

CITY OF CHARLOTTESVILLE

Department of Neighborhood Development Services

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August 9, 2019

TO: Charlottesville Planning Commission, Neighborhood Associations & News Media

Please Take Notice

A Joint Work Session of the Charlottesville City Council and Planning Commission will be held on **Thursday August 15, 2019 at City Space (100 5th St NE) beginning at 6pm.**

AGENDA

1. Form Based Code

Design For Your Future



Planning Commission & City Council Meeting
August 15, 2019

FBCI Form-Based
Codes Institute
A Program of Smart Growth America

DPZ
CODESIGN

 **PES**
Partners for
Economic Solutions



Welcome

Recap of Process -- History

- Sept. 2017: Hold kick-off charrette in the SIA
 - Dec. 2017: Submit first draft of FBC
 - Mar. 2018: Submission of Second Draft of FBC
 - April 2018: Submit housing needs assessment & financial analysis of affordable housing options
 - June 2018: Housing Assessment Presentation to City Council
 - Sept. 2018: Hold community engagement workshops with public housing residents to discuss FBC and housing strategy
 - Sept. 2018: Review Friendship Court site plan and meet with PHA leadership
 - April 2019: Meeting with CRHA and PHRA Boards
-

Recap of Process - Future

- Aug. 2019: Hold work session with City Council and Planning Commission
- Sept. 2019: Hold two stakeholder open houses
- Oct. 2019: Submit final draft of FBC to NDS



Work Session Objectives & Impact

- Explore the key elements of the draft form-based code
 - Increase understanding of Affordable Housing Options
 - Hear concerns and answer questions
 - Outline next steps in the process
-

Form-Based Codes

The Basics

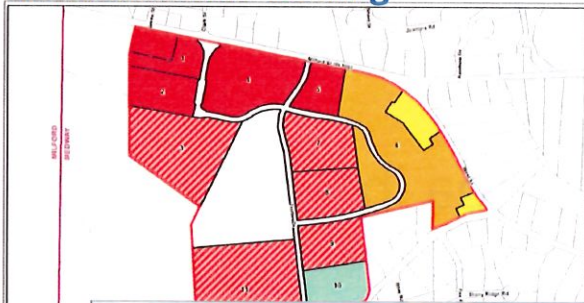
What is a Form-Based Code?

- ▷ Why are they implemented?
- ▷ Why Strategic Investment Area in Charlottesville?

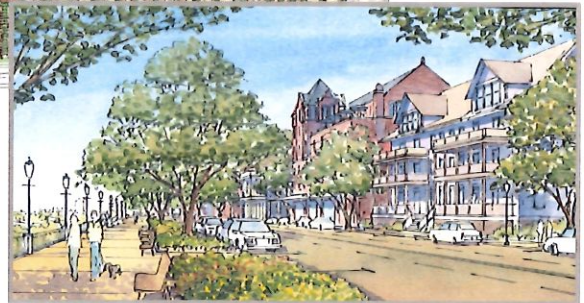


How is FBC Different from Conventional Zoning?

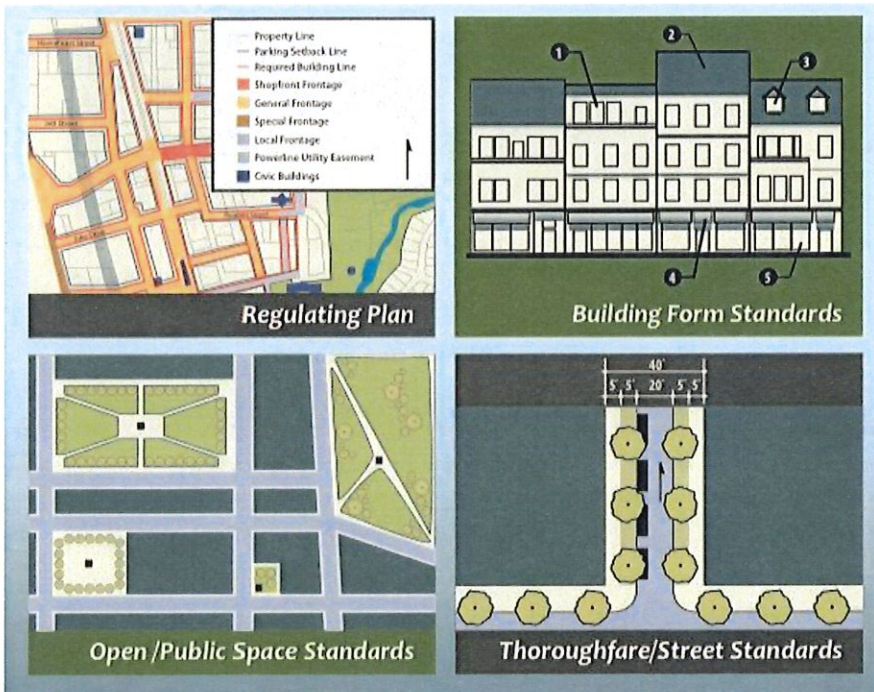
Conventional Zoning



Form-based Zoning



What is included in a Form-Based Code?



Four common factors:

- Regulating plan (zoning map),
- Building type/use and form,
- Open space considerations,
- Design and function of streets.

In broad strokes, the type, size, and scale of desired private and public development.

What goals can/can't it meet?

| Community Residents | Can an FBC Meet These Goals? | | Community Developers |
|---|------------------------------|---|---|
| Increase number of affordable housing units | ✓ | ✓ | Retain baseline capacity |
| Rehabilitate and preserve existing affordable units | ✓ | ✓ | Make regulations simpler |
| More accessible open space | ✓ | ✓ | Streamline the project review process |
| More inclusive housing | ✓ | ✓ | Reduce parking requirements |
| Places for more kinds of businesses | ✓ | ✓ | Leverage public/private investments |
| Create safe comfortable places | ✓ | ✓ | Streamline the project review process |
| Improve building form | ✓ | ✓ | Improve building form |
| Better schools | | | Waive fees for affordable housing units |
| More housing for households at 0 – 30% AMI | | | |
| Access to jobs | | | |

Potential Benefits of FBCs

- ✓ Make it easier to walk, bike, use transit
 - ✓ Set standards for community scale and character
 - ✓ Integrate uses better
 - ✓ Offer more cohesive design and development
 - ✓ Are simpler, easier to understand development regulations.
 - ✓ Interpret the public's vision into simple language, pictures, and diagrams to guide future development.
-

Potential Limitations

- ✓ Streamlined review process (benefit for some)
 - ✓ Cannot solve every important local issue
 - ✓ Not an affordable housing policy
 - ✓ Density bonuses are not enough to meet communities' affordable housing needs
 - ✓ Subject to state law and zoning limitations in VA
-

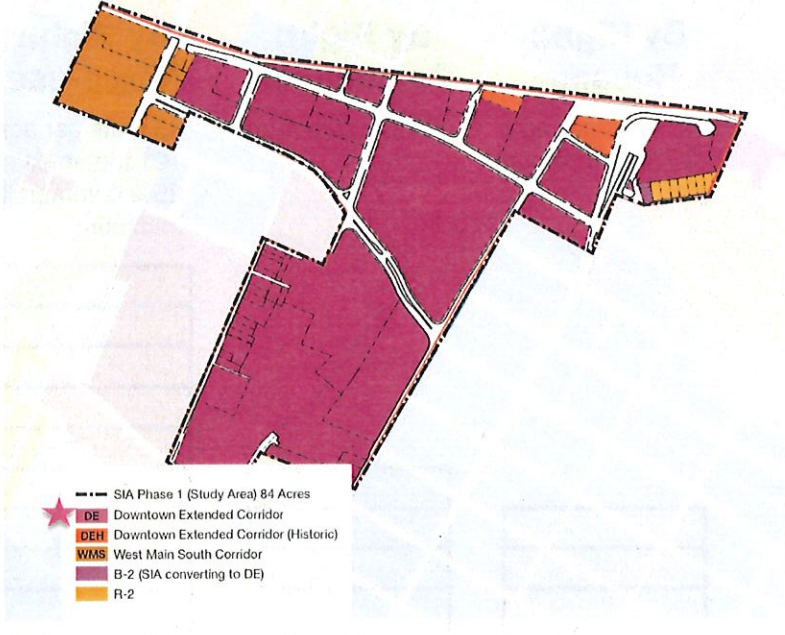
Form-Based Code Elements

➤ Framework

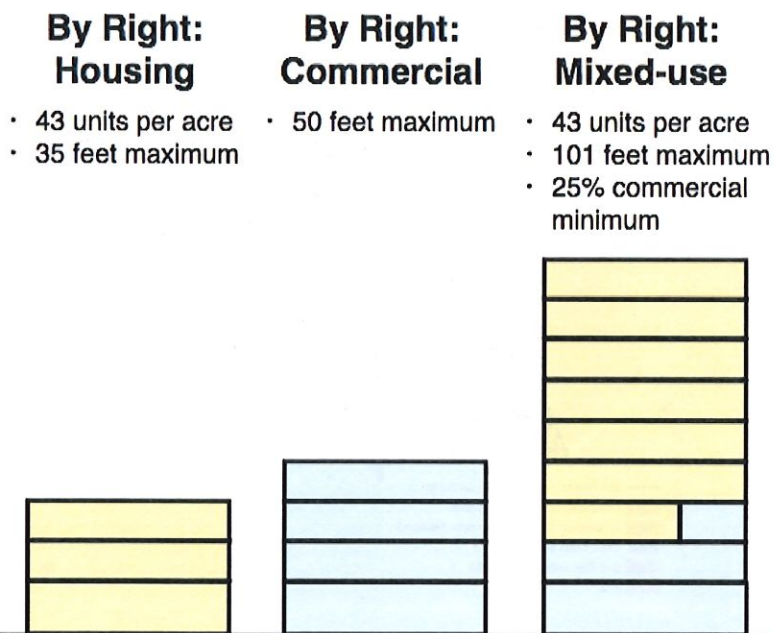
FBC Intent

- Guide the evolution of, and further the goals of the SIA;
 - Honor the Residents Bill of Right and support the City's affordable housing policies;
 - Enable a greater range of housing and locally-oriented businesses;
 - Create a healthy neighborhood, with walkable streets in a safe, high-quality public realm; and
 - Promote small, incremental development.
-

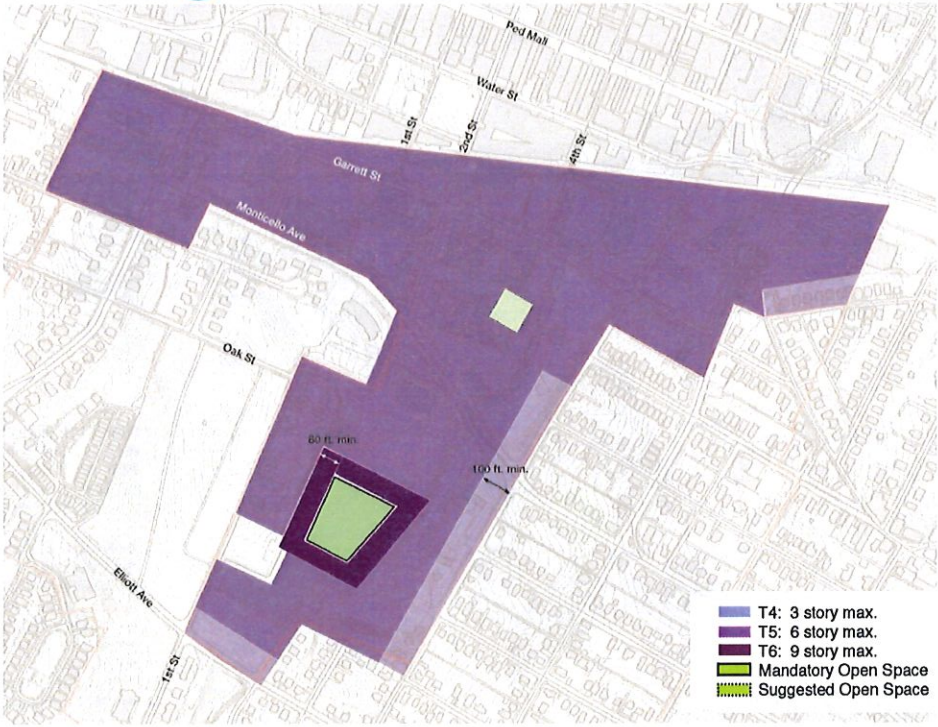
Existing Zoning



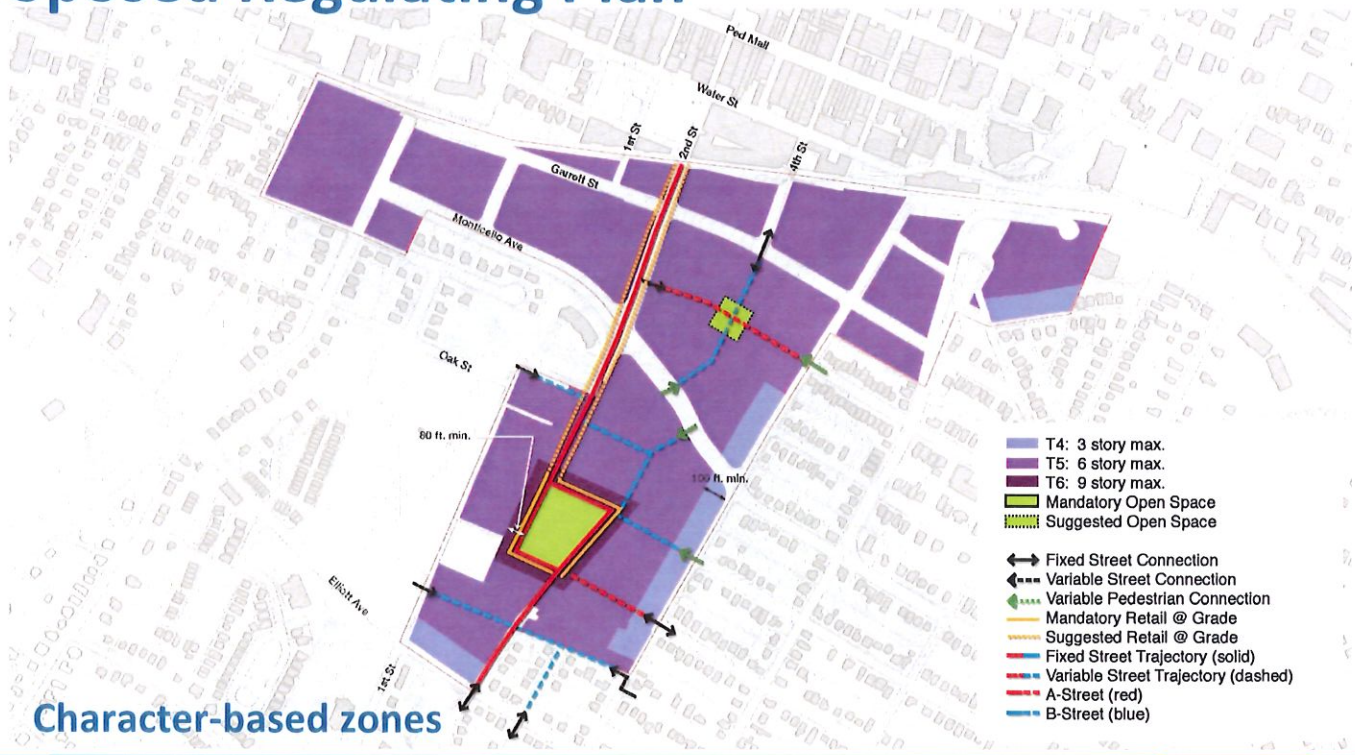
Existing Code: Development by Right



Proposed Zoning Plan



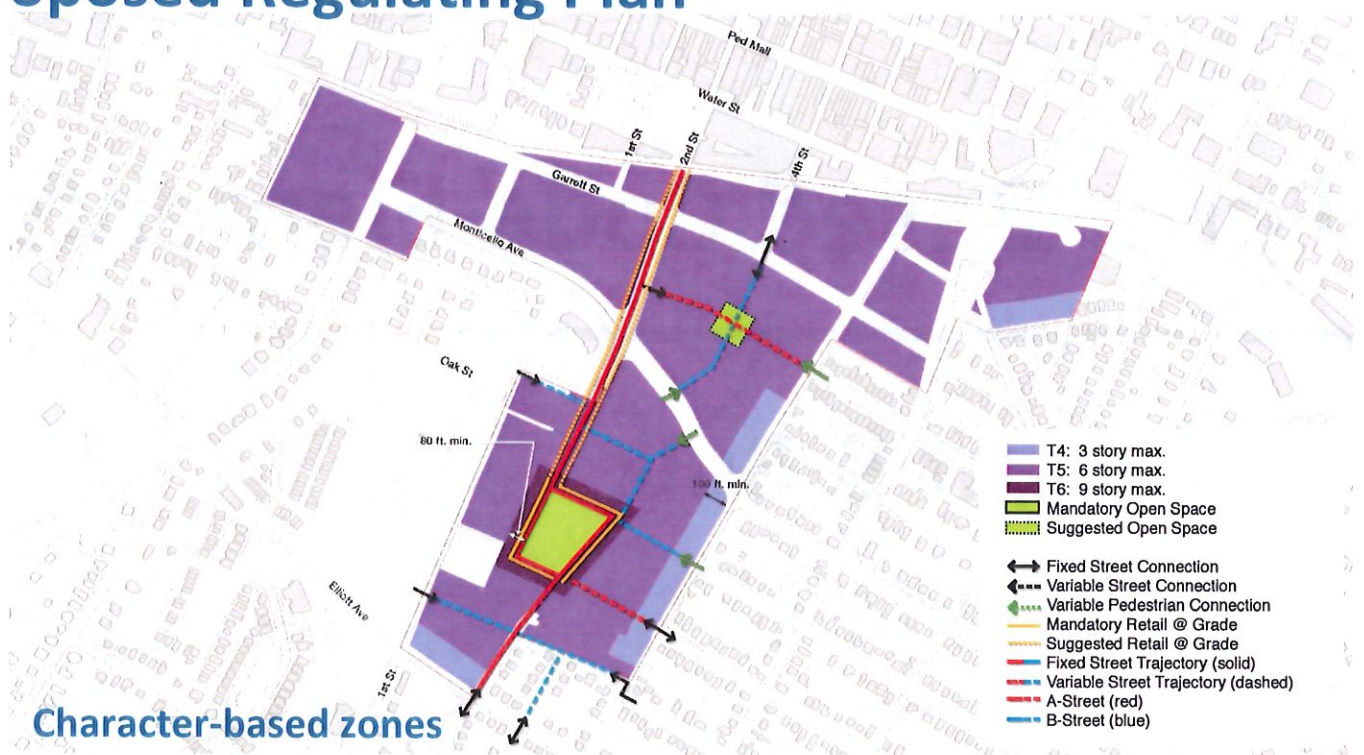
Proposed Regulating Plan



Form-Based Code Elements

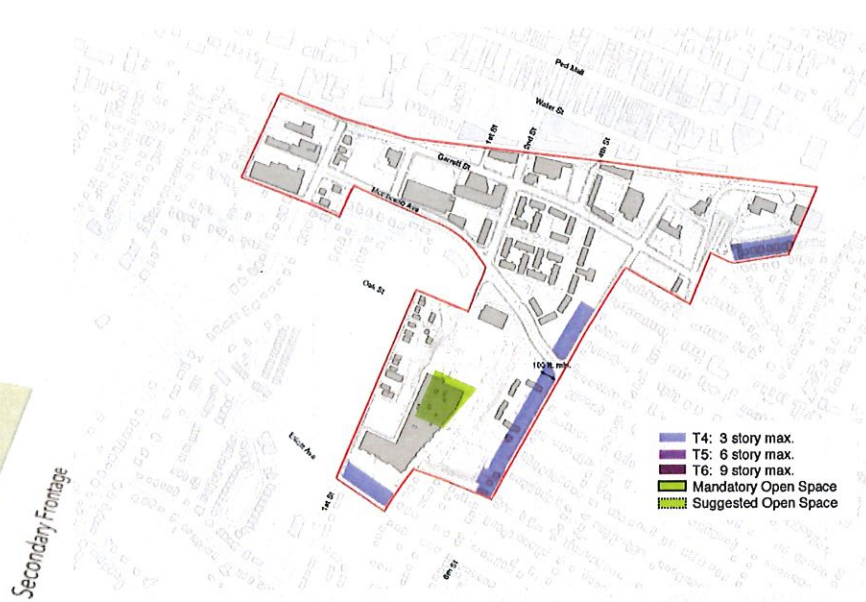
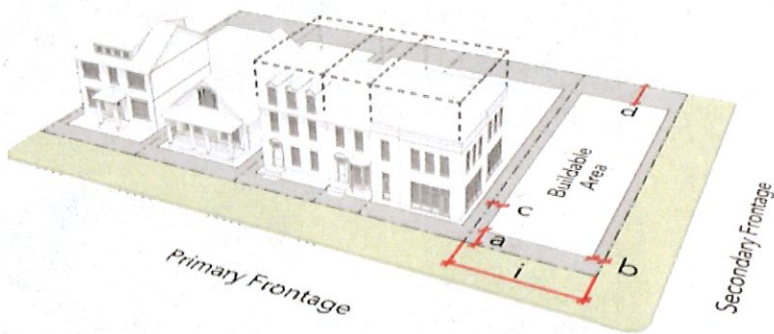
➤ **Height & Bulk**

Proposed Regulating Plan



Character-based zones

T4: Transition Zone

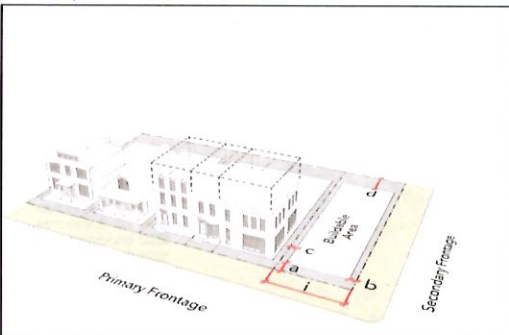


T4: is a low to moderate intensity single and multi-family residential zone with limited neighborhood-scaled commercial uses.

3 or 4 stories permitted.

T4: Form & Use

Table 4.1 Bulk Standards - T4



Setbacks - Principal Building (feet)

| | |
|------------------|-------------|
| a Front, Primary | 10 min. |
| b Corner Side | 10 min. |
| c Side | 0 or 5 min. |
| d Rear | 5 min. |

Frontage & Lot Occupation (min.)

| | |
|-------|-----|
| Front | 70% |
| Side | 40% |

Lot Occupation

| | |
|--------------|--------------|
| i Lot Width | 100 ft. max. |
| Lot Coverage | 60% max. |

Building Height (max.)

| | |
|--------------------|-------------------------------------|
| Principal Building | 2 ⁽¹⁾ / 3 ⁽²⁾ |
| Accessory Building | 2 |

Setbacks - Accessory Building (feet)

| | |
|-----------------|-------------|
| e Front (PB +) | 10 min. |
| f Corner Side | 10 min. |
| g Interior Side | 0 or 5 min. |
| h Rear | 4 min. |

Frontage Yard Types (see Table 7.1)

| | |
|----------------------|---------------|
| Common | Not Permitted |
| Fenced | Permitted |
| Cluster Court | Permitted |
| Shallow | Permitted |
| Urban | Not Permitted |
| Pedestrian Forecourt | Not Permitted |
| Vehicular Forecourt | Not Permitted |

Table 8.1 Uses

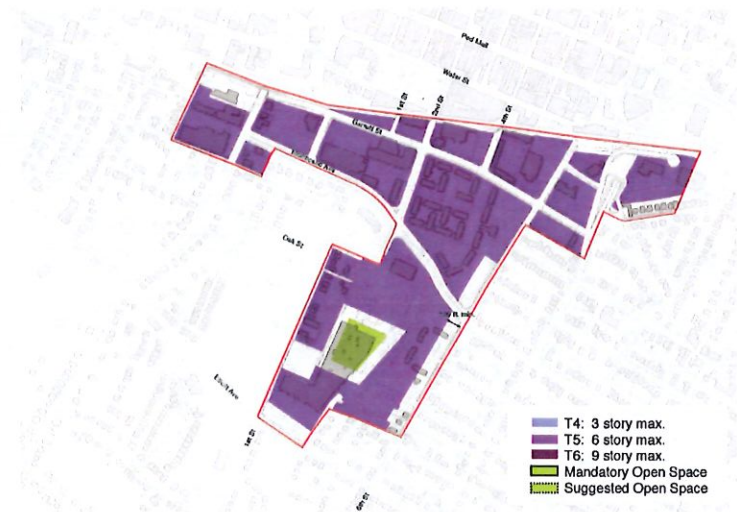
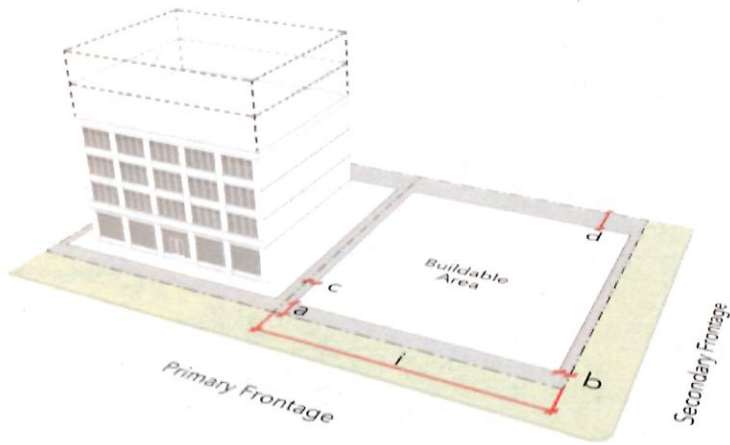
T4 T5 T6

| Residential | T4 | T5 | T6 |
|--------------------------------------|----|----|----|
| Accessory Apartment (Internal) | B | B | B |
| Accessory Apartment (External) | A | B | B |
| Accessory Buildings (Residential) | A | B | B |
| Adult Assisted Living | | B | B |
| 1-8 Residents | B | B | B |
| >8 Residents | | B | B |
| Adult Day Care | | B | B |
| Amateur Radio Antennas | | | |
| Convent/Monastery | | B | B |
| Criminal Justice Facility? | | | |
| MF Dwelling | B | B | B |
| SF Detached | B | B | B |
| SF Attached | B | B | B |
| Townhouse | B | B | B |
| Two-Family | B | B | B |
| Family Day Home (1-5 Children) | B | B | B |
| Family Day Home (6-12 Children) | C | B | B |
| Home Occupation | B | B | B |
| Manufactured Home Parks | | | |
| Night Watchman's Dwelling | | | |
| Nursing Home | | C | B |
| Occupancy (3 Unrelated Persons) | C | B | B |
| Occupancy (4 Unrelated Persons) | C | B | B |
| Residential Treatment Facility (1-8) | | C | C |
| Residential Treatment Facility (8+) | | C | C |
| Shelter Care Facility | | C | C |
| Single Room Occupancy Facility | | C | C |
| Temporary Family Health Care | T | T | T |





T5: General Zone

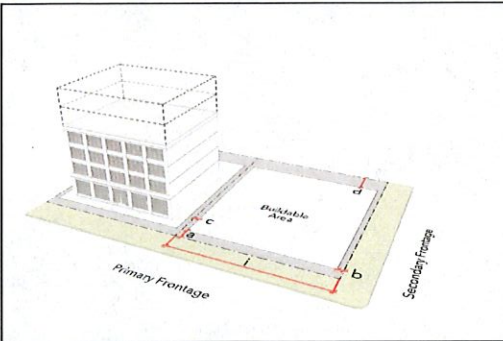


T5: is a medium intensity, mixed-use zone characterized by mid-rise, residential, commercial, institutional or mixed-use buildings.

