MORGAN CT
HUNTLEY OF CHARLOTTESVILLE, LTD	660 HUNTER' S PLACE STE 101	CHARLOTTESVILLE VA	22911	130 MORGAN CT
HUNTLEY OF CHARLOTTESVILLE, LTD	660 HUNTER' S PLACE STE 101	CHARLOTTESVILLE VA	22911	132 MORGAN CT
HUNTLEY OF CHARLOTTESVILLE, LTD	660 HUNTER' S PLACE STE 101	CHARLOTTESVILLE VA	22911	134 MORGAN CT
HUNTLEY OF CHARLOTTESVILLE, LTD	660 HUNTER' S PLACE STE 101	CHARLOTTESVILLE VA	22911	136 MORGAN CT
HUNTLEY OF CHARLOTTESVILLE, LTD	660 HUNTER' S PLACE STE 101	CHARLOTTESVILLE VA	22911	140 MORGAN CT
HUNTLEY OF CHARLOTTESVILLE, LTD	660 HUNTER' S PLACE STE 101	CHARLOTTESVILLE VA	22911	138 MORGAN CT
HUNTLEY OF CHARLOTTESVILLE, LTD	660 HUNTER' S PLACE STE 101	CHARLOTTESVILLE VA	22911	142 MORGAN CT
HUNTLEY OF CHARLOTTESVILLE, LTD	660 HUNTER' S PLACE STE 101	CHARLOTTESVILLE VA	22911	141 MORGAN CT
HUNTLEY OF CHARLOTTESVILLE, LTD	660 HUNTER' S PLACE STE 101	CHARLOTTESVILLE VA	22911	139 MORGAN CT
HUNTLEY OF CHARLOTTESVILLE, LTD	660 HUNTER' S PLACE STE 101	CHARLOTTESVILLE VA	22911	137 MORGAN CT
HUNTLEY OF CHARLOTTESVILLE, LTD	660 HUNTER' S PLACE STE 101	CHARLOTTESVILLE VA	22911	135 MORGAN CT
HUNTLEY OF CHARLOTTESVILLE, LTD	660 HUNTER' S PLACE STE 101	CHARLOTTESVILLE VA	22911	133 MORGAN CT
KOH, ELYTA H	123 MORGAN CT	CHARLOTTESVILLE VA	22903	123 MORGAN CT
SWINK, JEREMY W & MARY E	121 MORGAN CT	CHARLOTTESVILLE VA	22903	121 MORGAN CT
RAWLINS, JONAS M & AMANDA R	238 HUNTLEY AVE	CHARLOTTESVILLE VA	22903	238 HUNTLEY AVE
WATSON, PETER W & KRISTEN S	240 HUNTLEY AVE	CHARLOTTESVILLE VA	22903	240 HUNTLEY AVE
ALONSO, CLAYTON	257 HUNTLEY AVE	CHARLOTTESVILLE VA	22903	257 HUNTLEY AVE
BREUHAUS, ERIK J &	255 HUNTLEY AVENUE	CHARLOTTESVILLE VA	22903	255 HUNTLEY AVE
FRAVEL, RICHARD & LESLIE ANN	241 HUNTLEY AVE	CHARLOTTESVILLE VA	22903	241 HUNTLEY AVE
SPIELMAN, MICHAEL J & AIDEN S GOULD	243 HUNTLEY AVE	CHARLOTTESVILLE VA	22903	243 HUNTLEY AVE
GOMEZ-SANCHEZ, MIRIAM T	239 HUNTLEY AVE	CHARLOTTESVILLE VA	22903	239 HUNTLEY AVE
KEDA, KEITA	237 HUNTLEY AVE	CHARLOTTESVILLE VA	22903	237 HUNTLEY AVE
ICE, JEFFREY R	235 HUNTLEY AVE	CHARLOTTESVILLE VA	22903	235 HUNTLEY AVE
HUNTLEY, ANNE LLOYD	9705 OLD DELL TRCE	RICHMOND VA	23238	233 HUNTLEY AVE
EUBANKS, WILLIAM A & SANDRA J	231 HUNTLEY AVE	CHARLOTTESVILLE VA	22903	231 HUNTLEY AVE
BAKER, RANDOLPH M & KAREN A K	229 HUNTLEY AVE	CHARLOTTESVILLE VA	22903	229 HUNTLEY AVE

EXISTING CRITICAL SLOPES PER ORD. (34-1120(b)(2))

EXISTING CRITICAL SLOPES PER ORD. (29-3)



EXISTING CONDITIONS



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Objectives (Charlottesville Ordinance Sect. 34-490)

<p>1 <i>To encourage developments of equal or higher quality than otherwise required by the strict application of zoning district regulations than would otherwise govern;</i></p>	<p>This proposal includes more housing than would be allowed by right. It provides a mix of dwellings-- including affordable units—that encourage a heterogeneous community.</p>
<p>2 <i>To encourage innovative arrangements of buildings and open spaces to provide efficient, attractive, flexible and environmentally sensitive design;</i></p>	<p>The street layouts and building densities adopt an urban strategy without erasing the site's existing sylvan character. In addition to preserving swaths of wooded land along creeks and ravines, this neighborhood proposes an interconnected band of smaller common spaces. These are sequenced diagonally, cascading from roughly the middle of the site down to the floodplain. They provide a recreational corridor that-- except for occasional alley crossings-- is free of traffic. Staggered and terraced, they allow a degree of partition: at the bottom green, kids can throw a football; while at the green to its north, residents sit and talk; meanwhile, at the top, families can set up a portable canopy and have a bar-b-que. Yet even with the separation provided by elevation level and alleyways, the greens are grouped together to enhance views. Shortly after entering the neighborhood on Carrsgrove Drive, a visual corridor opens all the way through the entire property down to the bottomland. The greens insinuate themselves in what would otherwise be a repetitious rank and file of townhomes. They contribute to a rich environment of outdoor space-- creating larger vistas and common ground that expand on the private porches and gardens of the smaller mews spaces.</p>
<p>3 <i>To promote a variety of housing types, or, within a development containing only a single housing type, to promote inclusion of houses of various sizes;</i></p>	<p>Three housing types are proposed: duplexes, townhouses and apartments/condos.</p>
<p>4 <i>To encourage the clustering of single-family dwellings for more efficient use of land and preservation of open space;</i></p>	<p>The dwellings assume a compact arrangement. Apartment buildings are arrayed along the west half of the site, where they are not readily seen from Stribling Avenue. Townhomes are situated in areas closest to the existing PUD at Huntley, as well as the existing SFD, duplex and townhomes on Stribling Ave. By and large, the buildings are concentrated in the middle of the site, avoiding and preserving critical slopes, flood plains and stream buffers.</p>
<p>5 <i>To provide for developments designed to function as cohesive, unified projects;</i></p>	<p>The dense weaving of shared green spaces, pathways and streets encourages connection and visibility among the residents. The abundance of porches and balconies provides subtle, comfortable transitions between private space and public.</p>
<p>6 <i>To ensure that a development will be harmonious with the existing uses and character of adjacent property, and/or consistent with patterns of development noted with respect to such adjacent property;</i></p>	<p>At the front of the site townhomes 2 ½ to 3 stories tall line Stribling Avenue. They are not out of scale or character with their surroundings. While parallel parking spaces are provided along one side of the main thoroughfares, the bulk of parking is located under buildings, out of view. The townhomes assume a mews arrangement. Typically their front facades face one another across landscaped gardens, while at the rear, alleys provide vehicle access.</p>
<p>7 <i>To ensure preservation of cultural features, scenic assets and natural features such as trees, streams and topography;</i></p>	<p>Mature hardwood trees, especially along the western slopes and floodplain, remain. The footpath that currently exists along the west and south boundary is retained. While grading will be necessary, the essential lay of the land remains intact. The floodplain is preserved. As much as possible, the boundary vegetation is preserved.</p>
<p>8 <i>To provide for coordination of architectural styles internally within the development as well as in relation to adjacent properties along the perimeter of the development;</i></p>	<p>The architecture is characterized by certain forms and materials consistent across the development, and familiar within the surrounding neighborhood. Subtle variations of massing, wall openings and colors reduce repetition, inviting heterogeneity while maintaining coherence.</p>
<p>9 <i>To provide for coordinated linkages among internal buildings and uses, and external connections, at a scale appropriate to the development and adjacent neighborhoods;</i></p>	<p>Sidewalks follow both sides of the main streets within the site. Paths and entries into buildings connect directly to these sidewalks. Canopies, front doors and front porches give clear, visible indications of entry points to all buildings and domiciles.</p>
<p>10 <i>To facilitate access to the development by public transit services or other single-vehicle-alternative services, including, without limitation, public pedestrian systems.</i></p>	<p>Proposed widening of Stribling Avenue along the north side of the property adjacent to the primary street entry allows better access by public transit vehicles than would be the case without this development. Improvements to Stribling also provide safer conditions for pedestrians, cyclists and wheelchair-users, allowing more space and greater visibility. Sidewalks and planting buffers within the site further enhance safety and ease of movement.</p>

240 STRIBLING AVE

PUD Narrative

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NARRATIVE PER 34-517(2)

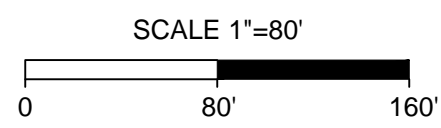
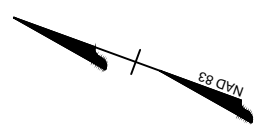


- NOTES:**
- BUILDING SETBACKS:**
 FRONT: 0'
 SIDE: 0'
 REAR: 0'
 ADJACENT TO OUTSIDE PROPERTIES: 5'
 - MAXIMUM BUILDING HEIGHT: 55'**

LAND USE SUMMARY:

TOTAL SITE AREA:	11.373 Ac. (100%)
R/W DEDICATION TO STRIBLING AVE.	± 0.060 Ac. (0.5%)
TOWNHOUSE LOT AREA:	± 2.998 Ac. (26.4%)
CONDO/APARTMENT LOT AREA:	± 1.200 Ac. (10.6%)
RIGHT-OF-WAY AREA:	± 2.165 Ac. (19.0%)
OPEN SPACE AREA:	± 4.950 Ac. (43.5%)

LAND USE PLAN



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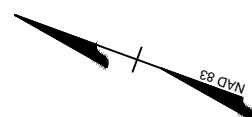


PHASING NOTES:

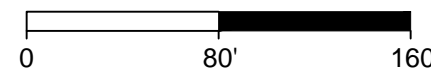
1. THE FIRST PHASE COMPLETED SHALL INCLUDE THE CONSTRUCTION OF ROAD A, THE CONNECTOR ROAD TO MORGAN CT., AND PROPOSED IMPROVEMENTS TO STRIBLING AVENUE.
2. ACCESS ROADS AND UTILITY INFRASTRUCTURE SHALL BE CONSTRUCTED WITH EACH SUBSEQUENT PHASE AS REQUIRED TO COMPLETE A COHESIVE BLOCK FOR SAFE AND CONVENIENT ACCESS, AND TO MEET ALL CITY ORDINANCES.
3. THE ORDER OF COMPLETION OF PHASES SHALL BE FURTHER REFINED WITH A FINAL SITE PLAN AND WILL BE SUBJECT TO CITY REVIEW AND APPROVAL.

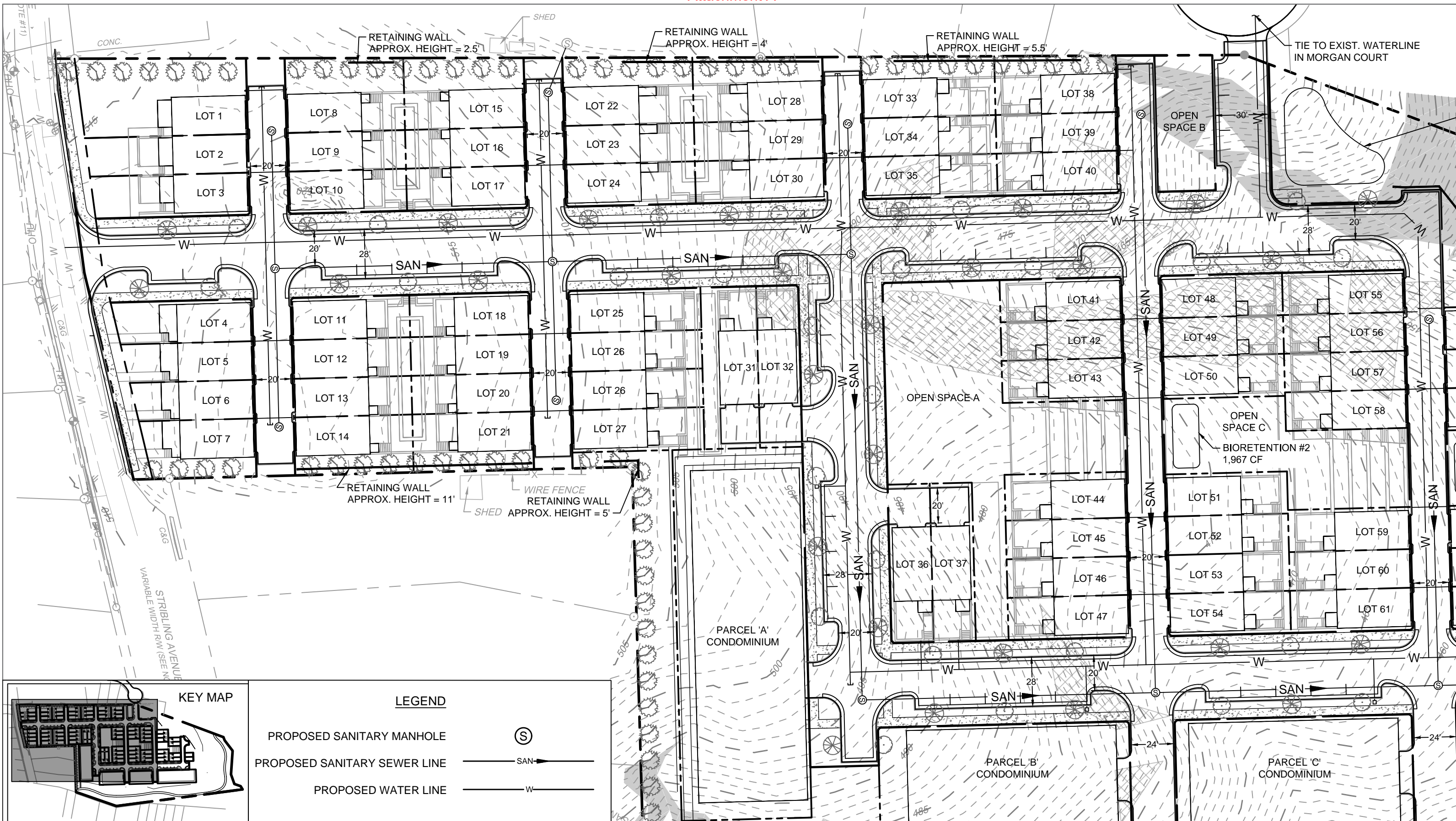


PHASING PLAN

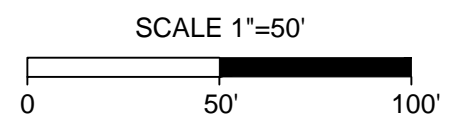
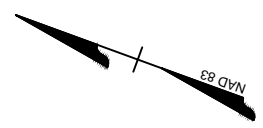


SCALE 1"=80'



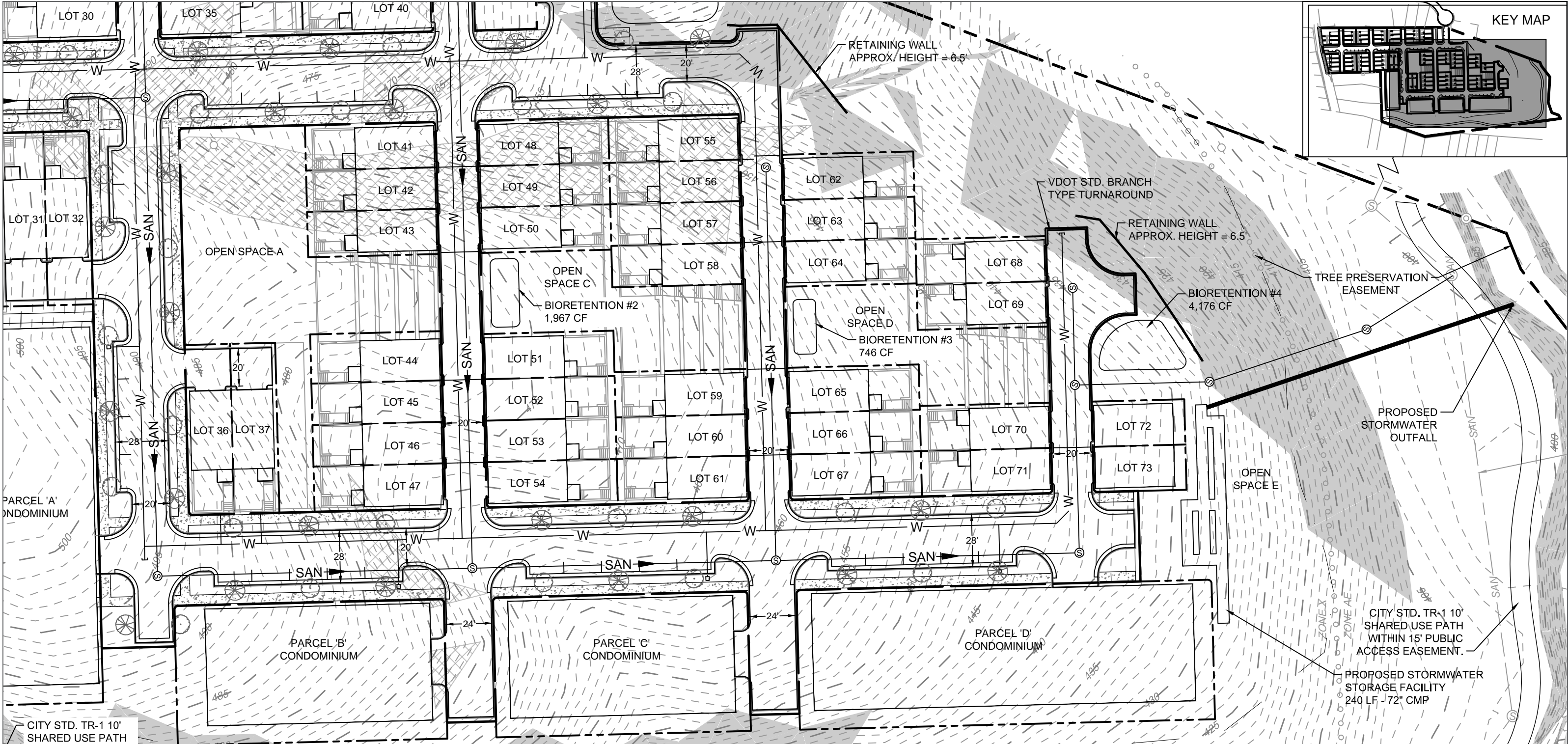
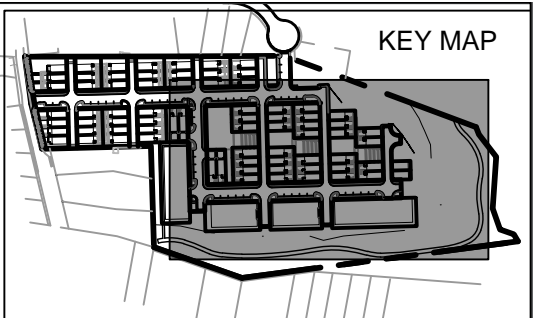


CONCEPTUAL DEVELOPMENT PLAN



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CITY STD. TR-1 10' SHARED USE PATH WITHIN 15' PUBLIC ACCESS EASEMENT.

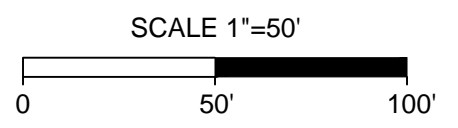
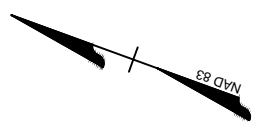
TREE PRESERVATION EASEMENT

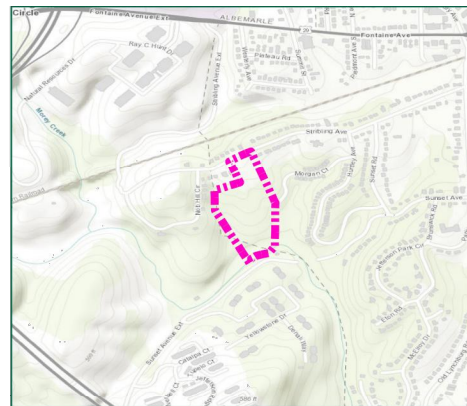
CITY STD. TR-1 10' SHARED USE PATH WITHIN 15' PUBLIC ACCESS EASEMENT.

