

CITY OF CHARLOTTESVILLE
"A World Class City"

Department of Neighborhood Development Services

City Hall Post Office Box 911
Charlottesville, Virginia 22902
Telephone 434-970-3182
Fax 434-970-3359
www.charlottesville.gov



September 22, 2020

Dear Adjacent Property Owner(s)/Resident(s)/Applicant(s)/Interested Parties:

As part of the City's desire to keep community residents informed about community activities that might affect them, this letter is being sent to inform you that Mr. Mike Myers, representing Preston Commons, LLC, has submitted a final site plan. The site plan proposes construction of ten (10) dwelling units on approximately 0.854-acres of land zoned R-2 Residential. The property is currently vacant and is bordered by Preston Avenue to the west, Cabell Avenue to the north, and Barbour Drive to the east. The property is further identified in City Tax Records as TMPs 030072000, 030071000, 030068000, 030069000, and 030070000. The General Land Use Plan calls for Low Density Residential development.

The purposes of this package and the meeting noted below are to give you the chance to become familiar with the applicant's development plans, and to allow you to make suggestions at the planning stages. The materials included within this package are: a cover letter from the applicant summarizing the proposed development; selected pages from the site plan for your information; and a postage-paid envelope for the purpose of providing comments to the applicant.

You are invited to the **PRESTON COMMONS SITE PLAN CONFERENCE**, to be held virtually via Zoom on **October 7, 2020, at 10:00 am**. Computer and telephone attendance options are available. To register for this Zoom virtual meeting, please visit: <https://www.charlottesville.gov/zoom>.

You may also provide written comments via the included postage-paid envelope or via email to winterj@charlottesville.gov. Written comments must be provided within 30 calendar days of the Zoom virtual meeting, or no later than Friday, November 6, 2020.

If you have any questions or comments, please do not hesitate to contact me at 434-970-3991 or winterj@charlottesville.gov.

Sincerely,

Joey Winter
City Planner

30 Scale, LLC
871 Justin Drive, Palmyra, VA 22963
Ph. 434.242.2866
mike@30scale.com



September 9, 2020

RE: *Preston Commons Site Plan*
Tax Map 3-68, 3-69, 3-70, 3-71 and 3-72
City of Charlottesville, Virginia

Dear Neighbor,

The owner/applicant of the referenced parcels, Preston Commons, LLC has submitted a Final Site Plan for the construction of ten (10) new for-sale dwelling units on approximately 0.854-acres of land zoned R-2. The property is currently vacant and is bordered by Preston Avenue on the west, Cabell Avenue on the north, and Barbour drive on the east. The ten (10) new dwelling units will consist of eight (8) Single-Family Attached dwelling units and two (2) Two-Family dwelling units as shown on the attached site plan. The applicant will also construct concrete curb and gutter, and concrete sidewalk along the site frontage with Cabell Avenue and Barbour Drive. Street trees will also be planted along the site frontage as shown on the Landscape Plan.

Contact information for the owner/applicant is as follows:

Preston Commons, LLC
1701 Allied Street, Suite B4
Charlottesville, VA 22903
ATTN: Bob Hauser, phone: (434) 981-2034, email: rhasuer@stonehaus.net

Contact information for the plan preparer and representative for the applicant is as follows:

30 Scale, LLC
871 Justin Drive
Palmyra, VA 22963
ATTN: Michael Myers, PE, CFM, phone (434) 242-2866, email: mike@30scale.com

Sincerely,

A handwritten signature in blue ink, appearing to read "Michael Myers", is written over a horizontal line.

Michael Myers, P.E., CFM



owner:
PRESTON COMMONS, LLC
1701 ALLIED ST, SUITE B4
CHARLOTTESVILLE, VA 22903

engineer:
30 SCALE, LLC
871 JUSTIN DRIVE
PALMYRA, VA 22963
p: 434.242.2866
e: mike@30scale.com
web: www.30scale.com