**4 stories + 2 stories (bonus); or
3 stories + 3 stories (bonus)**

T5: Form & Use

Table 4.2 Bulk Standards - T5

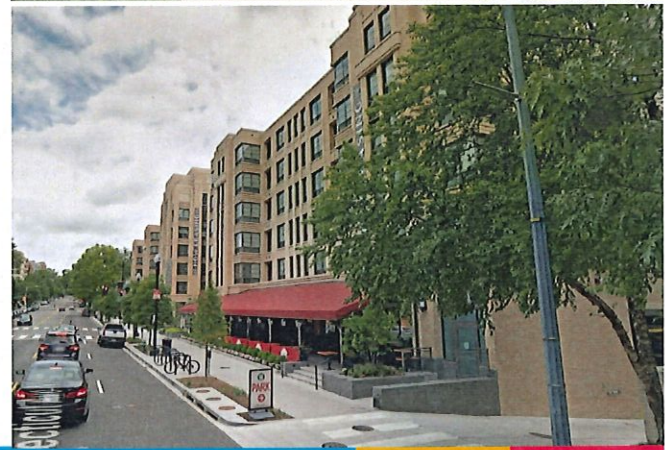


| Setbacks - Principal Building (feet) | | Setbacks - Accessory Building (feet) | |
|--------------------------------------|-----------------------------------|--------------------------------------|---------------|
| a Front, Primary | 5 min. | e Front (PB +) | 10 min. |
| b Corner Side | 5 min. | f Corner Side | 5 min. |
| c Side | 0 or 5 min. | g Interior Side | 0 or 5 min. |
| d Rear | 5 min. | h Rear | 4 min. |
| Frontage & Lot Occupation (min.) | | Frontage Yard Types (see Table 7.1) | |
| Front | 70% | Common | Not Permitted |
| Side | 40% | Fenced | Not Permitted |
| Lot Occupation | | Cluster Court | Not Permitted |
| i Lot Width | 150 max. | Shallow | Permitted |
| Lot Coverage | 80% max. | Urban | Permitted |
| Building Height (max.) | | Pedestrian Forecourt | Permitted |
| Principal Building | 4 ¹¹ / 6 ²⁵ | Vehicular Forecourt | Not Permitted |
| Accessory Building | 2 | | |

Table 8.1 Uses

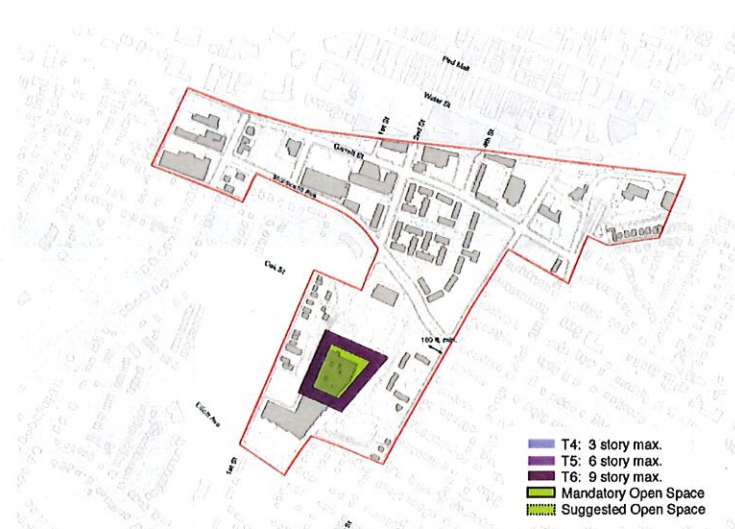
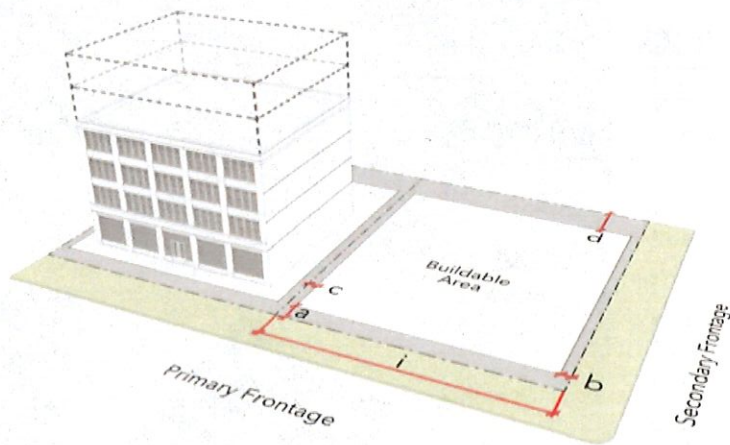
T4 T5 T6

| Residential | T4 | T5 | T6 |
|--------------------------------------|----|----|----|
| Accessory Apartment (Internal) | B | B | B |
| Accessory Apartment (External) | A | B | B |
| Accessory Buildings (Residential) | A | B | B |
| Adult Assisted Living | | B | B |
| 1-8 Residents | B | B | B |
| >8 Residents | | B | B |
| Adult Day Care | | B | B |
| Amateur Radio Antennas | | | |
| Convent/Monastery | | B | B |
| Criminal Justice Facility? | | | |
| MF Dwelling | | B | B |
| SF Detached | B | B | B |
| SF Attached | B | B | B |
| Townhouse | B | B | B |
| Two-Family | B | B | B |
| Family Day Home (1-5 Children) | B | B | B |
| Family Day Home (6-12 Children) | C | B | B |
| Home Occupation | B | B | B |
| Manufactured Home Parks | | | |
| Night Watchman's Dwelling | | | |
| Nursing Home | | C | B |
| Occupancy (3 Unrelated Persons) | C | B | B |
| Occupancy (4 Unrelated Persons) | C | B | B |
| Residential Treatment Facility (1-B) | | C | C |
| Residential Treatment Facility (8+) | | C | C |
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| Temporary Family Health Care | T | T | T |





T6: Center Zone



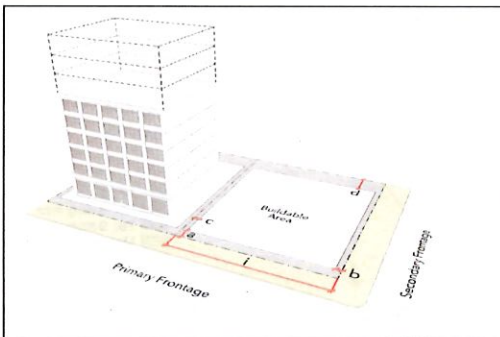
T6: is a high intensity, taller with mix of uses (buildings, offices, hotels, institutions, and apartment buildings), located on a major open space type C or D.

**5 stories + 4 stories (bonus); or
3 stories + 6 stories (bonus)**



T6: Form & Use

Table 4.3 Bulk Standards - T6



| Setbacks - Principal Building (feet) | |
|--------------------------------------|-----------------|
| a Front, Primary | 0 min., 10 max. |
| b Corner Side | 0 min., 6 max. |
| c Side | 0 or 5 min. |
| d Rear | 2 min. |

| Setbacks - Accessory Building (feet) | |
|--------------------------------------|-----|
| e Front | N/A |
| f Corner Side | N/A |
| g Interior Side | N/A |
| h Rear | N/A |

| Frontage & Lot Occupation (min.) | |
|----------------------------------|-----|
| Front | 90% |
| Side | 40% |

| Frontage Yard Types (see Table 7.1) | |
|-------------------------------------|---------------|
| Common | Not Permitted |
| Fenced | Not Permitted |
| Cluster Court | Not Permitted |
| Shallow | Not Permitted |
| Urban | Permitted |
| Pedestrian Forecourt | Permitted |
| Vehicular Forecourt | Permitted |

| Lot Occupation | |
|----------------|-----------|
| i Lot Width | 15 min. |
| Lot Coverage | 100% max. |

| Building Height (max.) | |
|------------------------|-------------------------------------|
| Principal Building | 5 ⁽¹⁾ / 9 ⁽²⁾ |
| Accessory Building | N/A |

Table 8.1 Uses

T4 T5 T6

| Residential | T4 | T5 | T6 |
|--------------------------------------|----|----|----|
| Accessory Apartment (Internal) | B | B | B |
| Accessory Apartment (External) | A | B | B |
| Accessory Buildings (Residential) | A | B | B |
| Adult Assisted Living | | B | B |
| 1-8 Residents | B | B | B |
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| Adult Day Care | | B | B |
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| Convent/Monastery | B | B | |
| Criminal Justice Facility? | | | |
| MF Dwelling | | B | B |
| SF Detached | B | B | B |
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| Temporary Family Health Care | T | T | T |





Character Zones



T4



T5



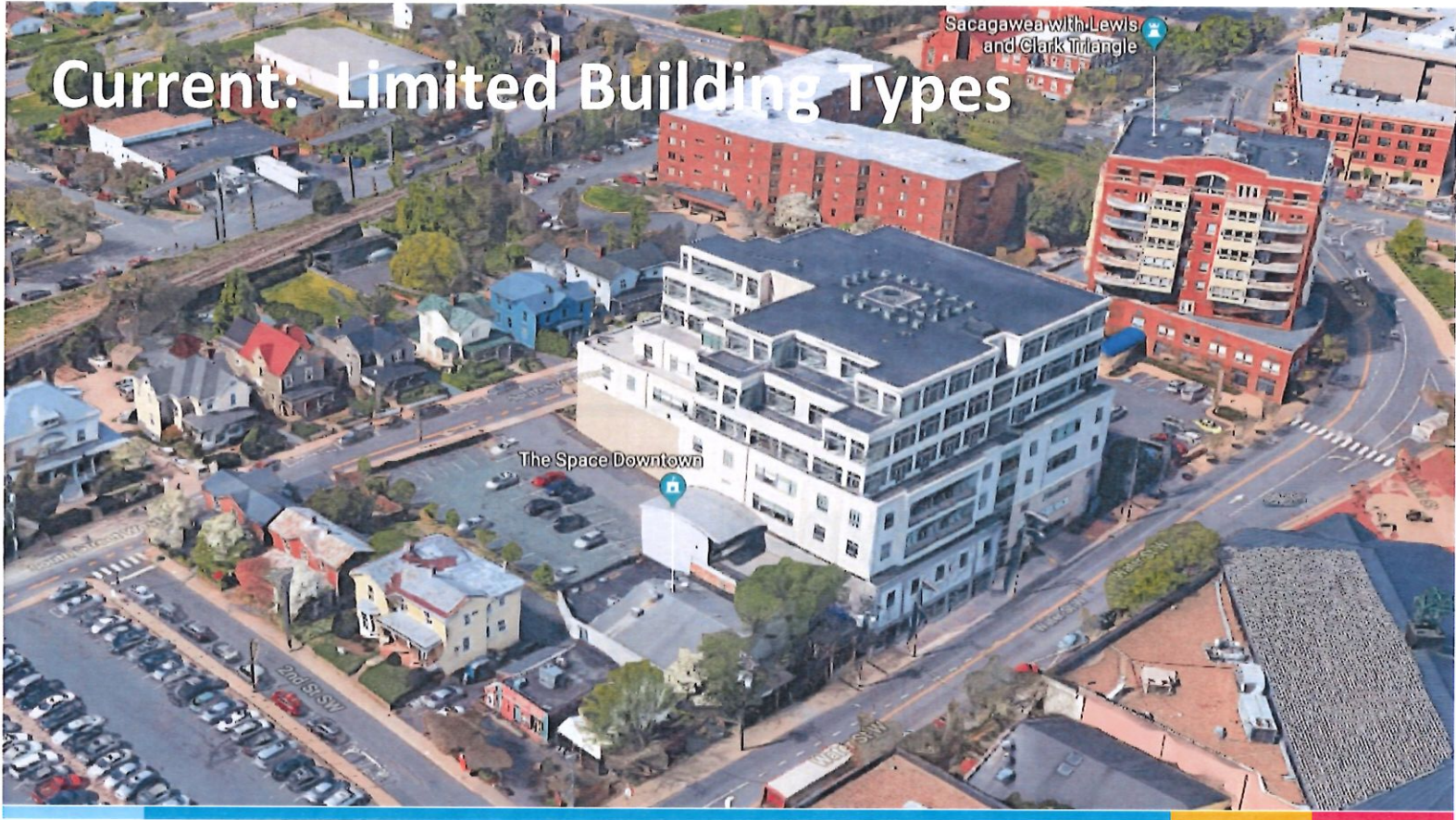
T6



Form-Based Code Elements

➤ Building Types

Current: Limited Building Types



Density vs/Community Character



12 Story Building
4.5 Acres
100 Units
8% Lot Coverage

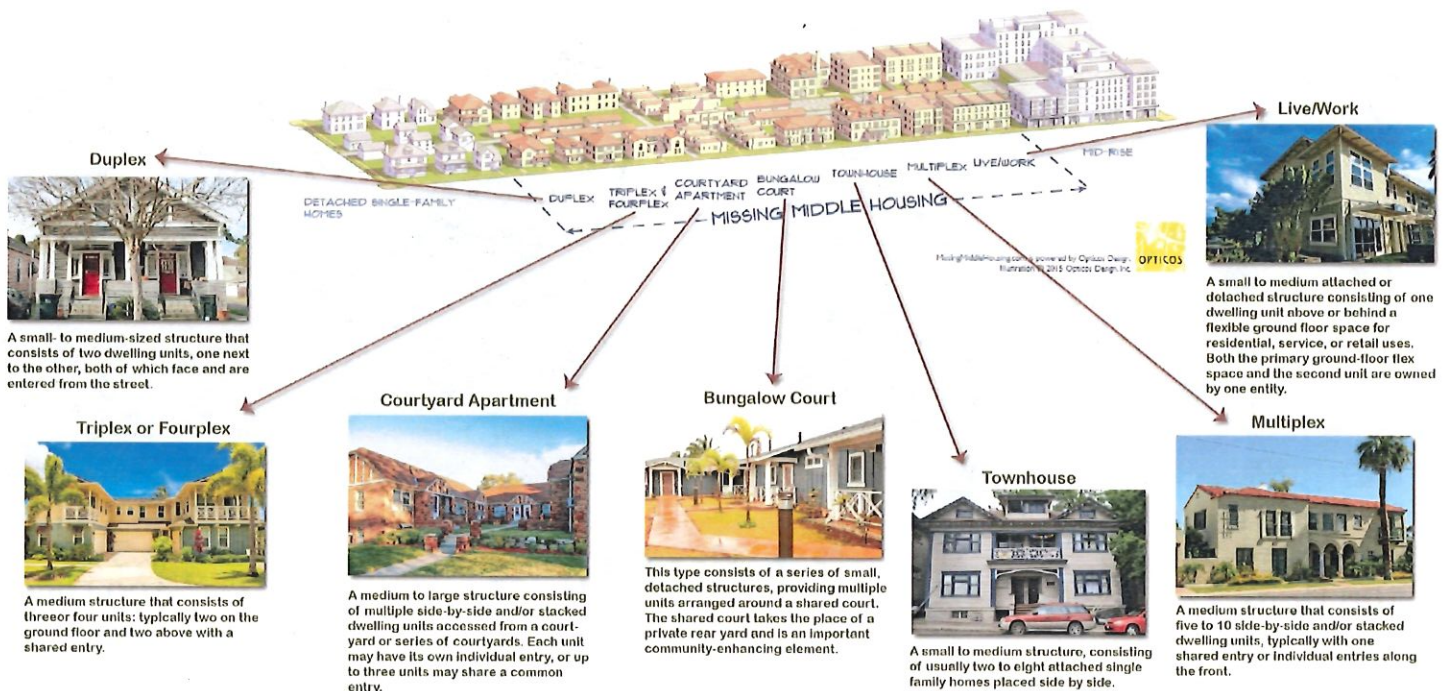
= 22 du/ac =



2-3 Story Buildings
4.5 Acres
100 Units
80% Lot Coverage



Missing Middle Housing



Proposed: Variety of Building Types



2-3 story apt. on 72'x105-120' lot
parking at rear from alley
Net density = 25 du/acre
Gross density = 17 du/acre



Side Court Townhouse - Sunks on 50'w x 120'd
Parking at rear from alley
Net density = 33 du/acre
Gross density = 24 du/acre



4-unit on 50'w x 120'd lot
Parking at rear from alley
Net density = 27 du/acre
Gross density = 19 du/acre



4-story Apartment - 150'w x 120'd lot
Parks on shared parking structure
Net density = 80 du/acre
Gross density = 60 du/acre



4-story apartment - 100'w x 120'd lot
8 units/floor relies on shared parking structure
Net density = 80 du/acre
Gross density = 60 du/acre



4-story Apartment - 150'w x 120'd lot
Parks on shared parking structure
Net density = 80 du/acre
Gross density = 60 du/acre

Form-Based Code Elements

➤ **Open Space**

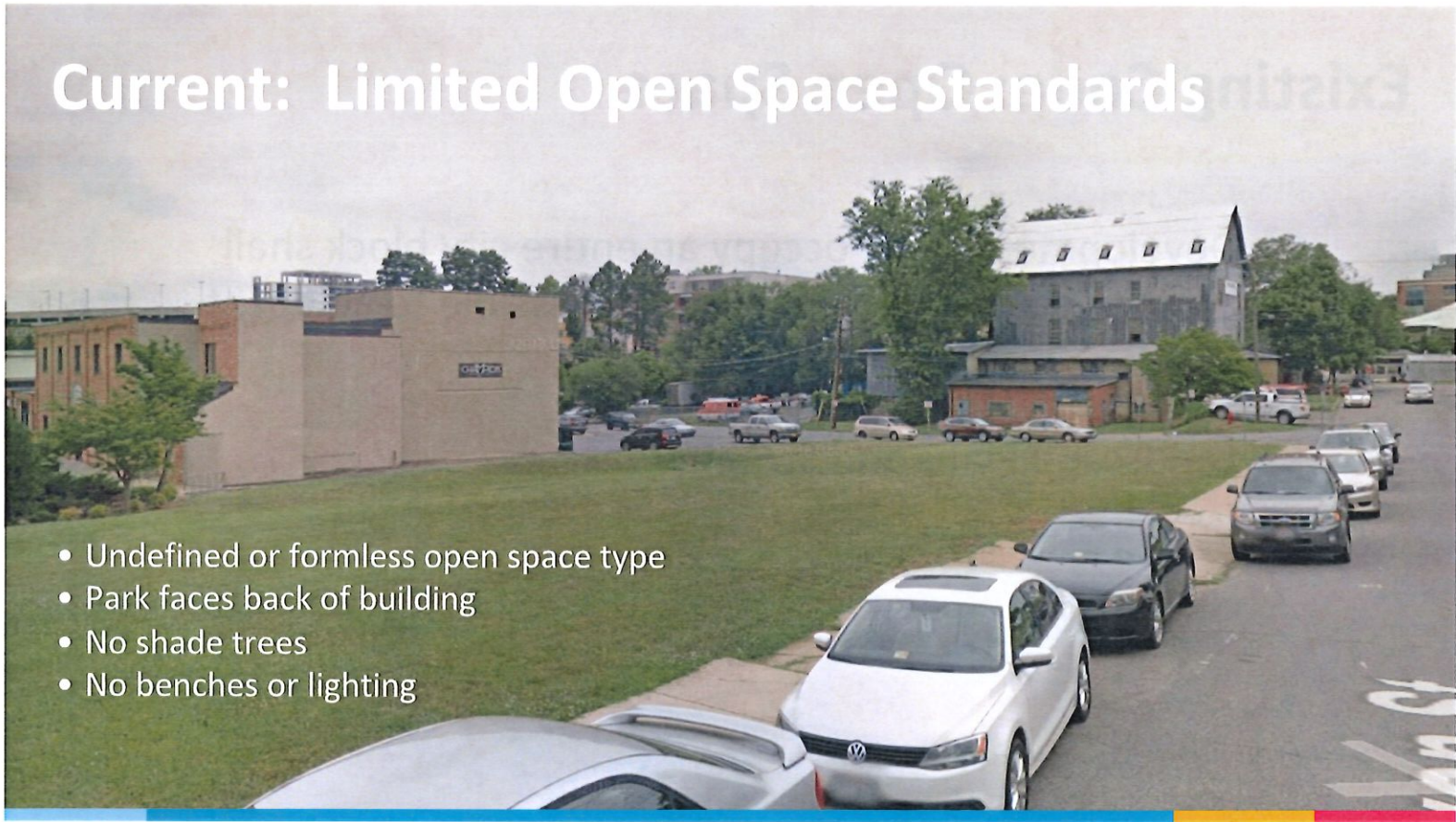
Existing Code: Open Space

- Developments that occupy an entire city block shall provide courtyards and plazas accessible to adjacent public rights-of-way.
- Landscape Plans and Street Trees



Current: Limited Open Space Standards

- Undefined or formless open space type
- Park faces back of building
- No shade trees
- No benches or lighting









Open Space Types

| TYPE | CHARACTERISTICS | DIAGRAM | PHOTOGRAPHIC ILLUSTRATION |
|--------------------------------------|--|---------|---------------------------|
| GREEN (GR) | A neighborhood-centered local open space sized to site conditions and available for unstructured passive and active recreation. Greens are spatially defined by extensive perimeter streetscape rather than building frontages. Its landscape consists of treatment of random, open ground and plantings, naturally arranged with pedestrian circulation, seating, recreation facilities and lighting. Some minor management provisions may be integrated into landscape treatment, but may not impede the public use of the open space. Greens typically vary in size from 1/4 acre to 2+ acres. | | |
| SQUARE (SQ) | Prominently sited urban open space for unstructured civic use, commercial activity and passive recreation. Squares are spatially defined by substantial adjacent streetscape and building frontages with streets on at least one side. Its landscape consists of paving, walls, arcosade elements and plantings formally arranged. They may contain civic buildings. Squares typically vary in size from 0.16 acre to 2 acres. | | |
| PLAZA (PT) | Major urban open space for civic purposes and programmed activities. Plazas are spatially defined by building and street frontages. Building edges at grade contain continuous public service uses for animation and support. Plaza grade should be flush with perimeter sidewalks and provide access to adjacent buildings. Its landscape consists primarily of pavement with the option of strategically placed trees planted at grade. Plazas may be anchored by landmark focal point, such as water feature or public art. Plazas are typically located at the intersection of important thoroughfares. They may contain civic buildings. Plazas typically vary in size from 0.10 acre to 2 acres. | | |
| POCKET PARK (PP) | A small open space designed for both passive and active recreation. In residential areas, pocket open spaces may include playgrounds attached within a block or detached within the neighborhood. There shall be no minimum or maximum size. | | |
| MAJOR MID-BLOCK PASSAGES (MP) | Linear open space passage dedicated to pedestrian use only, providing mid-block connection between streets or destinations. Passages are generally defined by buildings and provide direct visual and physical link to facilitate pedestrian circulation. The minimum width shall be 30 feet and shall vary in width as generally depicted in Diagram 3h. These spaces are intended to be more pedestrian, formal, landscaped "green" streets. Provisions for emergency vehicles should be considered in their specific design. | | |
| COMMUNITY GARDEN (CG) | A grouping of garden plots available for small-scale cultivation, generally for residents of apartments and other dwelling types without private gardens. Community gardens should accommodate individual storage sheds. Community gardens are valuable for their recreational and communal role, similar to that of a club. There are no minimum sizes for community gardens. Community gardens may extend no greater than 25 feet into the landward Resource Protection Area (RPA) boundary. In the Greenway District the community garden shall be 2,500 square feet minimum. | | |


Proposed Open Space



Open Space Standards

| Open Space Type | Location and Dimensions | | | |
|--|-------------------------|-----------------|---------------------------------|--------------------|
| | Zones | T-Fare Frontage | Size | Dimension |
|  A. Park | T4 | 1 side min. | 1 ac. min. 10 ac. max. | n/a |
|  B. Green | T4 | 2 sides min. | 0.5 ac. min. 5 ac. max. | 80 ft. min. |
|  C. Square | T4, T5, T6 | 2 sides min. | 0.2 ac. min. 3 ac. max. | 80 ft. min. |
|  D. Plaza | T5, T6 | 1 side min. | 0.2 ac. min. 2 ac. max. | 60 ft. min. |
|  E. Pocket Park | T4, T5 | 1 side min. | 1,000 sf. min. 0.25 ac. max. | 30 ft. min. |
|  F. Passage (mid-block) | T4, T5, T6 | n/a | n/a | 12-40 ft. in width |

Pocket Park

| Open Space Type | Location and Dimensions | | | Improvements | | | | | |
|---|-------------------------|-----------------|---------------------------------|--------------|--------------------|-------------------|----------------------------------|---------------------------|----------|
| | Zones | T-Fare Frontage | Size | Dimension | Impervious Surface | Building Coverage | Landscape | Seating | Lighting |
|  E. Pocket Park | T4, T5 | 1 side min. | 1,000 sf. min. 0.25 ac. max. | 30 ft. min. | 50% max. | 3% max. | 1 canopy tree per 4,000 sq. feet | 1 seat per 1,000 sq. feet | Required |

Regulations

Shade trees

Benches & well lit

Access visible from street & fronted by buildings

Mix of paving/grass

Size: 1,200 sf
Min dimension 40'



Playground

Form-Based Code Elements

➤ Streets

Goals

- Provide safe, walkable and bikeable streets;
 - Support connection and pedestrian experience;
 - Parking / loading located behind buildings,
 - Have wide sidewalks and street trees; and
 - Make streets contextual
-

Barrier or Seam



Transportation Corridor



Walkable Street







Context-Sensitive Streets

CHARLOTTESVILLE
STREETS THAT WORK 
 DESIGN GUIDELINES

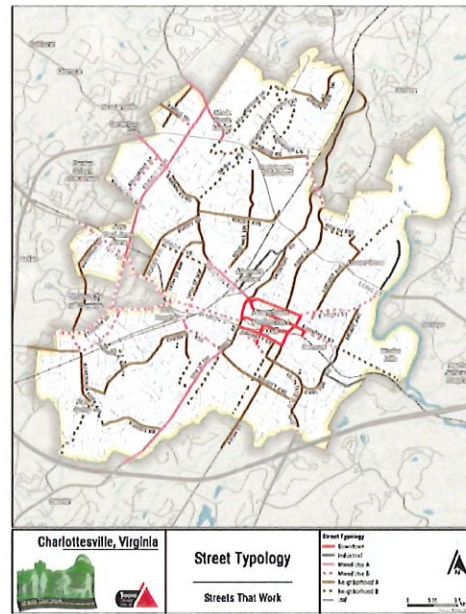


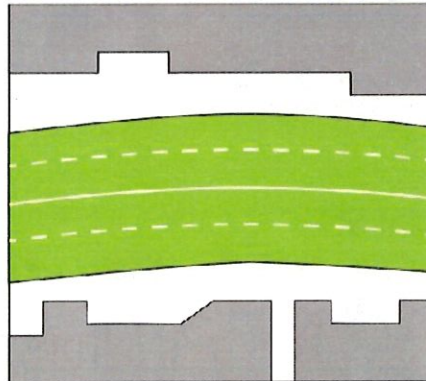
Figure 7. Charlottesville Street Typology Map

Walkable Streets



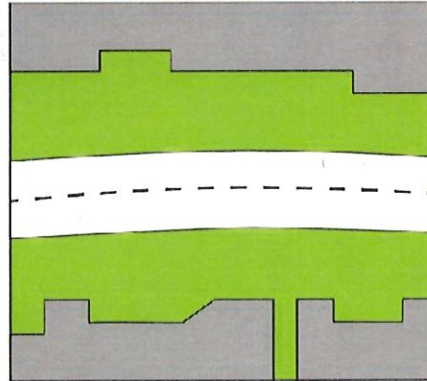
LINK:
STREET AS
MOVEMENT
CORRIDOR

DESIGN PRIORITY:
SAVE TIME



PLACE:
STREET AS
DESTINATION

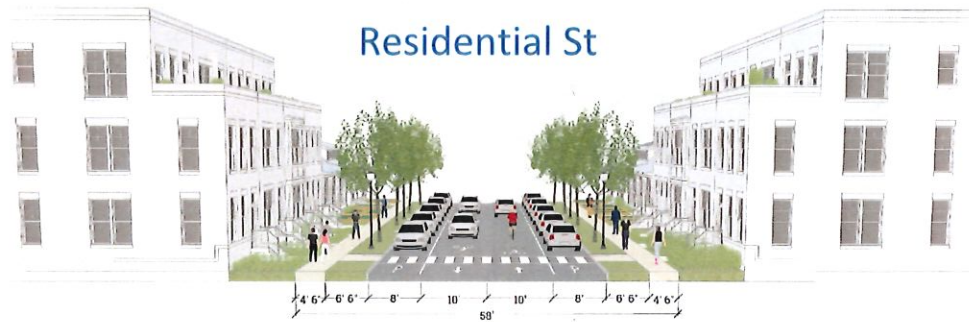
DESIGN PRIORITY:
SPEND TIME



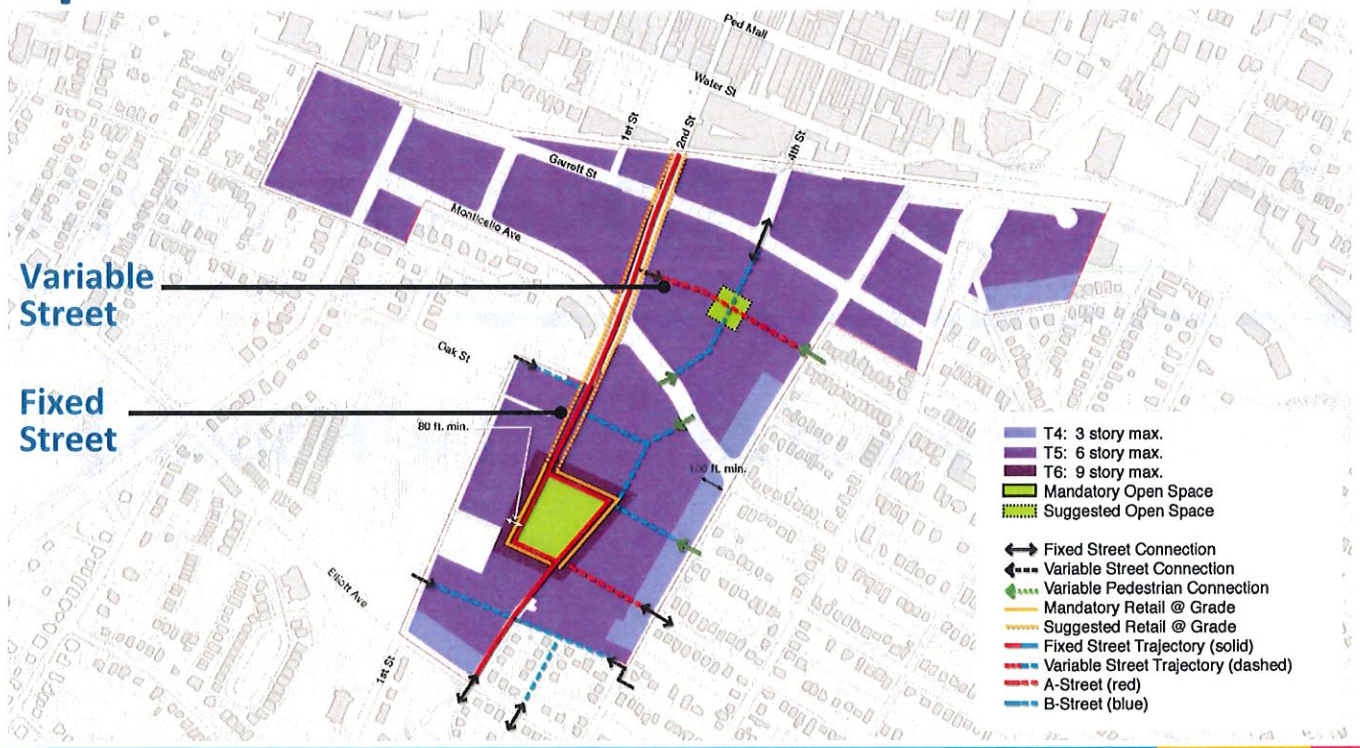
Private Development
 Prioritized Users
 Secondary Users