LEGEND

- PROPOSED SANITARY MANHOLE (S)
- PROPOSED SANITARY SEWER LINE (SAN)
- PROPOSED WATER LINE (W)

CONCEPTUAL DEVELOPMENT PLAN



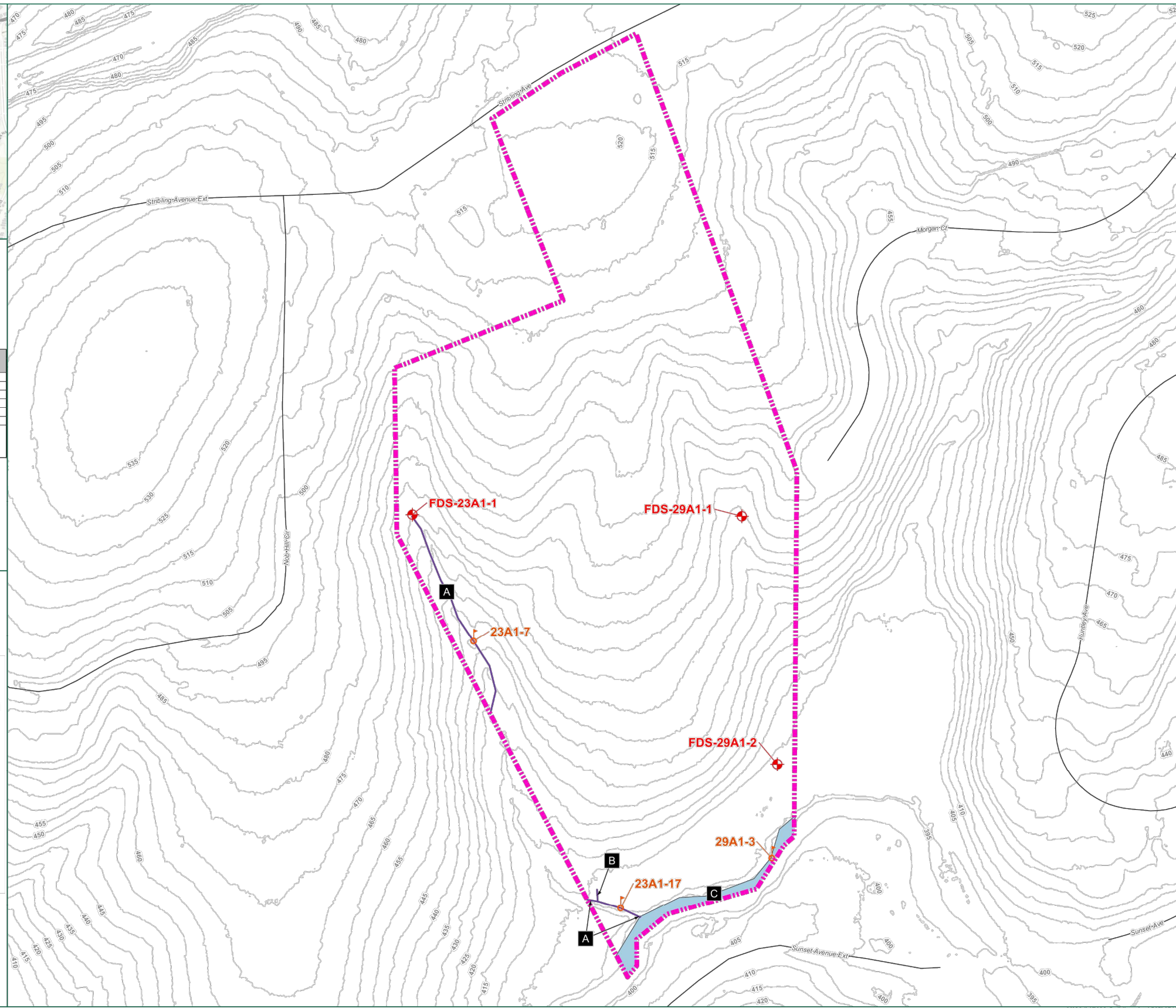


Resource Identification	Confirmation								Resource Description Notes*
	PFO (sq ft)	PSS (sq ft)	PEM (sq ft)	POW (sq ft)	R3 (ft)	R4 (ft)	R8 (ft)	Ditch (ft)	
A						400			NT/NV
B						17			NT/NV
C					353				NT/NV
Total	0	0	0	0	353	417	0	0	
Total Wetland Area =		0 sq ft		0.00 ac					
Total Stream Length =		770 ft							

* T=Tidal; NT=Non-Tidal; V=Vegetated; NV=Non-Vegetated; PFO=Palustrine Forested Wetland; PSS=Palustrine Scrub-Shrub Wetland; PEM=Palustrine Emergent Wetland; POW= Palustrine Open Water; EIW= Estuarine Intertidal Wetlands; R3= Upper Perennial Streams; R4=Intermittent Streams; R8 = Ephemeral Streams

Legend

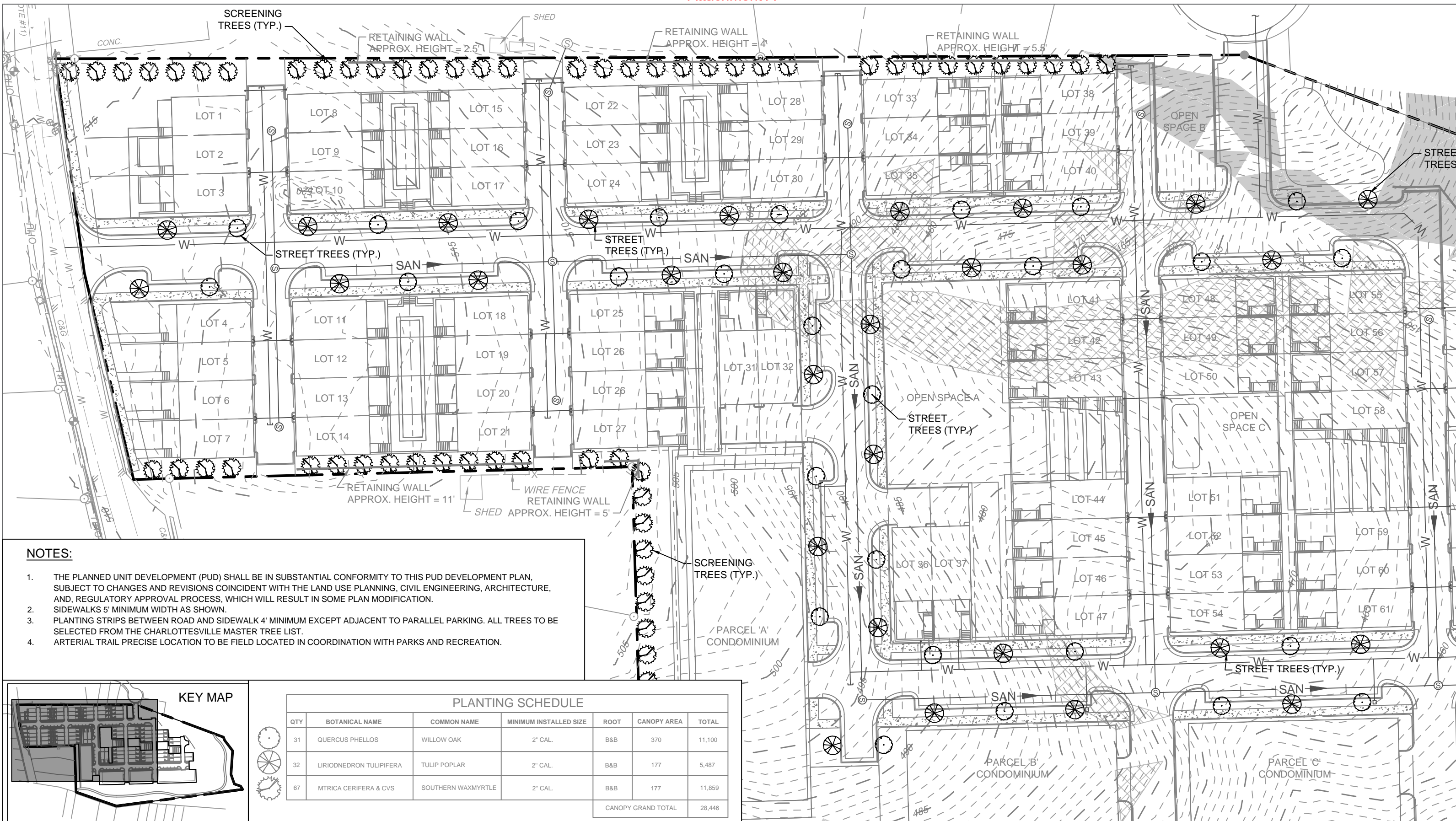
- Project Study Limits - 11.4 Acres
- Stream Identifier
- Flag
- Field Data Station
- Perennial Stream (R3)
- Intermittent Stream (R4)
- Topographic Contours - 5 Feet



NOTE: NO CULTURAL FEATURES OR LANDMARKS WERE FOUND ON SITE.

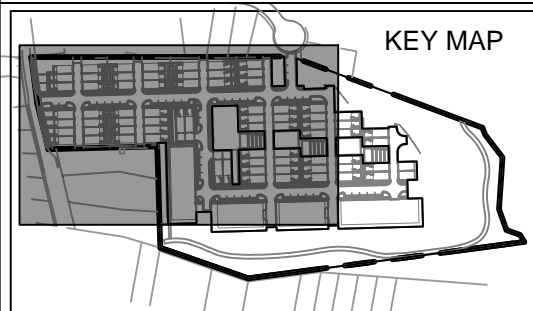
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ENVIRONMENTAL FEATURES



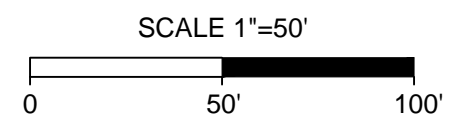
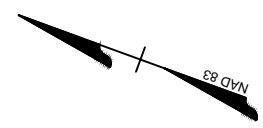
NOTES:

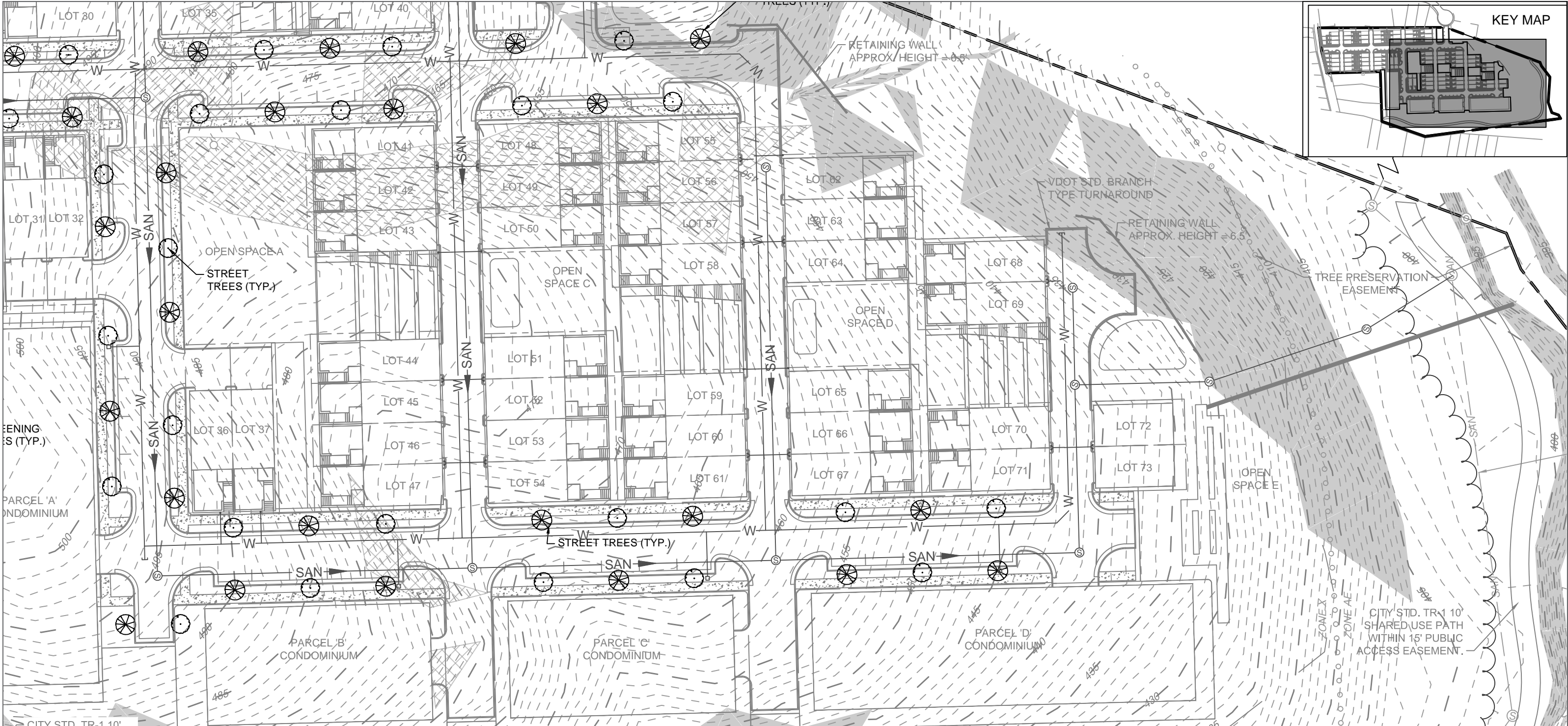
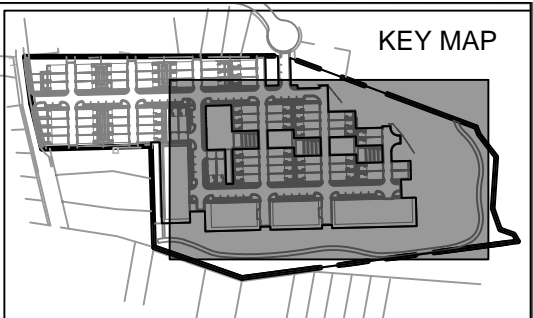
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2. SIDEWALKS 5' MINIMUM WIDTH AS SHOWN.
3. PLANTING STRIPS BETWEEN ROAD AND SIDEWALK 4' MINIMUM EXCEPT ADJACENT TO PARALLEL PARKING. ALL TREES TO BE SELECTED FROM THE CHARLOTTESVILLE MASTER TREE LIST.
4. ARTERIAL TRAIL PRECISE LOCATION TO BE FIELD LOCATED IN COORDINATION WITH PARKS AND RECREATION.



PLANTING SCHEDULE						
QTY	BOTANICAL NAME	COMMON NAME	MINIMUM INSTALLED SIZE	ROOT	CANOPY AREA	TOTAL
31	QUERCUS PHELLOS	WILLOW OAK	2" CAL.	B&B	370	11,100
32	LIRIODNEDRON TULIPIFERA	TULIP POPLAR	2" CAL.	B&B	177	5,487
67	MTRICA CERIFERA & CVS	SOUTHERN WAXMYRTLE	2" CAL.	B&B	177	11,859
CANOPY GRAND TOTAL						28,446

LANDSCAPE PLAN





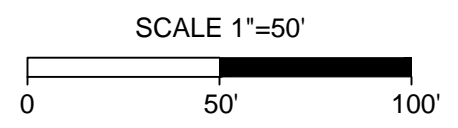
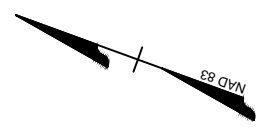
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LANDSCAPE PLAN



Use Types			
	PUD	Existing Zoning - R-1S (for reference)	Existing Zoning - R-2 (for reference)
RESIDENTIAL AND RELATED USES			
Accessory apartment, internal	P	P	P
Accessory apartment, external	P	P	P
Accessory buildings, structures and uses	B	B	B
Adult assisted living			
1–8 residents	B	B	B
Greater than 8 residents			
Adult day care			
Amateur radio antennas, to a height of 75 ft.	B	B	B
Bed-and-breakfast:			
Homestay	B	B	B
B & B			
Inn			
Boarding: fraternity and sorority house			
Boarding house (rooming house)			
Convent/monastery	S	S	S
Criminal justice facility			
Dwellings:			
Multifamily	B		
Single-family attached	B		B
Single-family detached	B	B	B
Rowhouse/Townhouse	B		
Two-family	B		B
Family day home			
1–5 children	B	B	B
6–12 children	S	S	S
Home occupation	P	P	P
Manufactured home park			
Night watchman's dwelling unit, accessory to industrial use			
Nursing homes			
Occupancy, residential			
3 unrelated persons	B	B	B
4 unrelated persons	B	B	B
Residential density (developments)			
Maximum of 15 DUA	B		
22–43 DUA			
44–64 DUA			
65–87 DUA			
88–200 DUA			
Residential treatment facility			
1–8 residents	B	B	B
8+ residents			S
Shelter care facility			
Single room occupancy facility			
Temporary family health care structure	T	T	T
NON-RESIDENTIAL: GENERAL and MISC.			
COMMERCIAL			
Access to adjacent multifamily, commercial, industrial or mixed-use development or use			
Accessory buildings, structures and uses			
Amusement center			
Amusement enterprises (circuses, carnivals, etc.)			
Amusement park (putt-putt golf; skateboard parks, etc.)			
Animal boarding/grooming/kennels:			
With outside runs or pens			
Without outside runs or pens			
Animal shelter			
Art gallery:			
GFA 4,000 SF or less			
GFA up to 10,000 SF			

Use Types			
	PUD	Existing Zoning - R-1S (for reference)	Existing Zoning - R-2 (for reference)
Art studio, GFA 4,000 SF or less			
Art workshop			
Assembly (indoor)			
Arena, stadium (enclosed)			
Auditoriums, theaters			
Houses of worship	B	B	B
Assembly (outdoor)			
Amphitheater			
Stadium (open)			
Temporary (outdoor church services, etc.)	T	T	T
Assembly plant, handcraft			
Assembly plant			
Automobile uses:			
Gas station			
Parts and equipment sales			
Rental/leasing			
Repair/servicing business			
Sales			
Tire sales and recapping			
Bakery, wholesale			
GFA 4,000 SF or less			
GFA up to 10,000 SF			
Banks/ financial institutions			
Bowling alleys			
Car wash			
Catering business			
Cemetery	S	S	S
Clinics:			
Health clinic (no GFA limit)			
Health clinic (up to 10,000 SF, GFA)			
Health clinic (up to 4,000 SF, GFA)			
Public health clinic			
Veterinary (with outside pens/runs)			
Veterinary (without outside pens/runs)			
Clubs, private	S	S	S
Communications facilities and towers:			
Antennae or microcells mounted on existing towers established prior to 02/20/01	B	B	B
Attached facilities utilizing utility poles or other electric transmission facilities as the attachment structure	B	B	B
Attached facilities not visible from any adjacent street or property	B	B	B
Attached facilities visible from an adjacent street or property			
Alternative tower support structures			
Monopole tower support structures			
Guyed tower support structures			
Lattice tower support structures			
Self-supporting tower support structures			
Contractor or tradesman's shop, general			
Crematorium (independent of funeral home)			
Data center			
Daycare facility	S	S	S
Dry cleaning establishments			
Educational facilities (non-residential)			
Elementary	S	S	S
High schools	S	S	S
Colleges and universities	S	S	S
Artistic up to 4,000 SF, GFA			
Artistic up to 10,000 SF, GFA			
Vocational, up to 4,000 SF, GFA			
Vocational, up to 10,000 SF, GFA			

MATRIX OF USE TYPES

Use Types			
	PUD	Existing Zoning - R-1S (for reference)	Existing Zoning - R-2 (for reference)
Electronic gaming café			
Funeral home (without crematory)			
GFA 4,000 SF or less			
GFA up to 10,000 SF			
Funeral homes (with crematory)			
GFA 4,000 SF or less			
GFA up to 10,000 SF			
Golf course			
Golf driving range			
Helipad			
Hospital			
Hotels/motels:			
Up to 100 guest rooms			
100+ guest rooms			
Laundromats			
Libraries		B	B
Manufactured home sales			
Microbrewery			
Mobile food units			
Movie theaters, cineplexes			
Municipal/governmental offices, buildings, courts	S	S	S
Museums:			
Up to 4,000 SF, GFA			
Up to 10,000 SF, GFA			
Music halls			
Offices:			
Business and professional			
Medical			
Philanthropic institutions/agencies			
Property management			
Other offices (non-specified)			
Outdoor storage, accessory			
Parking:			
Parking garage	A		
Surface parking lot	A		
Surface parking lot (more than 20 spaces)	A		
Temporary parking facilities	A		
Photography studio			
Photographic processing; blueprinting			
Radio/television broadcast stations			
Recreational facilities:			
Indoor: health/sports clubs; tennis club; swimming club; yoga studios; dance studios, skating rinks, recreation centers, etc.	B	B	B
Outdoor: Parks, playgrounds, ball fields and ball courts, swimming pools, picnic shelters, etc.	B	B	B
Outdoor: Parks, playgrounds, ball fields and ball courts, swimming pools, picnic shelters, etc. (private)	B	S	S
Restaurants:			
Dance hall/all night			
Drive-through windows			
Fast food			
Full service			
24-hour			
Taxi stand			
Towing service, automobile			
Technology-based businesses			
Transit facility			
Utility facilities	S	S	S
Utility lines	B	B	B
NON-RESIDENTIAL USES: RETAIL			
Accessory buildings, structures and uses			

Use Types			
	PUD	Existing Zoning - R-1S (for reference)	Existing Zoning - R-2 (for reference)
Consumer service businesses:			
Up to 4,000 SF, GFA			
Up to 10,000 SF, GFA			
10,001+ GFA			
Farmer's market			
Greenhouses/nurseries			
Grocery stores:			
Convenience			
General, up to 10,000 SF, GFA			
General, 10,001+ SF, GFA			
Home improvement center			
Pharmacies:			
1—1,700 SF, GFA			
1,701—4,000 SF, GFA			
4,001+ SF, GFA			
Shopping centers			
Shopping malls			
Temporary sales, outdoor (flea markets, craft fairs, promotional sales, etc.)			
Other retail stores (non-specified):			
Up to 4,000 SF, GFA			
Up to 20,000 SF GFA			
20,000+ SF, GFA			
NON-RESIDENTIAL: INDUSTRIAL			
Accessory buildings, structures and uses			
Assembly, industrial			
Beverage or food processing, packaging and bottling plants			
Brewery and bottling facility			
Compounding of cosmetics, toiletries, drugs and pharmaceutical products			
Construction storage yard			
Contractor or tradesman shop (HAZMAT)			
Frozen food lockers			
Greenhouse/nursery (wholesale)			
Industrial equipment: service and repair			
Janitorial service company			
Kennels			
Laboratory, medical			
<4,000 sq. ft.			
Laboratory, pharmaceutical			
<4,000 sq. ft.			
Landscape service company			
Laundries			
Manufactured home sales			
Manufacturing, light			
Medical laboratories			
Moving companies			
Pharmaceutical laboratories			
Printing/publishing facility			
Open storage yard			
Outdoor storage, accessory to industrial use			
Research and testing laboratories			
Self-storage companies			
Warehouses			
Welding or machine shop			
Wholesale establishments			

A = ANCILLARY USE
 B = BY RIGHT USE
 CR = COMMERCIAL/RESIDENTIAL
 A/S = ANCILLARY OR SPECIAL USE PERMIT
 DUA = DWELLING UNITS PER ACRE
 GFA = GROSS FLOOR AREA

MFD = MULTIFAMILY DEVELOPMENT
 P = PROVISIONAL USE PERMIT
 T = TEMPORARY USE PERMIT

MATRIX OF USE TYPES

BEFORE THE CITY COUNCIL OF THE CITY OF CHARLOTTESVILLE, VIRGINIA
IN RE: PETITION FOR REZONING (City Application No. ZM-20-_____)
STATEMENT OF FINAL PROFFER CONDITIONS
For the 240 Stribling PUD
Dated as of _____

TO THE HONORABLE MAYOR AND MEMBERS OF THE COUNCIL OF THE CITY OF CHARLOTTESVILLE:

The undersigned limited liability company is the owner of land subject to the above-referenced rezoning petition ("Subject Property"). The Owner/Applicant seeks to amend the current zoning of the property subject to certain voluntary development conditions set forth below. In connection with this rezoning application, the Owner/Applicant seeks approval of a PUD as set forth within a PUD Development Plan, pages 1 through 8, dated _____.

The Owner/Applicant hereby proffers and agrees that if the Subject Property is rezoned as requested, the rezoning will be subject to, and the Owner will abide by, the approved PUD Development Plan as well as the following conditions:

1. The Developer shall contribute five hundred thousand dollars (\$500,000) to the city of Charlottesville to be used toward a bicycle, pedestrian, and safety improvements on Stribling Avenue.
2. Affordable Housing:
 - a. The Developer shall cause a minimum 15% of the residential units constructed on the site to be Affordable Dwelling Units (ADUs) accessible to residents between 25% and 60% of area median income.
 - i. No fewer than 30% of the ADUs constructed on the Subject Property shall be for-rent. For-rent ADUs shall have a period of affordability of not less than ten (10) years, administered in accordance with the provisions of City Code 34-12(g).
 - ii. No fewer than 30% of the ADUs constructed on the Subject Property shall be for-sale. For-sale ADUs shall have a period of affordability of not less than thirty (30) years, guaranteed by deed restrictions which include, at a minimum, a first right of refusal to repurchase the property, appreciation-sharing provisions, and forgivable and/or below market rate interest mortgages to the qualified buyer.
 - b. During construction ADUs shall be provided incrementally such that at least 5 incremental ADUs shall be under construction prior to the issuance of every 30th Certificate of Occupancy.

WHEREFORE, the undersigned Owner(s) stipulate and agree that the use and development of the Subject Property shall be in conformity with the conditions hereinabove stated, and requests that the Subject Property be rezoned as requested, in accordance with the Zoning Ordinance of the City of Charlottesville.

Respectfully submitted this _____ day of _____.

Applicant:
Southern Development Group, Inc

Address:
142 South Pantops Drive
Charlottesville, VA 22911

By: _____
Charles Armstrong, Vice President

PROFFER CONDITIONS

SUPPLEMENTAL INFORMATION REQUESTED BY STAFF IN ADDITION TO PUD DEVELOPMENT PLAN CONTENTS

SITE DATA:

TAX MAP PARCEL:
18A025000

TOTAL PARCEL AREA:
11.373 ACRES

ZONING:
R1 AND R2

OWNER:
CARRSGROVE PROPERTIES, LLC

DEVELOPER:
SOUTHERN DEVELOPMENT

DESIGN:
TIMMONS GROUP

SOURCE OF BOUNDARY SURVEY:
PLAT OF RECORD

SOURCE OF TOPOGRAPHY:
EXISTING TOPOGRAPHY PROVIDED BY TIMMONS GROUP MAY, 2017

THE PROPERTY IS LOCATED IN ZONE AE AND X AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE MAP NUMBER 51003C0269D, DATED 2-4-2005

MAXIMUM BUILDING HEIGHT:
55', EXCEPT THAT FOR ANY PORTION OF A BUILDING LOCATED WITHIN 75' OF LOW DENSITY RESIDENTIAL ZONING DISTRICT, WHERE THE HEIGHT REGULATIONS OF THE RESIDENTIAL DISTRICT SHALL APPLY.