PRESTON COMMONS

FINAL SITE PLAN

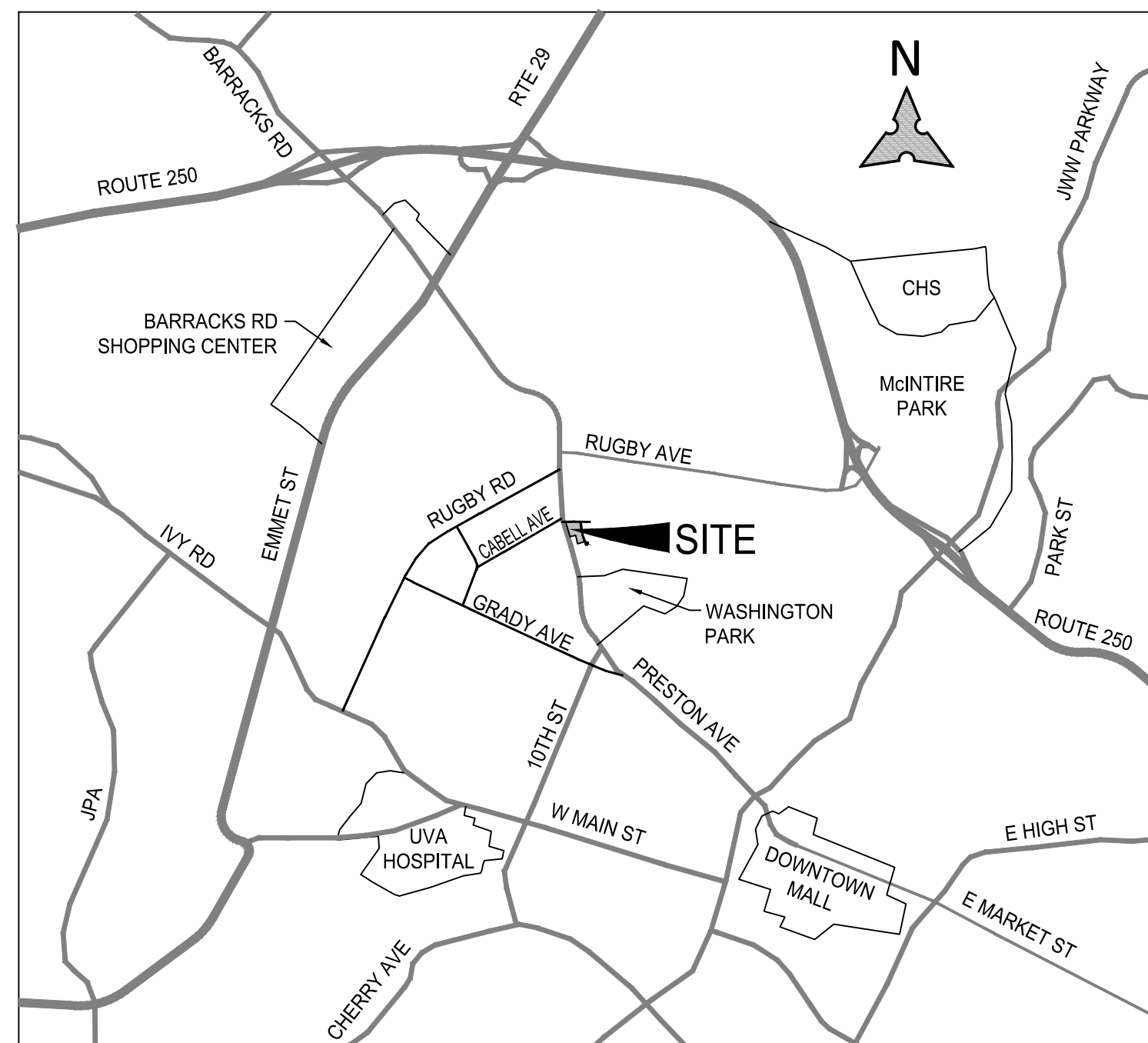
TMP(S): 3-68, 3-69, 3-70, 3-71 AND 3-72
CITY OF CHARLOTTESVILLE, VA