Adapted from Complete Mobility @dewanmkarim. & Hazel Boers @ PlaceMakers
Flickr images: (L) Country lemonade; (R) La Citta Vita

Proposed Streets by Context



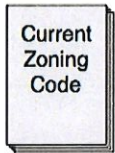
Proposed Streets



Form-Based Code Elements

- **Density and Affordable Housing**

Existing Code: Affordable Housing Options



Charlottesville Special Use Permit

43 du/ac
□□□□



240 du/ac

□□□□ 560% increase
□□□□ 5% workforce housing
□□□□ Fee in lieu option
□□□□ Tied to housing

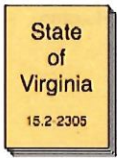


- Not Desirable for Developers
- Not Enough Affordable Housing
- AMI target too high

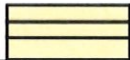
5%
80% AMI ~ \$51K
5 yrs



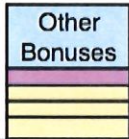
Existing Code: Affordable Housing Options



State Allowances for Density Bonus



By Right

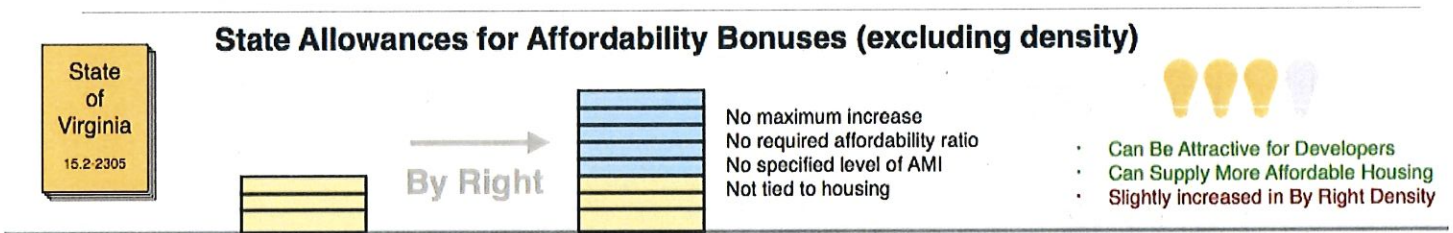


30% maximum increase
Up to 17% affordable housing
30:17 ratio required
Tied to housing

- Bonus Not Attractive for Developers
- Not Enough Affordable Housing
- Ratio math doesn't work



Existing Code: Affordable Housing Options



Other elements the Code addresses

- ▷ Uses
- ▷ Frontages
- ▷ Parking



Potential Development

Potential Development

- Scenario 1: Maximum buildout (structured parking)
- Scenario 2: Medium buildout 1 (structured + surface parking)
- Scenario 3: Medium buildout 2 (under building + surface parking)
- Scenario 4: Low buildout (surface parking)



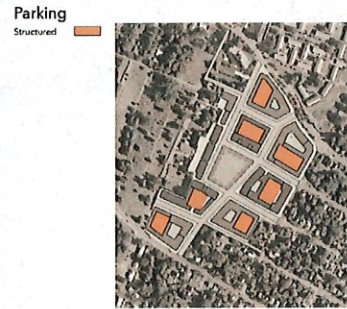
1

Maximum Build-Out-Structured Parking

DRAFT DPZ
CODESIGN

| Block | Block Area | Structured Pkg Footprint | Surface Pkg Footprint | Total Parking Spaces | Total Parking Required | Ground Floor Commercial | Office | Multi-Family | Units | Single Family & Sm MF | Total ft ² |
|-------|------------|--------------------------|-----------------------|----------------------|------------------------|-------------------------|-------------------|---------------------------|----------|-----------------------|---------------------------|
| Total | 23.1 AC | 736,750 ft ² | 0 ft ² | 1,939 sp | 2,303 sp | 70,180 ft ² | 0 ft ² | 1,674,060 ft ² | 2,093 du | 0 du | 1,744,240 ft ² |
| | | | | | | | | | 2,093 du | | |

| Assumptions | |
|-------------------|---------------------|
| MF Unit Size | 800 ft ² |
| Parking | 380 ft ² |
| Com Parking Req'd | 333.3 |
| Res Parking Req'd | 1 |



| Miscellaneous | |
|------------------------|-------------------------|
| Land Area | 23.1 AC |
| Density | 91 Du/Ha |
| Structured Parking | 147,350 ft ² |
| Floors (Parking) | 5 |
| Com Parking Req'd | 211 |
| Res Parking Req'd | 2093 |
| Total Parking Req'd | 2303 |
| Total Parking Provided | 1939 |
| Deficit | 364 |
| On Street Parking | 295 |
| Final | -69 |

- 2,093 du
- 91 du/ac
- All multi-family

2

Medium Build-Out-Surface & Structured Parking

DRAFT DPZ
CODESIGN

| Block | Block Area | Structured Pkg Footprint | Surface Pkg Footprint | Total Parking Spaces | Total Parking Required | Ground Floor Commercial | Office | Multi-Family | Units | Single Family & Sm MF | Total sqft |
|-------|------------|--------------------------|-----------------------|----------------------|------------------------|-------------------------|-------------------|-------------------------|----------|-----------------------|-------------------------|
| Total | 23.1 AC | 305,550 ft ² | 62,990 sp | 970 sp | 1,269 sp | 81,530 ft ² | 0 ft ² | 882,630 ft ² | 1,103 du | 131 du | 964,160 ft ² |
| | | | | | | | | | 1,234 du | | |



Height

- 9+ Stories
- 7-8 Stories
- 5-6 Stories
- 3-4 Stories
- 1-2 Stories

Parking

- Structured
- Surface

Town House
2 Over 2
Sm MF
Med. Family
Mixed-Use



| Assumptions | |
|-------------------|---------------------|
| MF Unit Size | 800 ft ² |
| Parking | 380 ft ² |
| Com Parking Req'd | 333.3 |
| Res Parking Req'd | 1 |

| Miscellaneous | |
|------------------------|------------------------|
| Land Area | 23.1 AC |
| Density | 53 Du/Ha |
| Structured Parking | 61,110 ft ² |
| Floors (Parking) | 5 |
| Com Parking Req'd | 245 |
| Res Parking Req'd | 1103 |
| Total Parking Req'd | 1348 |
| Total Parking Provided | 970 |
| Deficit | 378 |
| On Street Parking | 295 |
| Final | -83 |

- 1,234 du
- 53 du/ac
- Predominantly multi-family, with < 10% single-family

3

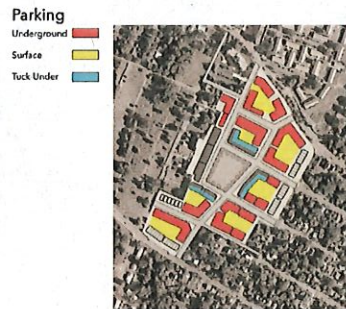
Medium Build-Out-Surface & Under Building Parking

DRAFT DPZ
CODESIGN

| Block | Block Area | Under Bldg Pkg Footprint | Surface Pkg Footprint | Total Parking Spaces | Total Parking Required | Ground Floor Commercial | Office | Multi-Family | Units | Single Family & Sm MF | Total sqft |
|-------|------------|--------------------------|-----------------------|----------------------|------------------------|-------------------------|-------------------|-------------------------|----------|-----------------------|-------------------------|
| Total | 23.1 AC | 222,285 ft ² | 95,000 sp | 835 sp | 1,210 sp | 56,495 ft ² | 0 ft ² | 832,270 ft ² | 1,040 du | 39 du | 888,765 ft ² |
| | | | | | | | | | 1,079 du | | |

| Assumptions | |
|-------------------|---------------------|
| MF Unit Size | 800 ft ² |
| Parking | 380 ft ² |
| Com Parking Req'd | 333.3 |
| Res Parking Req'd | 1 |

| Miscellaneous | |
|------------------------|-------------------------|
| Land Area | 23.1 AC |
| Density | 47 Du/Ha |
| Under Building Parking | 222,285 ft ² |
| Floors (Parking) | 1 |
| Com Parking Req'd | 170 |
| Res Parking Req'd | 1040 |
| Total Parking Req'd | 1210 |
| Total Parking Provided | 835 |
| Deficit | 375 |
| On Street Parking | 295 |
| Final | -80 |



- 1,079 du
- 47 du/ac
- Predominantly multi-family, with < 10% single-family

4 Low Build-Out-Surface Parking

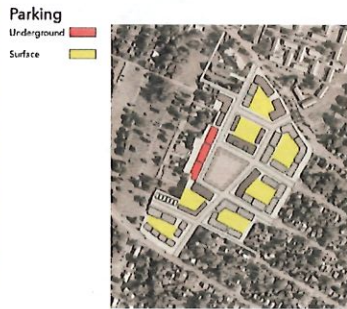
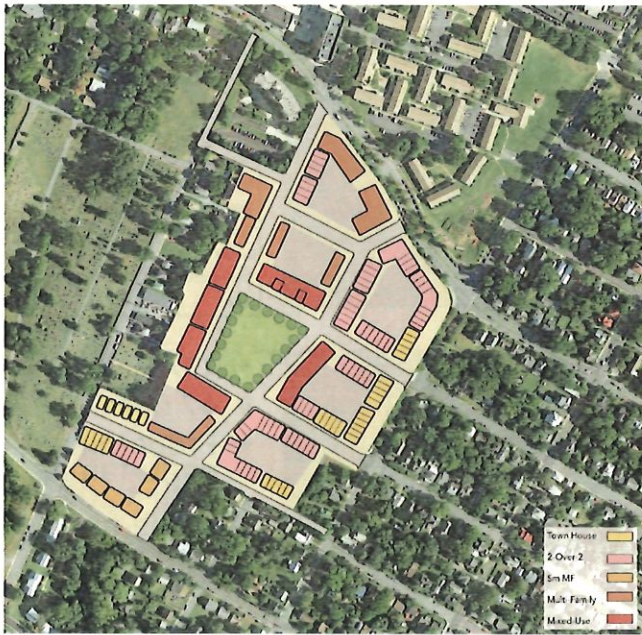
DRAFT

DPZ
CODESIGN

| Block | Block Area | Under Bldg Pkg Footprint | Surface Pkg Footprint | Total Parking Spaces | Total Parking Required | Ground Floor Commercial | Office | Multi-Family | Units | Single Family & Sm MF | Total sff |
|--------------|----------------|--------------------------|-----------------------|----------------------|------------------------|-------------------------|--------------|--------------------|---------------|-----------------------|--------------------|
| Total | 23.1 AC | 30,000 ft² | 151,810 sp | 478 sp | 792 sp | 78,970 ft² | 0 ft² | 443,940 ft² | 555 du | 198 du | 622,910 ft² |
| | | | | | | | | | 753 du | | |

| Assumptions | |
|-------------------|---------|
| MF Unit Size | 800 ft² |
| Parking | 380 ft² |
| Com Parking Req'd | 333.3 |
| Res Parking Req'd | 1 |

| Miscellaneous | |
|-------------------------------|------------|
| Land Area | 23.1 AC |
| Density | 33 Du/Ha |
| Under Building Parking | 30,000 ft² |
| Floors (Parking) | 1 |
| Com Parking Req'd | 237 |
| Res Parking Req'd | 555 |
| Total Parking Req'd | 792 |
| Total Parking Provided | 478 |
| Deficit | 313 |
| On Street Parking | 295 |
| Final | -18 |




- 753 du
- 33 du/ac
- Predominantly multi-family, with < 25% single-family

Income Groups

Area Median Income (AMI) = \$76,600 for a family of four in 2017

| Persons in Household | 30% of AMI | 50% of AMI | 80% of AMI |
|----------------------|------------|------------|------------|
| 2 | <\$18,400 | \$30,600 | \$49,000 |
| 4 | <\$24,600 | \$38,300 | \$61,300 |



Maximum Affordable Rents

Spending 30% of income for rent, including utilities

| Persons in Household | 30% of AMI | 50% of AMI | 80% of AMI |
|----------------------|-------------------------|------------|------------|
| | Monthly Affordable Rent | | |
| 2 | \$460 | \$765 | \$1,225 |
| 4 | \$615 | \$960 | \$1,530 |

High Rents and Occupancy Levels

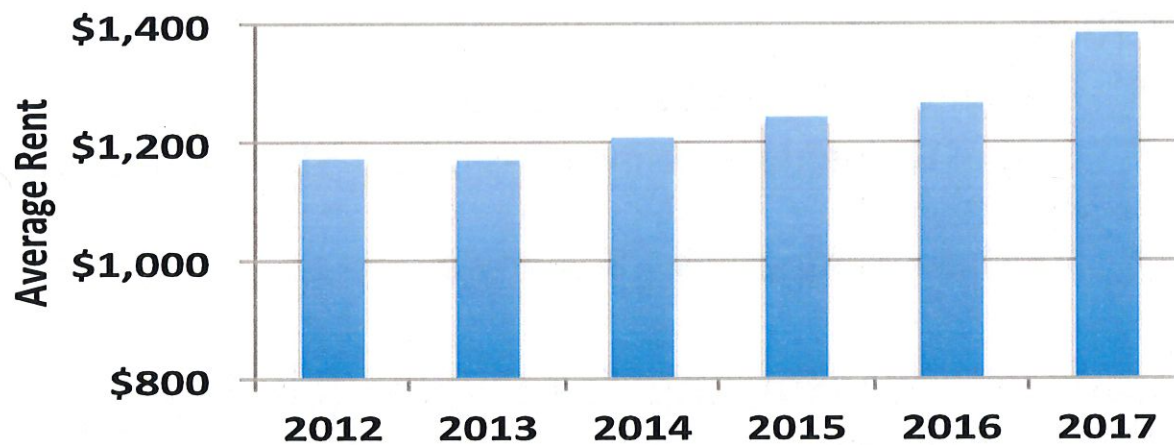
| Number of Bedrooms | Rent Range | | |
|--------------------|------------|---|---------|
| 0 | \$1,299 | - | \$1,399 |
| 1 | \$855 | - | \$1,504 |
| 2 | \$1,093 | - | \$2,474 |
| 3 | \$1,445 | - | \$2,199 |
| 4 | \$2,864 | - | \$3,579 |

- ❑ Based on survey of units in 13 larger apartment complexes in and near the city
 - ❑ 99.5% occupancy in 2016; 95.1% occupancy in 2017 with addition of 392 new units
-

Average Rent

- Average rent in major apartment complexes: \$1,384/month
- At minimum wage, a family would need to work 147 hours per week to afford this rent
- No available units affordable to households at or below 60% of AMI
- Only 11 units citywide available at <\$900/month

Rapid Rent Increases



Average rent increased 18.1% from 2012 to 2017; 9.4% in 2017

Assisted Units

CRHA

- 376 units; 289 built before 1980
- 62% of residents have incomes below \$10,000, less than 20% of AMI
- 1,651 on waiting lists – 8-year wait

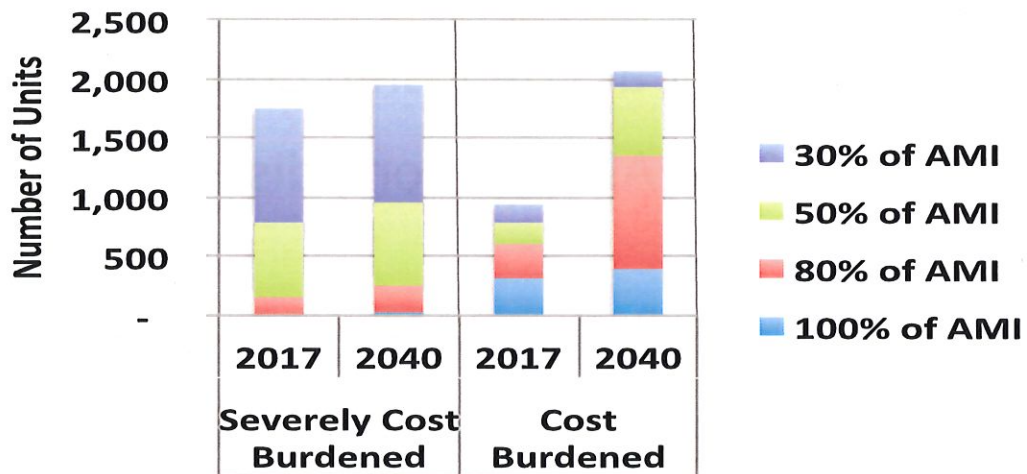
Low-Income Housing Tax Credits (LIHTC)

- 720 affordable units in or near Charlottesville
- Generally for households at 50% to 60% of AMI

Housing Choice Vouchers

- 700 vouchers (51 at Friendship Courts)
- Families <30% of AMI, seniors, disabled are eligible
- Authorized Fair Market Rents are too low
- Many are forced to live outside the city
- In the city, many are used in LIHTC buildings

Rental Housing Needs



- Severely cost burdened = spending >50% of income on rent
- Cost burdened = spending >30% and <50% of income on rent

Total Rental Housing Needs

| Type | 2017 Units | 2040 Units |
|--------------------------------------|--------------|--------------|
| Severely Cost-Burdened Households | 1,750 | 1,950 |
| Other Cost-Burdened Households | 940 | 2,070 |
| Replacement Public Housing/Section 8 | 439 | TBD |
| Homeless | 189 | TBD |
| Total Units | 3,318 | 4,020 |

Bonus Density

- Create value for developers by allowing more units on their land
 - Then capture some of that value by requiring a share of the units to be rented at affordable rents
 - Subject to financial feasibility of development
-

Results for Charlottesville

- Typical rents and land and building costs do not support mid-rise housing
 - Most sites can support only wood-frame construction at 3-4 stories with surface parking
 - Only downtown sites can support even 5 stories with structured parking
 - Bonus height at 6+ stories has no value
-

A Few Exceptions

- Student housing near UVA
- Luxury rental housing
- Condominiums



Form-Based Code Elements

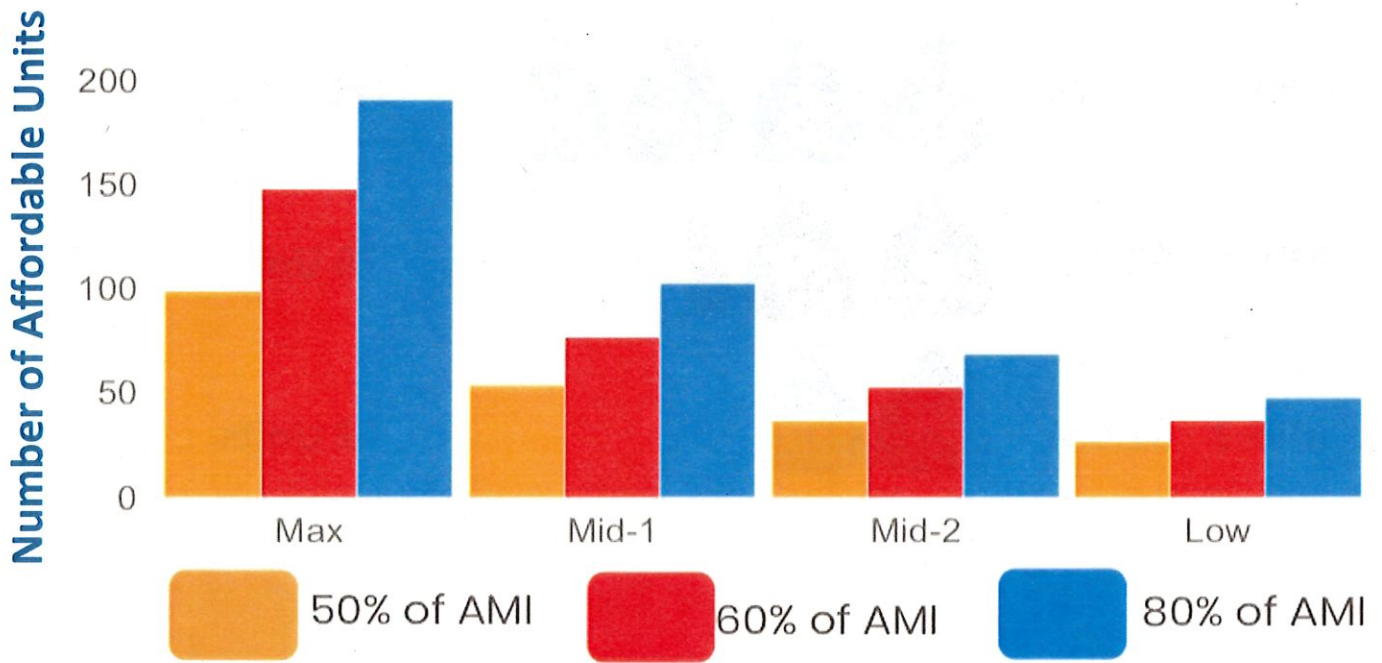
- **Density and Affordable Housing**

Proposed Code: Affordable Housing by Height Bonus

| Affordable Dwelling Unit Bonus Heights | | | | | | | |
|--|-----------------|-------------------|--------------|----------------------------|--|------------|------------|
| T-Zone | By-Right Height | Max. Add'tl Bonus | Total Height | Min % of ADUs ¹ | Minimum ADUs ¹ by Affordability | | |
| | | | | | 50% of AMI | 60% of AMI | 80% of AMI |
| T-4 | 3 Stories | None | 3 Stories | 10%-20% | 10% | 15% | 20% |
| T-5 | 3 Stories | +3 Stories | 6 Stories | 10%-20% | 10% | 15% | 20% |
| T-6 | 3 Stories | +6 Stories | 9 Stories | 10%-20% | 10% | 15% | 20% |

Note: ¹Share of units that must be ADUs is calculated on the number of incremental units made possible by the additional height.

Build-Out Potential

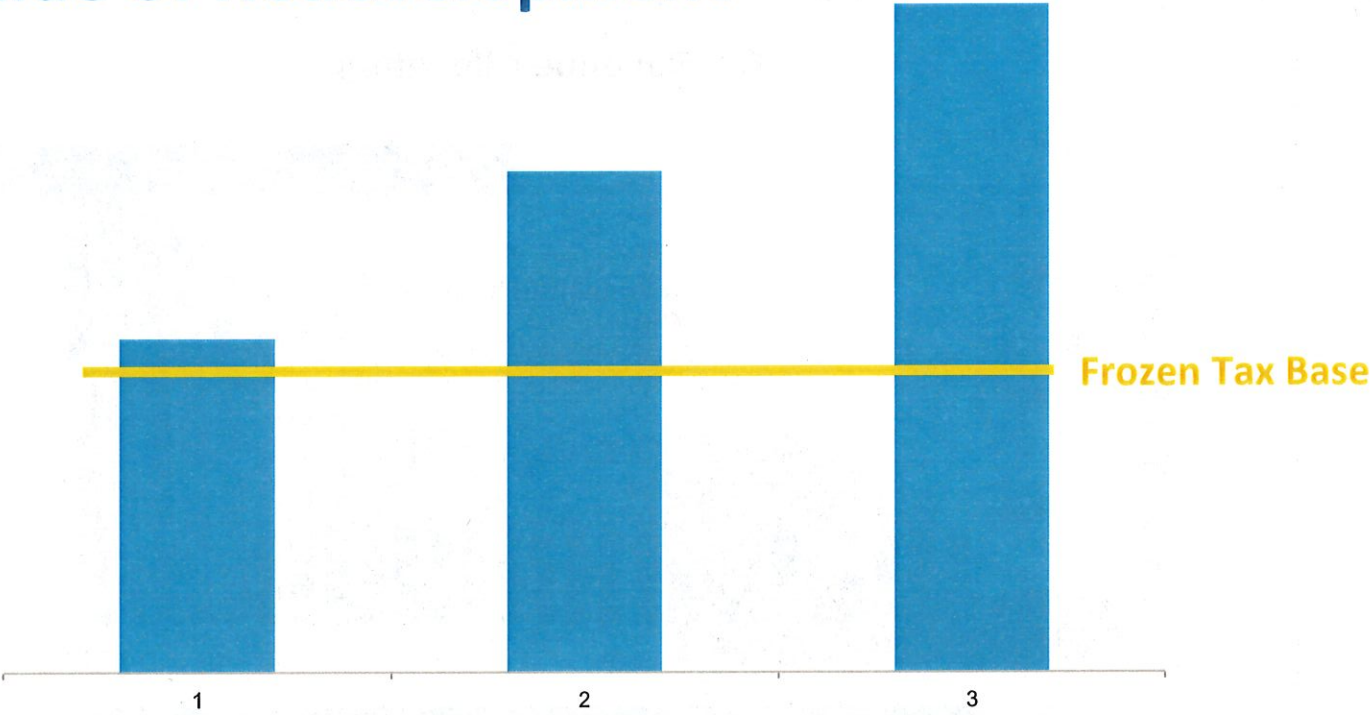


Special Use Permit

| | | | |
|-------|--------|---|-----------|
| Max | \$3.8M |  | 126 Units |
| Mid-1 | \$2.3M |  | 78 Units |
| Mid-2 | \$1.9M |  | 62 Units |

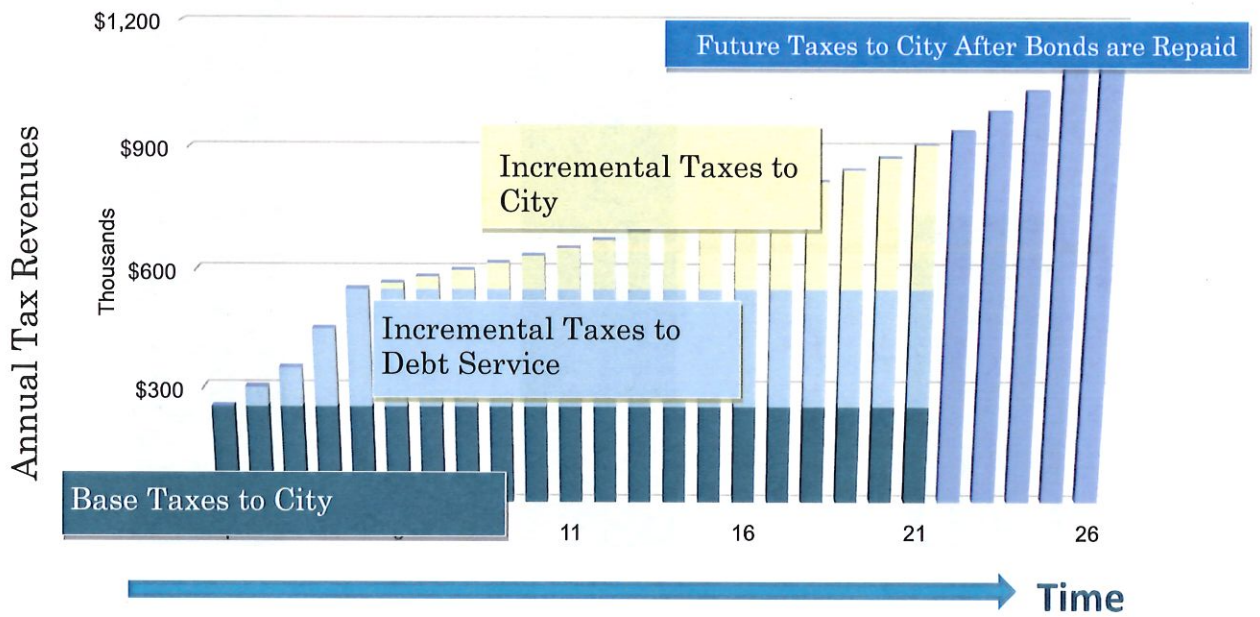


Value of Redevelopment

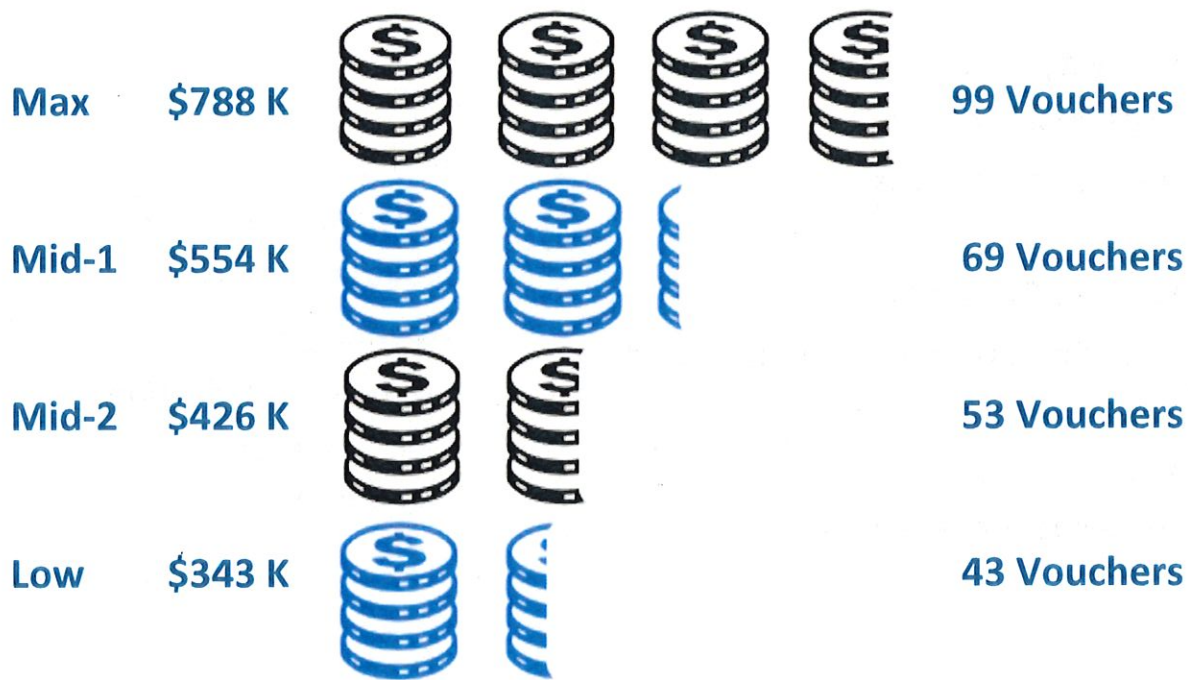


Flow of Revenues

Tax Revenue Allocation



Tax Increment Financing Annual Revenues



One of many Housing Affordability Tools

- ✓ **Bonus density**
 - ✓ **Variety of housing types**
 - ✓ Low-Income Housing Tax Credits
 - ✓ New Markets Tax Credits
 - ✓ Section 8, Public Housing operating funds
 - ✓ Mortgage revenue bond financing
 - ✓ Foundation funding
 - ✓ City affordable housing loans
 - ✓ City housing voucher funding
 - ✓ Tax-increment financing
 - ✓ Public land provision
 - ✓ Expedited approvals
 - ✓ Fee waivers/reductions
 - ✓ Lower parking requirements
-

Q & A

Form Based Code Next Steps

- Stakeholder Open Houses
- Summary Comments
- City Review
- FBCI/DPZ Revisions
- Planning Commission
- City Council

Thank You!