CURRENT USE:
VACANT LOT

PROPOSED USE:
PUD

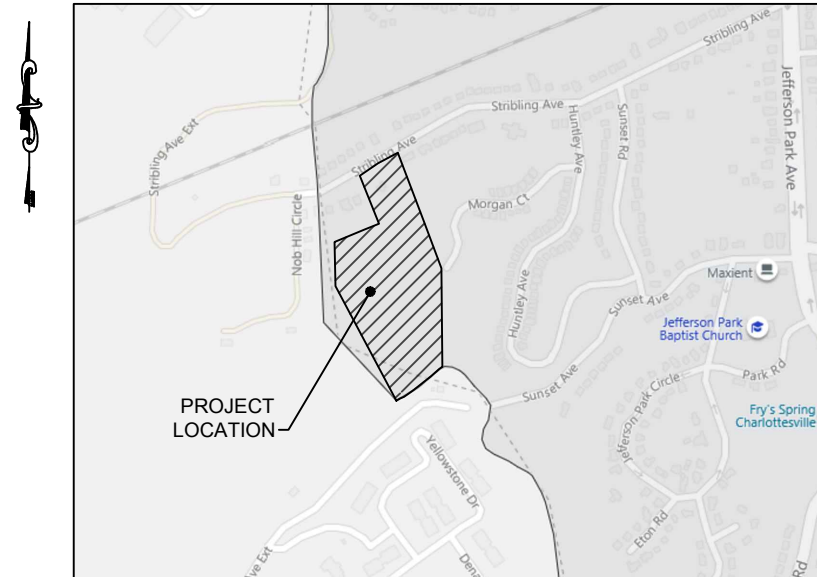
OPEN SPACE OWNERSHIP:
ALL OPEN SPACE TO BE OWNED AND MAINTAINED BY A HOME OWNERS ASSOCIATION

LIGHTING:
LIGHTING FIXTURES SHALL NOT EXCEED 3000 LUMENS.

LAND USE SUMMARY:
TOTAL SITE AREA: 11.373 Ac. (100%)
RW DEDICATION TO STRIBLING AVE. +/- 0.060 Ac. (0.5%)
TOWNHOUSE LOT AREA: ± 2.998 Ac. (26.4%)
CONDO/APARTMENT LOT AREA: ±1.200Ac. (10.6%)
RIGHT-OF-WAY AREA: ±2.165 Ac. (19.0%)
OPEN SPACE AREA: ±4.950 Ac. (43.5%)

TRAFFIC STUDY:
ITE USE CODE 220; LOW RISE MULTIFAMILY
170 UNITS
AM PEAK HOUR - 79 (18 ENTER, 61 EXIT)
PM PEAK HOUR - 94 (59 ENTER, 35 EXIT)
AVERAGE DAILY TRIPS - 1,244 ADT

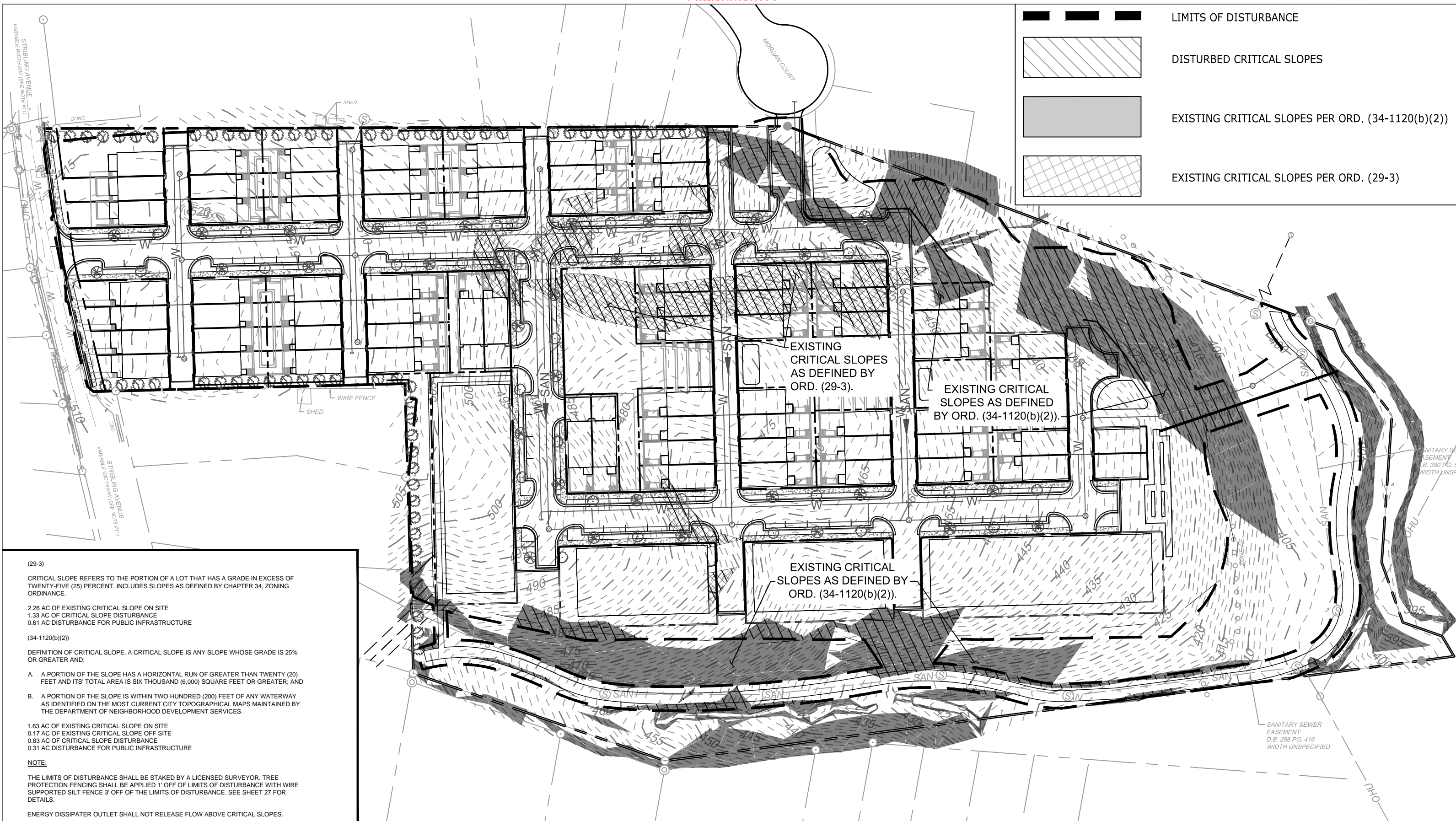
240 STRIBLING AVENUE CITY OF CHARLOTTESVILLE, VIRGINIA



VICINITY MAP
SCALE: 1" = 500'

Sheet List Table

Sheet Number	Sheet Title
1	COVER
2	CRITICAL SLOPE EXHIBIT - ZONING AND SUBDIVISION ORDINANCE
3	FIRETRUCK AUTOTURN 1A
4	FIRETRUCK AUTOTURN 1B
5	FIRETRUCK AUTOTURN 2A
6	FIRETRUCK AUTOTURN 2B
7	FIRETRUCK AUTORUN 3A
8	FIRETRUCK AUTORUN 3B
9	FIRETRUCK AUTOTURN 4A
10	FIRETRUCK AUTOTURN 4B
11	EARY BIRDS EYE MASSING
12	RENDERED BIRDS EYE
13	RENDERED BIRDS EYE
14	STRIBLING AVE VIEW
15	GREENS VIEW
16	MEWS VIEW
17	OPEN SPACE PLAN
18	PARKING PLAN
19	PEDESTRIAN ACCESS PLAN
20	PRELIMINARY BMP AND STORMWATER MANAGEMENT PLAN
21	PRELIMINARY BMP AND STORMWATER MANAGEMENT PLAN
22	CONCEPTUAL EROSION & SEDIMENT CONTROL PLAN
23	PRELIMINARY PLAT
24	TREE SURVEY
25	TREE SURVEY
26	EROSION CONTROL DETAILS



	LIMITS OF DISTURBANCE
	DISTURBED CRITICAL SLOPES
	EXISTING CRITICAL SLOPES PER ORD. (34-1120(b)(2))
	EXISTING CRITICAL SLOPES PER ORD. (29-3)

(29-3)
 CRITICAL SLOPE REFERS TO THE PORTION OF A LOT THAT HAS A GRADE IN EXCESS OF TWENTY-FIVE (25) PERCENT. INCLUDES SLOPES AS DEFINED BY CHAPTER 34, ZONING ORDINANCE.

2.26 AC OF EXISTING CRITICAL SLOPE ON SITE
 1.33 AC OF CRITICAL SLOPE DISTURBANCE
 0.61 AC DISTURBANCE FOR PUBLIC INFRASTRUCTURE

(34-1120(b)(2))
 DEFINITION OF CRITICAL SLOPE. A CRITICAL SLOPE IS ANY SLOPE WHOSE GRADE IS 25% OR GREATER AND:

A. A PORTION OF THE SLOPE HAS A HORIZONTAL RUN OF GREATER THAN TWENTY (20) FEET AND ITS' TOTAL AREA IS SIX THOUSAND (6,000) SQUARE FEET OR GREATER; AND

B. A PORTION OF THE SLOPE IS WITHIN TWO HUNDRED (200) FEET OF ANY WATERWAY AS IDENTIFIED ON THE MOST CURRENT CITY TOPOGRAPHICAL MAPS MAINTAINED BY THE DEPARTMENT OF NEIGHBORHOOD DEVELOPMENT SERVICES.

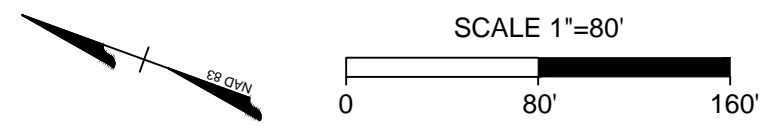
1.63 AC OF EXISTING CRITICAL SLOPE ON SITE
 0.17 AC OF EXISTING CRITICAL SLOPE OFF SITE
 0.83 AC OF CRITICAL SLOPE DISTURBANCE
 0.31 AC DISTURBANCE FOR PUBLIC INFRASTRUCTURE

NOTE:
 THE LIMITS OF DISTURBANCE SHALL BE STAKED BY A LICENSED SURVEYOR. TREE PROTECTION FENCING SHALL BE APPLIED 1' OFF OF LIMITS OF DISTURBANCE WITH WIRE SUPPORTED SILT FENCE 3' OFF OF THE LIMITS OF DISTURBANCE. SEE SHEET 27 FOR DETAILS.

ENERGY DISSIPATER OUTLET SHALL NOT RELEASE FLOW ABOVE CRITICAL SLOPES.

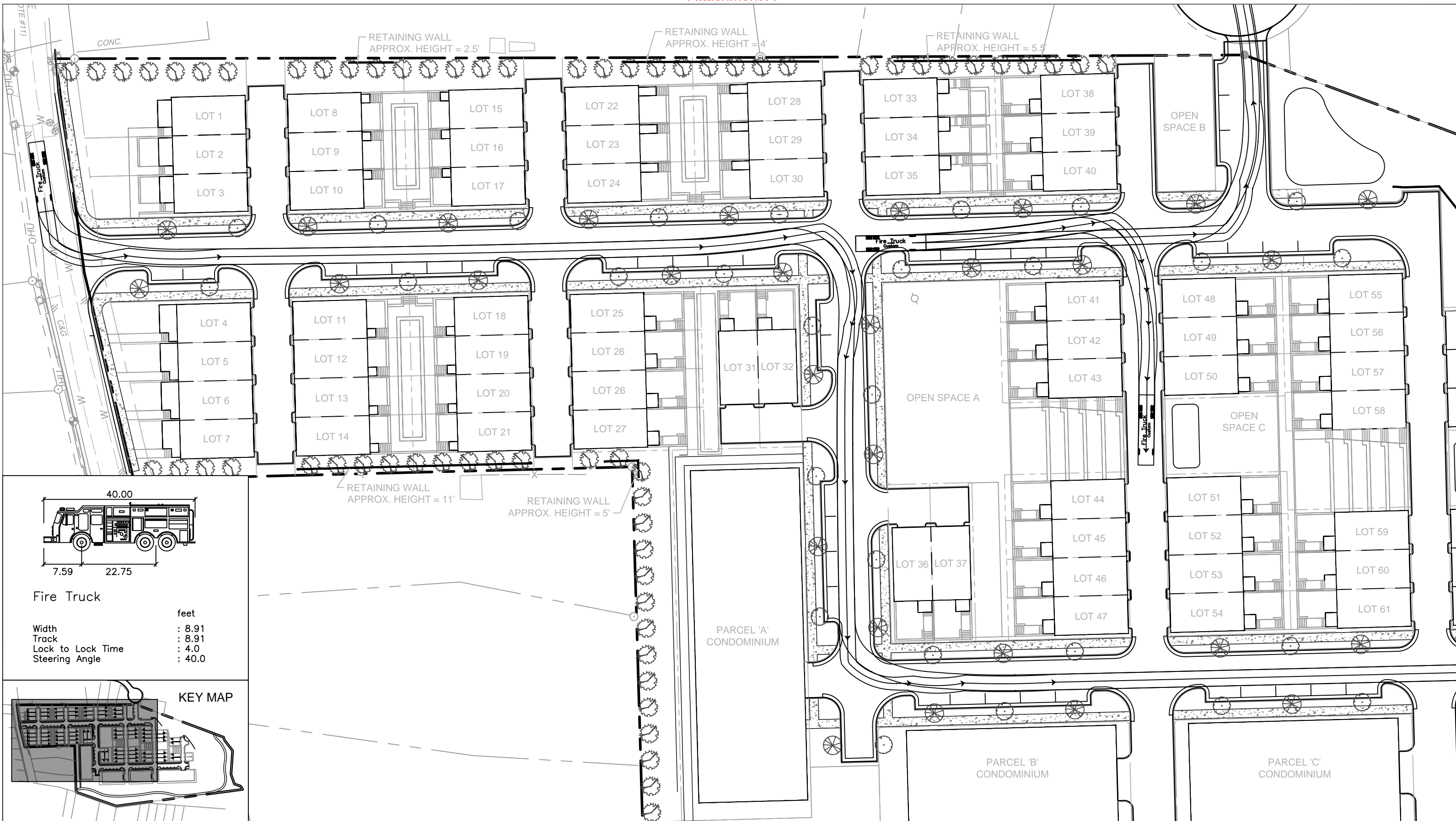
CRITICAL SLOPES EXHIBIT - ZONING & SUBDIVISION ORDINANCE

SHEET 2
 240 STRIBLING AVENUE - APRIL 28, 2020



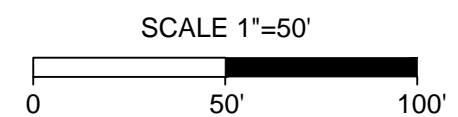
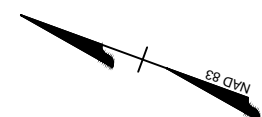
MITCHELL
 MATTHEWS
 ARCHITECTS

TIMMONS GROUP
 YOUR VISION ACHIEVED THROUGH OURS.



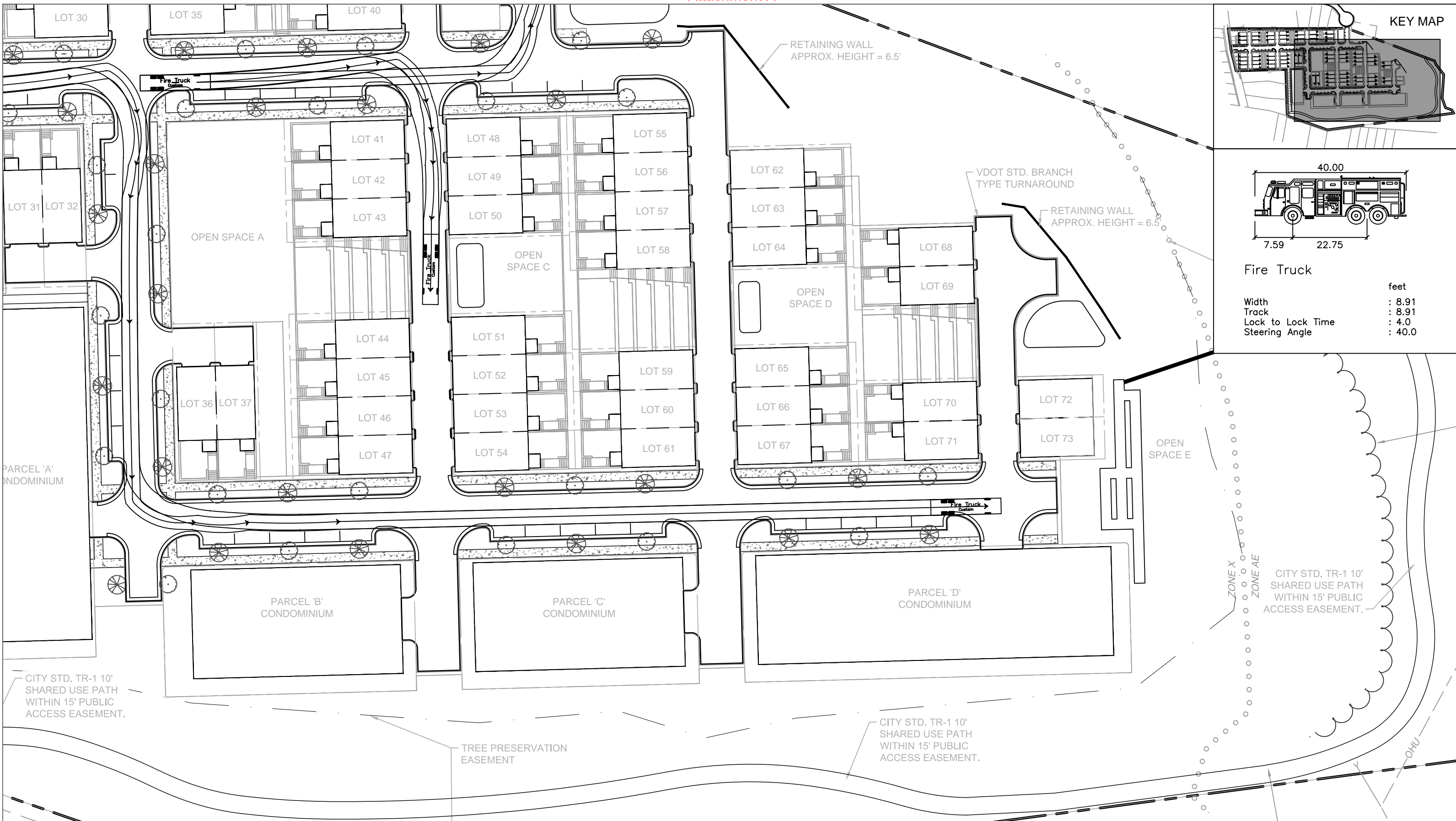
FIRETRUCK AUTOTURN 1A

SHEET 3
240 STRIBLING AVENUE - APRIL 28, 2020



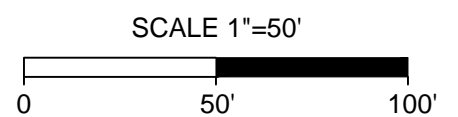
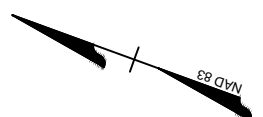
MITCHELL
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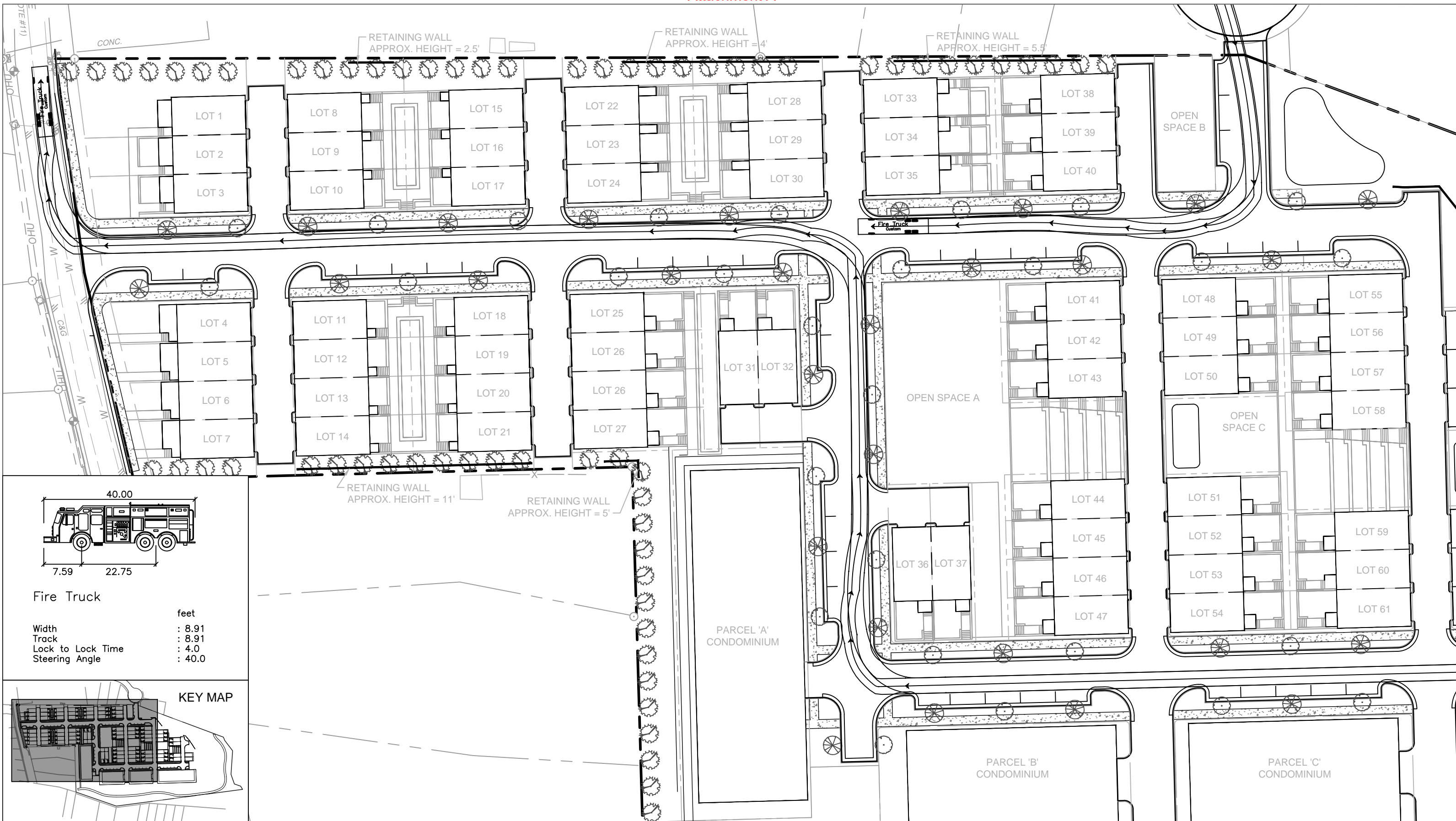
FIRETRUCK AUTOTURN 1B

SHEET 4
240 STRIBLING AVENUE - APRIL 28, 2020



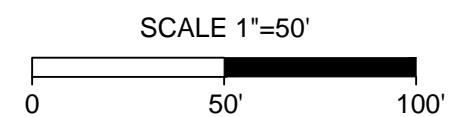
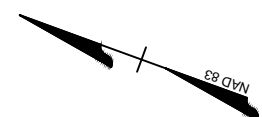
MITCHELL
MATTHEWS
ARCHITECTS