ABBREVIATIONS

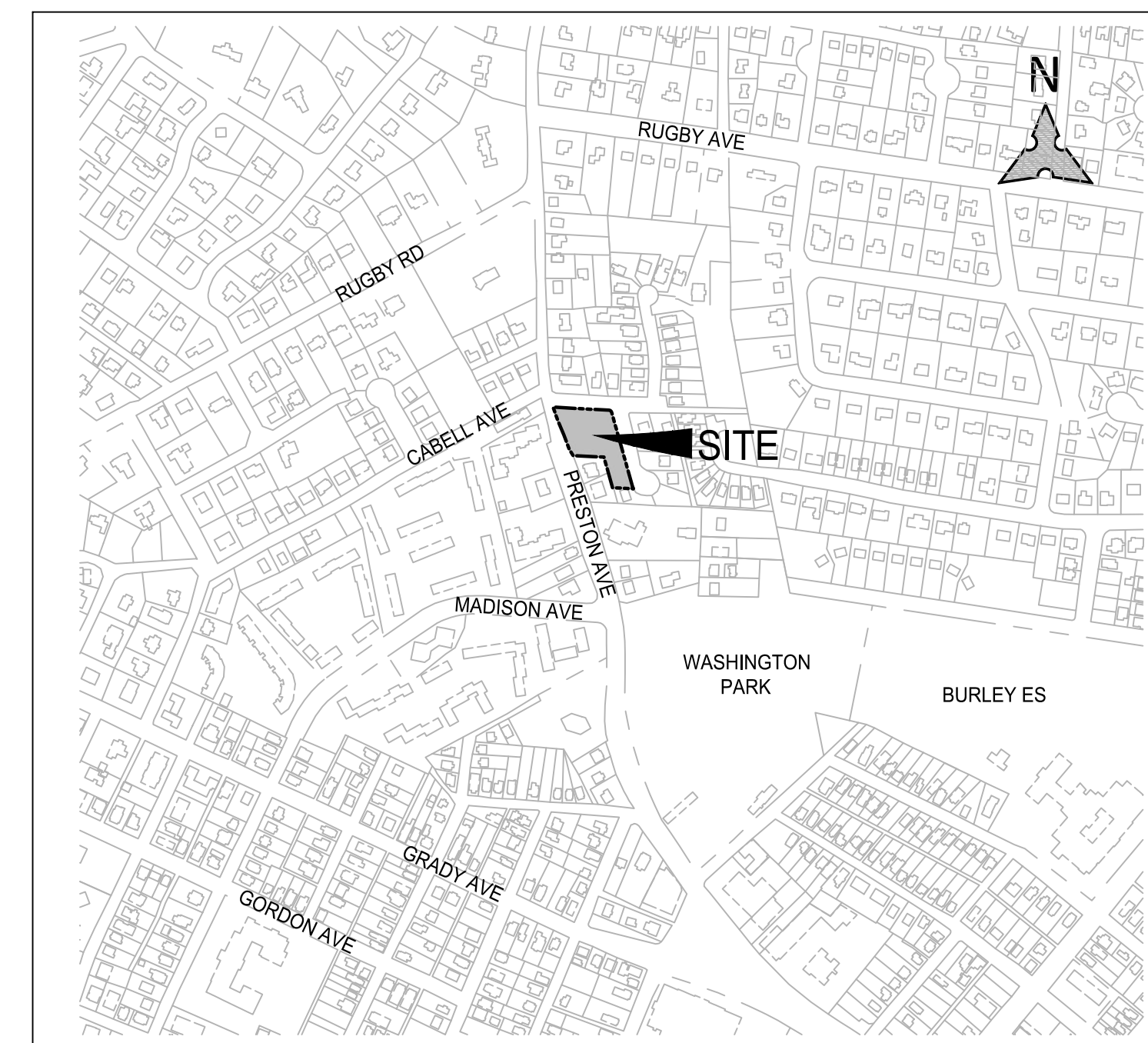
AC	ACRE
ADA	AMERICANS WITH DISABILITIES ACT
ARV	AIR RELEASE VALVE
BF	BASEMENT FLOOR
BM	BENCH MARK
BW	BOTTOM OF WALL (AT GROUND LEVEL)
CFS	CUBIC FEET PER SECOND
CG-12	ADA ACCESSIBLE CURB RAMP (VDOT STANDARD)
CI	CLASS
CMP	CORRUGATED METAL PIPE
CO	SANITARY SEWER CLEANOUT
CONC	CONCRETE
CY	CUBIC YARDS
DB/PG	DEED BOOK/PAGE
DEQ	VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY
DIP	DUCTILE IRON PIPE
DOM	DOMESTIC
E&S	EROSION AND SEDIMENT CONTROL
EL, ELEV	ELEVATION
EP, EOP	EDGE OF PAVEMENT
ESMT	EASEMENT
EW	END WALL
EX	EXISTING
FF	FIRST FLOOR
FH	FIRE HYDRANT
FM	FORCE MAIN
FPS	FEET PER SECOND
GSF	GROSS SQUARE FEET
GW	GUY WIRE
HDPE	HIGH-DENSITY POLYETHYLENE PIPE
HP	HIGH POINT
HT	HEIGHT
INV	INVERT
IRF	IRON ROD FOUND
IRS	IRON ROD SET
L	LENGTH
LAT	LATERAL
LF	LINEAR FEET
LP	LOW POINT
LT	LEFT
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM
NSF	NET SQUARE FEET
NTS	NOT TO SCALE
OHE	OVERHEAD ELECTRIC
PC	POINT OF CURVATURE
PERF	PERFORATED
PL	PROPERTY LINE
PROP	PROPOSED
PSI	POUNDS PER SQUARE INCH
PT	POINT OF TANGENCY
PVC	POINT OF VERTICAL CURVATURE
PVC	POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
R	RADIUS
R/W	RIGHT-OF-WAY
RCP	REINFORCED CONCRETE PIPE
RED	REDUCER
RPA	RESOURCE PROTECTION AREA
RT	RIGHT
RTE	ROUTE
SAN	SANITARY SEWER
SD	SIGHT DISTANCE
SDR	STANDARD DIMENSION RATIO
STA	STATION
SVC	SERVICE
SW	SIDEWALK
SWM	STORMWATER MANAGEMENT
T	TRANSFORMER
TBR	TO BE REMOVED
TC	TOP OF CURB
TP	TELEPHONE PEDESTAL
TW	TOP OF WALL
UC	UNDERGROUND
UGE	UNDERGROUND ELECTRIC
UGT	UNDERGROUND TELEPHONE/FIBER LINE
UGU	UNDERGROUND UTILITY
VDOT	VIRGINIA DEPARTMENT OF TRANSPORTATION
VESCH	VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK
VSMP	VIRGINIA STORMWATER MANAGEMENT PROGRAM
WM	WATER METER
WTR	WATER
WV	WATER VALVE