CHARLOTTESVILLE SOUTH DOWNTOWN
[SIA-Phase 1A]
Form-Based Code

by **DPZ Partners**

[draft date v1: 12/19/17]

[draft date v2: 3/23/18]

[revision date v3: 3/28/19]

Notes:

*Text in **Blue** relates to administrative process*

*Text in **Red** are references to code*

*Text in **Grey** relates to our explanatory notes*

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1. GENERAL PROVISIONS

1.1. PURPOSE AND INTENT

- 1.1.1. The purpose of this Code is to further the City's Comprehensive Plan, by implementing the recommendations of the Strategic Investment Area Plan (SIA) for Phase 1, and also to promote the health, safety or general welfare of the public. This Code's purpose is to provide a predictable framework for redevelopment and context-based zoning regulations to guide the placement, form and use of private and public property and buildings in the SIA.
- 1.1.2. This Code defines regulations that:
 - a. Guide the evolution of, and further the goals of the Strategic Investment Area Plan (SIA) as defined in the SIA Plan, dated December 2013.
 - b. Honor the Residents Bill of Rights and rebuild and preserve existing affordable housing.
 - c. Support the City's affordable housing policies, and in particular, promote additional affordable housing at every income level, especially those at 30% Average Median Income (AMI) or lower.
 - d. Enable a greater range of housing, including housing at different levels of AMI, and encourage moderate-density and mixed-use development to increase the residential density and intensity of activity within the SIA in support of viable and diverse, locally-oriented businesses and cultural institutions;
 - e. Create a healthy neighborhood by providing for public amenities in the forms of a safe, high-quality public realm and active open spaces.
 - f. Promote small, incremental development, alongside larger development.
 - g. Provide for walkable streetscapes where active facades address sidewalks and parking and loading are located behind buildings, according to Charlottesville's "Streets that Work Design Guidelines".
 - h. Support and strengthen the viability of redevelopment activities and priorities for the SIA.

1.2.APPLICABILITY:

- 1.2.1. The regulations of this Code apply to all property, structures and uses located within Phase 1 of the SIA, the boundaries of which are indicated in Figure 2.2.
- 1.2.2. For conflicts and exemptions refer to Section 34-6.
- 1.2.3. No property, building or structure or part thereof, can be developed except in conformance with regulations for the Transect Zone in which it is situated.
- 1.2.4. This Code replaces or modifies Chapter 34 of the City's Code according to Table 1.1.
 - a. Provisions, that are not specifically modified or superseded by this Code according to Table 1.1, apply to all property, structures and uses located within Phase 1 of the SIA.
- 1.2.5. Any proposed subdivision of land must comply with the requirements of this Code in addition to Chapter 29: Subdivision of Land.
- 1.2.6. Any proposed PUD within Phase 1 of the SIA must comply with the requirements of this Code in addition to section 34-490. *[Discuss with City if a PUD will still be available for the SIA].*
- 1.2.7. The request for a Special Use Exception in Phase 1 of the SIA will not be permitted, with the exception of existing projects approved prior to *[date of code adoption]* are vested. *[Discuss with City how to invalidate SUPs in Phase 1 of SIA as no longer relevant as superseded by the Bonus Height provision, irrespective of use.]*

Table 1.1 Code Article Tracking

| Article VI Division 3. - Regulations - Downtown Extended Corridor (DE) | | | |
|---|--------------|--|--|
| Article VI: Mixed Use Corridor Districts | Sec. 34-563 | Off-street loading areas | Replaced by Section 10.2 |
| | Sec. 34-576 | Uses allowed | Replaced by Section 8 |
| | Sec. 34-577 | Height regulations | Replaced by Section 6.1 |
| | Sec. 34-578 | Street wall regulations | Replaced by Section 6.2 |
| | Sec. 34-579 | Buffer regulations | No Change |
| | Sec. 34-580 | Density | Replaced by Fig. 2.3 & Tables 4.1 to 4.3 |
| | Sec. 34-582 | Mixed-use developments | Replaced by Fig. 2.3 & Tables 4.1 to 4.3 |
| | Sec. 34-583 | Additional regulations | No Change |
| Related Sections | | | |
| Article I: Administration | Sec. 34-12 | Affordable dwelling units | Replaced by Section 1.8 |
| | Sec. 34-972 | Location, yard areas, and driveways | No Change-except (b) (6) shall not apply |
| Article IX: General Applicable Regulations | Sec. 34-973 | Off-site locations permitted | No Change-except (6) shall not apply |
| | Sec. 34-984 | Off-street parking requirements | Replaced by Sections 10.1 & 10.2 |
| | Sec. 34-1100 | Height - application of district regulations | No Change-except (b) shall not apply |
| | Sec. 34-1123 | Lot area requirements | Replaced by Tables 4.1 to 4.3 |

1.3. PRE-EXISTING CONDITIONS

1.3.1. Modifications of existing buildings are permitted if such changes result in greater conformance with the regulations of this Code.

1.4. ESTABLISHMENT OF ZONING

1.4.1. Zoning is according to [section 34-6](#).

1.5. INSTRUCTIONS FOR SITE PLAN SUBMISSIONS

1.5.1. Site plan submission requirements are specified in Article VII: Site Plans.

1.5.2. Application and review processes are specified in Article VII: Site Plans, except for:

- a. *[Discuss with City if/how to expedite certain permits that follow the Framework Plan and can be approved as "by-right", if not seeking bonus height for affordable housing].*

1.6. AFFORDABLE HOUSING BONUS

- 1.6.1. This subsection supersedes [section 34-12](#).
- 1.6.2. The intent of the affordable housing bonus established herein is to facilitate and accelerate the provision of quality affordable dwelling units within the SIA. Owners are permitted bonus building height within Phase 1 of the SIA in exchange for property owner contributions towards affordable dwelling units that provide a desired and necessary community benefit.
- 1.6.3. For purposes of this section, four types of affordable dwelling units are defined as follows:
 - a. **“Moderately priced dwelling units”** (Type 1 ADU) means dwelling units that are affordable to households with incomes between 80% - 100% of the area median income AMI.
 - b. **“Low income affordable dwelling units”** (Type 2 ADU) means dwelling units that are affordable to households with incomes between 60% - 80% of the area median income AMI.
 - c. **“Very low income affordable dwelling units”** (Type 3 ADU) means dwelling units that are deeply discounted and affordable to those that are affordable to households with incomes between 30% - 60% of the area median income AMI.
 - d. **“Extremely low income affordable dwelling units”** (Type 4 ADU) means dwelling units that are deeply discounted and affordable to those that are affordable to households with incomes less than 30% of the AMI.
- 1.6.4. Affordable dwelling units must be committed to remain affordable for a term not to exceed 30 years. However, the city may establish a minimum term as it deems necessary to ensure the establishment of committed dwelling units. *[Note: CRHA requested this be changed to a minimum term of 30 years].*
- 1.6.5. The bonus height is permitted if the applicant seeks additional height above that which is permitted by-right, and in the percentage, mix and manner set forth herein.
- 1.6.6. PERCENTAGE: The percentage of affordable dwelling units is calculated according to Table 1.2.

1.6.7. MIX & MANNER: Upon providing a binding commitment for a specific mix of affordable housing, and upon approval of a residential project, or the residential portion of a mixed-use project, the applicant is permitted to build up to the approved bonus height within the restrictions of the Transect Zone in which it is situated. The only square footage permitted above the maximum by-right height is that achieved through this bonus.

- a. In exchange for bonus height, the applicant must provide affordable dwelling units according to Table 1.2. *[Note: the by-right and bonus heights shown here by PES are different to the assigned heights illustrated for both T5 and T6 in Tables 4.2 and 4.3 respectively. While the maximum height for each is consistent, the point at which the bonus height starts differs. This needs to be discussed further with City and stakeholders].*

| Table 1.2: Affordable Dwelling Unit Bonus Heights | | | | | | | |
|--|-----------------|--------------------------|--------------|---------------|-------------------------------|------------|------------|
| T-Zone | By-Right Height | Max. Add'tl Bonus Height | Total Height | Min % of ADUs | Minimum ADUs by Affordability | | |
| | | | | | 50% of AMI | 60% of AMI | 80% of AMI |
| T4 | 3 Stories | None | 3 Stories | 10-20% | 10% | 15% | 20% |
| T5 | 3 Stories | + 3 Stories | 6 Stories | 10-20% | 10% | 15% | 20% |
| T6 | 3 Stories | + 6 Stories | 9 Stories | 10-20% | 10% | 15% | 20% |

Note: Share of units that must be ADUs is calculated on the number of incremental units made possible by the additional height.

1.6.8. The cash contribution is indexed to the Consumer Price Index for Housing in the South Urban Region as published by the Bureau of Labor Statistics and must be adjusted annually based upon the changes made in January to such index.

- 1.6.9. If at the time of the Certificate of Occupancy is issued to the building that has received the bonus height, the target accessory dwelling units have not been achieved, the owner must post a performance bond in a form acceptable to the City of Charlottesville. The performance bond is determined based on the value of land per square foot in the area in which the project is located, which may be adjusted from time to time based on market conditions. A flat fee per affordable dwelling unit must be applied if the deficiency is not remedied within one year of issuance of the Certificate of Occupancy. Funds that become available from the forfeiture of the performance bond must be placed into an [\[Affordable Housing Trust Fund\]](#) for the City of Charlottesville.
- 1.6.10. Except as otherwise provided, upon approval of a project that is subject to this section, any site plan submitted for review in conjunction therewith will be acted upon by the director of neighborhood development services or planning commission within twenty-one (21) days after the date such plan was officially submitted.
- 1.6.11. The city council may from time to time adopt regulations by resolution, for the administration of the provisions of this section. Pursuant to [section 34-82\(b\)\(1\)](#), the failure of any person to comply with such regulations constitutes unlawful conduct in violation of this section.
- 1.6.12. Applicants meeting the minimum 15% affordable dwelling unit provisions, may seek the following relief from the parking requirements in Section 2.6, Table 2.2:
- a. Up to a maximum 30% reduction of parking requirements for all affordable dwelling units; or
 - b. Up to a maximum 60% reduction of parking requirements for affordable dwelling units dedicated to elderly housing.
- 1.6.13. The deletion of one affordable dwelling unit from the required number of units provided may be approved by city council for the provision of the following community amenities:
- a. A business support computer lab, provided on or off-site, but within Phase 1 of the SIA. *[Note: if desirable, place conditions for equipment, hours of operation, size of space and/or management].*
 - b. A child care facility, provided on or off-site, but within Phase 1 of the SIA. *[Note: if desirable, place conditions for equipment, hours of operation, size of space and/or management].*
-

2. FRAMEWORK PLAN

2.1. USING THE FRAMEWORK PLAN

2.1.1. The Framework Plan, depicted on Figure 2.2, provides standards to guide future development within Phase I of the SIA.

[Note: The Framework Plan created during the September 2017 Charrette could serve as a draft framework plan for the SIA-Phase I and needs to be reviewed by all property owners. Projects that meet the structure of the Framework Plan by-right, should receive expedited review process and should not be subject to the public hearing process, even if they avail themselves of permitted bonuses. Alternatively, property owners (over a certain threshold of acreage) should be permitted to deviate from certain standards of the Framework Plan and develop their own plan. That would subject property owners to the regular permit process. It requires additional details such as coordinating across property lines to ensure street connectivity and access to open space, and permits deviations from the required retail at grade. Alternatively, if the City wants to approve a Framework Plan definitively and not permit deviations from it, that too is possible.]

2.1.2. The Framework Plan depicts the following:

- a. Fixed street connections and trajectory;
- b. Variable street connections and trajectory;
- c. Variable pedestrian connections;
- d. Designation of A or B-streets;
- e. Mandatory open space location;
- f. Suggested open space location;
- g. Permitted open space type(s);
- h. Mandatory retail at grade; and
- i. Suggested retail at grade.

2.1.3. Projects that meet the standards and alignments of the Framework Plan, in addition to all applicable regulations of the underlying Transect Zones by right, are subject to an expedited review process *[45 to 21 days currently for affordable housing expedited review - discuss new possible terms with City staff]*

- 2.1.4. Projects are permitted to deviate from the following standards in the Framework Plan, but are subject to compliance with subsections 2.2 to 2.7: *[Discuss with City how fixed to make the Framework Plan]*
 - a. Variable streets: Establish a new street trajectory for a variable street only, if it connects to a fixed street where illustrated on the Framework Plan.
 - b. Retail at grade where required. A minimum of 50% of the ground floor must contain retail uses.
 - c. Open Space. The designation of an open space type and location.
- 2.1.5. Sites less than four acres must show compliance with the following standards:
 - a. The Framework Plan; and
 - b. The Zoning Map
- 2.1.6. Sites equal to or over four acres must show compliance with the following standards:
 - a. The Framework Plan;
 - b. The Zoning Map; and
 - c. The submission of a Regulating Plan that:
 - i. Establishes a street network;
 - ii. Specifies street design;
 - iii. Delineates buildable lots;
 - iv. Delineates open spaces;
 - v. Specifies open space design;
 - vi. Specifies off-street parking location and access;
 - vii. Specifies building heights;
 - viii. Designates Transect Zones, in compliance with Figure 2.3; and
 - ix. Establishes special building requirements as described in Section 2.8.

2.2. THOROUGHFARE NETWORK:

The Framework Plan requires a network of streets, pedestrian or vehicular, that creates blocks within which development will occur. The network of streets must meet the following:

- 2.2.1. For sites greater than four acres, the street network must divide the Framework Plan area into blocks that meet the block standard requirements defined in Section 5.1.
- 2.2.2. Where the Framework Plan requires street connectivity between existing streets, the applicant is required to provide the connection.
- 2.2.3. Where the Framework Plan identifies a variable right of way trajectory, the dedicated right-of-way may deviate from the Framework Plan, provided:
 - a. Where the right-of-way intersections are identified as fixed, the dedicated right-of-way must connect to each intersection where indicated.
 - b. Where the right-of-way intersections as identified as variable, the dedicated right-of-way must connect within 200 feet of the location indicated.
- 2.2.4. Vehicular streets must be designated as A-streets or B-streets in order to provide access to parking facilities, service areas, and for phasing as follows:
 - a. A-streets are active streets that prioritize pedestrian and bicycle access to commercial and residential spaces, over vehicular access.
 - b. B-streets are service streets that prioritize vehicular access to parking and service, over pedestrian and bicycle access.
 - c. Thoroughfares may change between A and B-streets along their length but a B-street segment may not be assigned between two A-street segments.
 - d. Thoroughfare designation changes are permitted only at street intersections.
- 2.2.5. Pedestrian streets are permitted as part of the street network as follows:
 - a. Pedestrian streets are considered equivalent to A-streets.
 - b. Pedestrian streets must be a minimum of 24 feet in width.
 - c. Pedestrian streets may not exceed 20% of the total street centerline length within the Framework Plan.

- 2.2.6. Bicycle facilities are encouraged within Framework Plans in the following forms:
- a. Protected bicycle lanes, located between parallel parking lanes and sidewalks, above or below curbs.
 - b. Bicycle lanes integrated into pedestrian streets.
 - c. Shared travel lanes where vehicular speed is managed below 25mph by:
 - i. Narrow travel lanes, less than or equal to 10 feet in width.
 - ii. Textured paving such as pavers, bricks, or cobbles, for private streets only. A smooth path should be provided for cyclists within roughly paved travel lanes.
 - iii. Parallel parking located adjacent to travel lanes.
 - iv. Street enclosure by buildings creating a 1:1 profile or greater.
 - v. Canopy street trees.

2.3. THOROUGHFARE DESIGN

All streets within Phase I of the SIA must meet the following:

2.3.1. Sidewalks

- a. Sidewalks must be a minimum of 12 feet in width along A-streets and six feet in width along B-streets.
- b. Sidewalks must be clear of obstructions for a minimum of six feet in width along A-streets and four feet in width along B-streets, along their entire length.
- c. Sidewalks must be continuous along the perimeter of blocks.
- d. Crosswalks must be provided at all street intersections.

2.3.2. Outdoor dining

- a. Outdoor dining is permitted along A-streets, pedestrian streets, and along and within open spaces.
- b. Outdoor dining should be integrated with sidewalks, not separated by changes in grade, permanent walls, or permanent fences.
- c. Outdoor furniture should be durable and able to withstand outdoor use. Furniture should be compatible with building color and materials.

2.3.3. Street furnishing

- a. Bicycle parking should be provided along all sidewalks and in corrals adjacent to high-volume uses such as theaters, office, and housing.
- b. Bicycle racks must be permanently anchored to a concrete footing.

- c. Trash receptacles should be provided along all A-streets, spaced no further than 200 feet apart.
 - d. Public seating should be provided along streets and open spaces, as follows:
 - i. At streets:
 - (1) Seating should be located between walkways and on-street parking, regularly spaced along the street trajectory.
 - (2) Seating should be provided as fixed benches, tree planter-integrated seating, or in parklets.
 - ii. At open spaces:
 - (1) Seating should be provided along edges and in groupings within the space.
 - (2) Moveable seating and shading should be provided within open spaces.
 - e. All locations of street furnishings in public right-of-ways must be coordinated with the Department of Public Works, and must provide a continuous accessible path that complies with American with Disabilities Act (ADA) standards.
- 2.3.4. Street trees must comply with Section 34-870, and Streets that Work and the following:
- a. Street trees should be planted along all vehicular streets.
 - i. Street trees and planting should be provided within street rights-of-way to provide shade and visual interest.
 - ii. Street trees and plantings should be native species, with large canopies.
 - b. Street trees should be planted parallel to travel lanes, centerline within six feet of curbs, except where the street is a shared space street or it passes through an open space.
 - c. Thoroughfares with 60 feet of right-of-way or larger:
 - i. Street trees should be planted in an allee pattern, regular spacing on both sides of the street.
 - d. Thoroughfares with less than 60 feet of right-of-way:
 - i. Street trees may be planted in an allee pattern or an alternating pattern, regular spacing along the street where tree placement alternates from one side of the travel lanes to the other.
 - e. Where arcades or galleries are used, street trees should be planted opportunistically, where space allows.

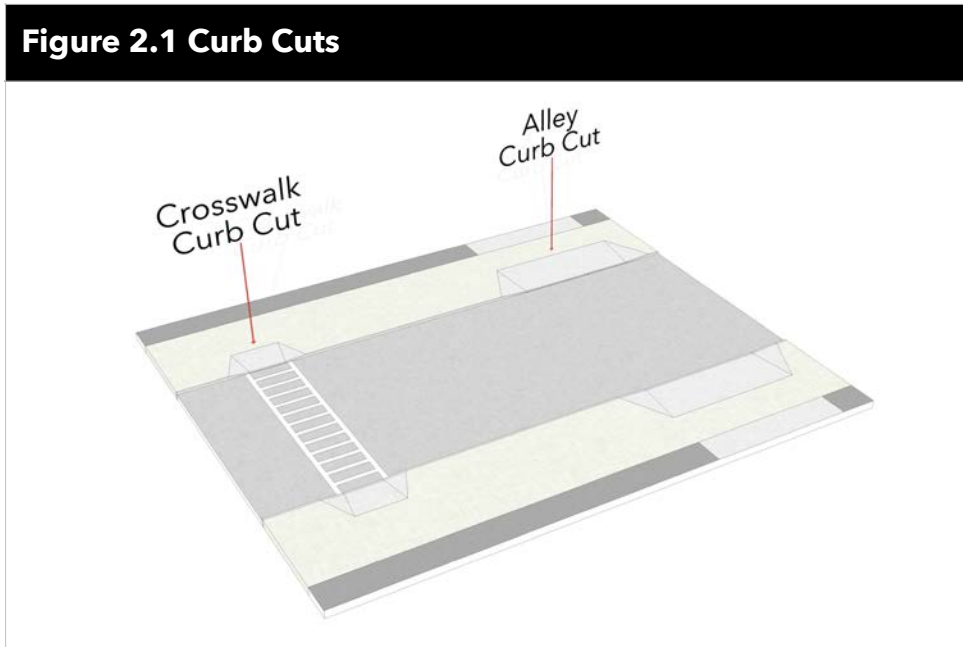
- f. Where medians are installed, street trees should be planted within the median, matching the tree spacing along curbs.
 - g. Street trees should be spaced along the street according to their mature canopy size, typically between 25 and 40 feet between trees.
 - h. Street tree wells must be a minimum of four by 10 feet and provided adjacent to the curb.
 - i. Plantings. In areas or places where plants and trees are planted to grow, the following applies:
 - i. Street plantings may be installed in line with street trees and along lot frontages.
 - ii. Street plantings may be installed at ground level or in moveable, raised planting boxes or urns.
 - iii. Permanent, raised planting boxes, over 12 inches, are not permitted along streets.
- 2.3.5. On-street parking
- a. Street parking should be provided along all street frontages, except where streets pass through designated open spaces.
 - b. Street parking should be provided as parallel parking spaces.
 - c. Parallel parking spaces are limited to a maximum of eight feet in width and 22 feet in length.
- 2.3.6. Travel lanes
- a. Except where otherwise required by the City of Charlottesville, vehicular travel lanes may not exceed 10 feet in width per lane.
 - b. Except where otherwise required by the City of Charlottesville, streets may not include more than two total vehicular travel lanes.

2.3.7. Curbs

- a. Curbs must have a maximum vertical dimension of six inches and a minimum dimension of four inches.

2.3.8. Curb cuts

- a. Curb cuts must meet all applicable ADA standards and should match Figure 2.1.



2.3.9. Curb return radii

- a. Curb return radii is limited to a 15 foot effective turning radius. Mountable curbs should be utilized where life-safety officials require larger radii.

2.3.10. Lighting

- a. Lighting must be provided according to Section 7.11. Lighting.







2.4. OPEN SPACES






A variety of civic open spaces that are properly sized and well defined by the buildings along their edges must be provided. The form and placement of the civic open space is as important as the size. Where feasible open space type C and D should be “activated” with sidewalk-level commercial uses. The framework plan defines general locations for open space.

- 2.4.1. An open space, of either type 'C' or 'D' as per Table 2.1, must be provided within Phase 1 of the SIA, in the general location identified in the Framework Plan.
- 2.4.2. Public open space must meet the following criteria:
 - a. Existing open space includes publicly accessible space at ground level and at the first floor above grade.
 - b. Area under permanent kiosks are not considered open space
 - c. Area within courtyards that are open during normal public hours may be considered open space.

2.5. OPEN SPACE DESIGN

- 2.5.1. Open space must be selected from and configured as specified in Table 2.1.
 - a. The illustrations are shown to convey the intended character only.
- 2.5.2. Open space must be visible and accessible with a minimum of two sides bordering streets, unless constrained by natural conditions. One of the required streets may be in the form of a Pedestrian Passage.
 - a. Wall, fences and hedges must not exceed 48 inches in height.
- 2.5.3. Open spaces must contain benches, trash receptacles and bike racks, in keeping with the scale of the place. All furnishings must meet applicable City standards.
- 2.5.4. Landscape should be primarily of local origin, according to *[Reference section of City Plant List]*.
- 2.5.5. Property owners may contribute to an open space fund if the following conditions are met: *[City to help define conditions]*
- 2.5.6. Open spaces should provide for active and passive uses, that are limited by open space types, according to Table 2.2.
- 2.5.7. Uses listed in Table 2.2 are not exhaustive. Uses not listed in Table 2.2 must be approved by the *[Director of Neighborhood Development Services]*.

| Table 2.1A Open Space Design - Location and Dimensions | | | | |
|---|-------------------------------|-----------------|--------------|--|
| Open Space Type | Location and Dimensions | | | |
| | Zones | T-Fare Frontage | Size | Dimension |
|  | A. Park | T4 | 1 side min. | 1 ac. min. 10 ac. max. n/a |
|  | B. Green | T4 | 2 sides min. | 0.5 ac. min. 5 ac. max. 80 ft. min. |
|  | C. Square | T4, T5, T6 | 2 sides min. | 0.2 ac. min. 3 ac. max. 80 ft. min. |
|  | D. Plaza | T5, T6 | 1 side min. | 0.2 ac. min. 2 ac. max. 60 ft. min. |
|  | E. Pocket Park | T4, T5 | 1 side min. | 1,000 sf. min. 0.25 ac. max. 30 ft. min. |
|  | F. Passage (mid-block) | T4, T5, T6 | n/a | n/a 12-40 ft. in width |

| Table 2.1B Open Space Design - Improvements | | | | | | |
|---|--------------------|-------------------|----------------------------------|---------------------------|-------------------------|--|
| Open Space Type | Improvements | | | | | |
| | Impervious Surface | Building Coverage | Landscape | Seating | Lighting | |
|  A. Park | TBD | | 1 canopy tree per 8,000 sq. feet | 1 seat per 2,000 sq. feet | Required along walkways | |
|  B. Green | 40% max. | 5% max. | 1 canopy tree per 4,000 sq. feet | 1 seat per 1,500 sq. feet | Required | |
|  C. Square | 60% max. | 25% max. | 1 canopy tree per 4,000 sq. feet | 1 seat per 1,000 sq. feet | Required | |
|  D. Plaza | 50 - 90% | 15% max. | 1 canopy tree per 6,000 sq. feet | 1 seat per 1,000 sq. feet | Required | |
|  E. Pocket Park | 50% max. | 3% max. | 1 canopy tree per 4,000 sq. feet | 1 seat per 1,000 sq. feet | Required | |
|  F. Passage (mid-block) | 100% max. | n/a | n/a | n/a | Required | |

| Table 2.2 Permitted Open Space Uses | | | | | | |
|--|----------------|-----------------|------------------|-----------------|-----------------------|-------------------------------|
| Use | A. Park | B. Green | C. Square | D. Plaza | E. Pocket Park | F. Passage (mid-block) |
| Active Uses | | | | | | |
| Athletic Fields (structured) | Permitted | - | - | - | - | - |
| Athletic Fields (unstructured) | Permitted | Permitted | - | - | - | - |
| Community Garden | Permitted | Permitted | - | - | Permitted | - |
| Dog Park (enclosed) | Permitted | - | - | - | - | - |
| Exercise Equipment | Permitted | Permitted | Permitted | - | Permitted | - |
| Performance Space | Permitted | Permitted | Permitted | Permitted | - | - |
| Playground | Permitted | Permitted | Permitted | - | Permitted | - |
| Paths (walking & cycling) | Permitted | Permitted | Permitted | Permitted | Permitted | Permitted |
| Skate Park | Permitted | Permitted | Permitted | Permitted | - | - |
| Swimming Pool | Permitted | - | - | - | - | - |
| Passive Uses | | | | | | |
| Conservation Area | Permitted | Permitted | Permitted | - | - | - |
| Concerts | Permitted | Permitted | Permitted | Permitted | - | - |
| Farmers Market | Permitted | Permitted | Permitted | Permitted | Permitted | Permitted |
| Festivals | Permitted | - | - | - | - | - |
| Furniture Games | Permitted | Permitted | Permitted | Permitted | Permitted | Permitted |
| Outdoor Dining | Permitted | Permitted | Permitted | Permitted | Permitted | Permitted |
| Food Sales | Permitted | Permitted | Permitted | Permitted | - | Permitted |
| Public Art | Permitted | Permitted | Permitted | Permitted | Permitted | Permitted |
| Water Features | Permitted | Permitted | Permitted | Permitted | Permitted | Permitted |

2.6. RETAIL

- 2.6.1. All ground floor space must meet the storefront requirements in Section 7.6 for a minimum depth of 20 feet in the following conditions:
 - a. Where retail is required at grade; and
 - b. Where retail is provided at suggested retail locations.
- 2.6.2. Retail is discouraged in locations not indicated as required or suggested retail in the Framework Plan. Alternatives include:
 - a. Neighborhood-scaled retail, not to exceed 1,500 square feet per building footprint.