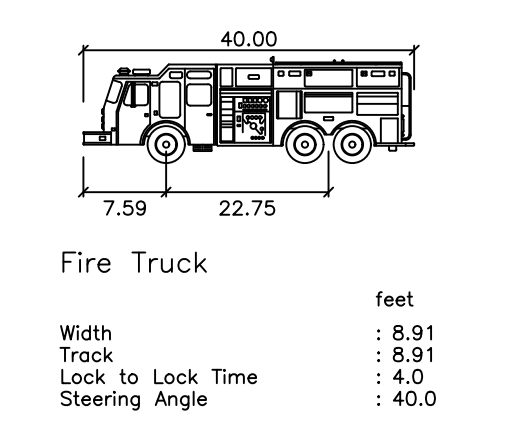
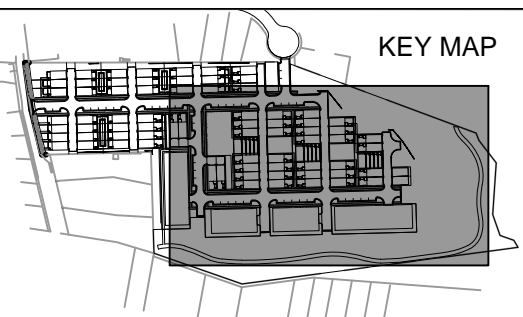
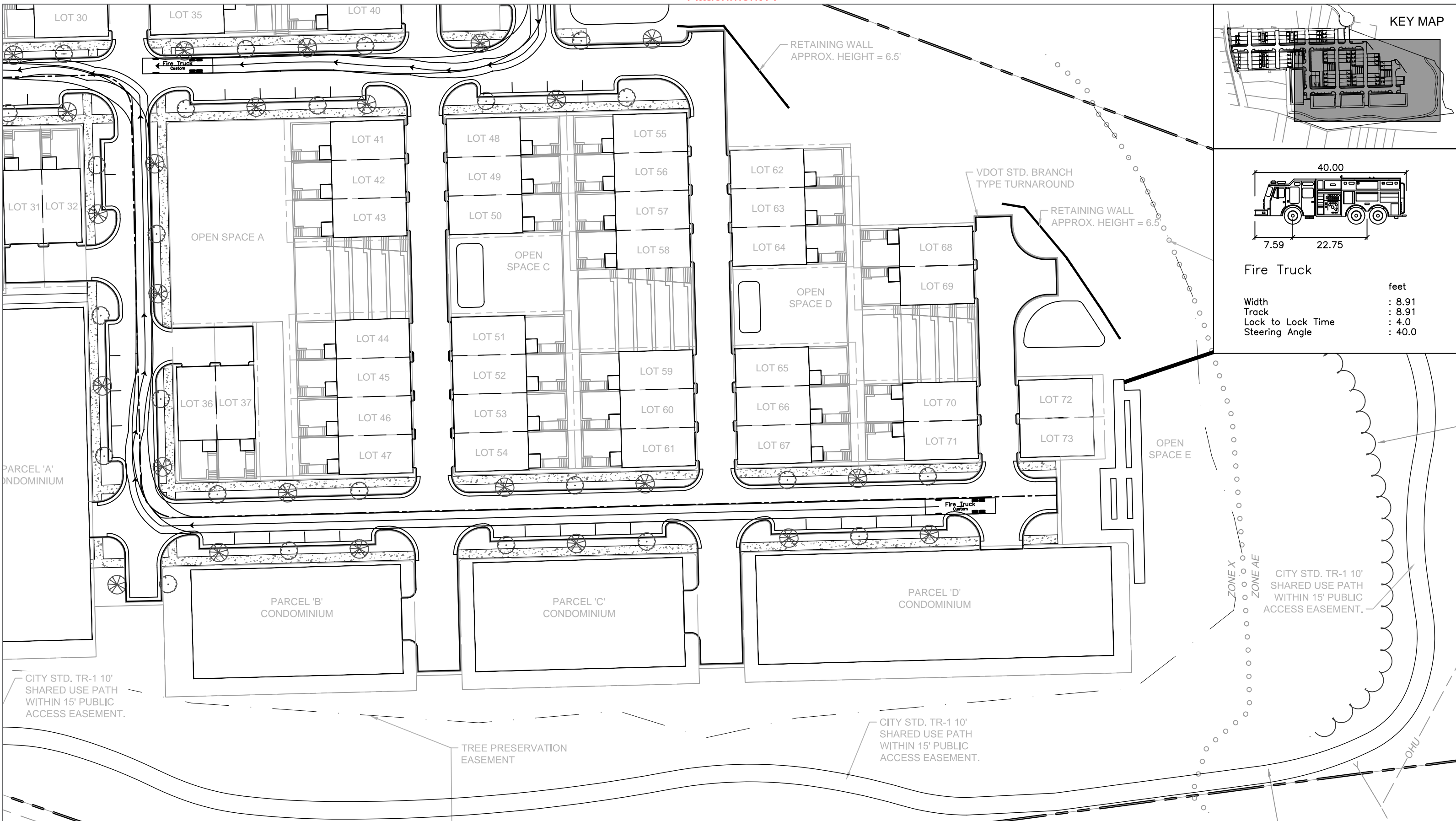
FIRETRUCK AUTOTURN 2A

SHEET 5
240 STRIBLING AVENUE - APRIL 28, 2020



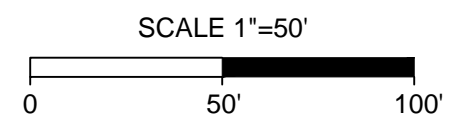
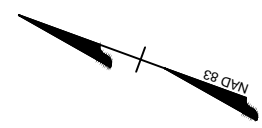
MITCHELL
MATTHEWS
ARCHITECTS

TIMMONS GROUP
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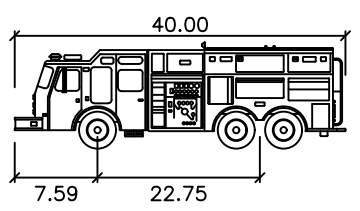
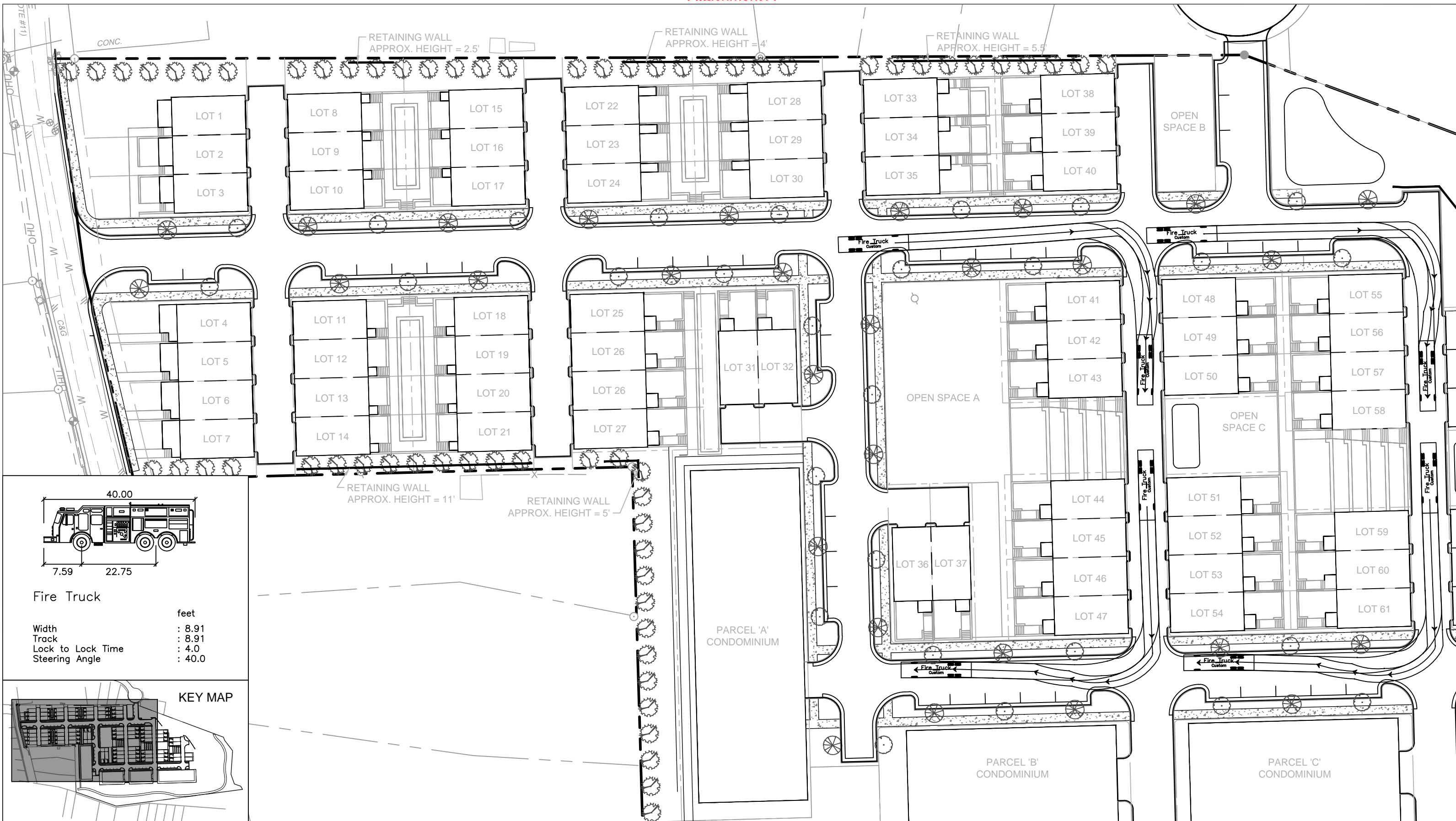
FIRETRUCK AUTOTURN 2B

SHEET 6
240 STRIBLING AVENUE - APRIL 28, 2020



MITCHELL
MATTHEWS
ARCHITECTS





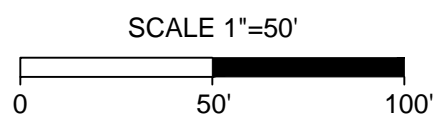
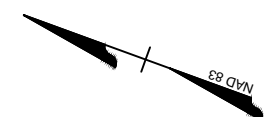
Fire Truck

	feet
Width	: 8.91
Track	: 8.91
Lock to Lock Time	: 4.0
Steering Angle	: 40.0



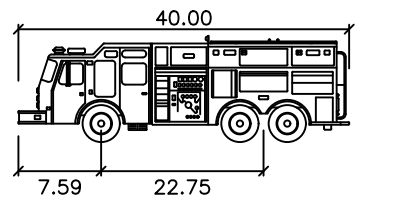
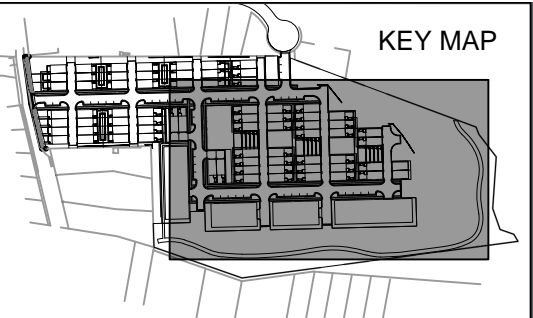
FIRETRUCK AUTORUN 3A

SHEET 7
240 STRIBLING AVENUE - APRIL 28, 2020



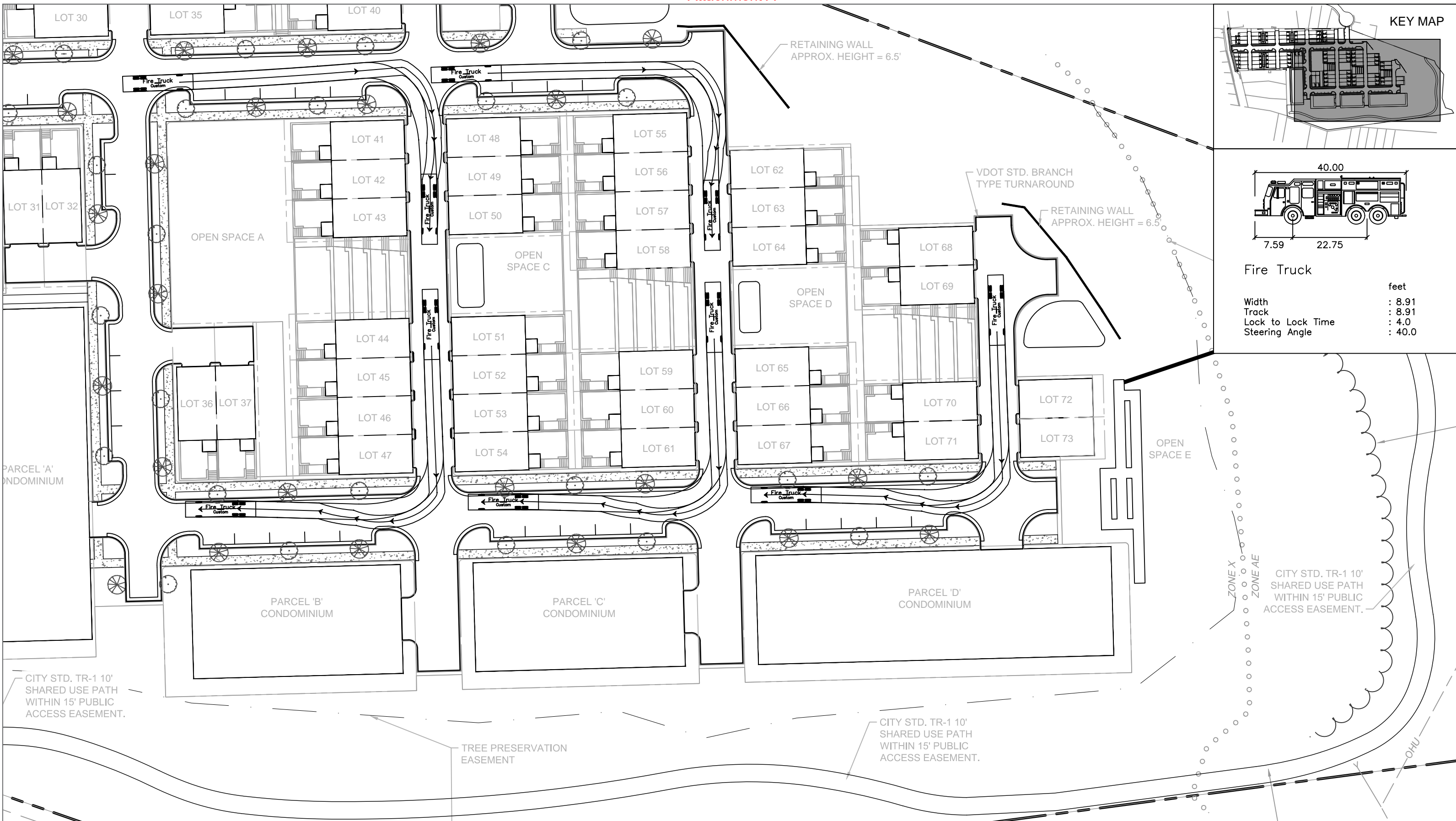
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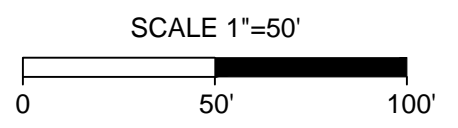
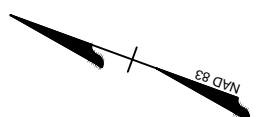
Fire Truck

	feet
Width	: 8.91
Track	: 8.91
Lock to Lock Time	: 4.0
Steering Angle	: 40.0



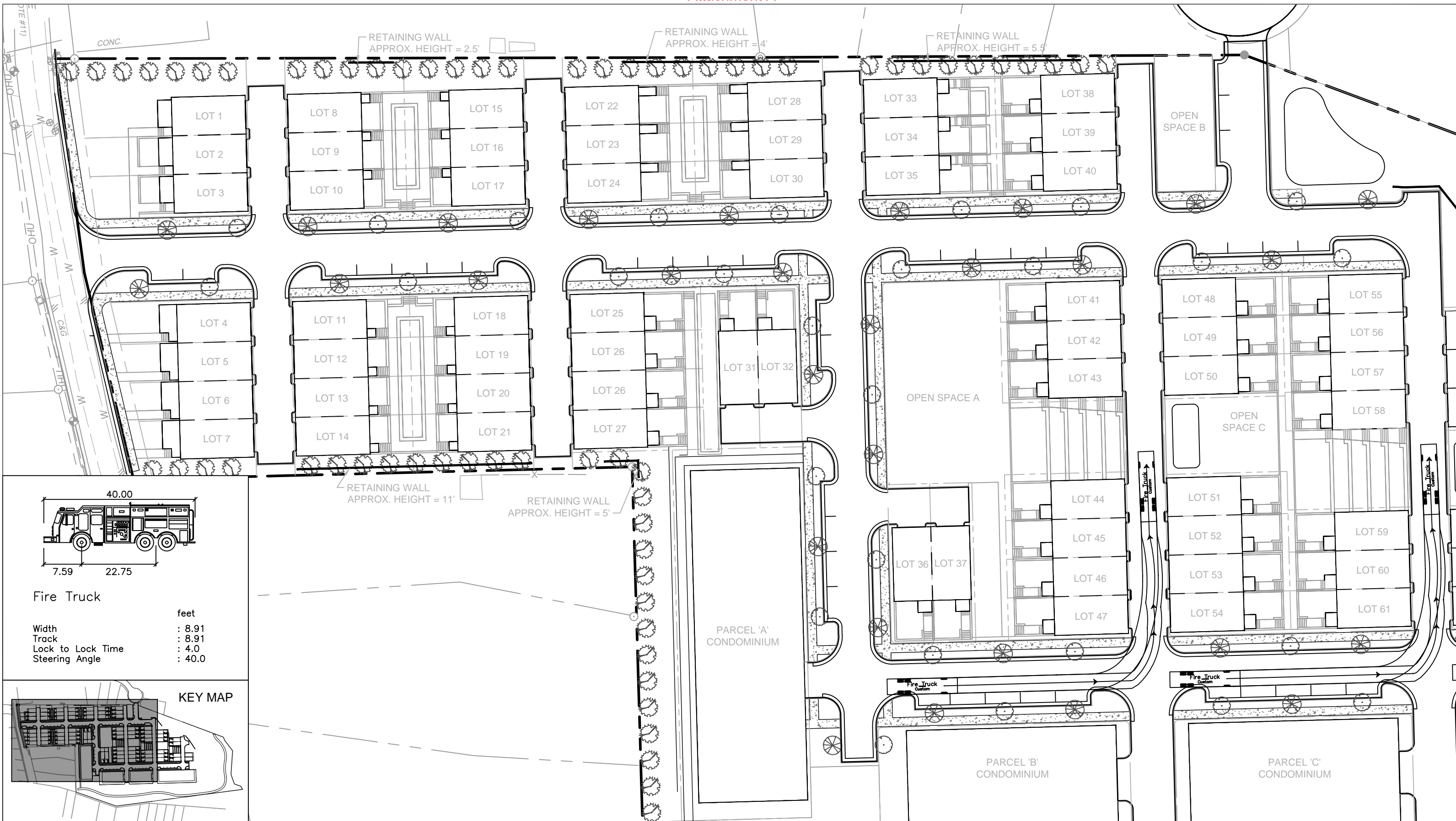
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SHEET 8
240 STRIBLING AVENUE - APRIL 28, 2020



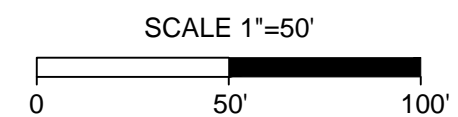
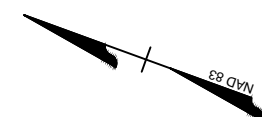
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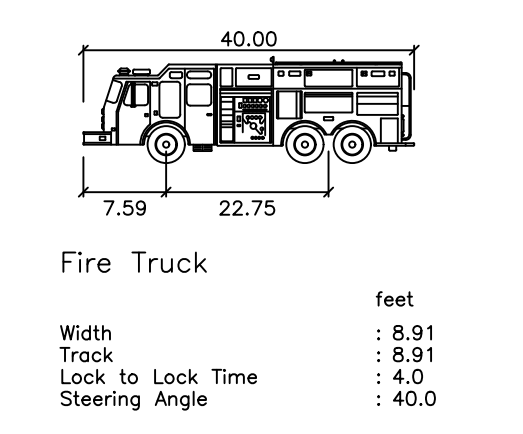
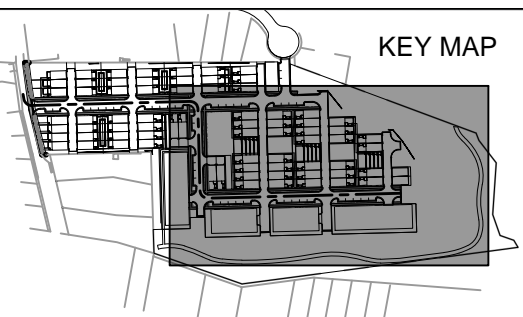
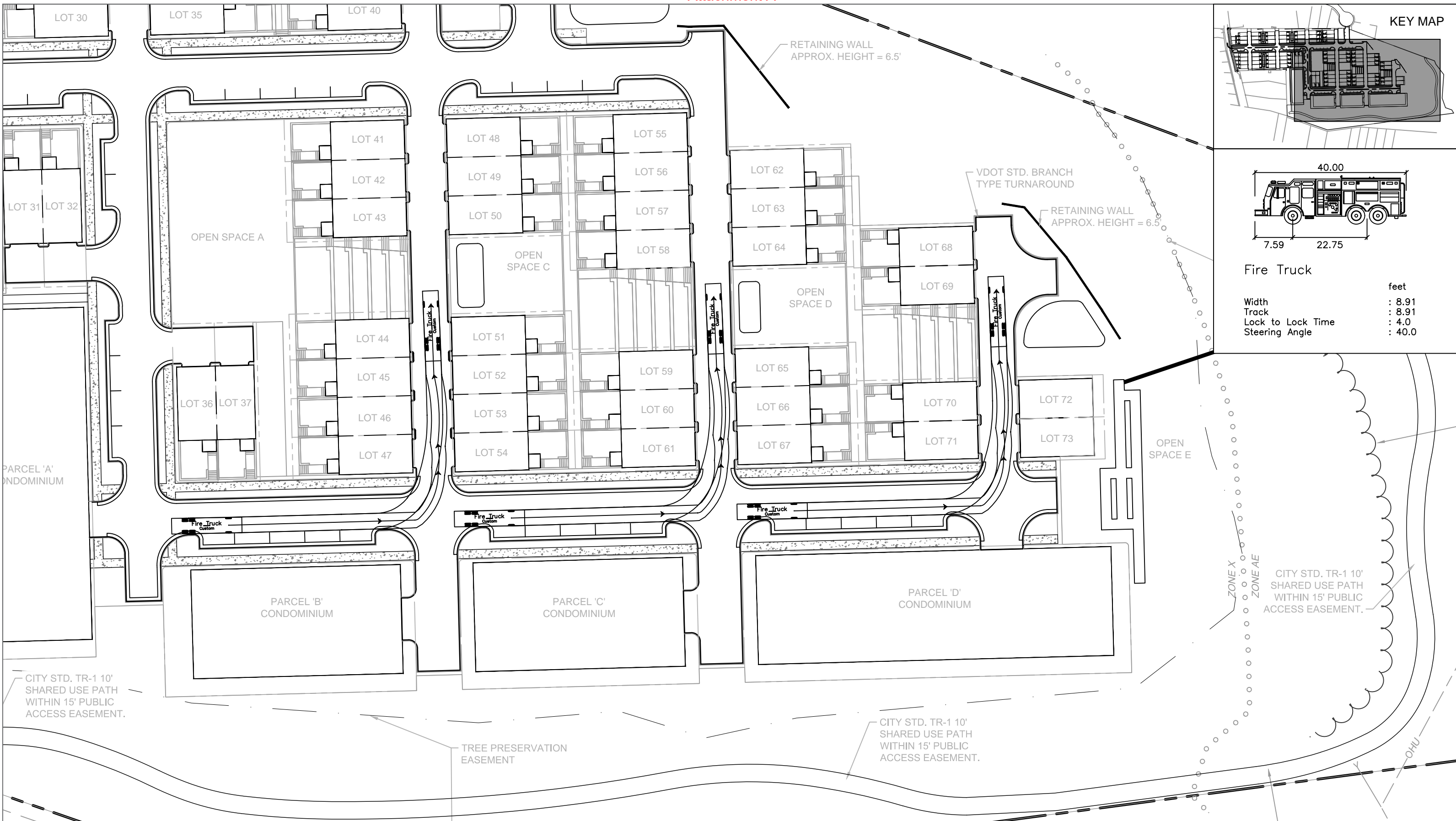
FIRETRUCK AUTOTURN 4A