SYMBOLS

EXISTING	PROPOSED	
		GRASS DITCH LINING PER VESCH 3.32
		VDOT STD. EC-3 DITCH LINING
		CONTOUR LINE WITH ELEVATION
		STORM SEWER STRUCTURE IDENTIFIER
		SANITARY SEWER STRUCTURE IDENTIFIER
		BENCHMARK, TEST PIT
		MANHOLE WITH FRAME AND COVER
		SPOT ELEVATION
		ADA PARKING SYMBOL
		WATER CROCK/METER
		FIRE HYDRANT
		WATER VALVE
		WATERMAIN
		SANITARY SEWER MAIN
		STORM SEWER
		PROPERTY LINE/RIGHT-OF-WAY LINE
		CENTER LINE
		FENCE LINE
		EASEMENT LINE



VICINITY MAP
SCALE: 1"=2000'



PARCEL MAP
SCALE: 1"=500'

OWNER:
PRESTON COMMONS, LLC
1701 ALLIED ST, SUITE B4
CHARLOTTESVILLE, VA 22903
434-981-2034
ATTN: BOB HAUSER
ATTN: MATTHEW CRANE

ENGINEER:
30 SCALE, LLC
871 JUSTIN DRIVE
PALMYRA, VA 22963
434-242-2866
ATTN: MICHAEL MYERS, PE, CFM

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WATERSHED DATA:

LIMITS OF DISTURBANCE (LOD) = 51,421 SF (1.18 AC.)
TOTAL INCREASE IN IMPERVIOUS AREA = 18,330 SF (0.42 AC.)
HUC CODE = JR-14
RECEIVING WATERS = MEADOW CREEK AND RIVANNA RIVER
REFER TO SHEET 5 FOR ONSITE SOIL TYPES