2.7. SPECIAL BUILDING REQUIREMENTS

Regulating Plans may include the following special building requirements:

- 2.7.1. Terminated vistas, specifying locations where buildings should respond to axial or deflected terminations of streets and passages with changes in massing, articulation, and design.
 - 2.7.2. Height restrictions, specifying minimum or maximum heights for structures.
 - 2.7.3. Build-to lines, specifying specific required setbacks for buildings in relation to their property lines.
 - 2.7.4. Designated open space, specifying the location, size, and type of open spaces on buildable lots.
-

Figure 2.2 Framework Plan [see attached, large scale plan]



Figure 2.3 Zoning Map [see attached, large scale plan]



3. TRANSECT ZONES DESCRIBED

Intent: The building form regulations are organized by Transect Zones which differentiate regulatory standards according to intensity of development as opposed to use. Transect Zones address needs and constraints that differ between more and less intense places within a pedestrian supportive framework. Transect Zones coordinate building height, setback, frontages, parking location, and use according to intensity.

3.1. Transect Zones are generally specified as follows:

3.1.1. **T4: Transition Zone:** T4 is a low to moderate intensity single and multi-family residential zone with limited neighborhood-scaled commercial uses. It is limited in height to three stories and intended to function as a transition zone from the single-family neighborhoods to the high intensity, mixed use zones.

3.1.2. **T5: General Zone:** T5 is a medium intensity, mixed-use zone characterized by mid-rise, residential, commercial, institutional or mixed-use buildings. It is limited in height to four stories by-right with two additional stories permitted for affordable housing. Small retailers and service providers, food service establishments, and entertainment venues are encouraged along main streets and at neighborhood centers.

3.1.3. **T6: Center Zone:** T6 is the high intensity mixed-use characterized by taller, mixed-use buildings, offices, hotels, institutions, and apartment buildings, located on an open space type C or D. It is limited in height to five stories by-right with four additional stories permitted for affordable housing. Active uses are encouraged along the ground floor.

3.1.4. **Civic:** The Civic Zone is assigned to publicly or privately owned properties including institutions and public open space.

3.2. Transect Zones are assigned according to Figure 2.2.

3.3. Building and site standards for Transect Zones are summarized in Tables 4.1 to 4.3.

4. BULK STANDARDS

4.1. Form standards are organized by Transect Zone according to Tables 4.1 - 4.3.

Table 4.1 Bulk Standards - T4



Setbacks - Principal Building (feet)

| | | |
|---|----------------|-------------|
| a | Front, Primary | 10 min. |
| b | Corner Side | 10 min. |
| c | Side | 0 or 5 min. |
| d | Rear | 5 min. |

Frontage & Lot Occupation (min.)

| | |
|-------|-----|
| Front | 70% |
| Side | 40% |

Lot Occupation

| | | |
|---|--------------|--------------|
| i | Lot Width | 100 ft. max. |
| | Lot Coverage | 60% max. |

Building Height (stories, max.)

| | |
|--------------------|---|
| Principal Building | 3 |
| Accessory Building | 2 |

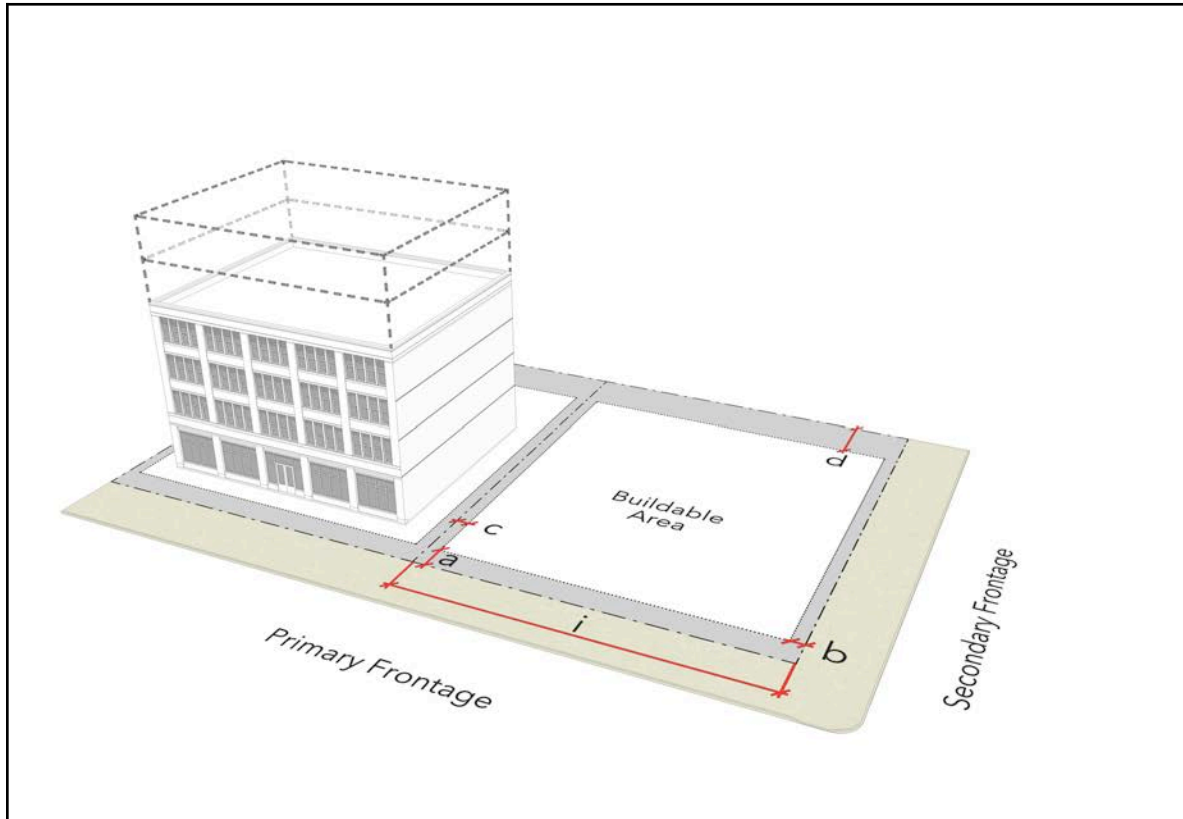
Setbacks - Accessory Building (feet)

| | | |
|---|---------------|-------------|
| e | Front (PB +) | 10 min. |
| f | Corner Side | 10 min. |
| g | Interior Side | 0 or 5 min. |
| h | Rear | 4 min. |

Frontage Yard Types [see Table 7.1]

| | |
|----------------------|---------------|
| Common | Not Permitted |
| Fenced | Permitted |
| Cluster Court | Permitted |
| Shallow | Permitted |
| Urban | Not Permitted |
| Pedestrian Forecourt | Not Permitted |
| Vehicular Forecourt | Not Permitted |

Table 4.2 Bulk Standards - T5



Setbacks - Principal Building (feet)

| | | |
|---|----------------|-------------|
| a | Front, Primary | 5 min. |
| b | Corner Side | 5 min. |
| c | Side | 0 or 5 min. |
| d | Rear | 5 min. |

Frontage & Lot Occupation (min.)

| | |
|-------|-----|
| Front | 70% |
| Side | 40% |

Lot Occupation

| | | |
|---|--------------|----------|
| i | Lot Width | 150 max. |
| | Lot Coverage | 80% max. |

Building Height (stories, max.)

| | |
|--------------------|-------------------------------------|
| Principal Building | 4 ⁽¹⁾ / 6 ⁽²⁾ |
| Accessory Building | 2 |

(1) By-Right, max. base height limit
 (2) With affordable housing incentive

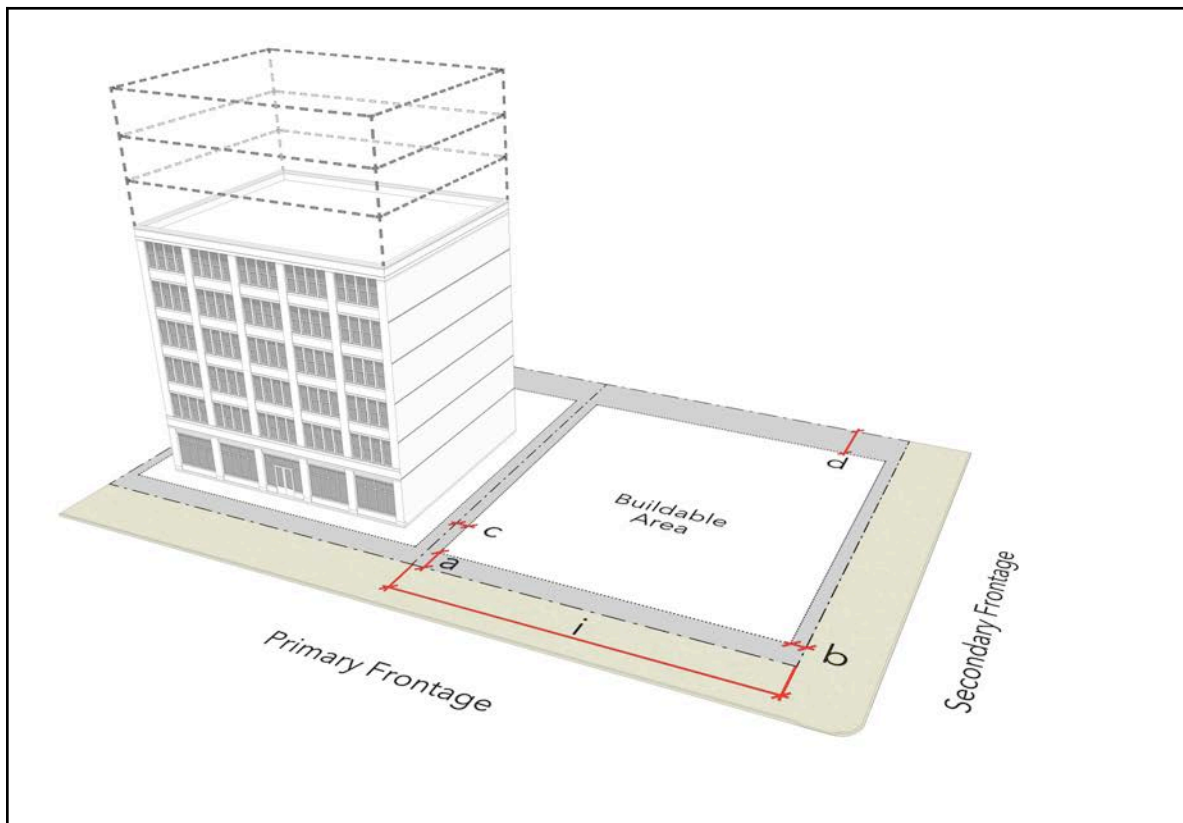
Setbacks - Accessory Building (feet)

| | | |
|---|---------------|-------------|
| e | Front (PB +) | 10 min. |
| f | Corner Side | 5 min. |
| g | Interior Side | 0 or 5 min. |
| h | Rear | 4 min. |

Frontage Yard Types [see Table 7.1]

| | |
|----------------------|---------------|
| Common | Not Permitted |
| Fenced | Not Permitted |
| Cluster Court | Not Permitted |
| Shallow | Permitted |
| Urban | Permitted |
| Pedestrian Forecourt | Permitted |
| Vehicular Forecourt | Not Permitted |

Table 4.3 Bulk Standards - T6



Setbacks - Principal Building (feet)

| | | |
|---|----------------|-----------------|
| a | Front, Primary | 0 min., 10 max. |
| b | Corner Side | 0 min., 6 max. |
| c | Side | 0 or 5 min. |
| d | Rear | 2 min. |

Frontage & Lot Occupation (min.)

| | |
|-------|-----|
| Front | 90% |
| Side | 40% |

Lot Occupation

| | | |
|---|--------------|-----------|
| i | Lot Width | 15 min., |
| | Lot Coverage | 100% max. |

Building Height (stories, max.)

| | |
|--------------------|-------------------------------------|
| Principal Building | 5 ⁽¹⁾ / 9 ⁽²⁾ |
| Accessory Building | N/A |

(1) By-Right, max. base height limit
 (2) With affordable housing incentive

Setbacks - Accessory Building (feet)

| | | |
|---|---------------|-----|
| e | Front | N/A |
| f | Corner Side | N/A |
| g | Interior Side | N/A |
| h | Rear | N/A |

Frontage Yard Types [see Table 7.1]

| | |
|----------------------|---------------|
| Common | Not Permitted |
| Fenced | Not Permitted |
| Cluster Court | Not Permitted |
| Shallow | Not Permitted |
| Urban | Permitted |
| Pedestrian Forecourt | Permitted |
| Vehicular Forecourt | Permitted |

5. BLOCK & LOT STANDARDS

5.1. BLOCKS

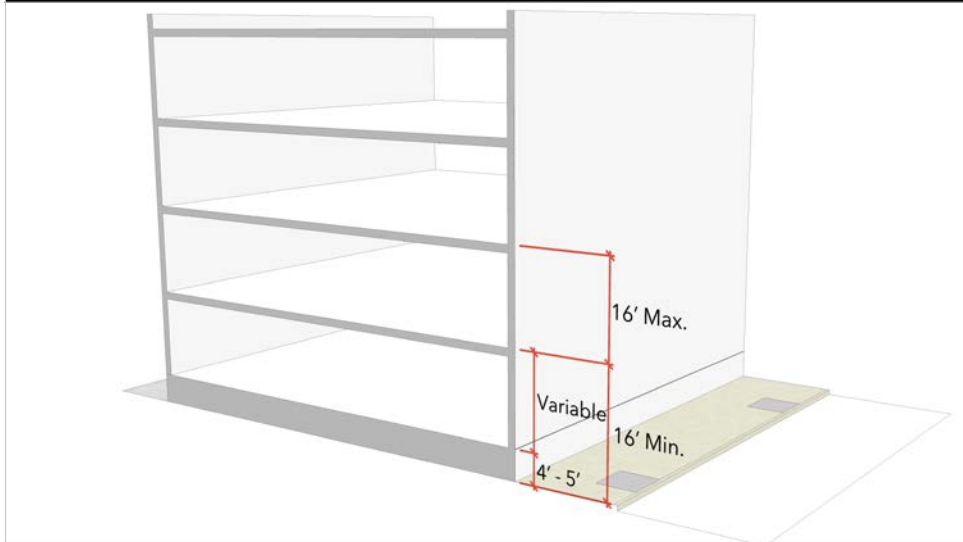
- 5.1.1. All proposed developments must be designed within a block structure that is bounded by public right-of-ways on all sides.
- 5.1.2. The maximum block perimeter is 1,600 feet.
 - a. Block perimeter is measured as a line circumscribing the block along street rights-of-way, or the back of sidewalks where streets are private.
 - b. Block faces are considered straight or curved line segments that are combined to create the block perimeter.
 - c. Where two or more line segments along the block perimeter meet at an internal angle greater than 135 degrees, the line segments are considered to be a single block face.
- 5.1.3. Any block face longer than 350 feet requires a cross-block passage that bisects the block to facilitate pedestrian movement.
 - a. Cross-block passages may be provided through parking lots or structures, provided a clearly marked and dedicated pedestrian path is provided.
- 5.1.4. One block face may be bounded by a non-vehicular pedestrian passage. The passage must have a minimum public right-of-way of 12 feet.
- 5.1.5. Blocks that are adjacent to public parks may have pedestrian passages on two sides.
- 5.1.6. Where there is a grade change that cannot be accommodated by ramps or a sloped sidewalk steps are permitted. Site access must comply with visitability standards, ADA standards, and other applicable building codes.
- 5.1.7. Blocks may be exempt under the following conditions
 - a. Blocks containing a civic space as defined in Table 2.1,
 - b. Blocks on slopes greater than 15%
- 5.1.8. The Framework Plan area may be divided into one or more lot, subject to the following:
 - a. Lots must follow the dimensional requirements of their applicable zoning category.
 - b. Lots must abut one or more street.

6. BUILDING MASSING & MATERIALS

6.1. BUILDING HEIGHT

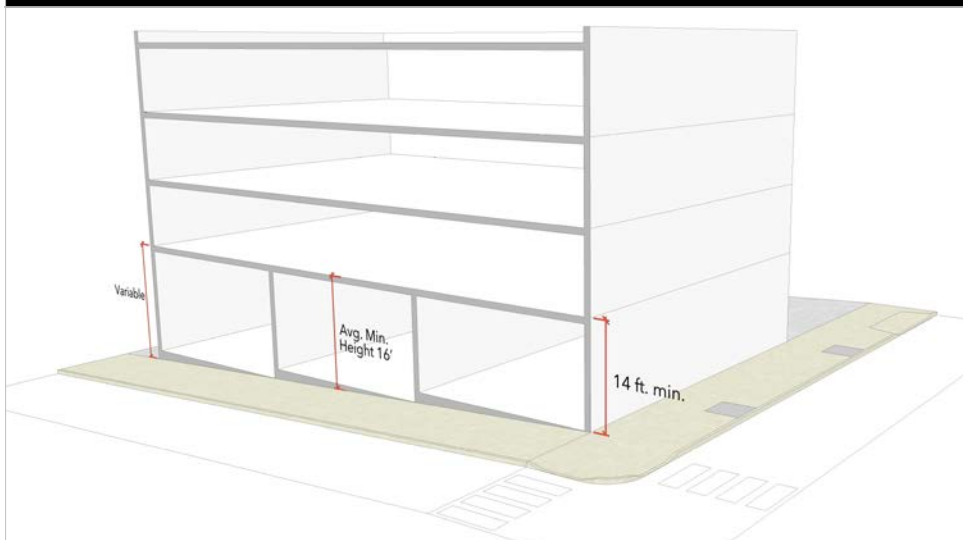
- 6.1.1. Building heights are assigned by Transect Zone.
- 6.1.2. Building height is measured as follows:
 - a. Building height is measured in above-ground stories, except where specified otherwise.
 - b. Building height is counted from the highest elevation of adjacent sidewalk grade.
 - c. Above ground stories are measured from finished floor to finished floor and as follows:
 - i. Top floors on buildings with flat roofs are measured from finished floor to finished ceiling.
 - ii. Pitched and angled roofs are measured to the bottom of the eave.
- 6.1.3. Story height is limited as follows:
 - a. In T4 story height is limited to 14 feet.
 - b. In T5 and T6 story height is limited to 16 feet.
 - c. Medical office buildings and hospitals may exceed maximum story height by up to 20 feet.
 - d. Commercial uses at grade may exceed maximum story height as follows:
 - i. In T4 and T5 story height is limited to 20 feet.
 - ii. In T6 story height is limited to 24 feet.
 - e. Partial stories less than four feet above ground do not count as a story.
 - f. Below ground stories are not limited in height.
 - g. Where stories exceed the maximum height they are counted as multiple stories by dividing the story height by the maximum story height and rounding up.
 - h. Mezzanines exceeding 50% of the ground floor area are counted as additional stories.
 - i. Where ground floors are residential or lodging in use, the finished floor must be elevated from sidewalk grade provided the second story finished floor is at least 16 feet above sidewalk grade, as per Figure 6.1.

Figure 6.1 Ground Floor Residential Height



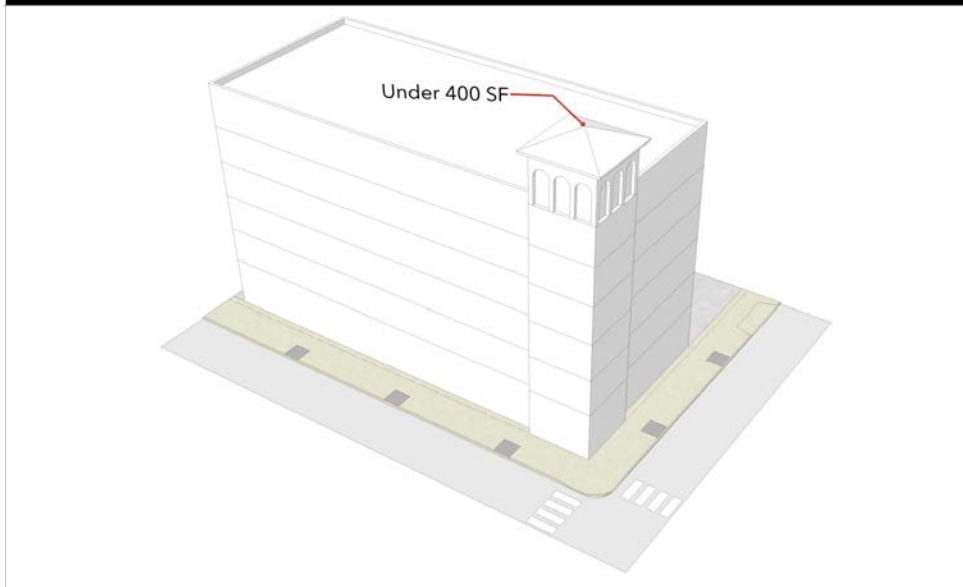
- j. Where sidewalk grade changes across a building facade:
 - i. The average ground floor height measured across the facade should meet the ground floor height requirement, as illustrated in Figure 6.2.
 - ii. Ground floor height at the lowest end may be up to two feet lower than the minimum ground floor height.
 - iii. Ground floor height at the highest end may exceed the maximum ground floor height.
- k. Below ground stories may extend up to three feet above sidewalk grade.

Figure 6.2 Grade Changes with Retail



- 6.1.4. The following are not counted as part of the building height:
- a. Rooftop equipment, elevator bulkheads, rooftop stair access, and other non-habitable spaces, excluding parking areas, are restricted according to *[reference section of existing screening requirements - section 34-XX]*.
 - b. Towers and loggias may exceed the maximum height provided their footprint is equal to, or less than 400 square feet, as illustrated in Figure 6.3.

Figure 6.3 Height Illustrated

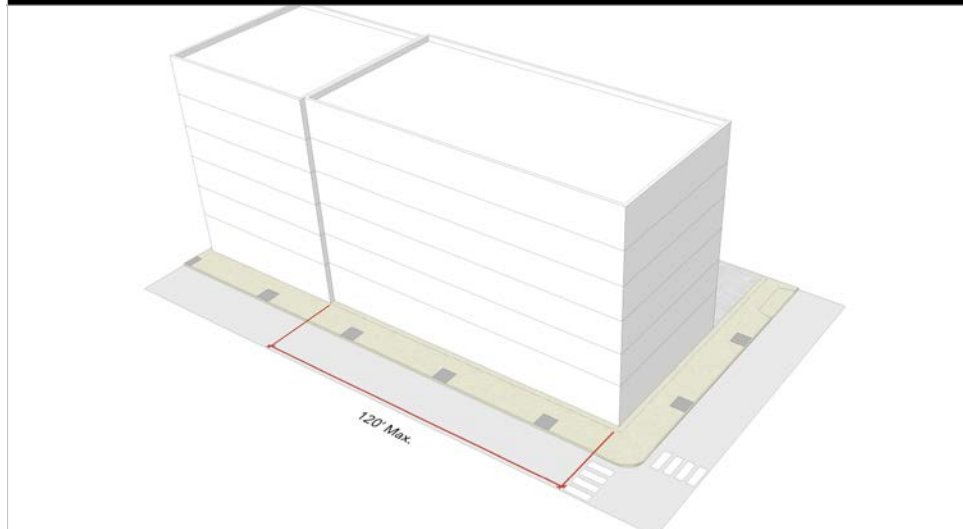


6.2. BUILDING MASS

6.2.1. Maximum facade length

- a. Building facades are limited in length to 120 feet along A-streets, pedestrian streets, and open spaces, according to Figure 6.4.
- b. Parking structures are exempt from this requirement, however buildings lining parking structures are not.

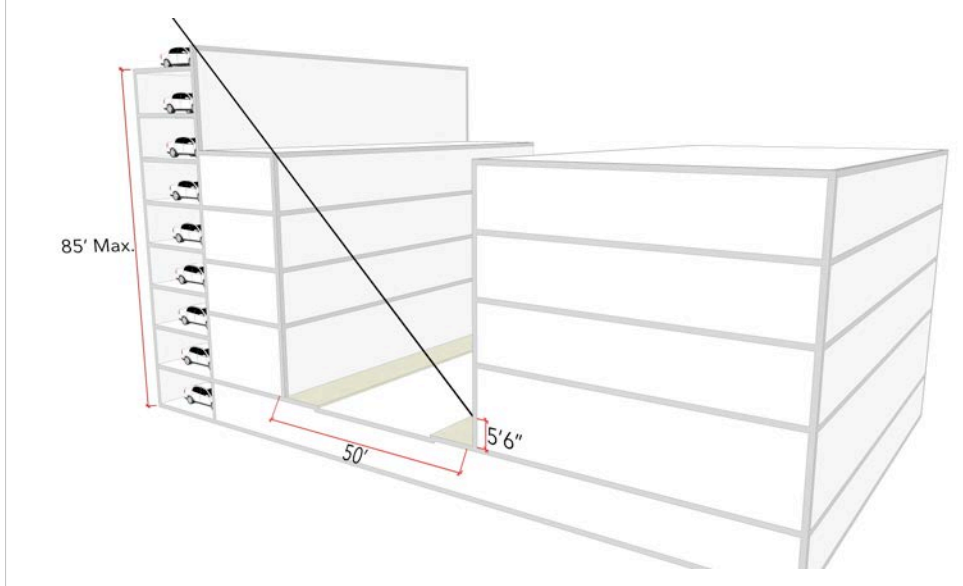
Figure 6.4 Maximum Facade Length



6.3. PARKING STRUCTURE HEIGHT

- 6.3.1. Where parking structures are freestanding, attached to buildings for less than 50% of their perimeter, they are limited to 48 feet in height, measured to the top of parapet or railing where the top floor is used for parking.
- 6.3.2. Where parking structures are attached to buildings for more than 50% of their perimeter, their maximum height is limited according to Figure 6.5 and as follows:
 - a. Parking structures may not be visible within 50 feet of lining buildings along A streets, pedestrian streets, and open spaces.
 - b. Visibility is determined from the point of view of a 5'-6" tall pedestrian at sidewalk level.

Figure 6.5 Parking Structure Height



7. FRONTAGES

Site and building development is subject to the following urban design guidelines.

7.1. LOT FRONTAGES

- 7.1.1. Lot lines abutting street rights-of-way and open space are designated as primary frontages or secondary frontages as follows:
 - a. For lots abutting a right-of-way along a single lot line, the abutting lot line is designated the primary frontage.
 - b. For corner lots abutting a right-of-way along two connected lot lines, the short side of the lot will be designated the primary frontage, the other lot line is designated the secondary frontage.

7.2. FRONTAGE OCCUPATION AND ACTIVATION

- 7.2.1. Frontage occupation is regulated by Transect Zone, according to Tables 4.1 to 4.3.
- 7.2.2. Along A-streets,, ground floor uses must be active for the first 20 feet of building depth. Active uses include:
 - a. Retail sales and display spaces excluding offices,
 - b. Food service dining areas, bars, and counters,
 - c. Open venue spaces,
 - d. Offices,
 - e. Conference rooms,
 - f. Hotel, multi-family, and office lobbies,
 - g. And lobby and waiting areas for services.
- 7.2.3. The following are excluded from lot frontage occupation calculations:
 - a. Pedestrian walkways.
 - b. Pedestrian forecourts.
 - c. Vehicular access to parking, less than 10 feet.

7.3. SETBACKS

- 7.3.1. Buildings must be set back from site boundaries according to Tables 4.1 to 4.3 and the following:
 - a. Primary front setbacks pertain to the primary frontage;
 - b. Secondary front setbacks pertain to the secondary frontage;
- 7.3.2. Where a maximum setback is specified, it pertains only to the amount of building facade required to meet the minimum frontage occupation requirements of Section 7.4: Frontage Yards.

- 7.3.3. Where existing utilities or irregular site lines cause conflicts with required setbacks, the [\[Director of Neighborhood Development Services\]](#), may modify setbacks up to five percent.
- 7.3.4. Screened outdoor areas must be a minimum of five feet from side and rear lot lines.