SHEET 9
240 STRIBLING AVENUE - APRIL 28, 2020



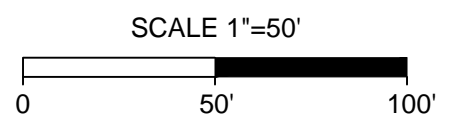
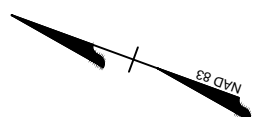
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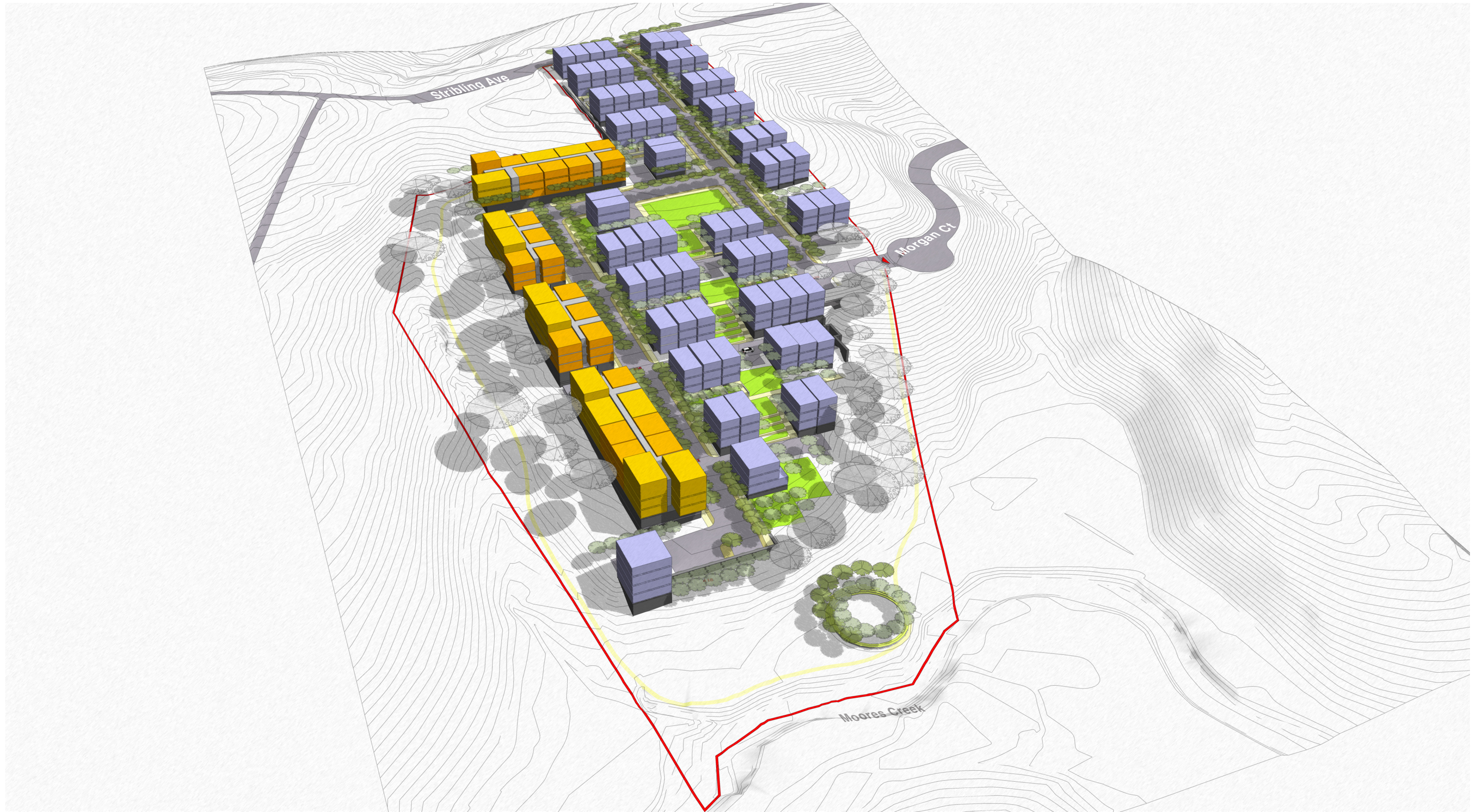
FIRETRUCK AUTOTURN 4B

SHEET 10
240 STRIBLING AVENUE - APRIL 28, 2020



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240 STRIBLING AVE

Birds Eye a sheet 12

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240 STRIBLING AVE

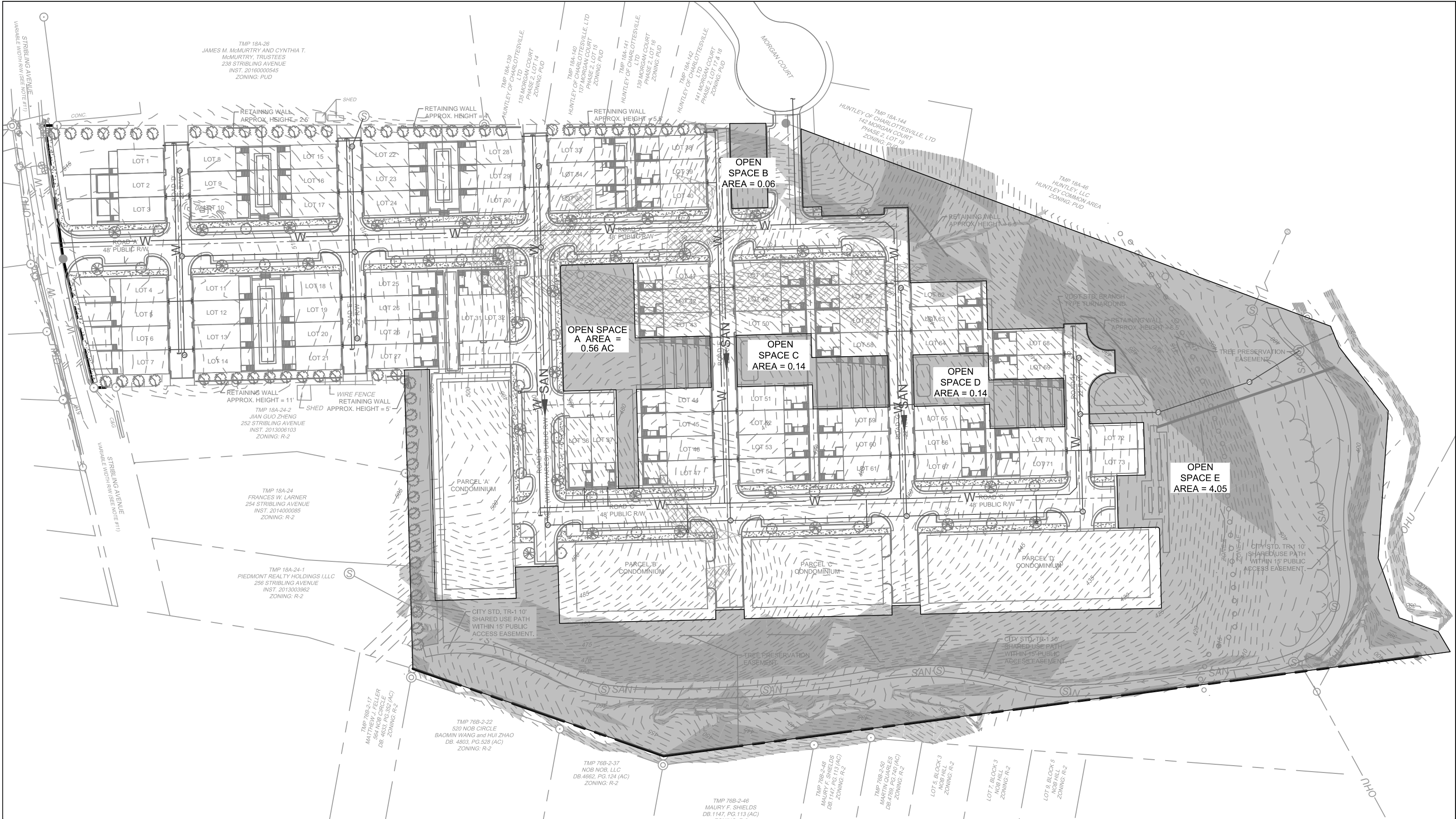
Birds Eye **b** sheet 13

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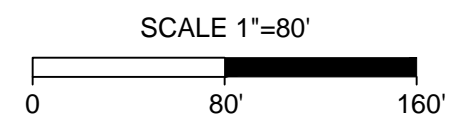
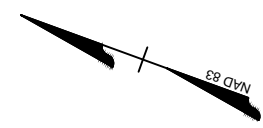






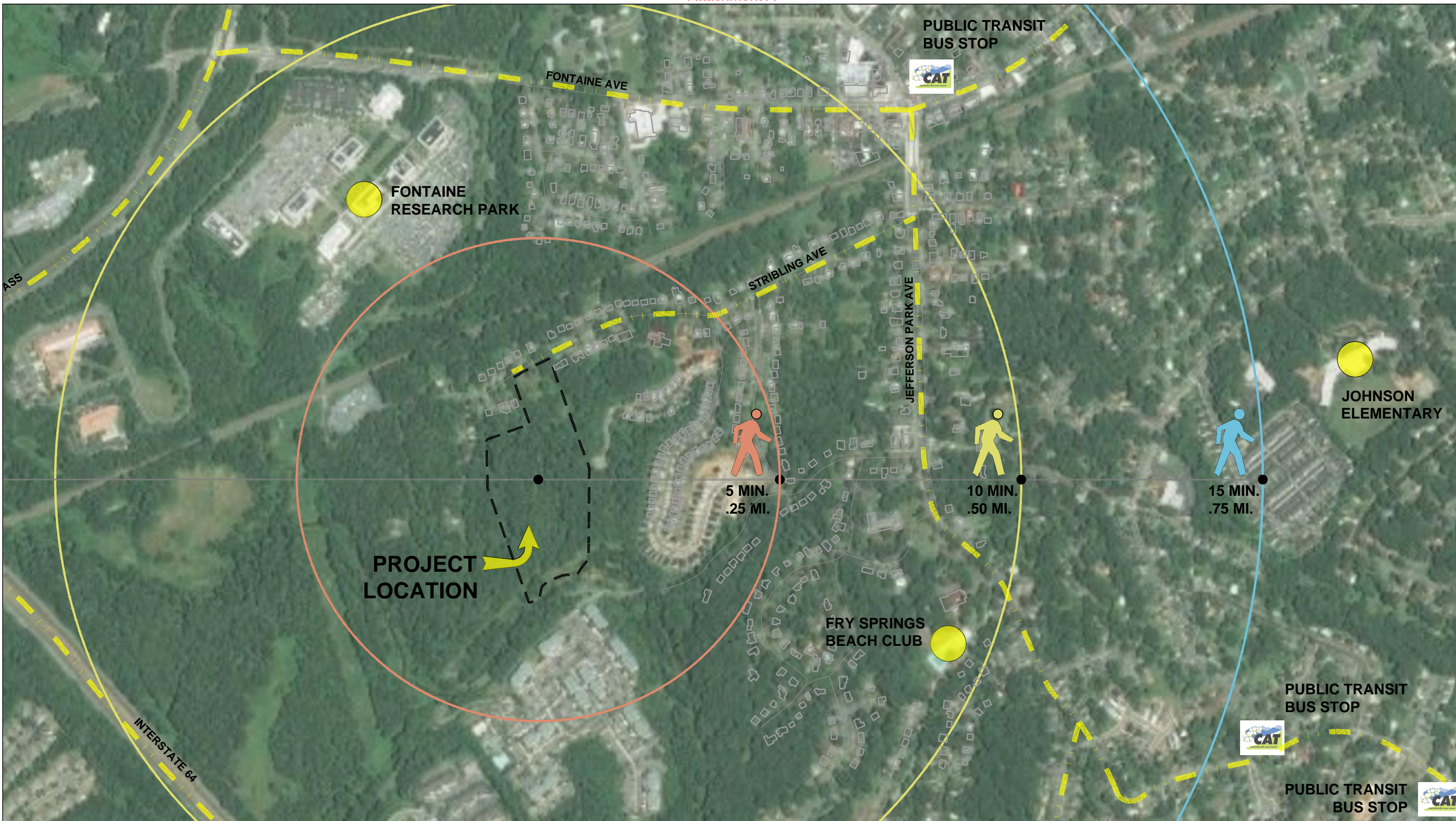
OPEN SPACE PLAN

SHEET 17
240 STRIBLING AVENUE - APRIL 28, 2020



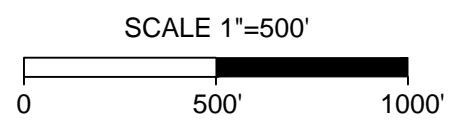
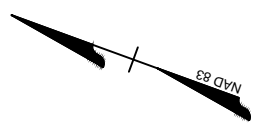
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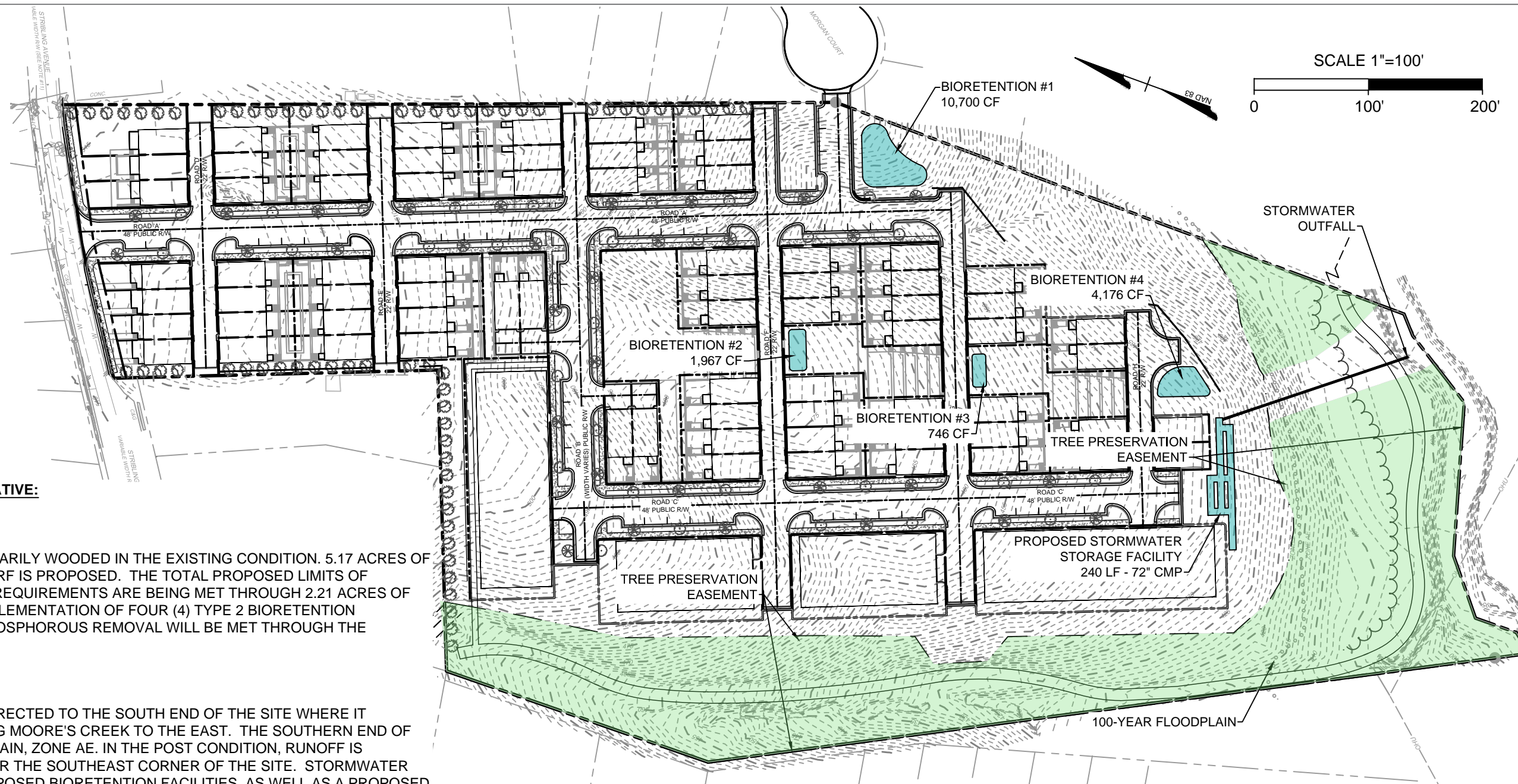
PEDESTRIAN ACCESS PLAN

SHEET 19
240 STRIBLING AVENUE - APRIL 28, 2020



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STORMWATER MANAGEMENT AND E&SC NARRATIVE:

STORMWATER QUALITY:

PARCEL 18A025000 IS 11.053 ACRES AND IS PRIMARILY WOODED IN THE EXISTING CONDITION. 5.17 ACRES OF IMPERVIOUS AREA 3.24 ACRES OF MANAGED TURF IS PROPOSED. THE TOTAL PROPOSED LIMITS OF DISTURBANCE IS 9.35 ACRES. WATER QUALITY REQUIREMENTS ARE BEING MET THROUGH 2.21 ACRES OF TREE PRESERVATION DEDICATION AND THE IMPLEMENTATION OF FOUR (4) TYPE 2 BIORETENTION FACILITIES. THE REMAINING 0.84 LBS/YR. OF PHOSPHOROUS REMOVAL WILL BE MET THROUGH THE PURCHASE OF OFFSITE NUTRIENT CREDITS.

STORMWATER QUANTITY:

IN THE EXISTING CONDITION, SITE RUNOFF IS DIRECTED TO THE SOUTH END OF THE SITE WHERE IT OUTFALLS TO A STREAM, JUST BEFORE MEETING MOORE'S CREEK TO THE EAST. THE SOUTHERN END OF THE SITE LIES WITHIN FEMA 100-YEAR FLOOD PLAIN, ZONE AE. IN THE POST CONDITION, RUNOFF IS CAPTURED AND OUTFALLS TO THE STREAM NEAR THE SOUTHEAST CORNER OF THE SITE. STORMWATER DETENTION IS BEING PROVIDED THROUGH 4 PROPOSED BIORETENTION FACILITIES, AS WELL AS A PROPOSED UNDERGROUND STORAGE FACILITY ON THE SOUTH END OF THE SITE.

CHANNEL PROTECTION: THE ENERGY BALANCE EQUATION HAS BEEN MET FOR THE 1-YEAR, 24 HOUR STORM PER 9VAC25-870-66(B)3, "NATURAL STORMWATER CONVEYANCE SYSTEMS." APPLICABLE APPROVALS FROM ACOE WILL BE OBTAINED TO OUTFALL TO THE STREAM.

FLOOD PROTECTION: PER 9VAC25-870-66(C)3, STORMWATER SHALL BE ANALYZED FOR FLOOD PROTECTION COMPLIANCE TO THE POINT WHERE THE SYSTEM ENTERS A MAPPED FLOODPLAIN. ADEQUATE CONVEYANCE OF THE 10-YEAR STORM IS DEMONSTRATED UP TO THE SITE OUTFALL.