SIGNATURE BLOCK

CITY OF CHARLOTTESVILLE NDS DIRECTOR _____

CITY ENGINEER _____

REVISIONS		
#	DESCRIPTION	DATE

FINAL SITE PLAN
PRESTON COMMONS
TMP 3-68, 3-69, 3-70, 3-71 & 3-72
CITY OF CHARLOTTESVILLE, VIRGINIA



sheet title:
COVER SHEET

scale: 1"=20'
date: 6.27.2020

sheet #
1 OF 21



owner:
PRESTON COMMONS, LLC
1701 ALLED ST, SUITE 84
CHARLOTTESVILLE, VA 22903

engineer:
30 SCALE, LLC
871 JUSTIN DRIVE
PALMYRA, VA 22963
p: 434.242.2866
e: mike@30scale.com
web: www.30scale.com

FINAL SITE PLAN

PRESTON COMMONS

TMP 3-68,3-69,3-70,3-71 & 3-72

CITY OF CHARLOTTESVILLE, VIRGINIA



sheet title:
NOTES AND TABULATIONS

scale: 1"=20'
date: 6.27.2020

sheet #
2 OF 21

SITE PLAN NOTES

- ALL PAVING, DRAINAGE RELATED MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO CURRENT SPECIFICATIONS AND STANDARDS OF THE CITY OF CHARLOTTEVILLE UNLESS OTHERWISE NOTED.
- EROSION AND SILTATION CONTROL MEASURES SHALL BE PROVIDED IN ACCORDANCE WITH THE APPROVED EROSION CONTROL PLAN AND SHALL BE INSTALLED PRIOR TO ANY CLEARING, GRADING OR OTHER CONSTRUCTION.
- ALL SLOPES AND DISTURBED AREAS ARE TO BE FERTILIZED, SEEDED AND MULCHED.
- THE MAXIMUM ALLOWABLE SLOPE IS 2:1 (HORIZONTAL: VERTICAL), WHERE REASONABLY OBTAINABLE. LESSER SLOPES OF 3:1 OR BETTER ARE TO BE ACHIEVED.
- PAVED, RIP-RAP OR STABILIZATION MAT LINED DITCH MAY BE REQUIRED WHEN IN THE OPINION OF THE CITY OF CHARLOTTEVILLE ENGINEER, IT IS DEEMED NECESSARY IN ORDER TO STABILIZE A DRAINAGE CHANNEL.
- ALL TRAFFIC CONTROL SIGNS SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). THE CURRENT EDITIONS AS OF THE DATE OF THIS PLAN SET ARE MUTCD, 2009 EDITION, INCORPORATING REVISIONS 1 AND 2, DATED MAY 2012, AND THE VIRGINIA SUPPLEMENT TO THE MUTCD, 2011 EDITION, INCLUDING REVISION 1 DATED 30 SEPTEMBER 2013.
- UNLESS OTHERWISE NOTED ALL CONCRETE PIPE SHALL BE REINFORCED CONCRETE PIPE - CLASS III AND CONFORM TO ASTM C-76.
- ALL EXCAVATION FOR UNDERGROUND PIPE INSTALLATION MUST COMPLY WITH OSHA STANDARDS FOR THE CONSTRUCTION INDUSTRY (29 CFR PART 1926).
- ALL PIPES SHOWN AS HIGH-DENSITY POLYETHYLENE PIPE (HDPE) SHALL CONFORM TO AASHTO M294 (TYPE S) SMOOTH WALL INTERIOR PIPE. MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH VDOT ROAD AND BRIDGE STANDARDS AND SPECIFICATIONS.