7.4. FRONTAGE YARDS

- 7.4.1. Frontage yards must be wholly open to the sky and unobstructed, except for roof projections, elements and permitted encroachments attached to primary and accessory buildings. Projections must not extend into any yards more than three feet.
- 7.4.2. Applicants must select and specify frontage yard types at primary frontages and secondary frontages.
 - a. Frontage yard types may be different at primary and secondary frontages.
 - b. Frontage yard types must be selected from Table 7.1.
- 7.4.3. Landscaping in frontage yards is subject to the requirements of Table 7.1 and the following:
 - a. Where the minimum number of required trees cannot be reasonably planted, they may be accommodated as additional streetscape improvements or by fee in lieu.
 - b. Tree trunks must be a minimum of five feet from street lights, underground utilities, utility meters and service lines, fences, walls, and other ground level obstructions at maturity.
 - c. Ground vegetation or shrub plantings with spines, thorns, or needles that may present hazards to pedestrians, bicyclists, or vehicles are prohibited within two feet of walkways at maturity.
- 7.4.4. Impervious surfaces and walkways in frontage yards are subject to the requirements of Table 7.1 and the following:
 - a. Where townhouses occupy a common site, each townhouse with an entrance towards a frontage must have a walkway connecting the sidewalk to the townhouse entrance.
 - b. At cluster courts, the common court must have a walkway connecting the sidewalk at the primary frontage with building entries.

- 7.4.5. The following structures and equipment are prohibited in frontage yards:
- a. Pools, jacuzzis, spas, hot tubs, tennis courts, and their related enclosures, pumps, and equipment;
 - b. Air conditioning compressors;
 - c. Emergency generators;
 - d. Dumpsters; and
 - e. Parking structure ventilation.
- 7.4.6. Drive-throughs are prohibited within the SIA.
- 7.4.7. Any portion of a frontage in T5 and T6 not occupied by buildings, driveways, or walkways must be lined with a streetscreen as follows:
- a. Streetscreens must meet the fencing and wall standards for the frontage yard type.
 - b. Streetscreens must be coplanar with the primary building facade or located further into the lot than the facade.
 - c. Parking and service areas may not be located between streetscreens and lot lines.

Table 7.1 Frontage Yard Types



| A. Common Yard | |
|---------------------|---|
| Illustration |  |
| Surface | 60% minimum must be landscaped with ground cover, shrubs, trees, or understory trees. Paving is limited to walkways, driveways, and per setback. |
| Walkways | One per frontage providing access to building entries |
| Fencing | Permitted at or beyond the building setback line a maximum six feet high, not along frontage lines. |
| B. Fenced Yard | |
| Illustration |  |
| Surface | 60% minimum must be landscaped with ground cover, shrubs, trees, or understory trees. Paving is limited to walkways, driveways, and per setback. |
| Walkways | One per frontage providing access to building entries |
| Fencing | Permitted along frontage lines. Min. three feet max. four feet when within building setback. At or beyond setback line, fence height may be six feet max. |

Table 7.1 Frontage Yard Types



| C. Cluster Court | |
|-------------------------|--|
| Illustration |  |
| Surface | 50% minimum must be landscaped with ground cover, shrubs, trees, or understory trees. Paving is limited to walkways, driveways, and per setback. |
| Walkways | Court must be a min. 20 feet wide and a min. 1,000 sf in size and must have a walkway connecting the sidewalk at the primary frontage with building entries. |
| Fencing | Permitted at or beyond the building setback line a maximum six feet high, not along frontage lines. |
| D. Shallow Yard | |
| Illustration |  |
| Surface | Must be a max. setback of 10 feet. Landscaped in T4 and may be paved in T5. |
| Walkways | One per frontage providing access to building entries in T4. |
| Fencing | Permitted at or interior to the building setback line at primary street frontages. Permitted at or interior to secondary street frontage lines. Minimum height is three feet, maximum height is four feet. |

Table 7.1 Frontage Yard Types



| E. Urban Yard | |
|--------------------------------|--|
| Illustration |  |
| Surface | Must be paved at sidewalk grade |
| Walkways | Must be paved at sidewalk grade. Vegetation is permitted in raised containers. |
| Fencing | Permitted at outdoor seating only a maximum three feet. |
| F. Pedestrian Forecourt | |
| Illustration |  |
| Surface | Min. 80% paving at sidewalk grade. |
| Fencing | Permitted at outdoor seating and at or interior to building setback lines a maximum three feet. |
| Area | Forecourt: 2,400 sq.ft. max. and a min. 20 ft. wide up to 30% of the allowable frontage, and a max. 30 ft. deep. |
| Activation | Must be lined with habitable space on 3-sides, or on 2-sides at corner sites. |

Table 7.1 Frontage Yard Types

| G. Vehicular Forecourt | |
|------------------------|---|
| Illustration | |
| Surface | Driveway must be paved at sidewalk grade. The remainder of frontage setback may be paved or landscaped. |
| Fencing | Permitted at outdoor seating only a maximum three feet. |
| Area | Forecourt: 3,000 sq.ft. max. |
| Activation | Must be lined with habitable space on 3-sides, or on 2-sides at corner sites. |

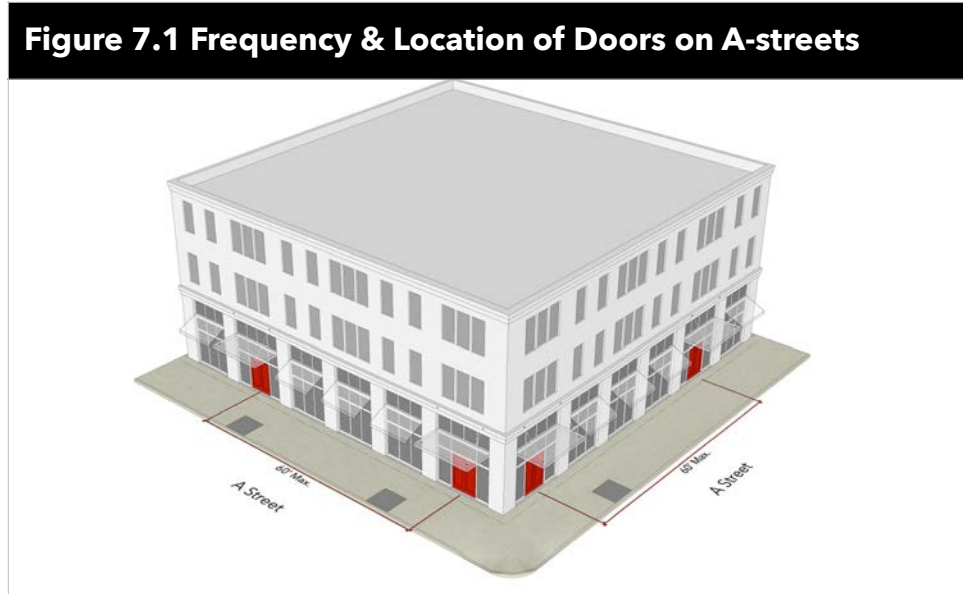
Table 7.2 Frontage Yard Type Summary

| | T4 | T5 | T6 |
|-----------------------------|----|----|----|
| Common | P | | |
| Fenced | P | | |
| Cluster | P | | |
| Shallow | P | P | P |
| Urban | | P | P |
| Pedestrian Forecourt | | P | P |
| Vehicular Forecourt | | P | P |

7.5. BUILDING ENTRIES

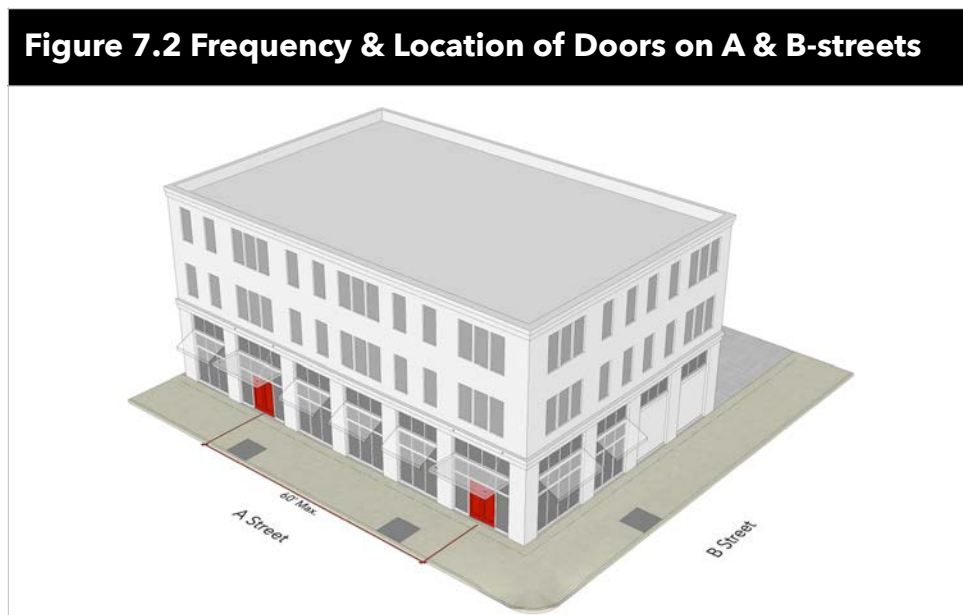
7.5.1. Frequency of doors

- a. Building entries should be spaced no greater than 60 feet apart along A-streets, pedestrian streets, and open spaces, as per Figure 7.1



7.5.2. Locations of doors

- a. The primary entry to buildings should be located along A-streets, pedestrian streets, or open spaces, as per Figure 7.1.
- b. Where tenant spaces occupy a corner, doors should be provided along both streets except where one street is a B-street, as per Figure 7.2.



7.6. STOREFRONTS

- 7.6.1. All ground floor commercial spaces should be configured with storefronts along their facades except along B-streets.
- 7.6.2. Storefront windows, doors, signage, awnings, details and lighting should be designed as a unified composition.
- 7.6.3. Storefront Windows
 - a. Storefronts should not be constructed of extruded aluminum frames or panels.
 - b. Storefront windows should be divided into lower panels and upper transom windows.
 - c. Transom windows should be between two and four feet in height.
 - d. Lower panels should extend to at least nine feet above sidewalk grade.
- 7.6.4. Storefront Doors
 - a. Storefront entrance doors should be recessed to allow the door to swing out without obstructing pedestrian flow on the sidewalk.
 - b. Where storefront entrance doors are recessed, the walls of the recess should be a minimum of 70% glazed.
 - c. Where storefront entrance doors do not extend to the top of adjacent display windows, a glazed transom panel should be installed above the door.
 - d. Each tenant space should have at least one three-foot wide door at the main entry.
 - e. Storefront entrances are encouraged at building corners.
 - f. Where appropriate, sliding or folding doors that allow the activity of the business to open adjacent to and onto the public sidewalk may be installed for restaurants and food services.
 - g. Rear and side doors facing service alleys and parking lots are encouraged, but not required.
- 7.6.5. Storefront Bulkheads
 - a. Storefronts should have a minimum 12-inch high masonry kick plate or bulkhead along all street frontages.
 - b. Storefront bulkheads should not exceed 36 inches above the adjacent sidewalk.
 - c. Bulkheads should be designed as an integral component of the overall storefront.

7.6.6. Security Gates and Shutters

- a. Solid metal security gates and solid roll-down shutters are not permitted.
- b. Interior link or grill security devices may be permitted if they can be completely enclosed or hidden from view when not in use.

Figure 7.3 Storefront Design



7.6.7. Design for Tenant Flexibility

- a. The design of first and second floor commercial spaces should anticipate restaurant requirements.
- b. Accommodation for restaurant venting and sewage utilities such as grease traps and interceptors should be designed into the building.
- c. Designs should anticipate potential commercial power and gas load needs.

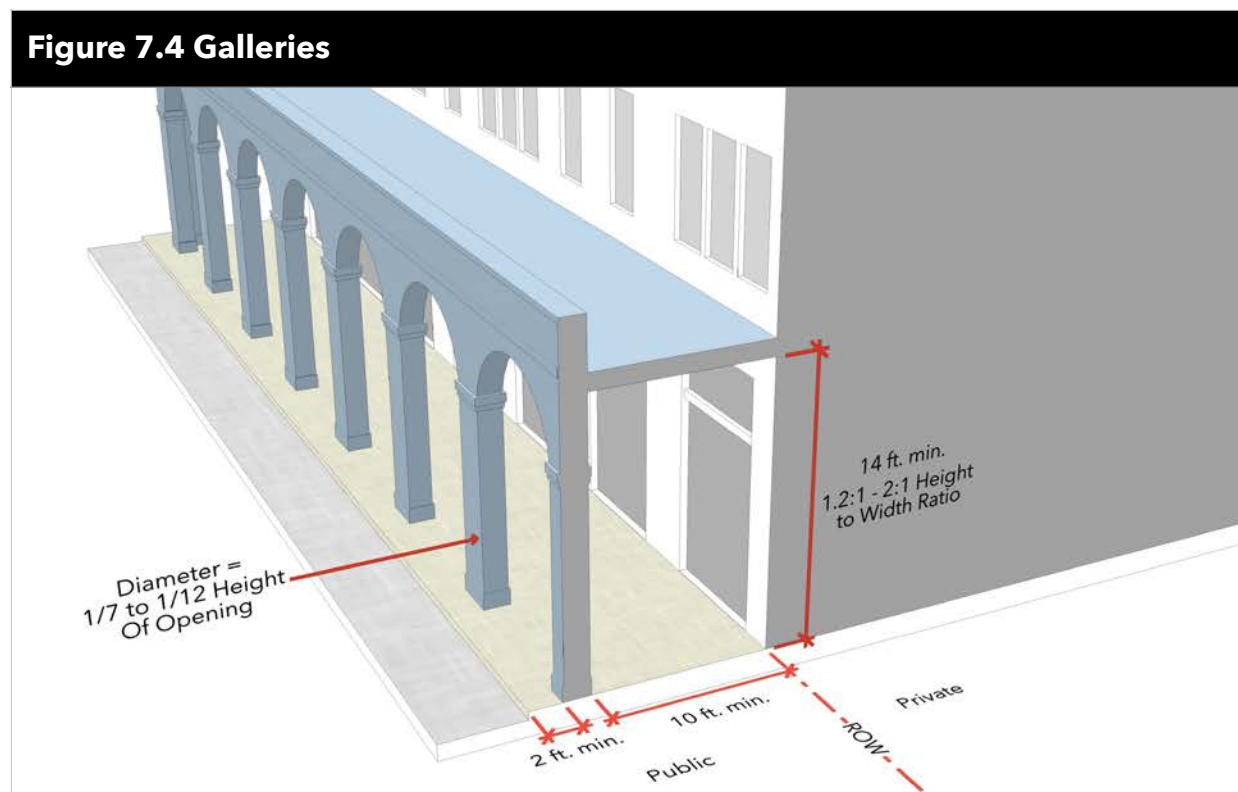
7.7. GLAZING

- 7.7.1. Along A-streets, pedestrian streets, and open spaces, ground floor glazing should meet the following:
 - a. The percentage of glazed wall area should be greater than 70% at storefronts and 35% elsewhere.
 - b. Reflective, tinted, and low-e glazing is prohibited.
- 7.7.2. The percentage of glazed wall area of all upper floors along A-streets, pedestrian streets, and open spaces should be greater than 35%..
- 7.7.3. The percentage of glazed wall area of all upper floors and ground floors along B-streets should be greater than 25%.
- 7.7.4. Glazing percentages are calculated according to Figure 7.3.



7.8. ENCROACHMENTS.

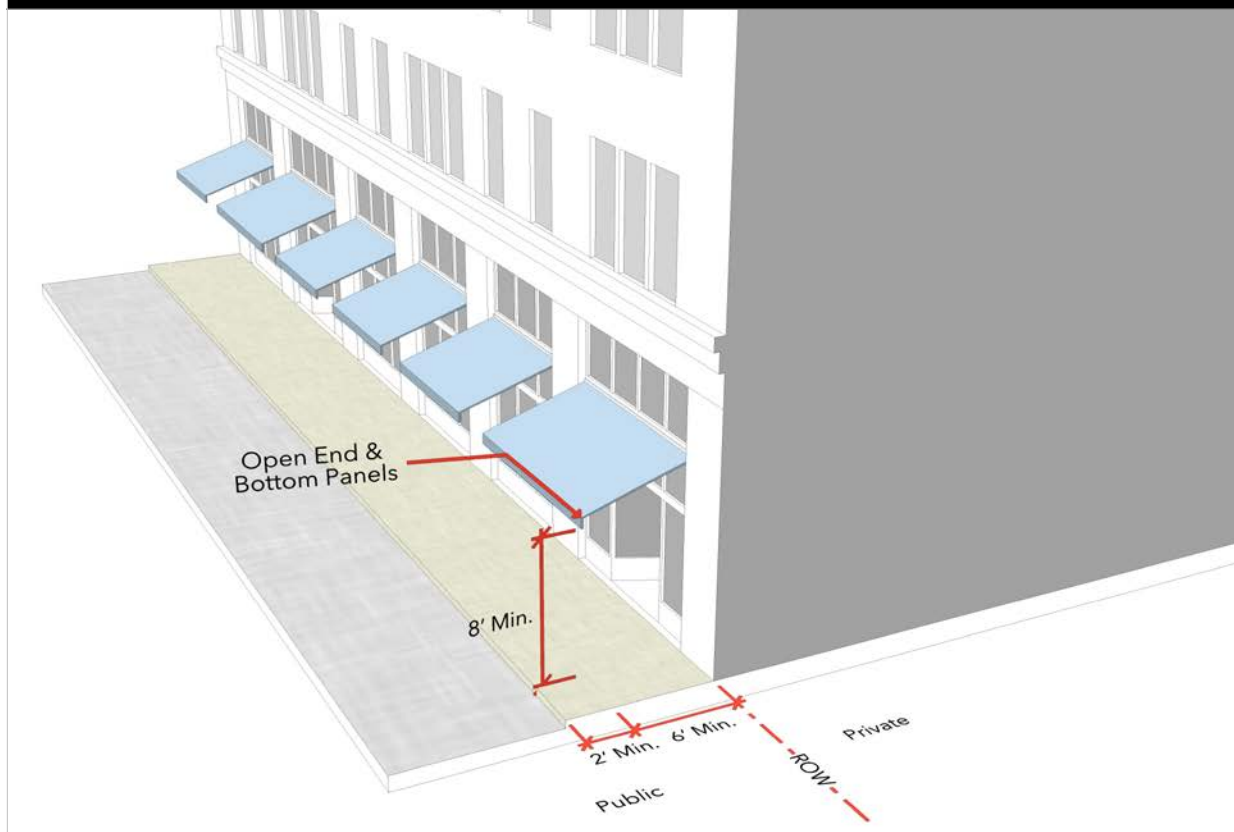
- 7.8.1. Galleries which encroach into the public right-of-way require approval by Public Works.
 - a. Galleries must be a minimum of 10 feet in depth and a minimum of 14 feet in height, maintaining a 1.2:1 - 2:1 height to width ratio, as per Figure 7.4.
 - i. Where arcades are within public rights-of-way, they must meet Public Works clearance standards to allow utility access.
 - b. Gallery columns should have a diameter between 1/7th and 1/12th their height, measured from the base to the bottom of the entablature or arched opening.
 - c. Galleries may encroach over sidewalks along A Streets, as per Figure 7.4.
 - d. Where galleries encroach over sidewalks, they should extend to within two feet of curbs, as per Figure 7.4.
 - e. Galleries may not change height or width along a facade.



7.8.2. Awnings

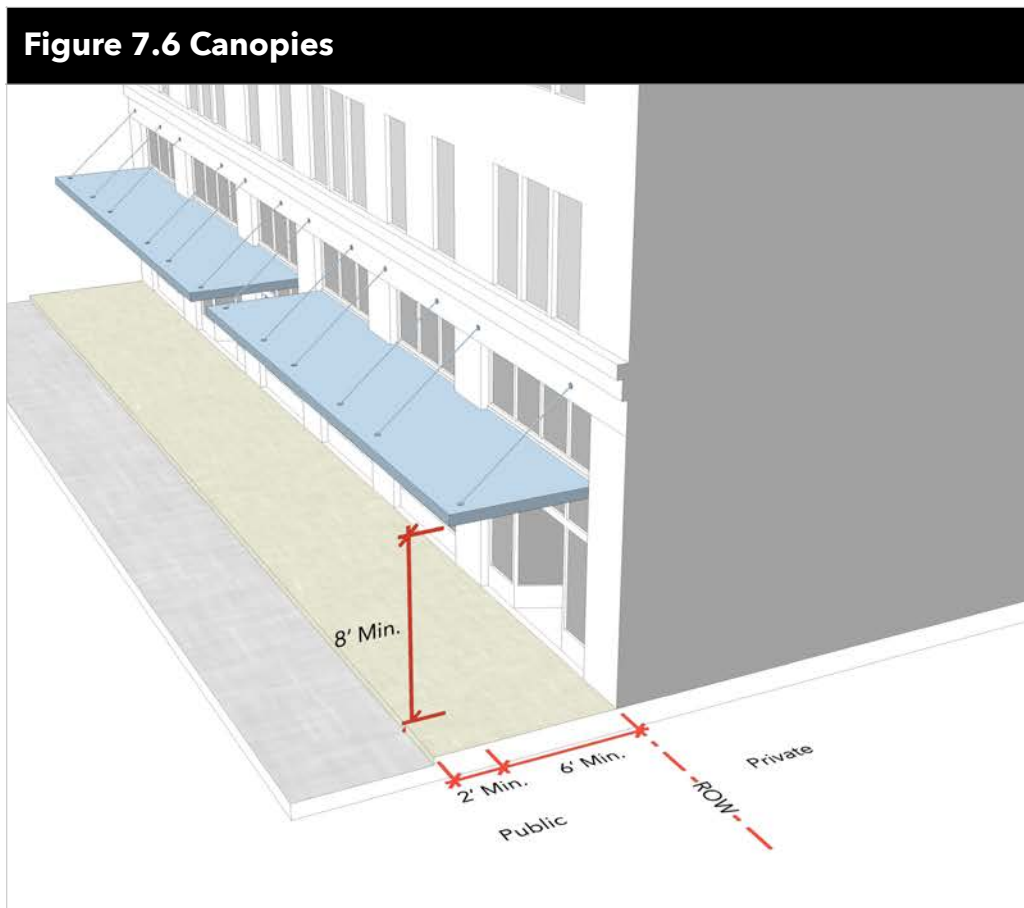
- a. Awnings must be a minimum of six feet in depth and have a minimum of eight feet of vertical clearance, as per Figure 7.5.
 - i. Where canopies are within public rights-of-way, they must meet Public Works clearance standards to allow utility access.
- b. Awnings may encroach into building setbacks and over sidewalks to within two feet of curbs.
- c. Awnings along storefronts should attach to facades between the storefront display windows and transom windows, as per Figure 7.5.
- d. Awnings should not have side or bottom panels, as per Figure 7.5.
- e. Awnings should be a minimum of 36 inches wide.
- f. Where multiple awnings are installed on a single tenant facade, breaks between awnings should not exceed 12 inches.
- g. Awnings may not be backlit or internally illuminated.
- h. Awnings may be externally illuminated.
- i. Round, half domed, and plastic awnings are prohibited.
- j. Awnings should have a slope of 1:3 or less.

Figure 7.5 Awnings



7.8.3. Canopies

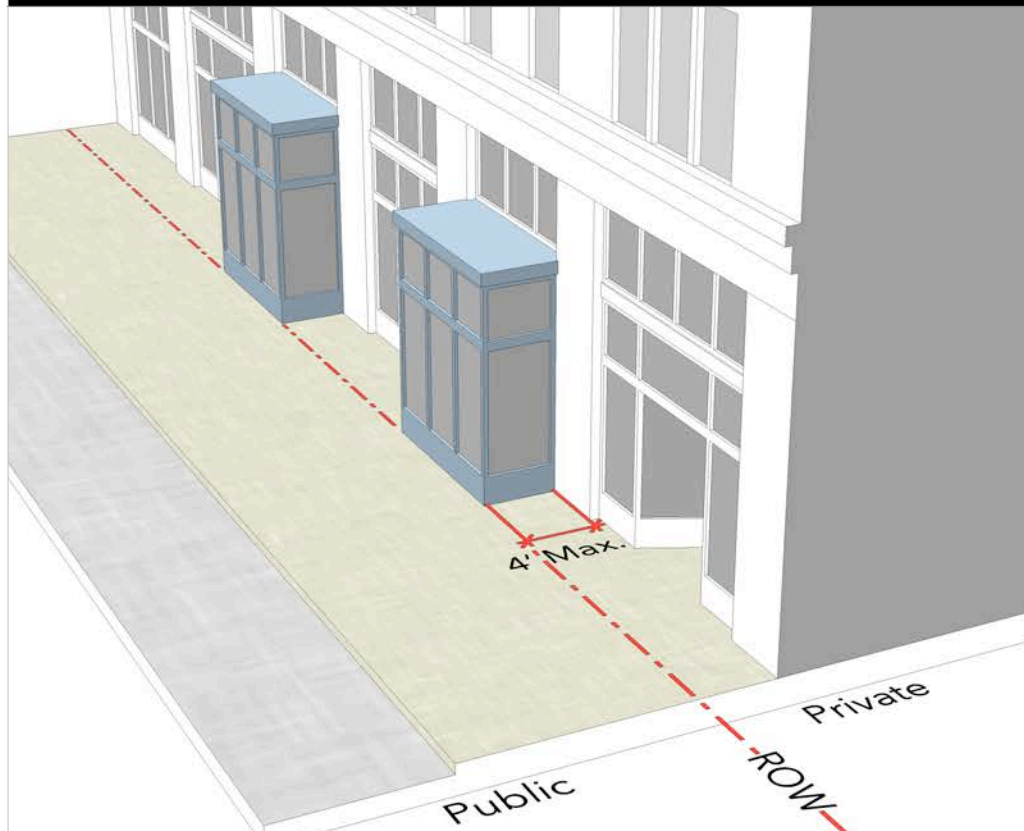
- a. Canopies must be a minimum of six feet in depth and have a minimum of eight feet of vertical clearance, as per Figure 7.6.
 - i. Where canopies are within public rights-of-way, they must meet Public Works clearance standards to allow utility access.
- b. Canopies may encroach into building setbacks and over sidewalks to within two feet of curbs.
- c. Canopies along storefronts should attach to facades between the storefront display windows and transom windows, as per Figure 7.6.
- d. Canopies should be continuous across the entire width of tenant facades.



7.8.4. Display windows

- a. Retail display windows may encroach into building setbacks a maximum of four feet, as per Figure 7.7, but not into the public right-of-way.
- b. Display windows and shop doors must allow a view into the retail space. They should not be blocked by posters or other items affixed directly to glazing.

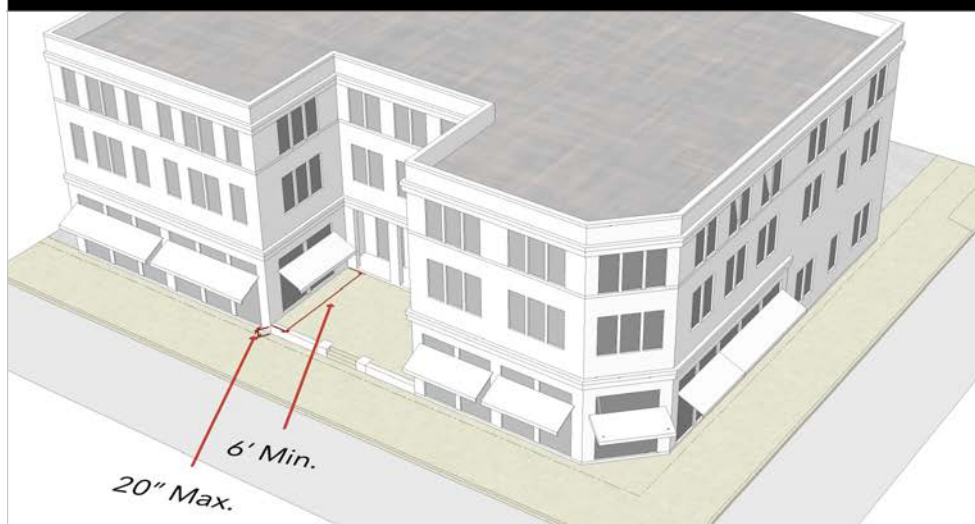
Figure 7.7 Display Windows



7.9. WALLS, FENCES, AND TERRACES

- 7.9.1. Fencing and walls in frontage yards is subject to the requirements of Table 7.1.
- 7.9.2. Fencing is prohibited along A-streets, pedestrian streets, and open spaces.
- 7.9.3. Walls are permitted along A-streets, pedestrian streets, and open spaces as follows:
 - a. Walls may be used to define pedestrian forecourts and to screen service and parking areas.
- 7.9.4. Pedestrian forecourts may be terraced with an initial height change of no more than 20 inches from sidewalk grade for a distance of six feet.

Figure 7.8 Terraced Pedestrian Forecourt



- 7.9.5. A fence must be uniform in construction, design, material, color and pattern, and the fence material must be of a standard material, conventionally used by the fencing industry.
- 7.9.6. Fencing and wall materials are limited as follows:
 - a. Chain link, vinyl, unpainted wood, barbed wire, razor wire and electrified fences are prohibited in T4, T5, and T6.
 - b. Painted wood is permitted in T4.
 - c. Decorative metal is permitted in T4, T5, and T6.
 - d. Masonry is permitted in T4, T5, and T6.
 - e. Masonry is required in T6.
- 7.9.7. Fencing and walls in frontages must provide complete enclosure by connecting with other walls, fences, hedges or buildings on the lot.