PRELIMINARY BMP/STORMWATER MANAGEMENT PLAN

SHEET 20

240 STRIBLING AVENUE - APRIL 28, 2020



DEQ Virginia Runoff Reduction Method New Development Compliance Spreadsheet - Version 3.0

BMP Design Specifications List: 2013 Draft Stds & Specs

Site Summary Project Title: 240 Stribling Ave
Date: 43937

Total Rainfall = 43 inches

Site Land Cover Summary

	A soils	B Soils	C Soils	D Soils	Totals	% of Total
Forest/Open (acres)	0.00	2.21	0.00	0.00	2.21	21
Managed Turf (acres)	0.00	3.24	0.00	0.00	3.24	31
Impervious Cover (acres)	0.00	5.17	0.00	0.00	5.17	49
					10.62	100

Site Tv and Land Cover Nutrient Loads

Site Rv	0.53
Treatment Volume (ft ³)	20,426
TP Load (lb/yr)	12.83
TN Load (lb/yr)	91.81

Total TP Load Reduction Required (lb/yr)	8.48
--	------

Site Compliance Summary

Total Runoff Volume Reduction (ft ³)	10,819
Total TP Load Reduction Achieved (lb/yr)	7.64
Total TN Load Reduction Achieved (lb/yr)	55.86
Remaining Post Development TP Load (lb/yr)	5.19
Remaining TP Load Reduction (lb/yr) Required	0.84

Drainage Area A Summary

Land Cover Summary

	A Soils	B Soils	C Soils	D Soils	Total	% of Total
Forest/Open (acres)	0.00	0.00	0.00	0.00	0.00	0
Managed Turf (acres)	0.00	1.02	0.00	0.00	1.02	31
Impervious Cover (acres)	0.00	2.27	0.00	0.00	2.27	69
					3.29	

BMP Selections

Practice	Managed Turf Credit Area (acres)	Impervious Cover Credit Area (acres)	BMP Treatment Volume (ft ³)	TP Load from Upstream Practices (lbs)	Untreated TP Load to Practice (lbs)	TP Removed (lb/yr)	TP Remaining (lb/yr)	Downstream Treatment to be Employed
6.b. Bioretention #2 or Micro-Bioretention #2 (Spec #9)	1.02	2.27	8,568.62	0.00	5.38	4.84	0.54	

Total Impervious Cover Treated (acres)	2.27
Total Turf Area Treated (acres)	1.02
Total TP Load Reduction Achieved in D.A. (lb/yr)	4.84
Total TN Load Reduction Achieved in D.A. (lb/yr)	35.39

Drainage Area B Summary

Land Cover Summary

	A Soils	B Soils	C Soils	D Soils	Total	% of Total
Forest/Open (acres)	0.00	0.00	0.00	0.00	0.00	0
Managed Turf (acres)	0.00	0.22	0.00	0.00	0.22	35
Impervious Cover (acres)	0.00	0.41	0.00	0.00	0.41	65
					0.63	

BMP Selections

Practice	Managed Turf Credit Area (acres)	Impervious Cover Credit Area (acres)	BMP Treatment Volume (ft ³)	TP Load from Upstream Practices (lbs)	Untreated TP Load to Practice (lbs)	TP Removed (lb/yr)	TP Remaining (lb/yr)	Downstream Treatment to be Employed
6.b. Bioretention #2 or Micro-Bioretention #2 (Spec #9)	0.22	0.41	1,573.61	0.00	0.99	0.89	0.10	

Total Impervious Cover Treated (acres)	0.41
Total Turf Area Treated (acres)	0.22
Total TP Load Reduction Achieved in D.A. (lb/yr)	0.89
Total TN Load Reduction Achieved in D.A. (lb/yr)	6.50

Drainage Area C Summary

Land Cover Summary

	A Soils	B Soils	C Soils	D Soils	Total	% of Total
Forest/Open (acres)	0.00	0.00	0.00	0.00	0.00	0
Managed Turf (acres)	0.00	0.11	0.00	0.00	0.11	42
Impervious Cover (acres)	0.00	0.15	0.00	0.00	0.15	58
					0.26	

BMP Selections

Practice	Managed Turf Credit Area (acres)	Impervious Cover Credit Area (acres)	BMP Treatment Volume (ft ³)	TP Load from Upstream Practices (lbs)	Untreated TP Load to Practice (lbs)	TP Removed (lb/yr)	TP Remaining (lb/yr)	Downstream Treatment to be Employed
6.b. Bioretention #2 or Micro-Bioretention #2 (Spec #9)	0.11	0.15	597.14	0.00	0.37	0.34	0.04	

Total Impervious Cover Treated (acres)	0.15
Total Turf Area Treated (acres)	0.11
Total TP Load Reduction Achieved in D.A. (lb/yr)	0.34
Total TN Load Reduction Achieved in D.A. (lb/yr)	2.47

Drainage Area D Summary

Land Cover Summary

	A Soils	B Soils	C Soils	D Soils	Total	% of Total
Forest/Open (acres)	0.00	0.00	0.00	0.00	0.00	0
Managed Turf (acres)	0.00	0.13	0.00	0.00	0.13	14
Impervious Cover (acres)	0.00	0.78	0.00	0.00	0.78	86
					0.91	

BMP Selections

Practice	Managed Turf Credit Area (acres)	Impervious Cover Credit Area (acres)	BMP Treatment Volume (ft ³)	TP Load from Upstream Practices (lbs)	Untreated TP Load to Practice (lbs)	TP Removed (lb/yr)	TP Remaining (lb/yr)	Downstream Treatment to be Employed
6.b. Bioretention #2 or Micro-Bioretention #2 (Spec #9)	0.13	0.78	2,784.21	0.00	1.75	1.57	0.17	

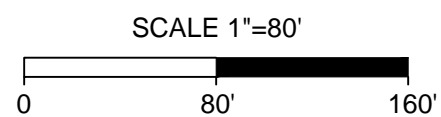
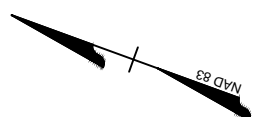
Total Impervious Cover Treated (acres)	0.78
Total Turf Area Treated (acres)	0.13
Total TP Load Reduction Achieved in D.A. (lb/yr)	1.57
Total TN Load Reduction Achieved in D.A. (lb/yr)	11.50

CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	DELTA	CHORD BEARING	CHORD
C1	9.00	14.14	9.00	90°00'00"	N23°32'57"E	12.73
C2	4.00	6.28	4.00	90°00'00"	N66°27'03"W	5.66
C3	19.00	29.85	19.00	90°00'00"	S66°27'03"E	26.87
C4	19.00	29.85	19.00	90°00'00"	N23°32'57"E	26.87



LAND USE SUMMARY:

TOTAL SITE AREA:	11.373 Ac. (100%)
R/W DEDICATION TO STRIBLING AVE.	± 0.060 Ac. (0.5%)
TOWNHOUSE LOT AREA:	± 2.998 Ac. (26.4%)
CONDO/APARTMENT LOT AREA:	± 1.200 Ac. (10.6%)
RIGHT-OF-WAY AREA:	± 2.165 Ac. (19.0%)
OPEN SPACE AREA:	± 4.950 Ac. (43.5%)



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STRIBLING AVENUE
VARIABLE WIDTH RW (SEE NOTE #11)

TMP 18A-26
JAMES M. McMURTRY AND
CYNTHIA T. McMURTRY, TRUSTEES
238 STRIBLING AVENUE
INST. 2016000545

TMP 18A-139
HUNTLEY OF
CHARLOTTESVILLE, LTD
135 MORGAN COURT
PHASE 2, LOT 14

TMP 18A-140
HUNTLEY OF
CHARLOTTESVILLE, LTD
137 MORGAN COURT
PHASE 2, LOT 15

TMP 18A-141
HUNTLEY OF
CHARLOTTESVILLE, LTD
139 MORGAN COURT
PHASE 2, LOT 16

TMP 18A-142
HUNTLEY OF
CHARLOTTESVILLE, LTD
141 MORGAN COURT
PHASE 2, LOT 17 & 18

TMP 18A-144
HUNTLEY OF
CHARLOTTESVILLE, LTD
142 MORGAN COURT
PHASE 2, LOT 19

TMP 18A-145
HUNTLEY COMM

TMP 18A-25
CARRSGROVE PROPERTIES, LLC
240 STRIBLING AVENUE
DB.871, PG. 944
±11.373 ACRES

TMP 18A-24-2
JIAN GUO ZHENG
252 STRIBLING AVENUE
INST. 2013006103

TMP 18A-24
FRANCES W. LARNER
254 STRIBLING AVENUE
INST. 2014000085

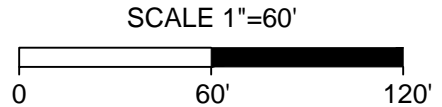
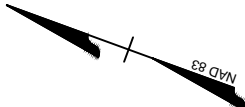
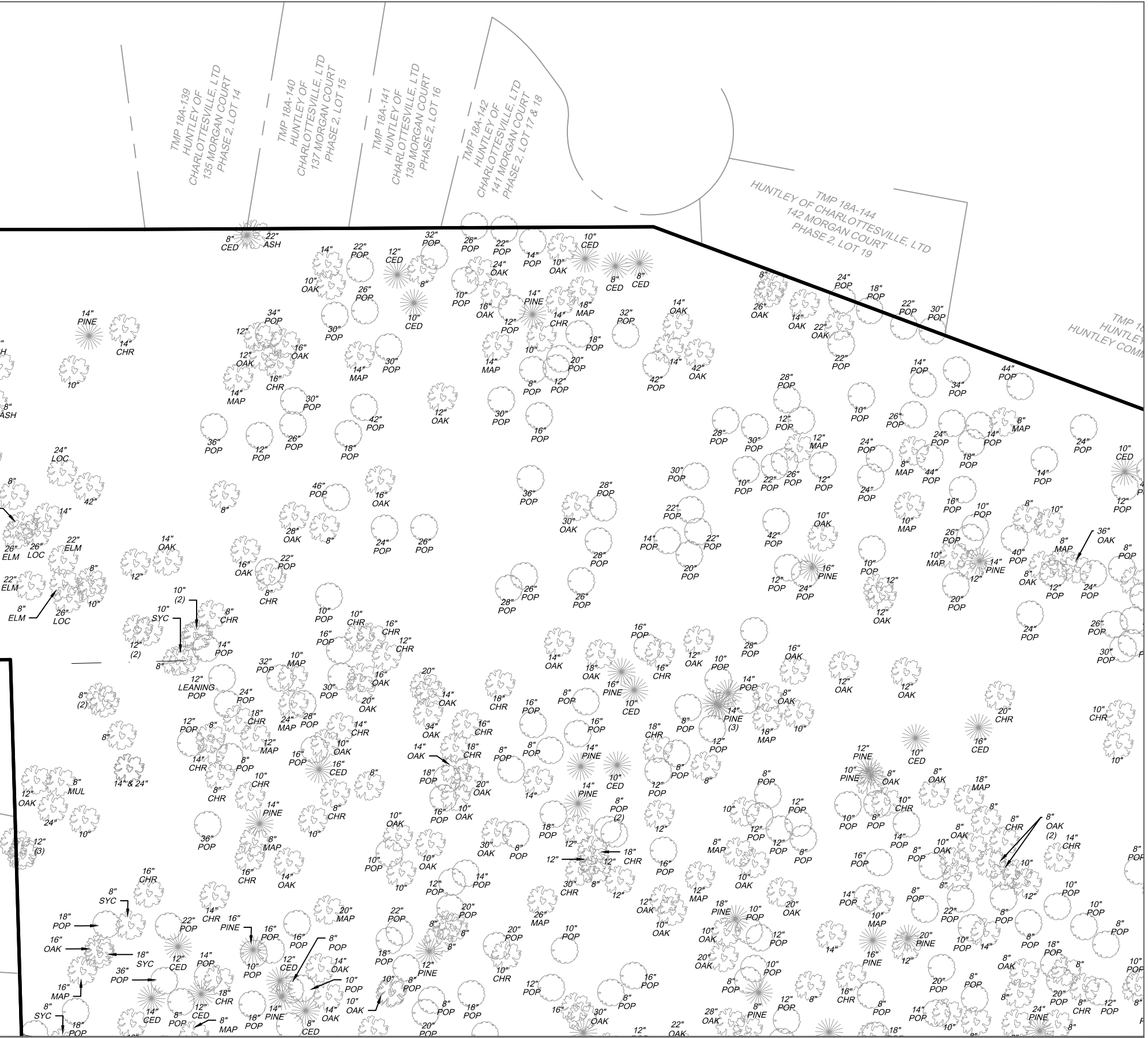
TMP 18A-24-1
PIEDMONT REALTY HOLDINGS I, LLC
256 STRIBLING AVENUE
INST. 2013003962

KEY MAP



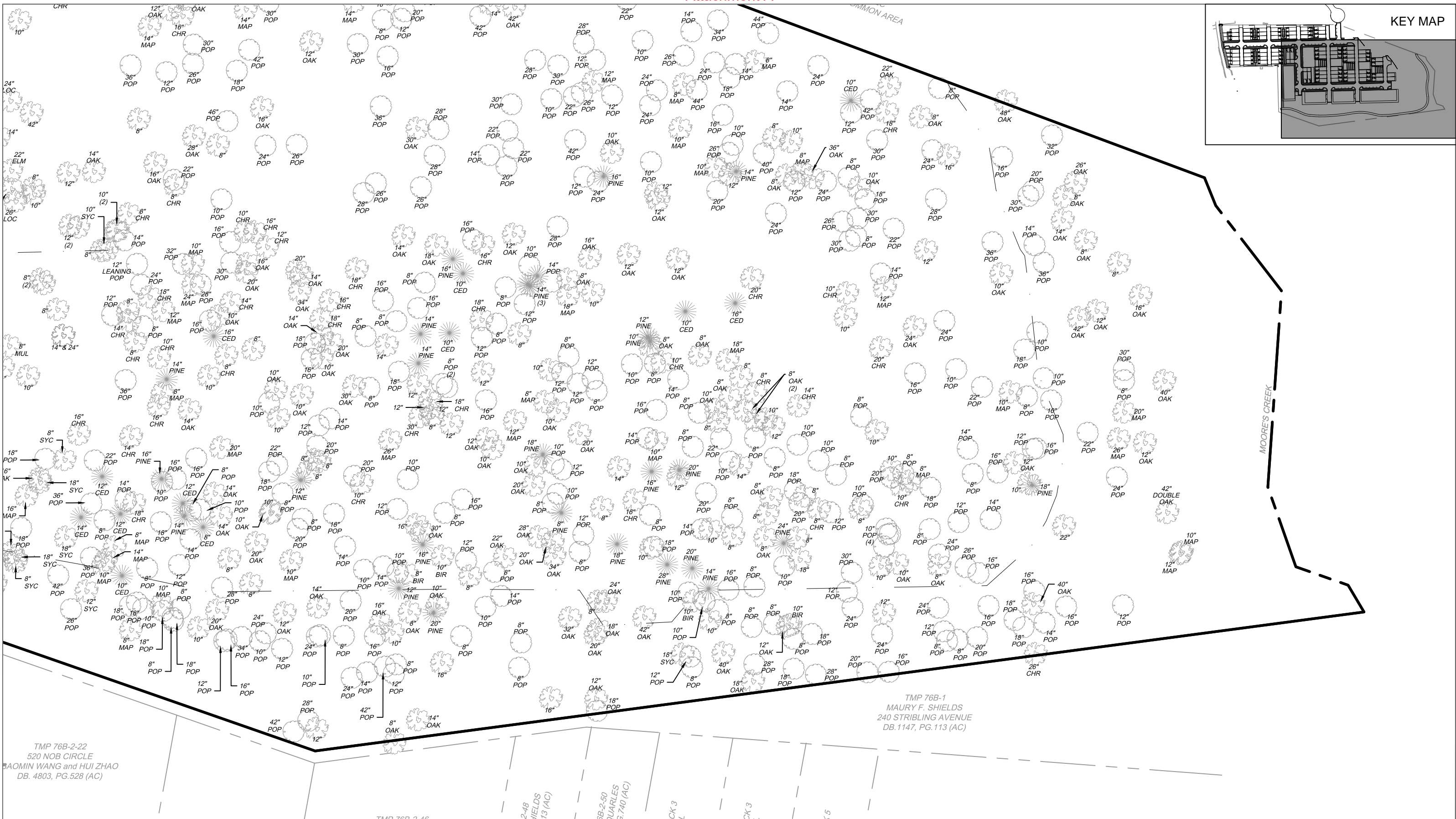
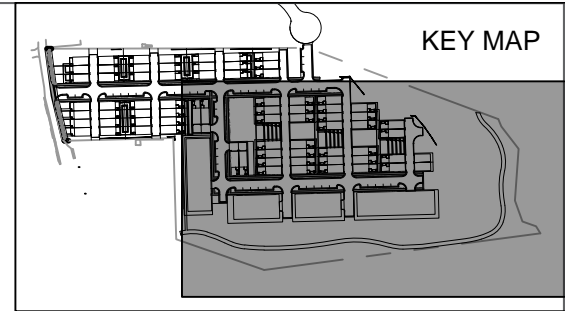
TREE SURVEY

SHEET 24
240 STRIBLING AVENUE - APRIL 28, 2020



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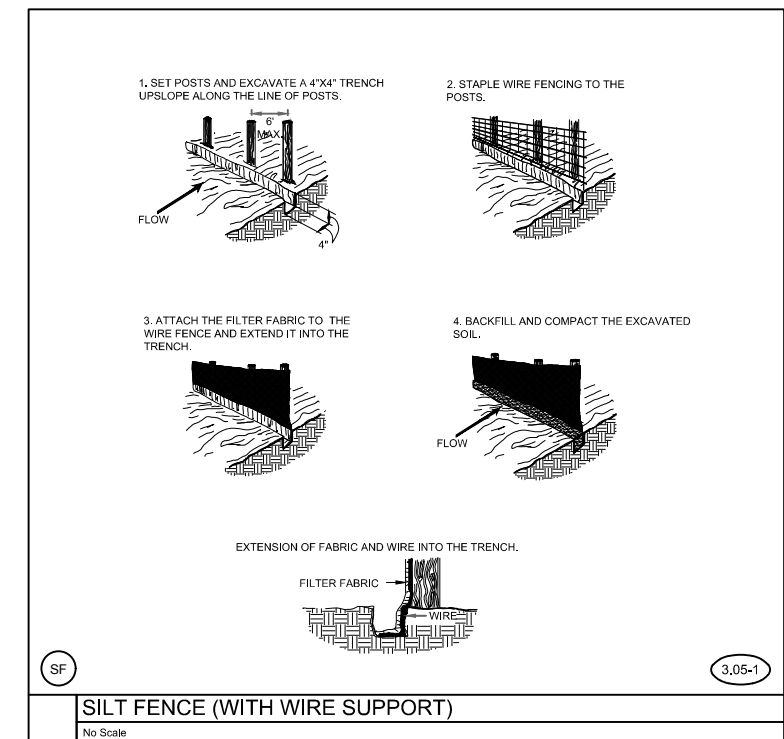
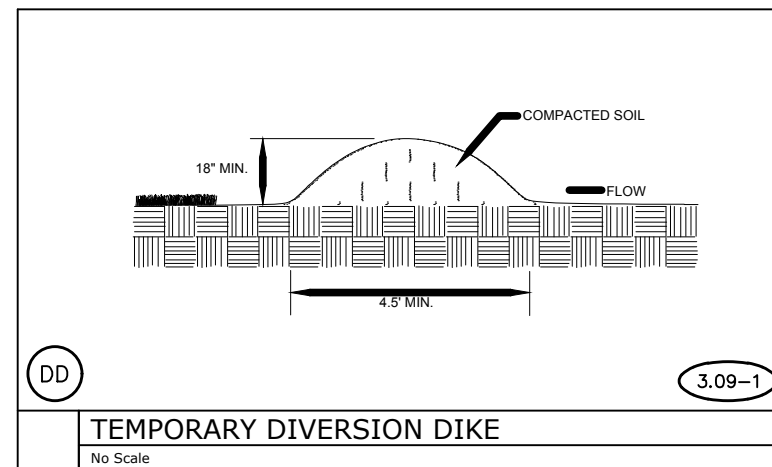
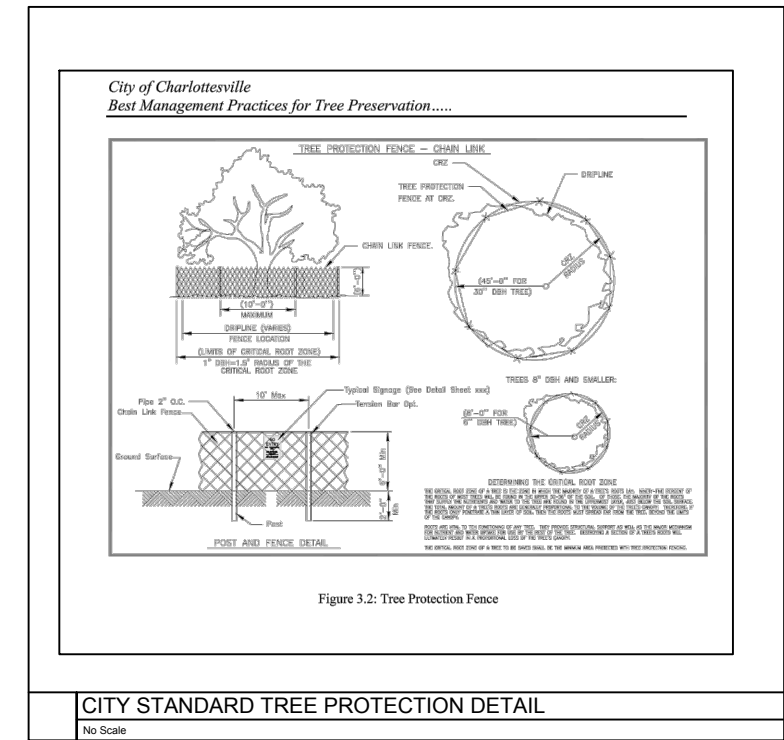
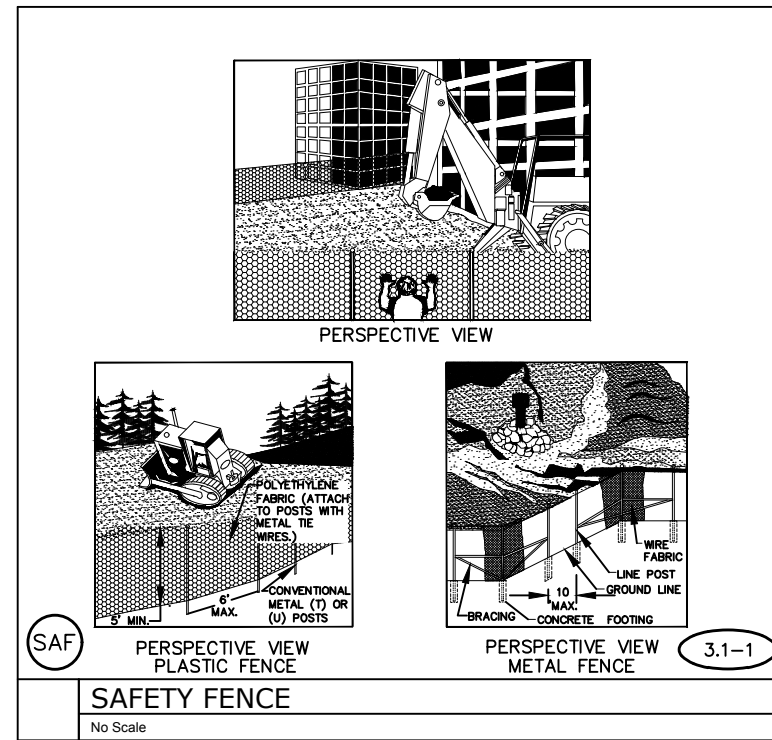
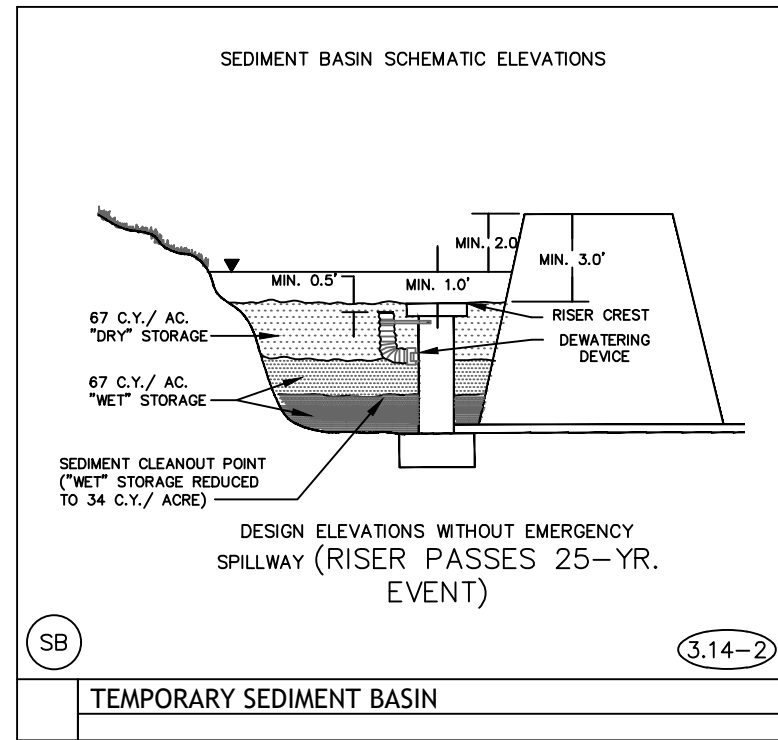

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TREE SURVEY
SHEET 25
240 STRIBLING AVENUE - APRIL 28, 2020

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EROSION CONTROL DETAILS

SHEET 26

240 STRIBLING AVENUE - APRIL 28, 2020



Minutes

PLANNING COMMISSION REGULAR MEETING
July 14, 2020 – 5:30 P.M.
Virtual Meeting

I. COMMISSION PRE-MEETING (Agenda discussion(s))

Beginning: 5:00 PM

Location: Virtual/Electronic

Members Present: Commissioner Solla-Yates, Commissioner Stolzenberg, Chairman Mitchell, Commissioner Heaton, Commissioner Lahendro, Commissioner Palmer, Commissioner Green

Members Absent: Commissioner Dowell

Staff Present: Patrick Cory, Missy Creasy, Brian Haluska, Joey Winter, Lisa Robertson, Ales Ikefuna, Erin Atak, Letitia Shelton

Chair Mitchell called the meeting to order at 5:00 and asked Commissioner Solla-Yates to provide information on the item he would like to add to this evening's agenda. Commissioner Solla-Yates noted concerns with child care allowances throughout the City. He would like to propose a ZTA to open up allowances. Ms. Creasy followed up by noting that staff had considered provisional use provisions and noted that changes were to be considered with the zoning code update.

Commissioner Heaton suggested limited enforcement rather than code changes. Ms. Robertson noted that would be concerning and clarified that to discuss this issue during the meeting, there would need to be an amendment to the agenda. Commissioner Solla-Yates will address at the start of the meeting.

Commissioner Stolzenberg asked why 612 West Main contains 10 less units than were approved. It was noted that the BAR still has review of this site and that the applicant could determine the number of units as long as fits within the approval.