CONTRACTOR COORDINATION

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR CONSTRUCTION.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL PLAN DIMENSIONS, EXISTING UTILITY SIZES AND LOCATION, EXISTING TOPOGRAPHY AND OTHER SITE CONDITIONS ARE IN CONFORMANCE WITH THE PLANS. IF ANY DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ENGINEER TO DETERMINE THE COURSE OF ACTION TO ADDRESS THE DISCREPANCY. THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT THEIR OWN RISK AND EXPENSE IF THEY DO NOT NOTIFY THE OWNER AND ENGINEER TO SECURE GUIDANCE ON A CORRECTIVE ACTION.
- THE CONTRACTOR SHALL COORDINATE ALL WORK WITHIN EXISTING EASEMENTS WITH THE OWNING UTILITY COMPANY A MINIMUM OF 30 DAYS PRIOR TO BEGINNING WORK IN THE EASEMENT, AND 30 DAYS PRIOR TO BEGINNING OF SITEWORK IF ADDITIONAL LEAD TIME WILL BE REQUIRED. CONTRACTOR TO ENSURE THAT THE GUIDELINES AND CONSTRUCTION STANDARDS OF THE OWNING UTILITY COMPANY HAVE BEEN MET.
- CONTRACTOR IS TO ENSURE THAT ALL UTILITIES, INCLUDING WATER, SEWER, STORM, UNDERDRAINS, GAS, ELECTRIC, TELEPHONE, CABLE, AND ANY OTHER QUASI-PUBLIC UTILITIES ARE IN PLACE PRIOR TO CONSTRUCTION OF SUBBASE AND/OR PAVING.
- CONTRACTOR TO PROVIDE A MINIMUM 5-FOOT HORIZONTAL SEPARATION FROM WATERMAINS AND SANITARY SEWER MAINS WHEN INSTALLING PROPOSED UNDERGROUND DRY UTILITIES, INCLUDING ELECTRIC, TELEPHONE, CABLE AND GAS.
- THE CONTRACTOR SHALL BE AWARE AND IN POSSESSION OF ANY LETTERS OF PERMISSION FOR OFFSITE CONSTRUCTION ASSOCIATED WITH THE PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE MEANS AND METHODS OF CONSTRUCTION WORK WITH THE OWNER AND THE OFFSITE PROPERTY OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR THE RELOCATION OF ALL EXISTING UTILITIES THAT ARE IN CONFLICT WITH THE WORK, INCLUDING EXISTING UTILITY POLES AND GUY WIRES.
- CONTRACTOR TO PROVIDE CERTIFIED SHOP DRAWINGS FOR ENGINEER REVIEW AND APPROVAL FOR SITE INFRASTRUCTURE PRIOR TO ORDERING STRUCTURES. ORDERING STRUCTURES PRIOR TO ENGINEER REVIEW AND APPROVAL SHALL BE DONE AT THE RISK OF THE CONTRACTOR.
- CONTRACTOR SHALL VISUALLY INSPECT CONCRETE FORMS PRIOR TO PLACEMENT OF CONCRETE. IN THE EVENT THAT ADJUSTMENTS ARE NEEDED, CONTRACTOR TO NOTIFY ENGINEER PRIOR TO PLACING OF CONCRETE FOR FIELD REVIEW AND AGREEMENT ON ANY FIELD REVISION THAT MAY BE REQUIRED. ENGINEER TO PROVIDE REASONABLE AND TIMELY RESPONSE TO ALL INQUIRIES MADE BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL DURING CONSTRUCTION, INCLUDING MAINTAINING UNOBSTRUCTED ACCESS FOR THE RESIDENTS OF THE PHASE 1 TOWNHOUSES AT STONEFIELD AT ALL TIMES DURING CONSTRUCTION.
- ALL DAMAGED EXISTING CURB, GUTTER, AND SIDEWALK SHALL BE REPAIRED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE ENGINEER IMMEDIATELY IF UNKNOWN UTILITIES THAT IMPACT THE CONSTRUCTION ARE DISCOVERED.
- CONTRACTOR SHALL COMPLY WITH FENCING AND TREE PRESERVATION SIGNAGE REQUIRED BY ALBEMARLE COUNTY CODE.
- CONTRACTOR SHALL COMPLY WITH ALL WETLAND PERMIT REQUIREMENTS AS SPECIFIED BY THE ARMY CORPS OF ENGINEERS AND/OR THE VIRGINIA DEQ.
- CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS TO AN EQUAL OR BETTER CONDITION THAN EXISTED BEFORE CONSTRUCTION.
- CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS FOLLOWING COMPLETION OF CONSTRUCTION AND IMMEDIATELY REMOVE CONSTRUCTION DEBRIS AND MUD THAT HAS BEEN TRACKED ON TO THE SURROUNDING PROPERTIES.
- CONTRACTOR SHALL BE LIABLE FOR REPAIR OF ANY DAMAGES ON PUBLIC OR PRIVATE PROPERTY CAUSED BY HIS CONSTRUCTION ACTIVITY, INCLUDING CURBS, GUTTER PAN, ASPHALT AND CONCRETE PAVEMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE STORAGE OF LANDSCAPE MATERIALS PRIOR TO PLANTING AND PROVIDE A ONE-YEAR GUARANTEE ON ALL VEGETATION.