7.10.MECHANICAL EQUIPMENT

- 7.10.1.Mechanical equipment and entries to mechanical spaces may not be located along A-streets, pedestrian streets, or open spaces.
- 7.10.2.Mechanical equipment, including rooftop equipment, should be shielded from view along A-streets, pedestrian streets, and open spaces with architecturally integrated walls or screens.
- 7.10.3.Mechanical vents may not exhaust within eight feet of sidewalk level.
- 7.10.4.Mechanical vents should not exhaust along A-streets, pedestrian streets, or open spaces where B-streets, alleys, or rooftop exhaust options are available.
- 7.10.5.Sound screening is required for any mechanical sounds above 65 dB at sidewalk level.

7.11.LIGHTING

- 7.11.1.Lighting must be provided along all streets, according to Appendix A of the City of Charlottesville City Standards and Design Manual (SADM) and to the following:
 - a. Cobra head fixtures are prohibited.
 - b. Pedestrian-scaled street lamps are required along A-Streets.
 - c. Boxed fixtures are permitted in parking areas only.
 - d. Street lights may not impede the required clear area of sidewalks.
- 7.11.2.Along A-streets:
 - a. The top of the luminaire should be no higher than 12 feet above the sidewalk.
 - b. Street lights should be spaced no further than 40 feet apart.
 - c. Street lights must be installed on both sides of vehicular streets.
- 7.11.3.Along B-streets:
 - a. The top of the luminaire should be no higher than 12 feet above the sidewalk.
 - b. Street lights should be spaced no further than 60 feet apart.
 - c. Street lights may alternate sides.
- 7.11.4.Fixtures and Bulbs
 - a. Lighting should be shielded to avoid uplighting
 - b. Flood-lighting is not permitted.
 - c. LED lighting should be diffused or indirect.
 - d. Fixtures should be coordinated along building facades.

7.11.5.Color Temperature

- a. Exterior lighting color temperature should be between 2700K and 3800K.

7.11.6.Duration of Lighting

- a. Interior lighting of storefronts and exterior lighting of signs is recommended until at least 11pm to accentuate storefront displays and promote public safety.
- b. Lighting of frontages and alleys is recommended during all nighttime hours.
- c. Motion-sensored lighting is not permitted along A-Streets, pedestrian streets, or open spaces.

8. SIGNAGE

- 8.1. Signage within the SIA must meet the requirements of this chapter.
- 8.2. Prohibited Signs are according to [section 34-1029](#) and the following:
 - 8.2.1. Electronic Moveable Signs
 - a. Computer screen or moveable electronic signs are not permitted.
- 8.3. Permitted sign types are limited by Transect and the following restrictions according to Table 8.1.
 - 8.3.1. The number of signs per sign type;
 - 8.3.2. The area of signs;
 - 8.3.3. The maximum height of signs;
 - 8.3.4. The height of sign copy.
- 8.4. A permit is required for the installation or modification of all signs as specified in Table 8.1 and as follows:
 - 8.4.1. Signs specified in [section 34-1027](#) do not require permits but require compliance with this chapter.
 - 8.4.2. Signs not requiring a permit according to Table 8.1 must meet the requirements of this chapter.
 - 8.4.3. Permit requirements and approvals are according to [section 34-1025](#).
- 8.5. All signs must provide the following clearance except where otherwise specified:
 - 8.5.1. Eight feet over pedestrian ways.
 - 8.5.2. 13.5 feet over vehicular ways and streets
- 8.6. Illumination is according to [section 34-1034](#).
 - 8.6.1. Signage may not be internally illuminated, except for neon window or vertical signs.
- 8.7. Maintenance of signs is according to [section 34-1035](#).
- 8.8. Non-conforming signs are according to [section 34-1036](#).
- 8.9. Removal of signs is according to [section 34-1037](#).
- 8.10. Restrictions by sign type are according to the following:
 - 8.10.1. Awning Sign:
 - a. Signage may be painted or applied to the fringe of an awning or its top surface.
 - 8.10.2. Canopy Sign:
 - a. Signage may be applied to the top of a canopy.

8.10.3. Corner Sign (new):

- a. Corner signs are only permitted at building corners where each facade abuts a frontage.

8.10.4. Marquee Sign:

- a. Marquee signs are only permitted for Theaters.
- b. Marquee signs may project to within two feet of curbs.
- c. Marquee signs must provide a minimum clearance of 10 feet.
- d. Marquee signs may be illuminated.

8.10.5. Painted Wall Sign (new):

- a. Painted Wall signs are limited to one per frontage.

8.10.6. Projecting Sign:

- a. Projecting signs may project up to 42 inches from the facade.
- b. Projecting signs must be below the bottom sill of the second floor.

8.10.7. Sandwich Sign:

- a. Sandwich signs may be displayed along the sidewalk adjacent to each tenant space.
- b. Sandwich signs must be removed at non-business hours.
- c. Sandwich signs must not be located within two feet of a curb.
- d. Sandwich signs must provide a minimum three feet of clearance if placed within the public right-of-way.

8.10.8. Temporary Signs (new):

- a. Temporary signs are permitted 30 days before an event and no longer than four days following the event.

8.10.9. Wall Sign:

- a. Wall signs must be below the bottom sill of the second floor.
- b. Wall signs must not cover, cross or otherwise hide any column, belt course or other decorative architectural feature of a building, including any balcony.
- c. Wall signs must not project more than six inches from the facade.
- d. Plastic or vinyl wall signs are not permitted.

8.10.10. Window Sign (new):

- a. Window signs must be applied to the interior of windows
- b. Window signs may be painted, applied vinyl, or applied gold leaf letters.

| Table 8.1 Sign Standards | | | | | | | |
|-----------------------------|----|----|----|-----------------------------------|---|---|---|
| Sign Type | T4 | T5 | T6 | Height (max) | Number of signs (max) | Sign Area (max) | Copy Height (max) |
| A: Awning Sign | P | P | P | N/A | 1 sloping plane plus 1 valance per awning | 20 sq. feet | 16 inches on sloping plane, 8 inches on valance |
| B: Canopy Sign | | P | P | N/A | 1 per canopy | 250 sq. inches | 18 inches |
| C: Corner Sign | | P | P | 6 feet above the eave or parapet | 1 per building | 40 sq. feet | N/A |
| D: Freestanding Sign | | | | 25 feet | 1 per parcel | 30 sq. feet | N/A |
| E: Marquee Sign | | P | P | N/A | 1 per frontage | 60 sq. feet | N/A |
| F: Monument Sign | | | | 6 feet | 1 parcel | 24 sq. feet | N/A |
| G: Painted Wall Sign | | P | P | N/A | 1 per frontage | 20 sq. feet along A streets, no limit along B streets | N/A |
| H: Pole Sign | | P | P | 12 feet | 1 per parcel | 12 sq. feet | N/A |
| I: Projecting Sign | P | P | P | 20 feet | 1 per tenant | 30 sq. feet | 8 inches |
| J: Sandwich Sign | B | B | B | 30 inches wide and 42 inches high | 1 ground floor tenant | 12 sq. feet | N/A |
| K: Temporary Sign | | T | T | N/A | 1 per tenant | N/A | 10 sq. feet |
| L: Wall Sign | | P | P | 20 feet | 1 per frontage | 100 sq. feet | 18 inches |
| M: Window Sign | P | P | P | N/A | 1 per window | 20% of window | 12 inches |

T: temporary sign (restricted time period) with permit

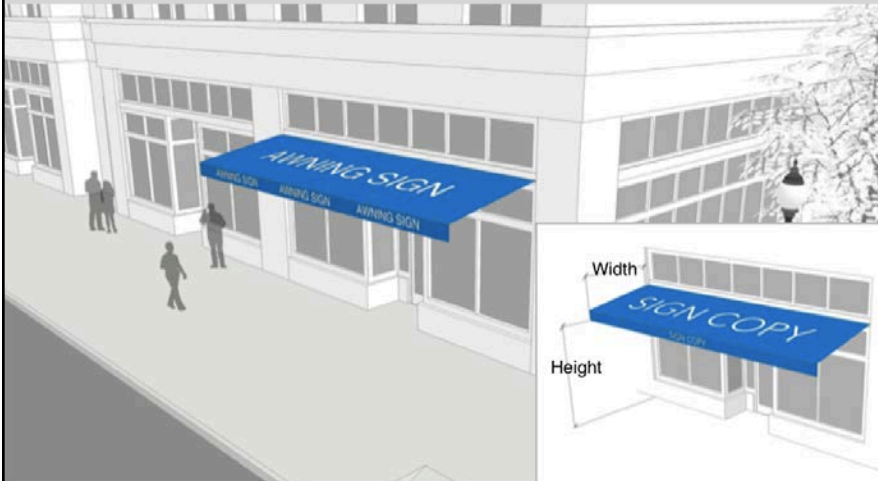
B: permitted during business hours with permit

P: permitted with permit

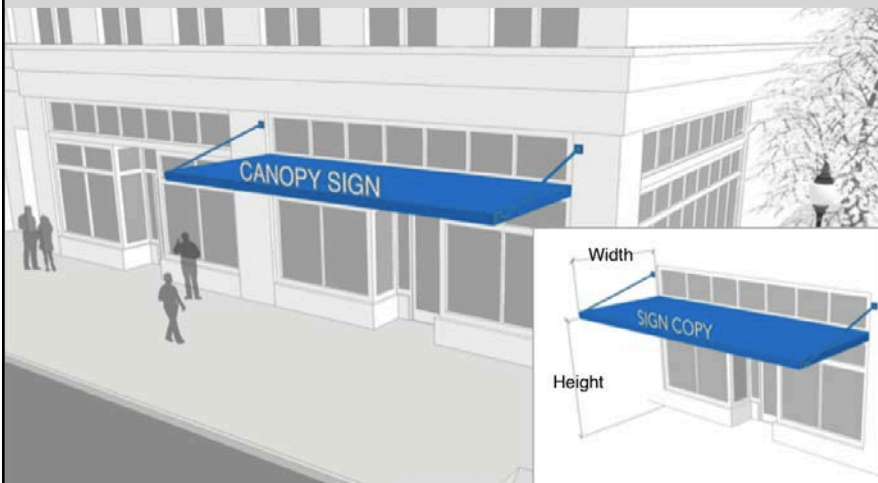
Blank cells are signs which are not permitted in the respective transect zone

Figure 8.1 Sign Types Illustrated

8.1.A: Awning Sign



8.1.B: Canopy Sign



8.1.C: Corner Sign

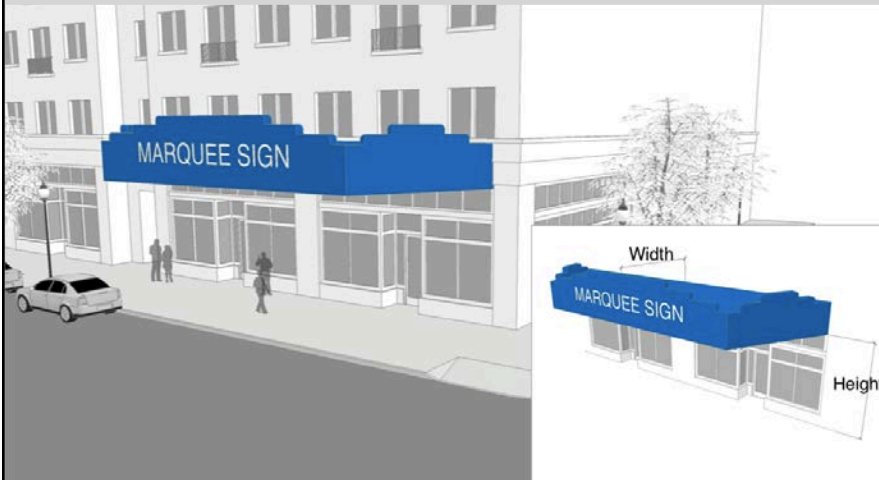


Table 8.1 Sign Types Illustrated

8.1.D: Freestanding Sign



8.1.E: Marquee Sign



8.1.F: Monument Sign

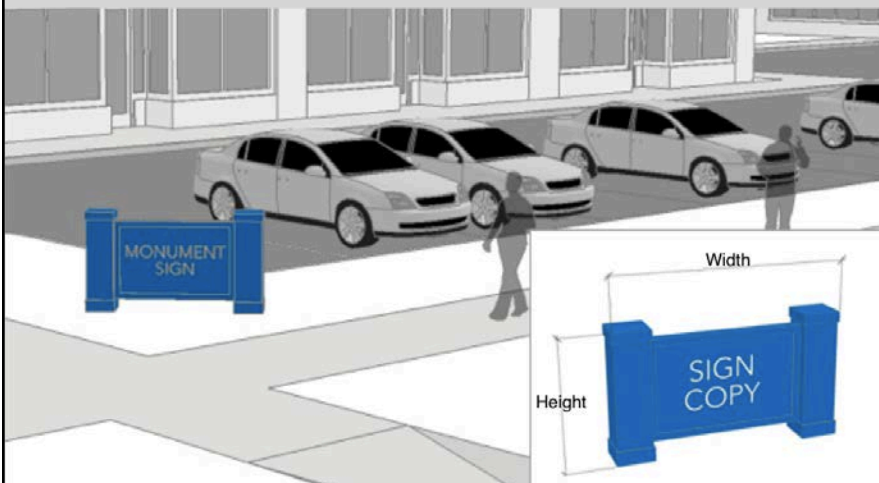
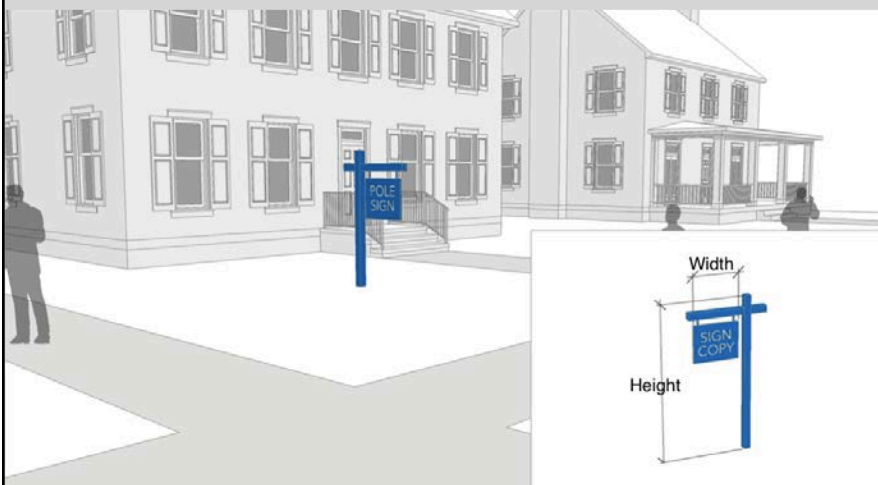


Table 8.1 Sign Types Illustrated

8.1.G: Painted Wall Sign



8.1.H: Pole Sign



8.1.I: Projecting Sign

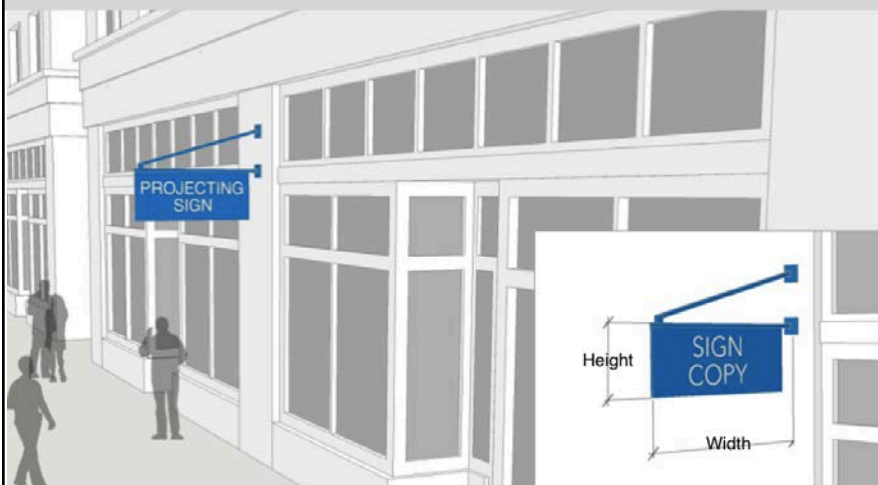


Table 8.1 Sign Types Illustrated

8.1.J: Sandwich Sign



8.1.L: Wall Sign



8.1.M: Window Sign



9. USES

- 9.1. The uses allowed within the SIA are those identified within Table 9.1 below.
- 9.2. Uses are limited by Transect Zone according to Table 9.1. Refer to [section 34-576](#) for definition of uses.

| Table 8.1 Uses | T4 | T5 | T6 |
|--------------------------------------|----|----|----|
| Residential | | | |
| Accessory Apartment (Internal) | B | B | B |
| Accessory Apartment (External) | A | B | B |
| Accessory Buildings (Residential) | A | B | B |
| Adult Assisted Living | | B | B |
| 1-8 Residents | B | B | B |
| >8 Residents | | B | B |
| Adult Day Care | | B | B |
| Amateur Radio Antennas | | | |
| Convent/Monastery | | B | B |
| Criminal Justice Facility? | | | |
| MF Dwelling | | B | B |
| SF Detached | B | B | B |
| SF Attached | B | B | B |
| Townhouse | B | B | B |
| Two-Family | B | B | B |
| Family Day Home (1-5 Children) | B | B | B |
| Family Day Home (6-12 Children) | C | B | B |
| Home Occupation | B | B | B |
| Manufactured Home Parks | | | |
| Night Watchman's Dwelling | | | |
| Nursing Home | | C | B |
| Occupancy (3 Unrelated Persons) | C | B | B |
| Occupancy (4 Unrelated Persons) | C | B | B |
| Residential Treatment Facility (1-8) | | C | C |
| Residential Treatment Facility (8+) | | C | C |
| Shelter Care Facility | | C | C |
| Single Room Occupancy Facility | | C | C |
| Temporary Family Health Care | | T | T |

| Table 8.1 Uses | T4 | T5 | T6 |
|---------------------------------------|----|----|----|
| Hotels & Lodging | | | |
| Hotels / Motels (Up to 100 keys) | | B | B |
| Hotels / Motels (Over to 100 keys) | | B | B |
| B&B | B | B | B |
| Homestay | | B | B |
| Inn | | B | B |
| Boarding: Fraternity or Sorority | | | |
| Boarding House | | | |
| Assembly & Recreation | | | |
| Amusement Center | | | C |
| Amusement Enterprises (Temporary) | | T | T |
| Amusement Park | | | C |
| Arena / Stadium (Indoor) | | | C |
| Auditorium | | B | B |
| Arena / Stadium (Outdoor) | | | C |
| Amphitheater (Outdoor) | | C | C |
| Movie Theaters | | C | C |
| Music Hall | | C | C |
| Museums (Up to 4000 SF) | | B | B |
| Museums (Up to 10000 SF) | | B | B |
| Indoor Recreational Facility (Public) | | B | B |
| Indoor Rec Facility | | B | B |
| Outdoor Recreational Facilities | | B | B |
| Libraries | | B | B |
| Golf Course | | | C |
| Golf Driving Range | | | C |
| House of Worship | B | B | B |
| Clubs (Private) | | C | C |

| Table 8.1 Uses | | T4 | T5 | T6 | Table 8.1 Uses | | T4 | T5 | T6 |
|----------------------------------|--|----|----|----|---------------------------------|--|----|----|----|
| Commercial | | | | | Commercial | | | | |
| Accessory Buildings | | B | B | B | Daycare Facility | | B | B | B |
| Animal Boarding (Outdoor Pens) | | | | | Dry Cleaning Business | | | B | B |
| Animal Boarding (Indoor Pens) | | | C | C | Funeral Homes | | | B | B |
| Animal Shelter | | | C | C | Hospital | | | C | C |
| Art Gallery | | C | B | B | Laundromats | | | B | B |
| Art Studio | | B | B | B | Manufactured Home & RV Sales | | | B | B |
| Art Workshop | | B | B | B | Check Cashing Facility | | | B | B |
| Assembly (Temporary) | | ⌘ | ⌘ | ⌘ | Municipal Government Offices | | | B | B |
| Assembly Plant (Handcraft) | | | C | C | Business & Professional Office | | | B | B |
| Assembly Plant? | | | | | Medical Office | | | B | B |
| Auto Parts & Equipment Sales | | | | C | Philanthropic Office | | | B | B |
| Gas Station | | | | B | Property Mgmt Office | | | B | B |
| Auto Rental / Leasing | | | | B | Other Offices | | | B | B |
| Auto Repair / Service | | | C | B | Outdoor Storage (Accessory) | | | A | A |
| Auto Sales | | | C | C | Photography Studios | | | B | B |
| Tire Sales / Recapping | | | | B | Photographic Processing | | | B | B |
| Bakery, Wholesale | | | B | B | Radio / Television Broadcasting | | | B | B |
| Banks | | | B | B | All Night Restaurant | | | | B |
| Bowling Alleys | | | B | B | Drive-Thru Restaurant | | | | |
| Car Wash | | | B | B | Fast Food Restaurant | | | B | B |
| Catering Business | | | B | B | Full Service Restaurant | | C | B | B |
| Health Clinic | | | B | B | 24-Hour Restaurant | | | | ⊘ |
| Public Health Clinic | | | B | B | Technology Based Business | | | B | B |
| Veterinary Clinic (Outdoor Pens) | | | | | Service Business | | | B | B |
| Veterinary Clinic (Indoor Pens) | | | B | B | Farmers Market | | B | B | B |
| Contractor's Shop | | | B | B | Greenhouse / Nurseries | | | B | B |
| Data Center | | | B | B | Grocery Store | | | B | B |
| | | | | | Convenience Store | | B | B | B |
| | | | | | General Retail | | B | B | B |

| Table 8.1 Uses | | T4 | T5 | T6 |
|-----------------------------------|--|----|----|----|
| Commercial | | | | |
| Home Improvement Center | | | B | B |
| Pharmacy | | | B | B |
| Shopping Centers | | | C | B |
| Shopping Mall | | | | |
| Temporary Sales | | | T | T |
| Other Retail | | | B | B |
| Small Breweries | | | B | B |
| Micro Producers | | | B | B |
| Education | | | | |
| Elementary School | | B | B | B |
| High School | | | B | B |
| College / University | | | C | C |
| Artistic Instruction | | | B | B |
| Vocational | | B | B | B |
| Other | | | | |
| Cemetery | | C | C | C |
| Crematorium | | | | |
| Parking Garage | | | B | B |
| Surface Parking (under 20 spaces) | | | C | C |
| Surface Parking (over 20 spaces) | | | C | C |
| Temporary Parking | | | T | T |
| Helipad | | | | |
| Communication Facilities | | | C | C |
| Utility Facility | | C | C | C |
| Utility Lines | | B | B | B |
| Mobile Food Units | | | P | P |
| Taxi Stand | | | | |
| Transit Facility | | B | B | B |
| Towing Service | | | | |

| Table 8.1 Uses | | T4 | T5 | T6 |
|------------------------------------|--|----|----|----|
| Industrial | | | | |
| Accessory Buildings | | | | B |
| Assembly? | | | | B |
| Beverage or Food Processing | | | | |
| Brewery & Bottling Facility | | | | B |
| Compounding of Cosmetics, | | | | B |
| Construction Storage Yards | | | | |
| Contractor's Shop (HAZMAT) | | | | |
| Correctional Facilities | | | | |
| Frozen Food Lockers | | | | |
| Greenhouse / Nurseries (Wholesale) | | | | |
| Industrial Equip Service & Repair | | | | |
| Janitorial Service Company | | | | B |
| Kennels | | | | |
| Laboratory, Medical | | | B | B |
| Laboratory, Pharmaceutical | | | B | B |
| Landscape Service Company | | | | |
| Laundries | | | | B |
| Manufactured Home Sales | | | | |
| Manufacturing, Light | | | B | B |
| Moving Companies | | | | |
| Printing / Publishing Facilities | | | B | B |
| Open Storage Yard | | | | |
| Outdoor Storage (Accessory) | | | | |
| Research and Testing Laboratories | | | B | B |
| Self-Storage Companies | | | | C |
| Warehouses | | | | C |
| Welding or Machine Shop | | | | C |
| Wholesale Establishments | | | | C |
| Salvage or Vehicle Storage Yard | | | | |
| Rented Storage Buildings | | | | C |

| Legend |
|---------------------------|
| A: Ancillary Use |
| B: By-Right Use |
| N: Not Permitted |
| C: Conditional Use Permit |
| P: Provisional Use Permit |
| T: Temporary Use Permit |

10.PARKING STANDARDS

10.1.MINIMUM REQUIRED PARKING

Applicants must identify on-street and off-street parking facility locations and their capacities, limited by the following:

- 10.1.1.Off-street parking location and access are subject to the requirements of Section 10.2.
- 10.1.2.Must demonstrate compliance with shared and minimum parking requirements, according to Table 10.2, and the following minimum parking requirements according to Table 10.1.
- 10.1.3.Parking requirements may be managed collectively utilizing all on-street and off-street spaces within the SIA.
- 10.1.4.On-street and off-street parking should be shared with common signage and wayfinding through the SIA.

| Uses | T4 | T5 | T6 |
|----------------------------|---|---|---------------------------------------|
| Residential | 1 spaces / unit 0.5 spaces / adu | 1 space / unit 0.5 spaces / adu | 0.5 spaces / unit 0.5 spaces / adu |
| Hotel & Lodging | 1 space / 1.5 rooms | 0.5 space / room | |
| Commercial | see below | | |
| Office | N/A | 3 spaces / 1,000 sq.ft | 2 spaces / 1,000 sq.ft |
| Food Service | 5 spaces / 1,000 sq.ft | 4 spaces / 1,000 sq.ft | 3 spaces / 1,000 sq.ft |
| Assembly | 1 space / 6 fixed seats + 1 space / employee OR 5 spaces / 1,000 sq.ft. for unfixed seats | 1 space / 8 fixed seats + 1 space / employee OR 5 spaces / 1,000 sq.ft. for unfixed seats | |
| All Other | 3 spaces / 1,000 sq.ft | 2 spaces / 1,000 sq.ft | 1 space / 1,000 sq.ft |
| Education | Assembly per Assembly use; 1 space / staff + 1 space for every 5 high school students | | no minimum |
| Higher Education | Assembly per Assembly use; 1 space / staff + 1 space for every 3 students | | no minimum |
| All Other | 2 spaces / 1,000 sq.ft | 1 spaces / 1,000 sq.ft | no minimum |

Table 10.2 Shared Parking Table *[sample - req. mins. to change as needed]*

| Use Utilizing Shared Parking | Req. Parking / Min. Standard | Mon - Fri 8am-6pm | | Mon - Fri 6pm-12am | | Mon - Fri 12am-8am | | Sat - Sun 8am-6pm | | Sat - Sun 6pm-12am | | Sat - Sun 12am-8am | |
|------------------------------|------------------------------|-------------------|------------|--------------------|------------|--------------------|------------|-------------------|------------|--------------------|------------|--------------------|------------|
| | | % | Spaces | % | Spaces | % | Spaces | % | Spaces | % | Spaces | % | Spaces |
| Residential | 60 | 60% | 36 | 100% | 60 | 100% | 60 | 80% | 48 | 100% | 60 | 100% | 60 |
| Hotel & Lodging | 0 | 70% | 0 | 100% | 0 | 100% | 0 | 70% | 0 | 100% | 0 | 100% | 0 |
| Commercial | | | | | | | | | | | | | |
| Office, Ind. | 20 | 100% | 20 | 20% | 4 | 5% | 1 | 5% | 1 | 5% | 1 | 5% | 1 |
| Food Service | 30 | 70% | 21 | 100% | 30 | 10% | 3 | 70% | 21 | 100% | 30 | 20% | 6 |
| All Other | 0 | 90% | 0 | 80% | 0 | 5% | 0 | 100% | 0 | 70% | 0 | 5% | 0 |
| Assembly, Rec. | 80 | 60% | 48 | 100% | 80 | 100% | 80 | 80% | 64 | 100% | 80 | 100% | 80 |
| Education | 0 | 60% | 0 | 100% | 0 | 100% | 0 | 80% | 0 | 100% | 0 | 100% | 0 |
| All Other | 0 | 70% | 0 | 100% | 0 | 100% | 0 | 70% | 0 | 100% | 0 | 100% | 0 |
| Total Req. Spaces | 190 | | 125 | | 174 | | 144 | | 134 | | 171 | | 147 |

10.2.OFF-STREET PARKING

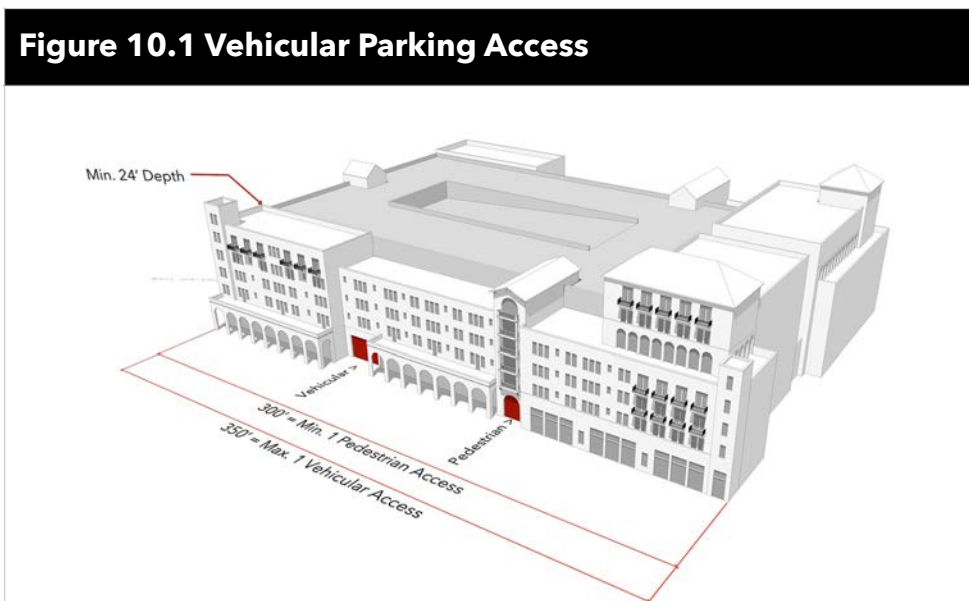
10.2.1.Off-street parking design

- a. All off-street parking stalls and aisles must be dimensioned according to [section 34-975](#), and [section 34-977](#) and the following:
 - i. Parking space width is measured from the centerline of stripes.
 - ii. Tandem parking is permitted for all residential uses, limited to two spaces per each tandem space.
 - iii. Compact car parking may be provided for up to 25% of required parking spaces.
 - (1) Compact car spaces must be a minimum of eight feet wide and 16 feet long.
 - (2) Compact car spaces must be clearly marked or posted for "Compact Cars Only."