Chair Mitchell asked if there were any questions on CDBG-CV. Commissioner Solla-Yates was concerned about the amounts provided in each category of funding. Ms. Atak noted that if the Commission decided to recommend a different funding allocation, both the Commission and CDBG Task Force recommendations would be forwarded to Council.

Commissioner Green noted that she had been appointed to the CRHA board and asked Ms. Robertson for guidance on whether she could vote on this item.

Chair Mitchell asked if there were any questions on Landonia. Commissioner Stolzenberg asked if critical slopes would apply to this site due to the elevation change. Mr. Winter clarified the difference between critical slopes for subdivisions and zoning. This will not be a consideration for the rezoning but could be in the next phase. He later confirmed that this site would not trigger the critical slopes requirements.

Commissioner Stolzenberg asked if Landonia is a public street. Commissioner Green asked if this roadway needed to be brought up to standard. It was noted that traffic had done an initial review and provided some recommendations. Ms. Robertson found that part of the roadway was accepted in the

1970s. Staff will continue to work through the road status requirements but that will not affect the rezoning application this evening.

II. COMMISSION REGULAR MEETING – Meeting called to order at 5:30 PM by the Chairman

Beginning: 5:30 PM

Location: Virtual/Electronic

Commissioner Solla-Yates moved to add an amendment to the meeting agenda. The added agenda amendment was a zoning text amendment on childcare to be discussed at the end of the meeting (Motion was seconded by Commissioner Lahendro). Motion passed 6-0.

A. COMMISSIONER’S REPORT

Commissioner Green – I have not had any commission related meetings. I have been appointed to the Charlottesville Redevelopment Housing Authority for the next three years. My term started July 1st. I am very excited to start the next chapter of public service. I will be available for a couple more PC meetings until someone is appointed.

Commissioner Stolzenberg – We do have a MPO Tech meeting next Tuesday. I will tell you about that next month.

Commissioner Heaton – No Report

Commissioner Solla-Yates – The Housing Advisory Committee met twice to discuss emergency housing measures. All of the CAHF funding was redirected to emergency relief. It’s all gone. No more housing projects. The money is running out. There is some new relief money coming. The situation is dire, drastic, and getting worse. There has been some heroic effort to keep high risk people in hotels. That money is also running out. There is a desire and some money to replace with a permanent situation. There is no timeline on that. There is a massive eviction crisis coming. It’s very bad.

Commissioner Lahendro – I did attend a Board of Architectural Review virtual meeting on June 16th. It was the first one since last February. We did nominate and appoint Carl Schwarz as the new chair and Brett Gastinger as the vice-chair. We had four Certificate of Appropriateness applications. All four were approved. The BAR, with staff, will write a letter to the Department of Historic Resources in support of Burley High School being nominated to the Virginia National Register of Historic Places.

B. UNIVERSITY REPORT

Commissioner Palmer – A master planning council meeting was supposed to be scheduled in July. We decided to postpone that until September. I don’t have a date for the new one.

C. CHAIR’S REPORT

Chairman Mitchell – I have appointed myself to be our representative to the CIP. I will be there taking over for Commissioner Green since she is going over to the Housing Authority.

D. DEPARTMENT OF NDS

Ms. Creasy – Commissioner Solla-Yates has been re-appointed to the Planning Commission. He will serve until 2024. They are still recruiting for Commissioner Green’s spot. Applications are due by July 25th. Council will be reviewing and holding interviews. I am hopeful that they will have someone in place in early August. If not, Commissioner Green has tentatively put the September meeting on her schedule and will be available to help us out. We have a robust meeting for August coming up. We don’t have a public hearing scheduled. We have some things that will be of interest to a lot of individuals. Potentially a couple of site plans and entrance corridor application reviews. We have our Cville Plans Together consultant speaking about housing aspects and project update. We will have a brief presentation from JAUNT. We are working to have the individuals with the Starr Hill Community Visioning Plan speaking. Our regular meeting is going to look like a work session. We are grateful we’re able to move forward with some of these things that we have had out there for quite a while. Work continues with the Comprehensive Plan. We continue to work remotely. We do have some people in the office. We have a significant number of applications coming in. We average between 20 and 30 building permits on our Friday drop off in addition to what is mailed in. We have a number of site plans under review. We have a couple of things that we will be speaking with Council about regarding community meetings for our rezoning, SUP, and site plan applications. Council requested that we bring forth a guidance document for that. Also, Ms. Koch is calling in during matters of the public to give an update on the comprehensive plan.

Comprehensive Plan Update

Jennifer Koch, Cville Plans Together Consultant – **Cville Plans Together** is the name of the process that is led by Neighborhood Development Services with our consultant team. The process includes an update to the Comprehensive Plan, including the development of a housing plan and an update to the zoning ordinance after completion of the update to the Comprehensive Plan. The last time I spoke with you, we were in the middle of the May-June public engagement efforts. In May and June, we were focused on sharing information about the project, making sure people knew about **Cville Plans Together**, people knew the process moving forward, and how they can be involved. We were focused on giving input related to priorities and goals going into the future, particularly with equity and affordability. We held several webinars and many small group discussions. We also had a survey open for about five weeks to get input on those issues. That survey was available online and through paper distribution. Two of three webinars were recorded. The third one had a technical error. The two that were recorded are available on the website. I would encourage everyone to sign up for the project email list, which can also be found on the website. You will get updates and notices about upcoming events or opportunities. We got over a thousand survey responses, including about eight to ten in Spanish. The survey closed about two and a half weeks ago. We are still deep into all of that data. There is a lot of great input that we received. We are planning to process that and share summaries this summer. We have had the website available, cvilleplanstogether.com. We also started a toll free number in May that people can call to listen to a brief project overview. It’s available in English and Spanish. People can provide input and ask questions in the form of a voice mail. That is still active. It’s 833-752-6428. I do want to thank those, who helped us reach out. We know that we weren’t able to reach everyone, particularly with COVID restrictions. We’re looking forward to the Fall, when we’ll be coming back to talk with everyone about the input that was received and what it might mean moving forward. We will be coming back to you in August. We’ll have a larger discussion at that point. Part of that will include looking at what future engagement may look like. We did schedule a utility bill mailing. That’s going out this week.

Commissioner Stolzenberg – Is there a specific ‘ask’ in that utility mailer going out this week? How do you continue to engage now that the survey is over?

Ms. Koch – We want people to be aware that this process is still going on. We weren’t able to schedule an earlier mailing. This was the first point that we could do that. We hope that they will call the number and they can leave their number. We will reach out to them. They can sign up for the email list. It lists out the different ways people can stay in contact with the project.

Commissioner Green – Are you still on target for the timeline that is listed on the website?

Ms. Koch – Overall, we don’t have changes to the different elements. What might change a bit is the exact location of those little community engagement bubbles. The number of times we’re looking to come out to people and the topics are not changing. They just may need to shift a slight bit. We can talk more about that at the meeting in August.

Commissioner Stolzenberg – With the optional demographic data, do you have a sense of how many respondents you got that from? Do you know what the demographic makeup of respondents was?

Ms. Koch – Yes. It depends on the question we asked. We asked where they lived, neighborhood, age, income, etc. It ranges from 700 and almost everyone had answered some of those questions. Overall, there is a very good spread of people geographically, different income levels, etc. What needs to be looked at more is whether people are from the city and the county. When we look at the demographics, how do they compare between the city and the region. We need to look closer at that. We do have a good amount of data that will allow a good comparison.

Commissioner Stolzenberg – When you make your final report, will it be mostly quantitative data representing the straight forward answers? Is there going to be some way that you’re going to make free form answers public?

Ms. Koch – What is taking the most time is that we are going through and coding all of those by hand. It’s a very interesting process. It does take a bit of time. We are planning to make some version of that accessible. We want people to see how we thought about those different responses. There will be a summary that will provide a quicker takeaway. We will make some kind of categorized version. We need to figure out what will work best. It is a large amount of data.

Commissioner Stolzenberg – The intention is to possibly release the raw data?

Ms. Koch – We do plan to release the data.

E. MATTERS TO BE PRESENTED BY THE PUBLIC NOT ON THE FORMAL AGENDA

Robin Hoffman – In the back field where there is a flood zone behind the Rivanna River Company, I spoke to Wendell Woods. He’s willing to develop that field into a hemp field. There is a market for hemp fiber. He has 15 acres there. He can’t do anything with it. I came up with this idea with an Elkton farmer.

The governor has talked about developing the industry in Virginia. Once you develop the hemp, the topsoil will happen. It's going to help with the whole border of Charlottesville going into the river.

The chairman recessed the meeting for five minutes and the arrival of a third council member.

F. CONSENT AGENDA

1. Site Plan – 612 West Main Street
2. Site Plan – 167 Chancellor

(Items removed from the consent agenda will be considered at the end of the regular agenda)

Commissioner Solla-Yates moved to approve the consent agenda. (Commissioner Lahendro seconded) Motion passed 5-0.

III. JOINT MEETING OF COMMISSION AND COUNCIL

Beginning: 6:00 PM

Continuing: Until all public hearings are complete

Format: (i) Staff Report, (ii) Applicant, (iii) Hearing, (iv) Discussion and Motion

Vice-Mayor Magill called City Council to order for the two public hearings.

1. **Community Development Block Grant Coronavirus (CDBG-CV) Funding, FY 20-21:** The Planning Commission and City Council are considering projects to be undertaken in the amended Fiscal Year 2021 Action Plan of the multi-year Consolidated Plan utilizing CDBG-CV funds for the City of Charlottesville in response to the growing effects of the historic public health crisis. In Fiscal Year 20-21 it is expected that the City of Charlottesville will receive about \$246,699 in Community Development Block Grant Coronavirus (CDBG-CV) funds from the Department of Housing and Urban Development HUD authorized by the Coronavirus Aid, Relief, and Economic Security Act (CARES Act). CDBG-CV grants will be used to facilitate projects to prevent, prepare for, and respond to coronavirus. Information pertaining to this application may be viewed online at www.charlottesville.gov/agenda. Persons interested in this item may contact Grants Coordinator Erin Atak by e-mail (atake@charlottesville.gov).

i. Staff Report

Erin Atak, Grants Coordinator – The City of Charlottesville has been authorized a special allocation of Community Development Grant Coronavirus funds, also known as the CDBG-CV to be used to prevent, prepare, and respond to the Coronavirus. This has been the major HUD level priority. This allocation was authorized by the Coronavirus Aid Relief and Economic Security Act, also known as the CARES Act to respond to the Coronavirus. We received \$246,699 for 2020-2021 program year. All award applicants are able to use the funds for a 2 year period. Once they get the funds, they have two years to spend it. Minutes from the CDBG Task Force are attached, which outline the recommendations made. All projects went through extensive review by the CDBG Home Task Force as a result of the RFP process. The City of Charlottesville began accepting CDBG-CV proposals May 4, 2020 to May 18, 2020. Acceptable projects included the support of a viable urban community through the provisions

of decent housing, a suitable living environment, and economic opportunity for low and moderate income citizens to prevent, prepare for, and respond to the Coronavirus. All applicants were required to connect the activity to the CDBG-City Council priorities, which are updated yearly. The City also required all applicants to schedule a mandatory 30 minute technical assistance meeting with myself. During this meeting, we went over grant requirements like filing, invoicing, the CDBG program requirements, the CDBG-CV program requirements, and how the audit is run. We also went over past audits, organizational capacity requirements. I met with eleven applicants. We received five applications on time. One application came in late and it was not considered for scoring. For economic development, the overall funding award was split up three ways: public services, economic development, and administrative/planning. Under economic development, funds are proposed to be used for providing microbusiness grants to assist 24 business owners with business expenses. The grants are going to be cut at \$4,000. In that \$4,000 grant, \$3,000 will go toward business expenses and the remaining \$1,000 will go towards technical assistance support for the business owner. That will help the business adapt to the new economic environment that we are in right now. Bringing a business online, helping with financial planning, and cleaning will be the remaining \$1000. The CDBG Task Force subcommittee (Strategic Action Team) reviewed one application and made a funding recommendation to reward the Community Investment Collaborative a funding amount of \$98,679.60. For public service programs, the estimated benefits include homeless prevention assistance in the form of rental and utility payments and hiring an additional staff person to help with the increase of intake appointments for the homeless prevention for a minimum of 25 households. The benefits also include hiring two full time community health worker positions that will act as liaisons for testing and wrap around services to help inform the community of the health department's COVID-19 strategy and engage the priority populations in COVID-19 prevention. The CDBG Task Force reviewed a total of four applications and made a funding recommendation to award the Thomas Jefferson Health District a total of \$49,661.78 and the Thomas Jefferson Area Coalition for the Homeless \$49,017.82 with CDBG funding. The last umbrella for the CDBG award is the administration and planning. Applicants were only able to apply for economics and public service umbrellas. The admin and planning umbrella goes towards helping pay for grant related costs and for citizen participation. That's a total of \$49,339.80. The award and approval of these funds are required to follow the same regulations as the CDBG funds. Once the Planning Commission has reviewed and made their funding recommendation on the funding activities, the CDBG budget will be brought back to City Council for final approval on August 3rd. We have a couple applicants to answer any questions, as well as Task Force members.

Commissioner Stolzenberg – I would like to focus on the 20% that's available for administration and planning. HUD requires a cap of 20% of the funds to be spent on that. I am trying to understand why we need to spend the maximum allowed by federal rules. What exactly are those funds going to? Who will be doing those things?

Ms. Atak – Depending on the activities that we are funding, there is a number of different federal requirements that come with it. If an activity hits a certain funding threshold, sometimes Section 3 or environment review get triggered. With that comes the community engagement process. Those all have to be paid through the admin and planning portion of the

CDBG Grant. Generally, we block off about 20% of it just because the city always runs through all of the 20% just through the number of applicants each year. That's why we blocked off 20%.

Commissioner Stolzenberg – In a practical manner, what they are going to be spent on, it is compliance with federal rules and reporting and verifying that compliance. Whatever costs are associated with community engagement, which will be in the form of Zoom meetings?

Ms. Atak – It's now Zoom meetings. We have reports that we have to submit. Keeping track of those reports and auditing have paper trails that we have to pay for.

Commissioner Stolzenberg – Most of that reporting will be done by you. Are there other consultants that will be brought in for those audits? Is this going to consume all of your time in the next year?

Ms. Atak – It's generally me.

Commissioner Stolzenberg – Assuming that you are going to be doing other things, the city probably already budgeted for you to be employed by the city. Does this money from the federal government to pay for your time, implicitly free up the money, that would otherwise be allocated, to pay for your position?

Ms. Atak – The CDBG grant does also pay for my position

Ms. Creasy – Ms. Atak's position is funded through CDBG. The CDBG allotment is a lot less than it used to be, the CDBG funds don't necessarily cover all of her salary. The city puts in the additional amount to maintain that position. Ms. Atak does have a lot of roles in addition to the CDBG. Adding in the CDBG-CV will mean that she will be managing additional projects. Those funds will support the salary. There are also items, such as the accounting, legal, and if we do have to outsource for sort of other aspects, that funding covers that. We would love to put more towards the program. We also want to be able to address the expenses. Once we accept CDBG funding, there are a lot of reporting and requirements that are involved. We have to support those in order to get the allocation at all.

Commissioner Stolzenberg – It's that we already allocated city funds to pay Ms. Atak, the money actually comes from the federal government. This is what pays her.

Commissioner Green – With this funding and with this position, if the city accepts these funds and if we don't have that reporting and monitor the funding, we have to pay those funds back to the federal government plus a penalty. We definitely do not have that budgeted. It is an administration thing that is definitely necessary.

Alex Ikefuna, Director of NDS – That is correct. We have to pay a penalty and the money back.

Commissioner Solla-Yates – It was a helpful packet. Page 63, which lays out the scoring, is extremely helpful. I see that there are two rounds of scoring: total score and final average. Can you talk me through that and how that relates to the amounts recommended?

Ms. Atak – The total score is adding up what is in the subtotal column altogether for that particular applicant. For the final average, I am dividing out the number of people, who submitted the scores to get me that orange/yellow box score. The CDBG Task Force used the yellow box score to make their funding recommendation in their deliberation during the meeting that we had.

Commissioner Solla-Yates – The CIC is not the highest scoring, but they received the most money. Can you explain why?

Ms. Atak – The CIC received a score of 32.6. They were the only economic development application received for the CDBG-CV award. The Task Force Subcommittee went back and forth of whether to award CIC the full funding amount or to put forth all of the economic development funds into public services, given that there were so many applications in public services. They looked up the scores and they saw that the Thomas Jefferson Health District, TJAC, and CIC were the top three scores. They decided to give CIC the full economic development umbrella.

Commissioner Solla-Yates – Was the concern that it was more pressing to the current health crisis?

Ms. Atak – They did want to address and highlight that. Businesses are a focus for the city. We wanted to make sure that we gave support to the micro enterprises that needed it for the 0 to 50% AMI.

ii. Public Hearing

Rebecca Schmidt – From the Thomas Jefferson Health District. I did want to clarify our application for the full amount. That was to fund two full time community health workers at \$18 an hour. With the funding that is recommended, we could hire one community health worker full time. I wanted to clarify that so that everyone was aware.

Nancy Carpenter – As a task force member, we did some good deliberations and there were some really good applications. I feel like we did our due diligence in trying to use the CV money for the purposes that it was meant to be used for in our community. I hope that the Planning Commission moves forward with a recommendation to accept our recommendations for how this money should be appropriated.

iii. Discussion and Motion

Commissioner Stolzenberg – I generally understand what each of the applications were for from the titles on page 52 and from the minutes of the CDBG committee. Specifically, I have

questions about the Office of Economic Development application that Go Deliveries/Self Odyssey. What is that? Why wasn't that in Economic Development category funding request?

Ms. Atak – The main focus of OED was to implement services within the Downtown Job Center and Home to Hope program. That would identify SS and provide intensive case management to justice involved women to address barriers that relate to COVID-19 Pandemic issues. These were issues concerning housing stabilization, peer support, and focused programming for low income women served throughout incarceration and release. The reason why it wasn't included into the Economic Development portion of the CDBG-CV award was because they were more focused on public service and housing rather than the more technical, financial planning, and business development aspect.

Commissioner Stolzenberg – For the CIC grants, they would be for entrepreneurs at 0 to 50% AMI. Is that correct?

Ms. Atak – That's correct.

Commissioner Stolzenberg – Is that a program that exists outside of this grant that we're funding and supplementing? Is this that program in its entirety?

Ms. Atak – They are adding COVID-19 aspects with the technical support to help business owners adapt to the new COVID-19 environment with the \$1000 grant portion. They do have a micro enterprising scholarship grant with the normal CDBG allocation that they have received for FY 2020 year.

Commissioner Stolzenberg – The grants are all \$1,000 each?

Ms. Atak – They are \$4,000. They are aiming to help 24 business owners.

Commissioner Stolzenberg – That's pretty low overhead. That's \$2,600 that won't be going to the business owners?

Stephen Davis, CIC – While we regularly do micro loans, we are currently helping to administer business grant programs. This is a special case related to COVID grants that are helping businesses impacted because of the pandemic and required shutdowns. It is a special one-time only. We have done things like it before. On this program, we endeavor to keep our overhead very low. As much of the money as possible can go directly to businesses. I believe it was that \$2,000 or \$3,000 was the administrative costs. Everything else is going to be funneled to help the businesses.

Commissioner Stolzenberg – For the Habitat application that was late, why did they submit even though it was late if late applications weren't going to be submitted?

Ms. Atak – They were about 15 minutes late. They claimed that they submitted the application. The new website sends a receipt for online submissions. I asked for that receipt,

and they didn't have it. I took their copy of the Word document for record. Per the program guidelines, we don't grade late applications.

Motion: Commissioner Green – I would like to move that we approve the recommendation as submitted by this Task Force to Council based on the fact that we have a committee that does all of this research with all of these applications. I move to recommend approval to Council as submitted. (Second by Commissioner Lahendro)

Motion passed 6-0.

Commissioner Heaton did have to leave the meeting due to another commitment

2. **ZM19-00004 – 909 Landonia Circle** – Landowner Long Street LLC, by its member Stockbridge OPCO LLC, has submitted an application seeking a rezoning for a lot, having an area of approximately 0.6790 acres, identified within City tax records as Tax Parcel Identification No. 490079000 (“Subject Property”) and having an address of 909 Landonia Circle. The Subject Property has approximately 378 feet of frontage on Landonia Circle. The rezoning application proposes to change the zoning district classification of the Subject Property from B-1 Business to B-2 Business subject to a proffered development condition (“Proffer”). The Proffer states the following shall not be permitted on the Subject Property: Amusement Center; Auditoriums, Theaters; Bowling Alleys; Clubs, Private; Dry Cleaning Establishments; Movie Theaters; Dance Hall / all night; Pharmacies >1,700 SF, GFA. The Comprehensive Land Use Map for this area calls for Low Density Residential Development. Information pertaining to this application may be viewed online at www.charlottesville.gov/agenda. Persons interested in this Rezoning may contact NDS Planner Joey Winter by e-mail (winterj@charlottesville.gov)

i. Staff Report

Joey Winter, City Planner - This item is a Rezoning petition for 909 Landonia Circle. An application for a Zoning Map Amendment has been submitted which proposes a zoning change from B-1 Business to B-2 Business. The General Land Use Plan calls for Low Density Residential development at this location, but the Subject Property is in a commercial zoning district and has been since 1991. The previous use of the Subject Property was also commercial in nature. The owner of the car wash adjacent to the Subject Property purchased this parcel in 2019 and intends to expand their car wash. Expansion of the car wash onto the Subject Property requires a zoning map amendment since car washes are not permitted in the B-1 district. The existing car wash currently lies on two parcels fronting the 250 Bypass and contains a self-serve car wash with vacuuming, an automated car wash, and a propane refilling kiosk. Those uses would remain unchanged at the proposed new car wash. There is no site plan proffered with this application, but the applicant did include a proffer statement to prohibit several of the more intense by-right uses in the B-2 district. The applicant has consistently indicated to staff that their intent is to develop this property as part of the expanded car wash should this rezoning be approved.

IN TERMS OF COMMUNITY ENGAGEMENT:

This application was received at the end of December, so all required community engagement was held prior to the pandemic. The applicant held a community meeting as required by City Code Section 34-41(c) (2) on February 13th at Burnley-Moran Elementary School. Two members of the public attended the meeting and were generally supportive of the applicant's plans for the property. Staff received no written feedback in favor of or opposed to this application.

STAFF RECOMMENDATION:

Staff recommends approval of this rezoning application. Neighbors have not raised any concerns about rezoning the Subject Property for the purpose of expanding the car wash; and an adequate transition exists between commercial use on this property and residential uses to the north and west- there is a significant change in elevation and a natural landscaping buffer which will remain in place. Furthermore, required improvements to pedestrian connectivity, specifically sidewalk improvements along Landonia Circle will benefit nearby residential areas. The proposed zoning change could also contribute to goals of the City's 2013 Comprehensive Plan related to Economic Sustainability.

IN CONCLUSION:

Please remember that the role of Planning Commission is to make an advisory recommendation to City Council on this proposed rezoning based on the factors listed in City Code Section 34-42(a).

Commissioner Stolzenberg – Is the current vegetative buffer in place in excess of the required amount? Do they need to keep a buffer in place? Is it possible they'll remove part of it?

Mr. Winter – There are requirements in the zoning code as to how much buffer needs to be there. You will see in the applicant's presentation that they do intend to keep landscaping there. There is no specific proffer to indicate as to how much landscaping will be there. We are also not at the site plan stage yet. There are other considerations that need to be taken into account before you promise to keep a specific look to the site until it's been fully engineered and determined to be actually feasible.

Commissioner Lahendro – In the report, staff states that neighbors did not raise any concerns about rezoning for the purpose of expanding the car wash. You just said it again now. Would the neighbors have a problem if it was a hotel or a convenience store or a laundry mat or a shopping center? They are all allowed under B-2 by right.

Mr. Winter – I cannot speak for all of the neighbors. I certainly don't speak for any of the neighbors. I was at the community meeting. The two ladies did not indicate that they were concerned about any of the B-2 uses. It is worth mentioning that it's not a proper rezoning for a specific car wash. We have all indications from the applicant that is what they intend to develop the site as.

Commissioner Lahendro – That is beside the point. Isn't it? It's a B-2 that they are asking for?

Mr. Winter – That’s correct.

ii. Applicant

Aaron Revere, Applicant – I appreciate your time and consideration this evening for the zoning amendment request to enable what has been the All American Car Wash to be expanded to the new brand of the Tiger Wash here located on Long Street. We are requesting to rezone parcel 49-79 from B-1 to B-2. That site was the former daycare facility and that site is adjacent to our existing carwash, where we have operated for more than 25 years. We have commercial uses on both sides along Long Street. We do have Burley-Moran Elementary School across the street. To the north, there is single family residential. Our intent is to clean up and consolidate the entire site and bring our operations up to modern standards, continuing to serve our long list of regular customers, both individuals and businesses alike, and maintain a well-balanced transition with our neighbors and the other uses within this corridor. We think that we can do that. Here are some site plans and some aeriels that can contextualize some of this. Currently, the site houses 5 self-serve bay carwashes, one automated carwash tunnel, several free-standing vacuums, a propane refilling station, and air for tires. We intend to keep this same operational use, except we are going to go down to 4 self-serve bay washes and an improved and enclosed automated carwash tunnel. As you can see from the conceptual layout, the building square footage will stay pretty comparable to the overall site now. As you can see, we are going to repeat that zigzag feature. That’s where the self-serve carwashes are. The top end on the zigzag was the automated carwash. We take that square footage and the old daycare facility. It is repurposed into the more automated carwash tunnel. We are able to pull the carwash back away from the edge of Long Street creating a reinvestment in our local business, adding service to our customers, and working to improve the Long Street corridor aesthetic as well. We did hold a neighborhood meeting at Burley-Moran. They wanted to see us address several things. They wanted us to address the homeless that was beginning to frequent the old daycare facility. They wanted us to clean it up, to make sure we had thoughtful landscaping adjacent to the residential areas, improve pedestrian connectivity, make sure that in the site plan process that we work with the city to avoid light pollution, and they wanted us to not encourage automobile traffic through the neighborhood. We intend to address all of these items well within our plan. We will maintain our current access points down at the front of the site that we use today, to avoid changes in traffic patterns, and we will include in that a sidewalk, which is the yellow feature along the edge of the pavement of the existing Landonia Circle to enhance that pedestrian connectivity from the neighborhood down into this commercial area. We have to maintain that birthday sign out front as an institution and it means a lot to everybody. We will keep it as is. Given that the development is already a commercial site, the utilities are already there. Our new facility will focus on modernizing it, making it more efficient than the current and dated one. As we go through the site plan process, we will address storm water, lighting, parking, and all of the things required here. The site can and will adequately be able to address all of those things. Given our recent news regarding alternative energy, we are also considering some solar on the back roof there that can face south. We think it’s a great thing. We will create some jobs using these facilities. It’s about 5 full time and 7 part time jobs. We have noted several uses in the rezoning district, clearly not in keeping with the location. It was quick and easy to proffer those out and never use those. Our intent is if we are able to get your recommendation as well as Council’s

approval, we will go immediately into the site plan process. We have already worked on the design with Water Street Design Studio and Design Development. These are some before and after images for you based on these current site plans. Pulling back that self-serve carwash from the edge of the pavement is an immediate change in the area and it is a great improvement. We're going to soften the color palate. We're going to work suitable landscaping and sidewalks. It makes a nice difference. We are considering a bio-filter and landscaping down on the front. From the east view, you will see similar results. One of the things we have strove to and worked hard to do is not have a long building façade down the roadway, helping break up that design aesthetic and it helps provide views into our property. It gives a softer experience, as well improved circulation for our customers. Any and all of our uses can be queued on site. Coleman Street coming south and north intersects Landonia Circle at a T intersection. Behind that is the vegetation where our sites are. A lot of the tree cover there is not in the best health. We are going to be working on most of those trees there. We will be replanting it. A lot of it is covered in ivy. There is a lot of privet. That view is largely unchanged. We envision some sort of fence might be down there next to where the pedestrian path will be; not much of a visual change. Coleman Street comes in the backside and intersects with the sidewalk that runs down the north side of our site. As you hit that T intersection with Landonia Circle, there is some inconsistency with that pavement. That actually provides alternative areas for some softening up. Whether it's a white board fence or a split rail fence, we envision something there that would have a better design for the area.

Commissioner Stolzenberg – Tiger Fuel is a gas station company. Gas stations are allowed by right under B-2 and not in B-1. Why should we believe that you will not immediately turn around and build a gas station?

Mr. Revere – We have one right down the street just in the county. This is our carwash site. We have customers, who love this site. Our intent is to do a carwash here. We operate over a dozen carwashes in the region.

Commissioner Lahendro – It is a vast improvement that is being proposed. I have no doubts that Tiger Wash is wanting to develop the site. Things do change.

Commissioner Green – Those are my thoughts. It is a vast improvement. That's what I saw from the beginning. What I am concerned about are all of the things left in that matrix for a B-2.

Commissioner Palmer – No comment.

Commissioner Solla-Yates – No comment.

iii. **Public Hearing**

No Public Comments

iv. **Discussion and Motion**

Councilor Snook – What does Tiger Wash do about recycling water? How do you deal with water and water demand?

Mr. Revere – It is important to us as well. Most of these carwashes recycle about 56% of the water. We are also phosphate free. It's an improvement over the current facility that is there. It is a lot more efficient. It is more efficient than washing your car in your own driveway.

Councilor Snook – In the drought of 2002, when we were getting very close to running out of water. There was a big flap about whether we should even allow carwashes to continue. The issue became how to distinguish between carwashes based on their water consumption and recycling. I am glad to hear that you have some of those conditions already in place.

Mr. Revere – We're actually reducing a self-serve bay count down by one. All of the modern equipment will be more efficient. We don't expect a major change with we are currently experiencing at the current location.

Councilor Magill – What other environmental aspects are you looking at? What other green initiatives are you taking into account? It is a lot of pavement. There is a lot of runoff and a lot of storm water. Are you looking at permeable pavers or anything like that?

Mr. Revere – While the impervious surface is a little bit higher, we are trying to keep that the same. The site is already developed. Right now, they're not very well designed to help try and address onsite storm water. We have already tried to work with Water Street to help make sure we are thinking about that onsite. In terms of the chemicals we use, we try to operate well with phosphate free and other things. I mentioned solar as well. We do a number of things at our gas stations and our other places where we allow people to offset their trips. In terms of site specific, the main thing is that storm water.

Commissioner Green – As far as the transportation, those entrances won't change. Has engineering taken a look at that to see if anything will hinder the Landonia Circle?

Mr. Winter – There is no site plan application at this point. When the site plan comes in, then traffic engineering will fully look at this and all of the requirements under our code and figure out what makes sense. There have been no discussions at this point because there is no application.

Commissioner Green – You said that you were hoping to do a bio-filter on the front, but you're not sure. Do you have any preliminary engineering on that? Do you think that it is what is going to happen? Do you see any reason for that not to happen?

Mr. Revere – We don't see any reason not for it to happen. I am not sure that it is scaled to size. We are probably showing it oversized at this point to be conservative. That is the lower front corner of the site.

Commissioner Lahendro – Is this a 24 hour operation?

Mr. Revere – The self-serve carwashes today are open 24 hours a day. The tunnel is not. It is open 8 to 8. It is the same with the propane. We are going to keep it consistent with the current uses and not expand that at all.

Commissioner Lahendro – I see at the rear of the proposed development there is a drive up device. Does it talk to you to get your fee for going through the drive thru carwash?

Mr. Revere – I am not sure that the device always has to talk to you. Usually, it's a self-touch screen. I can double check on that in the settings that are going to be used.

Commissioner Lahendro – We do have contiguous residential properties right there in the back.

Commissioner Green – Wont those grades be drastically lower than the residents on top. I don't see the numbers on the plan. I see them to the side. What is that?

Commissioner Lahendro – It is a severe drop of 12 feet. That would help if it is actually developed that way.

Commissioner Green – Can't we condition the rezoning on the application plan?

Lisa Robertson, City Attorney – No. It's not a Special Use Permit.

Motion: Commissioner Solla-Yates - On the basis that the proposal would service public necessity, convenience, general welfare, and good zoning practice, I move to recommend approval of application ZM19-00004. (Motion seconded by Commissioner Stolzenberg)

Motion passed 3-2.

IV. COMMISSION'S ACTION ITEMS

Childcare Restrictions within the City of Charlottesville

The following article from the New York Times was posted in Zoom chatroom during the Pre-Meeting as a reference for discussing a zoning text amendment on childcare in Charlottesville. <https://www.nytimes.com/2020/07/10/nyregion/nyc-school-daycare-reopening.html>

Commissioner Solla-Yates – I posted in the chatroom a New York Times article from three days ago talking about the issues in New York City starting schools again but only partially. Here we are only talking about two days. The question being: Where do the kids go? Do people work and have kids sometimes? How does that work with employers? The University is expecting us to work and not watch children at all. There are many University employees in the city. The childcare operators are starting to open again, but at a reduced capacity. We are not as strong as we were before. We are substantially weaker than before. Before, it was a seven month wait. It's much worse now. It's a disaster. It is difficult as we have seen. It's difficult for applicants to get permission to start childcare. Most places don't allow it in the city, which is very simple. Most people don't do it. There are too many things to say 'no.' People hear 'no' and they think 'no.' I

am proposing, given the current emergency, we should allow childcare in the city where it is needed. The language of the proposal is as follows: **Motion - I move for a zoning text initiation to make both family day homes for up to twelve children and daycare facilities by right uses and all zoning districts and exempt them from the off street parking requirements, and I also ask staff to develop a standard drop off and pick up code to ensure safety, given this change.** There was some pushback when I discussed this from a former planning commissioner concerned about safety. I want for staff to work on this. This is an emergency.

The motion was seconded by Commissioner Stolzenberg

Commissioner Green – Aren't these allowed by right everywhere anyway as a home occupation permit for up to five kids?

Ms. Creasy – It is allowed in residential areas without going through many processes. Once you get above five children, you link into the state permitting requirements as well as different building code requirements.

Commissioner Green – I want us to be careful and think about this. We don't want everybody opening up a daycare. There are child predators out there we don't want opening up a daycare.

Commissioner Solla-Yates – Are we in a place to prevent child predators from opening daycares in the NDS?

Commissioner Green – I am saying that we need to be careful. It is allowed in all residential zoning districts for five kids. It is a by right use as a home occupation. I understand what you are trying to do. I am saying that I am not sure how many large daycares we can open when we are trying to social distance. I hope that people hearing this will want to open up their homes. It would be a great idea right now. Some of the things done in the county are relaxed restrictions on some of the permit requirements or home occupations. In the county they opened up the seating requirements on restaurants so there could be emergency orders. The county has something in place to set up or temporarily loosen up sign restrictions, so people can do the signs for longer periods of time for businesses. We could look at something like that as a quicker and easier fix to what you are trying to do. I am not sure what the requirements are for the permits. That would be much quicker than a zoning text amendment to change daycare centers.

Commissioner Solla-Yates – It makes sense as an 'and.' It doesn't make sense as an 'or.'

Commissioner Stolzenberg – Can we do both?

Commissioner Solla-Yates – I think that it is a good idea.

Commissioner Green – You are saying this as a thought. When people can't go to work, it's going to be "taking care of my kids or going to work." We need a quick fix, not a zoning text amendment. That's my concern with it. Zoning text amendments are not quick.

Commissioner Solla-Yates – Would this take years? How long are we talking about?

Ms. Robertson – Staff will need to investigate. The Planning Commission is not under the same 100 day rule as when Council refers something to it. You don't have that time period. The proposal has to be vetted by staff. Staff would need to make its own recommendations to you. At whatever point you might decide to go forward with a specific proposal, you would have a public hearing on it. It can go to City Council when it is ready. The amount of time will depend on how long it takes to fully vet a proposal. Keep in mind that when you do a significant zoning change with a public hearing electronically like this, it can be a little challenging to make sure word gets out to enough people to get comments on it. On July 20th, staff is taking some interim regulations to City Council for its consideration in terms of requirements for asking people to undertake certain steps for public engagement, while meetings are being done electronically. Staff can always consider complying with those steps in the context of this type of amendment.

Commissioner Green – If this is voted on tonight, what do you think the earliest date that you can get this back to the Planning Commission?.

Mr. Ikefuna – We have to look at the workload. Workload consideration is very critical. Things are moving on the regular schedule. It's going to be at least a few months for it come back to the Planning Commission.

Commissioner Green – It's not going to get to us until, I dare say September. I totally understand what you are saying (Commissioner Solla-Yates). If we have these locations where we can do five or more with social distancing, who knows how many people can happen with that. What kind of permitting requirements are there? How fast can the permits work their way through the system if people want to do this?

Mr. Ikefuna – If you have five kids or less, you can have a daycare in any location that is conducive for the kids. Looking at any hurdles that may get in the way of expedited approval in our current situation. If you have to go in the direction of more than five kids, then you are also looking at state requirements. You start looking at the space requirements. Once it exceeds five, those things come into play.

Commissioner Green – Then it comes to the state doing inspections. That is what I am asking. If I were to apply to have a home daycare for five kids or less, what do I need to provide the NDS staff and what do I need to do to make that happen rapidly? How fast does that happen?

Ms. Creasy – You will need to fill out the application for a home occupation and turn it in. It's a small fee. Mr. Fabio on the zoning staff reviews and turn that around very quickly.

Commissioner Green – How long does it take?

Mr. Ikefuna – It will take weeks, sometimes days. It depends on the number of applications ahead of that.

Commissioner Green – If this is something that you (Commissioner Solla-Yates) want to do, go for it. I think we need a more immediate stop-gap. Are NDS and Council willing put in an

emergency order into place to say that the daycare comes in as home occupation? Will that application go to the top of the pile? To get Dr. Richardson and Council on board, that is a priority project. If a daycare comes in, we put that at the top of the pile for first review.

Commissioner Lahendro – Why not even waive the fee to get the attention of the newspaper and get public attention to this?

Commissioner Green – Maybe this is a CIC looking at this and promoting this kind of thing for people to do something like this in their homes. Especially, people who are out of a job.

Chairman Mitchell – I like where we are going with this. I am not certain what our role is in this.

Ms. Robertson – There are layers of issues here. As with many other things, our ordinances are a little bit out of date. Under state law, up to a certain number of children cared for in someone's home, exclusive of that person's own children, is considered residential occupancy by single family. You are required to allow that anywhere for someone that cares for children in their own home. If you are allowed to live in a place as a single family, you're allowed to do this with up to four children under state law, exclusive of the children that belong to you. When you get to five children, you are subject to the state regulations. New provisions of state law do allow localities to authorize the zoning administrator to use an administrative process to issue zoning permits for those larger facilities that have five to twelve children. That still requires an action of an ordinance. If you want to go that route, it might be a little easier to authorize those homes to go through an administrative process to be approved. When you do that, you're still supposed to have standards developed to guide the zoning administrator in making those decisions. You're back to the same problem that you're discussing now, which is quite a bit of work for you to go into determining who gets approved and who doesn't from the zoning perspective.

Commissioner Green – You're saying four kids, not five kids or less?

Ms. Robertson – In 2015, Virginia code 15.2-2292 was amended to reduce the number from five to four.

Commissioner Green – Basically, all we need to do is get an emergency order through the legislation to change so that we can help?

Ms. Robertson – Not necessarily. One can take the position that under our current zoning ordinance, we never changed it. You can still have up to five. You need to be aware that when you're at five, the state now requires you to have a regulation where it didn't used to require that until you got to six. Under our local ordinance, anyone who wants to care for children in their home, can have up to five children anywhere that residential occupancy is allowed by right within the city. Someone, who wants to start care in their home at five, may or may not be able to get that home approved by the state agency that regulates them.

Commissioner Stolzenberg – We do have a couple of restrictions on that one to five category that looks they are not allowed by the state law. In UMD (University Medium Density and University High Density), they're not permitted at all. The state law would override if it is one to four, but for

the fifth. In terms of off street parking requirements, we require one space per non-resident employee plus space required for the dwelling for family day homes from one to five children. For one to four, the state law says there shouldn't be any conditions more restrictive than those imposed on residences. The off street parking requirement is not allowed for those if you consider that a condition for restriction. In the off street parking ordinance, there's no requirement for family day homes from six to twelve. There is a requirement for daycares, which are thirteen plus.

Ms. Robertson – You have laws that haven't been updated comprehensively and maintained in accordance with state law since 2003. You have problems. We definitely need to put this stuff in the basket of things that need to be updated when we're ready to go there. Commissioner Stolzenberg is correct that in the event of a conflict between state law requirements and our local ordinance, we need to allow compliance with the state law up to four people.

Commissioner Green – Basically, we're back to what I was talking about. We can do this up to four in homes without all of the regulations. With the fifth, the ordinance says that we can do. It's going to start a bunch of parking requirements.

Commissioner Stolzenberg – If we have permit forms or FAQ on how to get this started to switch those to be combined with state law rather than our long and over written local ordinances. I like the idea of doing administrative things quickly. We should do both because it might take 3 and 4 months to get a ZTA passed. We do need to do it anyway. Four months ago, it was easy to think that this pandemic was going to be a short time. At this point, it seems really clear that this is the indefinite future for us. Early next year, we may have a vaccine. There is a good chance we don't. We should plan for that contingency. This is critical for the pandemic. I think it's important to move forward. I also think it's important in general. I know Commissioner Solla-Yates and even my co-workers were complaining about daycare even before all of this.

Commissioner Green – I don't want staff working on this when there is much quicker result that we can get through for people, who can use it right now. It's great Commissioner Stolzenberg for months down the road. Some people are going to lose their jobs before 4 months or 3 months because school should be starting in August. The \$600 additional funding from the federal government for unemployment ends at the end of July. A lot of people are going to go back to work. We have a bigger problem and it's going to be August two weeks from now. It is not October when we can get it to Council. I would really like staff to look at what we can do administratively quickly and then step 2. I think it's a twostep process.

Chairman Mitchell – What would like to do with motion Commissioner Solla-Yates? Would you like to keep it as is or would you like to amend it based on the input from Commissioner Green?

Motion: Commissioner Solla-Yates - I move for a zoning text initiation to make both family day homes for up to twelve children and family day homes by right uses and all zoning districts and exempt them from the off street parking requirements, and I also ask staff to develop a standard drop off and pick up code to ensure safety, given this change and take all administrative measures to ensure childcare is provided as quickly as possible and waive the application fee for the one to four. (Motion seconded by Commissioner Stolzenberg)

Motion passed (4-0) with one abstention.

Commissioner Green – What are the restrictions on daycares and churches where most of the infrastructure is in place?

Commissioner Heaton – That’s why I am abstaining. Churches have a religious exemption even though many of them exceed the state and city requirements. We’re exempt from having to adhere to them.

Commissioner Green – How is that possible?

Commissioner Heaton – They are technically religious schools. They are schools as opposed to daycare.

Ms. Robertson – A few years ago, there was a court case that came out of Fredericksburg that dealt with the licensing and zoning issues relating to daycare and churches. I will need to review that. There are some special licensing provisions or exemptions that certainly apply at the state level for churches. I will need to review the zoning issues in that case.

Commissioner Green – If that hoop is something that we can tear down quickly, maybe that’s something we need to add to this.

Commissioner Heaton – Some churches have daycares and some have schools. Schools are different than daycares, even though they serve the same population.

Commissioner Green – I would like to know that Ms. Robertson. I thought our only exempted churches had the same exemptions as wineries and breweries.

Ms. Robertson – I don’t think I would use the word ‘exemption.’ What you always have to analyze is whether your regulations impose burdens on the churches that aren’t permissible. ‘Exemption’ may be the correct word relative to the state regulations that deal with either financing of the school or a daycare.

Commissioner Heaton – There is a lot of precedent where nearby churches open up after a school burns down or is hit by a tornado.

Commissioner Green – Maybe that is what I am saying as well. If there are hoops, we can put some kind of emergency order that expires.

Commissioner Heaton – The mayor or governor can stay the state of emergency. A lot of the things that we are talking about tonight will not be an issue. That hasn’t happened yet. We are doing the right thing.

Commissioner Green – There is a state of emergency.

Commissioner Stolzenberg – Is there anything related to daycare?

Ms. Robertson – No there is not. The governor could address that if he wanted to relative to the state regulations. From the city’s perspective, we have to look at what the impact is on local zoning regulations and to what extent something is modifiable in the short term to facilitate something happening that will be helpful to people who need that additional childcare.

Commissioner Green - If you can find that, you can let us know. Our next step may be to reach out to Delegate Hudson. I know the legislature is doing an emergency session in August. They may need to bring this up and there may need to be an executive order from the governor.

Commissioner Heaton – The school board doesn’t have their plan nailed down either.

Commissioner Green – They’re only going two days a week. There are three days a week that somebody, who is working full time has to have childcare. I worry about the kids with no internet and nobody at home. It is something that I have been thinking about a lot.

Commissioner Heaton – I would concur, especially the most vulnerable kindergarten and pre-kindergarten home may not be the best place for them. Whatever the governor can do to expedite that so it doesn’t become a zoning process.

Commissioner Green – Ms. Robertson, can you get us that to see where we are with that. We will know what to request from delegate Hudson.

Ms. Robertson – The state regulations?

Commissioner Green – What our regulations will be and what roadblocks we would endure in the city to be able to do something like this in institutions like churches.

Ms. Robertson – Sure.

Commissioner Green – Does that make sense? I feel like there is more urgent need than a zoning text amendment.

Chairman Mitchell – Let’s wait until we get the feedback from Ms. Robertson before we go down that road.

Commissioner Stolzenberg – With the ZTA we just initiated, is it possible for staff to come back to us with the non-discretionary, obvious, or necessary things by state code that could be changed quickly without a full report of impact analysis because there is not a lot to debate and come back later in that 4 month timeframe with the items we actually would have to discuss and debate?

Ms. Robertson – Other than things that Council could do, I am comfortable in giving an opinion that if you’re allowed to do something under the state law that you need to be allowed to do that regardless what the city ordinance says. The main thing that you all might want to consider in the longer term is whether you allow administrative approval by the zoning administrator of 5 to 12. When you do that, it’s an equal amount of work. Instead of putting standards to guide that

discretion in your ordinance, you have to put together a set of standards that the zoning administrator has to do to make a decision. That would include everything, such as parking. You have to lay that out in a policy and procedure document for the administrator to apply.

Commissioner Green – There would be hoops to jump through for the state regulations for 5 to 12?

Ms. Robertson – That's correct.

Commissioner Green – Would that be something we would be able to waive or have a conversation about?

Ms. Robertson – That's right. It's not something I would encourage you to ask after the next two weeks. It's going to require more work and thought than that.

Commissioner Green – The vice-mayor has asked how much the application fee is for the home occupation for 1 to 4 children.

Ms. Creasy – It is \$100.

Commissioner Stolzenberg – One thing I noticed in the state ordinance is that for the 5 to 12 family day home. Regardless of the regulations for administrative approval, there is a requirement to give notice to neighboring property owners. They can object. It seems to me that you could implement fairly lenient regulations because this objection mechanism is there. You can make them fairly lenient and then consider objections brought up by neighbors if they happen. If you have an application where they have spoken to the neighbors and the neighbors approve. There is really no need for all of this process.

Ms. Robertson – That could be looked at. I would suggest that ordinarily I wouldn't recommend putting the zoning administrator in the position of resolving objections involving neighboring property owners. What you want to do is approve the ones that nobody objects to and send anything else to some other level of administration. Maybe the Planning Commission could be the administrator for ones that have objections. It's going to take some thought to figure out all of the details for the long term solution. We can get some things moving in terms of information and administrative details like the waiving of the fee in the short term.

Commissioner Solla-Yates moved to adjourn. The meeting was adjourned at 7:38 PM.