10.2.2.Vehicular parking location

- a. Off-street parking must be masked from A-streets, pedestrian streets, and open spaces by liner buildings no less than 24 feet in depth.

10.2.3.Vehicular parking access

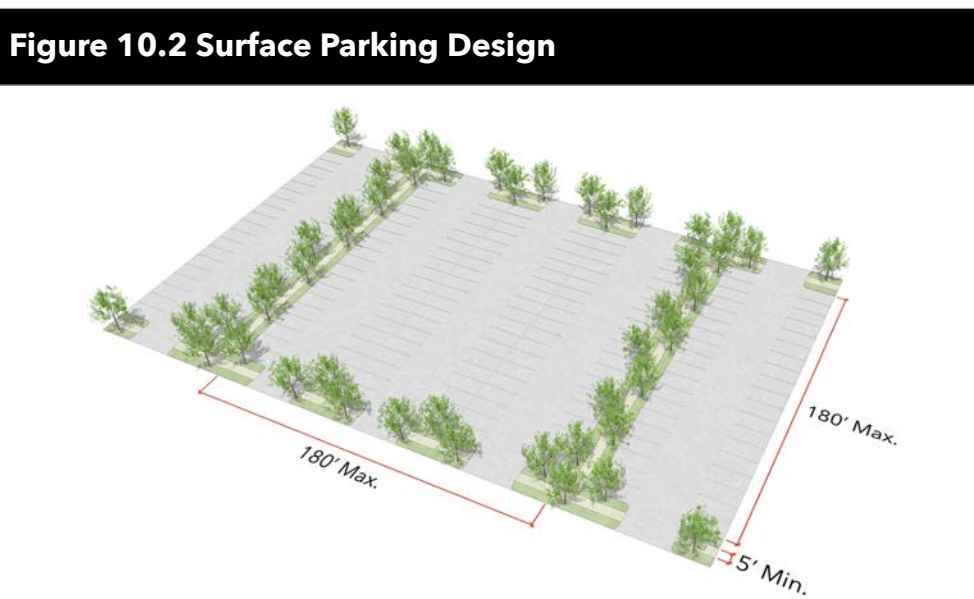


- a. Underground parking is not restricted provided it is not visible from A-streets, pedestrian streets, or open spaces.
- b. Off-street parking facilities may be accessed by vehicles as follows:
 - i. Vehicular access is prohibited from A-streets, except when the parking is bordered only by A-streets.

- ii. Vehicular access along B-streets must be spaced a minimum of 350 feet centerline to centerline, measured along the block perimeter, as per Figure 10.1.
- iii. Vehicular access design is restricted along B-streets as follows:
 - (1) Paved areas for vehicular access are limited to 24 feet in width.
 - (2) Breaks in buildings for vehicular access are limited to 40 feet in total width, including pedestrian and bicycle provisions.
- c. Pedestrian access to off-street parking must be provided according to Figure 10.1 and as follows:
 - i. Pedestrian access must be provided from adjacent A-streets, pedestrian streets, and open spaces at a minimum centerline spacing of 300 feet.
 - ii. Pedestrian access must be a minimum of 12 feet in width.
 - iii. Breaks in buildings for pedestrian access are limited to 24 feet in total width.

10.2.4. Vehicular parking design

- a. Off-street parking should be designed to make the most efficient use of land, limiting parking lot size.
- b. Surface parking lots with a dimension greater than 180 feet should provide a pedestrian walkway according to Figure 10.2 and as follows:



- i. Parking lot walkways should span the parking lot in a straight line connecting two ends of the lot.

- ii. Walkways should be no less than five feet wide.
- iii. Trees and shrubs should be planted between walkways and parking spaces to provide shade for pedestrians.
- c. Surface parking lots must be landscaped according to *[reference section of existing landscape requirements - section 34-XX]*.
- d. Portions of parking structures exposed to pedestrian view should be screened as follows:
 - i. Vegetative installations may be used to screen parking along south and west facing elevations.
 - ii. Architectural screens, integrated with the architecture of attached or surrounding buildings, may be used to screen any elevation.
 - (1) Openings should be vertical in proportion, appearing as windows.
 - (2) The elevation should have between 60% and 75% solid wall.
 - iii. Photovoltaic panels may be used to screen elevations conducive to solar energy collection.
 - iv. Parapet walls should be provided at the top floor to shield direct view of rooftop lights.
- e. For uses requiring more than 20 off-street spaces, no more than 50% of the required surface lot spaces must be open to the sky.
[Discuss with City]

10.3.BICYCLE PARKING

10.3.1. Minimum required bicycle parking is specified by Table 10.3.

| Table 10.3 Bicycle Parking Requirements | |
|--|--|
| Uses | Space Requirements |
| Residential (Multi-Family > 5 units) | 0.5 space per unit |
| Sororities, Fraternities, Dormitories | 1 space per 500 sq.ft. of bedroom area |
| Hotel & Lodging | no min. required |
| Commercial: Office | 0.2 per 1,000 sq.ft. |
| Commercial: Food Service | 0.2 per 1,000 sq.ft. |
| Commercial: Assembly | 1 per 1,000 sq.ft. |
| Commercial: All Other | 0.2 per 1,000 sq.ft. |

10.3.2. Bicycle Parking Location

- a. Bicycle racks may not be located within:
 - i. Five feet of fire hydrants.
 - ii. Four feet of loading zones and bus stop markers.
 - iii. Three feet of driveways and manholes.
 - iv. Two feet of utility meters and tree planters.
- b. Bicycle parking located along streets:
 - i. Bicycle racks installed parallel to curbs should be set back from the curb a minimum of two feet.
 - ii. Bicycle racks installed perpendicular to curbs should allow for a minimum clearance of two feet at the curb and five feet of pedestrian walkway with a 56cm bicycle properly locked to the rack.
 - iii. Bicycle racks should be spaced a minimum of 48 inches.
 - iv. Bicycle racks should be located within 100 feet of building entries and be visible from the street.
- c. Bicycle racks should allow bicycle frames to be locked at two points of contact with the rack.
- d. Comb and wave type bicycle racks are prohibited.

10.4.SERVICE AND LOADING

- 10.4.1. Service, loading, and deliveries should be provided from alleys and B-streets where available.
 - 10.4.2. Loading spaces must be dimensioned according to [section 34-983](#).
 - 10.4.3. Where alleys or B-streets are not available, on-street loading and deliveries are allowed as follows:
 - a. On-street loading and deliveries are permitted only within designated Loading Zones.
 - b. Commercial loading duration may not exceed 20 minutes.
 - c. Commercial loading must occur between the hours of 6:00 am and 9:00 am, or 2:00 pm and 4:00 pm.
 - d. Express parcel delivery duration may not exceed 15 minutes.
 - e. Express parcel delivery must occur between the hours of 8:00 am and 6:00 pm.
 - f. Residential loading.
 - 10.4.4. Loading docks, dedicated service areas, and refuse service is not permitted along A-streets, pedestrian streets, or open spaces except at service courts, subject to the following:
 - a. Service courts should be spaced a minimum of 300 feet.
 - b. Service courts are limited to 40 feet of lot frontage.
 - c. Service courts should be screened from sidewalk view, noise, and odor.
 - d. Service courts should be screened by architecturally integrated walls and gates, between five and eight feet in height. Walls may be covered with art, wayfinding signage, or vegetation.
 - e. Vehicular access to service courts is limited to 14 feet in width.
-

11. DEFINITIONS

A-street means active streets that prioritize pedestrian and bicycle access to commercial and residential spaces, over vehicular access.

Affordable dwelling unit, workforce (Type 1 ADU), means dwelling units that are affordable to households with incomes between 80% - 100% of the area mean income (AMI).

Affordable dwelling unit, low income (Type 2 ADU), means dwelling units that are affordable to households with incomes between 60% - 80% of the area mean income (AMI).

Affordable dwelling unit, very low income (Type 3 ADU), means dwelling units that are affordable to households with incomes between 30% - 60% of the area mean income (AMI).

Affordable dwelling unit, very low income (Type 4 ADU), means dwelling units that are affordable to households with incomes less than 30% of the area mean income (AMI).

Allee means a regularly spaced and aligned row of trees usually planted along a thoroughfare or path.

Arcade means a series of arches, supported by columns, or piers. Arcades may cover sidewalks and may front retail storefronts.

Awning means a movable or fixed roof-like structure of canvas or other material, extending over a doorway or from the top of a window, in order to provide protection from the sun.

B-street means service streets that prioritize vehicular access to parking and service, over pedestrian and bicycle access.

Block face means the sum of all the building facades on one side of a block.

Block perimeter means the total length of a line enclosing the block along thoroughfare right-of-ways and lot frontages.

Building height means the vertical distance of a building measured by stories.

Canopy means a fixed-roofed overhanging structure, which provides shade or protection and is in whole or in part self-supporting with open sides. They often stretch from a building's doorway to a curb.

Cluster Court means a collection of buildings on a semi-public, privately owned open space.

Colonnade means a row of columns joined by an entablature. Colonnades may cover sidewalks and may front retail storefronts.

Display window means a window built to project outward from a storefront for the purpose of displaying merchandise.

Entablature means a horizontal, continuous building element supported by columns or a wall.

Encroachment means a permitted structure that is allowed to extend into the public right-of-way.

Facade, building, means the exterior wall of a building that is set along a frontage line.

Framework plan means a planning tool that coordinates, guides, and informs future development within a specified area.

Forecourt means a private frontage where a portion of the building is close to the frontage line and the central portion is set back.

Frontage line means a property line bordering a public frontage. Facades facing frontage lines define the public realm and are therefore more regulated than the elevations facing other property lines.

Frontage Occupation means the length of the frontage that is occupied by a building.

Frontage Yard Type means the configuration of the area between the facade of the building and the frontage line such as a fenced, shallow, cluster court, etc.

Gallery means a covered sidewalk in front of a retail storefront that supports either a roof or outdoor balcony above.

Glazing means the transparent area of a building facade.

Habitable Space means building space which use involves human presence with direct view of the enfronting streets or public or private open space, excluding parking garages, self-service storage facilities, warehouses, and display windows separated from retail activity.

Open Space means an outdoor area dedicated for public use. Open space types are defined by the combination of certain physical characteristics including their size, their landscaping and their enfronting buildings. (Syn: Public Open Space, Civic Space)

Pedestrian street means a thoroughfare without vehicular traffic consisting of a right-of-way and public frontage that provides access to lots and Open Spaces.

Setback means the area of a lot measured from the property line to a building facade or elevation that is maintained clear of permanent structures, with the exception of allowed projections.

Streetscreen means a freestanding wall built along the frontage line, or aligned with the facade. It may mask a parking lot from the thoroughfare, provide privacy to a side yard, and/or strengthen the spatial definition of the public realm.

Temporary Structure means the construction or location of a building or use for a determined period of time, such as construction trailers, sale trailers or temporary portable storage containers.

Thoroughfare means a way for use by vehicular and pedestrian traffic and to provide access to lots and Open Spaces, consisting of vehicular lanes and the public frontage. (Syn: street)

Transect Zone means a cross-section of the environment showing a range of different habitats. The rural-urban Transect of the human environment used in the Code template is divided into six Transect zones. These zones describe the physical form and character of a place, according to the density and intensity of its land use and urbanism. Transect Zones 4 through 6 (T4, T5, T6) are referenced in this Code.



Charlottesville SIA

Density, Parking, and Character Study

02/11/19

Maximum Build-Out-Structured Parking

DRAFT

DPZ
CODESIGN

| Block | Block Area | Structured Pkg Footprint | Surface Pkg Footprint | Total Parking Spaces | Total Parking Required | Ground Floor Commercial | Office | Multi-Family | Units | Single Family & Sm MF | Total ft² |
|--------------|------------|--------------------------|-----------------------|----------------------|------------------------|-------------------------|--------|---------------|-----------------|-----------------------|----------------------|
| Total | 23.1 AC | 736,750 ft² | 0 ft² | 1,939 sp | 2,303 sp | 70,180 ft² | 0 ft² | 1,674,060 ft² | 2,093 du | 0 du | 1,744,240 ft² |
| | | | | | | | | | 2,093 du | | |

| Assumptions | |
|-------------------|---------|
| MF Unit Size | 800 ft² |
| Parking | 380 ft² |
| Com Parking Req'd | 333.3 |
| Res Parking Req'd | 1 |



Height

- 9+ Stories ■
- 7-8 Stories ■
- 5-6 Stories ■
- 3-4 Stories ■
- 1-2 Stories ■



Parking

- Structured ■



| Miscellaneous | |
|-------------------------------|-----------------|
| Land Area | 23.1 AC |
| Density | 91 Du/Ha |
| Structured Parking | 147,350 ft² |
| Floors (Parking) | 5 |
| Com Parking Req'd | 211 |
| Res Parking Req'd | 2093 |
| Total Parking Req'd | 2303 |
| Total Parking Provided | 1939 |
| Deficit | 364 |
| On Street Parking | 295 |
| Final | -69 |

Medium Build-Out-Surface & Structured Parking

DRAFT

DPZ
CODESIGN

| Block | Block Area | Structured Pkg Footprint | Surface Pkg Footprint | Total Parking Spaces | Total Parking Required | Ground Floor Commercial | Office | Multi-Family | Units | Single Family & Sm MF | Total sf ² |
|--------------|------------|--------------------------|-----------------------|----------------------|------------------------|-------------------------|-------------------|-------------------------|-----------------|-----------------------|-------------------------------|
| Total | 23.1 AC | 305,550 ft ² | 62,990 sp | 970 sp | 1,269 sp | 81,530 ft ² | 0 ft ² | 882,630 ft ² | 1,103 du | 131 du | 964,160 ft² |
| | | | | | | | | | 1,234 du | | |

| Assumptions | |
|-------------------|---------------------|
| MF Unit Size | 800 ft ² |
| Parking | 380 ft ² |
| Com Parking Req'd | 333.3 |
| Res Parking Req'd | 1 |



Height

- 9+ Stories ■
- 7-8 Stories ■
- 5-6 Stories ■
- 3-4 Stories ■
- 1-2 Stories ■



Parking

- Structured ■
- Surface ■



| Miscellaneous | |
|-------------------------------|------------------------|
| Land Area | 23.1 AC |
| Density | 53 Du/Ha |
| Structured Parking | 61,110 ft ² |
| Floors (Parking) | 5 |
| Com Parking Req'd | 245 |
| Res Parking Req'd | 1103 |
| Total Parking Req'd | 1348 |
| Total Parking Provided | 970 |
| Deficit | 378 |
| On Street Parking | 295 |
| Final | -83 |

Medium Build-Out-Surface & Under Building Parking

| Block | Block Area | Under Bldg Pkg Footprint | Surface Pkg Footprint | Total Parking Spaces | Total Parking Required | Ground Floor Commercial | Office | Multi-Family | Units | Single Family & Sm MF | Total sf ² |
|--------------|------------|--------------------------|-----------------------|----------------------|------------------------|-------------------------|-------------------|-------------------------|-----------------|-----------------------|-------------------------------|
| Total | 23.1 AC | 222,285 ft ² | 95,000 sp | 835 sp | 1,210 sp | 56,495 ft ² | 0 ft ² | 832,270 ft ² | 1,040 du | 39 du | 888,765 ft² |
| | | | | | | | | | 1,079 du | | |

| Assumptions | |
|-------------------|---------------------|
| MF Unit Size | 800 ft ² |
| Parking | 380 ft ² |
| Com Parking Req'd | 333.3 |
| Res Parking Req'd | 1 |



Height

- 9+ Stories ■
- 7-8 Stories ■
- 5-6 Stories ■
- 3-4 Stories ■
- 1-2 Stories ■



Parking

- Underground ■
- Surface ■
- Tuck-Under ■



| Miscellaneous | |
|-------------------------------|-------------------------|
| Land Area | 23.1 AC |
| Density | 47 Du/Ha |
| Under Building Parking | 222,285 ft ² |
| Floors (Parking) | 1 |
| Com Parking Req'd | 170 |
| Res Parking Req'd | 1040 |
| Total Parking Req'd | 1210 |
| Total Parking Provided | 835 |
| Deficit | 375 |
| On Street Parking | 295 |
| Final | -80 |

Low Build-Out-Surface Parking

DRAFT

DPZ
CODESIGN

| Block | Block Area | Under Bldg Pkg Footprint | Surface Pkg Footprint | Total Parking Spaces | Total Parking Required | Ground Floor Commercial | Office | Multi-Family | Units | Single Family & Sm MF | Total sf ² |
|--------------|------------|--------------------------|-----------------------|----------------------|------------------------|-------------------------|-------------------|-------------------------|---------------|-----------------------|-------------------------------|
| Total | 23.1 AC | 30,000 ft ² | 151,810 sp | 478 sp | 792 sp | 78,970 ft ² | 0 ft ² | 443,940 ft ² | 555 du | 198 du | 522,910 ft² |
| | | | | | | | | | 753 du | | |

| Assumptions | |
|-------------------|---------------------|
| MF Unit Size | 800 ft ² |
| Parking | 380 ft ² |
| Com Parking Req'd | 333.3 |
| Res Parking Req'd | 1 |



Height

- 9+ Stories ■
- 7-8 Stories ■
- 5-6 Stories ■
- 3-4 Stories ■
- 1-2 Stories ■



Parking

- Underground ■
- Surface ■



| Miscellaneous | |
|-------------------------------|------------------------|
| Land Area | 23.1 AC |
| Density | 33 Du/Ha |
| Under Building Parking | 30,000 ft ² |
| Floors (Parking) | 1 |
| Com Parking Req'd | 237 |
| Res Parking Req'd | 555 |
| Total Parking Req'd | 792 |
| Total Parking Provided | 478 |
| Deficit | 313 |
| On Street Parking | 295 |
| Final | -18 |

Affordable Housing Potentials of Redevelopment of the IX Property and the Sixth Street Development Under the Form-Based Code

4/1/2019

Height Bonuses

The April 26, 2018 bonus height analysis prepared by Partners for Economic Solutions (PES) and the Form-Based Codes Institute (FBCI) tested the feasibility of requiring inclusion of Affordable Dwelling Units (ADUs) in new development in exchange for additional height. The results of that analysis suggest that new development could provide 10 percent of incremental new units affordable to households with incomes at 50 percent¹ of Area Median Income (AMI), 15 percent affordable at 60 percent² of AMI or 20 percent affordable at 80 percent³ of AMI.

| Affordable Dwelling Unit Bonus Heights | | | | | | | |
|--|-----------------|-------------------|--------------|----------------------------|--|------------|------------|
| T-Zone | By-Right Height | Max. Add'tl Bonus | Total Height | Min % of ADUs ¹ | Minimum ADUs ¹ by Affordability | | |
| | | | | | 50% of AMI | 60% of AMI | 80% of AMI |
| T-4 | 3 Stories | None | 3 Stories | 10%-20% | 10% | 15% | 20% |
| T-5 | 3 Stories | +3 Stories | 6 Stories | 10%-20% | 10% | 15% | 20% |
| T-6 | 3 Stories | +6 Stories | 9 Stories | 10%-20% | 10% | 15% | 20% |

Note: ¹Share of units that must be ADUs is calculated on the number of incremental units made possible by the additional height.

Development Program

The sample redevelopment schemes for the IX Property and Charlottesville Redevelopment and Housing Authority (CRHA) Sixth Street development prepared by DPZ to illustrate the recommended Form-Based Code include four scales ranging from 754 to 2,091 units or 33 to 91 dwelling units per acre. PES designated buildings for condominium development for this analysis. This program will require 10 to 20 years to reach full build-out.

| Table 2. Alternative Development Programs | | | | |
|---|----------------------|-----------------|-----------------|---------------|
| Scale | Development Scenario | | | |
| | Max Build-Out | Mid Build-Out 1 | Mid Build-Out 2 | Low Build-Out |
| Number of Units | | | | |
| Apartments/Flats | 1,483 | 638 | 711 | 339 |
| Condominiums | 608 | 502 | 331 | 253 |
| Townhouses | - | 95 | 39 | 162 |
| Total | 2,091 | 1,235 | 1,081 | 754 |
| Density (Units per Acre) | 91 | 53 | 47 | 33 |
| Square Feet of Development | 1,744,240 | 1,119,360 | 888,765 | 760,510 |

¹ \$38,400 for a family of three

² \$46,100 for a family of three

³ \$61,450 for a family of three

Affordable Housing Options

Height Bonuses

Applying the affordable housing requirements to the height bonus yields possible affordable housing units ranging from 11 to 98 units affordable to households at incomes at 50 percent of AMI or 15 to 147 units affordable to households at 60 percent of AMI or 19 to 190 units affordable to households at 80 percent of AMI.

| | Development Scenario | | | |
|--|----------------------|-----------------|-----------------|---------------|
| | Max Build-Out | Mid Build-Out 1 | Mid Build-Out 2 | Low Build-Out |
| Affordable Dwelling Units Potentially Generated by Height Bonuses | | | | |
| At 50% of Area Median Income <i>or</i> | 98 | 50 | 29 | 11 |
| At 60% of Area Median Income <i>or</i> | 147 | 72 | 42 | 15 |
| At 80% of Area Median Income | 190 | 96 | 55 | 19 |
| Affordable Housing Contributions Generated with Special Use Permit | \$3,785,000 | \$2,347,000 | \$1,882,000 | NA |
| Affordable Units Supported by Special Use Permit Contributions If Used to Match Low-Income Housing Tax Credits (60% of AMI) | 126 | 78 | 62 | NA |
| Annual Tax-Increment Financing Revenues at Build-Out (25% to Affordable Housing) | \$788,000 | \$554,000 | \$426,000 | \$343,000 |
| Housing Vouchers for 30% of AMI Potentially Funded with TIF Revenues | 99 | 69 | 53 | 43 |

Special Use Permit Contributions

If the properties were developed with a Special Use Permit (SUP), the developer would have the option of making an affordable housing contribution equal to \$2.261 per square foot of residential development. Such contributions would range from \$1.88 to \$3.78 million depending on the intensity of development. Based on the City’s average contribution of \$30,000 per unit to assist in the development of affordable housing (typically developments receiving Low-Income Housing Tax Credits), these contributions would support 62 to 126 units of housing affordable to households at 60 percent of AMI.

Tax-Increment Financing

One potential option for generating additional City financial support for affordable housing would be commitment of a portion of the incremental real property tax revenues generated by the development to the affordable housing fund. This would mimic tax-increment financing. At full build-out, the development would yield \$1.37 to \$3.2 million in annual incremental property tax revenues (constant 2019 dollars) based on the current tax rate of \$0.95 per \$100 of assessed value. This analysis assumes that one-quarter of the increment would be committed to affordable housing. One option for those funds would be to fund rental vouchers for existing units. The funds generated at full build-out could provide City-supported housing vouchers for 43 to 99 households at 30 percent of AMI.

All of these estimates depend on full development with the assumed mix and square feet of development. As noted earlier, this could require 10 to 20 years of development depending on the market.



Affordable Housing Potentials of Redevelopment Under the Form-Based Code

Height Bonuses

The April 26, 2018 bonus height analysis prepared by Partners for Economic Solutions (PES) and the Form-Based Codes Institute (FBCI) tested the feasibility of requiring inclusion of Affordable Dwelling Units (ADUs) in new development in exchange for additional height. The results of that analysis suggest that new development could provide 10 percent of incremental new units affordable to households with incomes at 50 percent¹ of Area Median Income (AMI), 15 percent affordable at 60 percent² of AMI or 20 percent affordable at 80 percent³ of AMI.

Table 1. Affordable Dwelling Unit Bonus Heights

| T-Zone | By-Right Height | Max. Add'tl Bonus | Total Height | Min % of ADUs ¹ | Minimum ADUs ¹ by Affordability | | |
|--------|-----------------|-------------------|--------------|----------------------------|--|------------|------------|
| | | | | | 50% of AMI | 60% of AMI | 80% of AMI |
| T-4 | 2 Stories | +1 Story | 3 Stories | 10%-20% | 10% | 15% | 20% |
| T-5 | 3 Stories | +3 Stories | 6 Stories | 10%-20% | 10% | 15% | 20% |
| T-6 | 3 Stories | +6 Stories | 9 Stories | 10%-20% | 10% | 15% | 20% |

Note: ¹Share of units that must be ADUs is calculated on the number of incremental units made possible by the additional height.

Development Program

The sample redevelopment schemes for the IX Property and Charlottesville Redevelopment and Housing Authority (CRHA) Sixth Street development prepared by DPZ to illustrate the recommended Form-Based Code include four scales ranging from 754 to 2,091 units or 33 to 91 dwelling units per acre. PES designated buildings for condominium development for this analysis. This program will require 10 to 20 years to reach full build-out.

¹ \$38,400 for a family of three

² \$46,100 for a family of three

³ \$61,450 for a family of three



Table 2. Alternative Development Programs

| Scale | Development Scenario | | | |
|----------------------------|----------------------|-----------------|-----------------|---------------|
| | Max Build-Out | Mid Build-Out 1 | Mid Build-Out 2 | Low Build-Out |
| Number of Units | | | | |
| Apartments/Flats | 1,483 | 638 | 711 | 339 |
| Condominiums | 608 | 502 | 331 | 253 |
| Townhouses | - | 95 | 39 | 162 |
| Total | 2,091 | 1,235 | 1,081 | 754 |
| Density (Units per Acre) | 91 | 53 | 47 | 33 |
| Square Feet of Development | 1,744,240 | 1,119,360 | 888,765 | 760,510 |

Affordable Housing Options

Height Bonuses

Applying the affordable housing requirements to the height bonus yields possible affordable housing units ranging from 26 to 98 units affordable to households at incomes at 50 percent of AMI or 36 to 147 units affordable to households at 60 percent of AMI or 47 to 190 units affordable to households at 80 percent of AMI.

Table 3. Affordable Housing Opportunities Associated with Redevelopment of the IX Property and CRHA's Sixth Street Development

| | Development Scenario | | | |
|--|----------------------|-----------------|-----------------|---------------|
| | Max Build-Out | Mid Build-Out 1 | Mid Build-Out 2 | Low Build-Out |
| Affordable Dwelling Units Potentially Generated by Height Bonuses | | | | |
| At 50% of Area Median Income <i>or</i> | 98 | 53 | 36 | 26 |
| At 60% of Area Median Income <i>or</i> | 147 | 76 | 52 | 36 |
| At 80% of Area Median Income | 190 | 102 | 68 | 47 |
| Affordable Housing Contributions Generated with Special Use Permit | \$3,785,000 | \$2,347,000 | \$1,882,000 | \$1,541,000 |
| Affordable Units Supported by Special Use Permit Contributions If Used to Match Low-Income Housing Tax Credits (60% of AMI) | | | | |
| | 126 | 78 | 62 | 51 |
| Annual Tax-Increment Financing Revenues at Build-Out | \$3,151,000 | \$2,215,000 | \$1,703,000 | \$1,373,000 |
| Housing Vouchers for 30% of AMI Potentially Funded with TIF Revenues | | | | |
| | 394 | 277 | 213 | 172 |

Special Use Permit Contributions

If the properties were developed with a Special Use Permit (SUP), the developer would have the option of making an affordable housing contribution equal to \$2.261 per square foot of residential development. Such contributions would range from \$1.54 to \$3.78 million depending on the intensity of development. Based on the City's average contribution of



\$30,000 per unit to assist in the development of affordable housing (typically developments receiving Low-Income Housing Tax Credits), these contributions would support 51 to 126 units of housing affordable to households at 60 percent of AMI.

Tax-Increment Financing

One potential option for generating additional City financial support for affordable housing would be commitment of the incremental real property tax revenues generated by the development to the affordable housing fund. This would mimic tax-increment financing. At full build-out, the development would yield \$1.37 to \$3.2 million in annual incremental property tax revenues (constant 2019 dollars) based on the current tax rate of \$0.95 per \$100 of assessed value. One option for those funds would be to fund rental vouchers for existing units. The funds generated at full build-out could provide City-supported housing vouchers for 172 to 394 households at 30 percent of AMI.

All of these estimates depend on full development with the assumed mix and square feet of development. As noted earlier, this could require 10 to 20 years of development depending on the market.