FIRE MARSHAL NOTES

- VSFPC 505.1 - THE BUILDING STREET NUMBER TO BE PLAINLY VISIBLE FROM THE STREET FOR EMERGENCY RESPONDERS. PLEASE PROVIDE, AND POST ON SITE, A 911 ADDRESS FOR EMERGENCY RESPONDERS ONCE CONSTRUCTION BEGINS.
 - VSFPC 507.5.4 AND 912.3 - FIRE HYDRANTS, FIRE PUMP TEST HEADER, FIRE DEPARTMENT CONNECTIONS OR FIRE SUPPRESSION SYSTEM CONTROL VALVES SHALL REMAIN CLEAR AND UNOBSTRUCTED BY LANDSCAPING, PARKING OR OTHER OBJECTS.
 - ON STREET PARKING NEEDS TO BE LIMITED TO ONE SIDE OF THE STREET ONLY AND APPROPRIATE SIGNAGE INSTALLED.
- CONSTRUCTION & DEMOLITION COMMENTS:
- VSFPC 310.3; 310.5 - SMOKING TO BE ALLOWED IN ONLY DESIGNATED SPACES WITH PROPER RECEPTACLES. "NO SMOKING" SIGNS SHALL BE POSTED AT EACH BUILDING SITE AND WITHIN EACH BUILDING DURING CONSTRUCTION. SPECIALLY, SMOKING WILL ONLY BE ALLOWED OUTSIDE THE CONSTRUCTION SITE'S SAFETY FENCE.
 - VSFPC 3304.2 - WASTE DISPOSAL OF COMBUSTIBLE DEBRIS SHALL BE REMOVED FROM THE BUILDING AT THE END OF EACH WORKDAY.
 - VSFPC 3304.6 - CUTTING AND WELDING. OPERATIONS INVOLVING THE USE OF CUTTING AND WELDING SHALL BE DONE IN ACCORDANCE WITH CHAPTER 35, OF THE VIRGINIA STATEWIDE FIRE PREVENTION CODE. ADDRESSING WELDING AND HOTWORK OPERATIONS.
 - VSFPC 3315.1 - FIRE EXTINGUISHERS SHALL BE PROVIDED WITH NOT LESS THAN ONE APPROVED PORTABLE FIRE EXTINGUISHER AT EACH STAIRWAY ON ALL FLOOR LEVELS WHERE COMBUSTIBLE MATERIALS HAVE ACCUMULATED.
 - VSFPC 3310.1 - REQUIRED VEHICLE ACCESS FOR FIREFIGHTING SHALL BE PROVIDED TO ALL CONSTRUCTION OR DEMOLITION SITES. VEHICLE ACCESS SHALL BE PROVIDED TO WITHIN 100 FEET OF TEMPORARY OR PERMANENT FIRE DEPARTMENT CONNECTIONS. VEHICLE ACCESS SHALL BE PROVIDED BY EITHER TEMPORARY OR PERMANENT ROADS, CAPABLE OF SUPPORTING VEHICLE LOADING UNDER ALL WEATHER CONDITIONS. VEHICLE ACCESS SHALL BE MAINTAINED UNTIL PERMANENT FIRE APPARATUS ACCESS ROADS ARE AVAILABLE.

FIRE FLOW TEST

Fire Hydrant Test Report									
Location: 102 Barbour Drive sm 300548189									
Date of Test: 06-05-2020 7:42 (am)									
Performed by: (list all) Anthony Pullaor, Franklin Shifflett, Chris Vohwinkel, Buddy Dodson									
Hydrant ID:	Location:	Pipe Size	Nozzle Size (in)	Static Res.	Pressure	Flow (gpm)	Duration (min:sec)		
Residual Hydrant:	02324	102 Barbour Drive	8	2.5	70	20			
Flow Hydrant #1	02323	108 Robinson Woods	8	2.5		493	8.00		
Flow Hydrant #2	02335	Cabell Ave	8	2.5		543	8.00		
Flow Hydrant #3				2.5					
Flow Hydrant #4				2.5					
Flow Hydrant #5				2.5					
Special Instructions:									

Please attach GIS map with all hydrant locations shown and labeled.

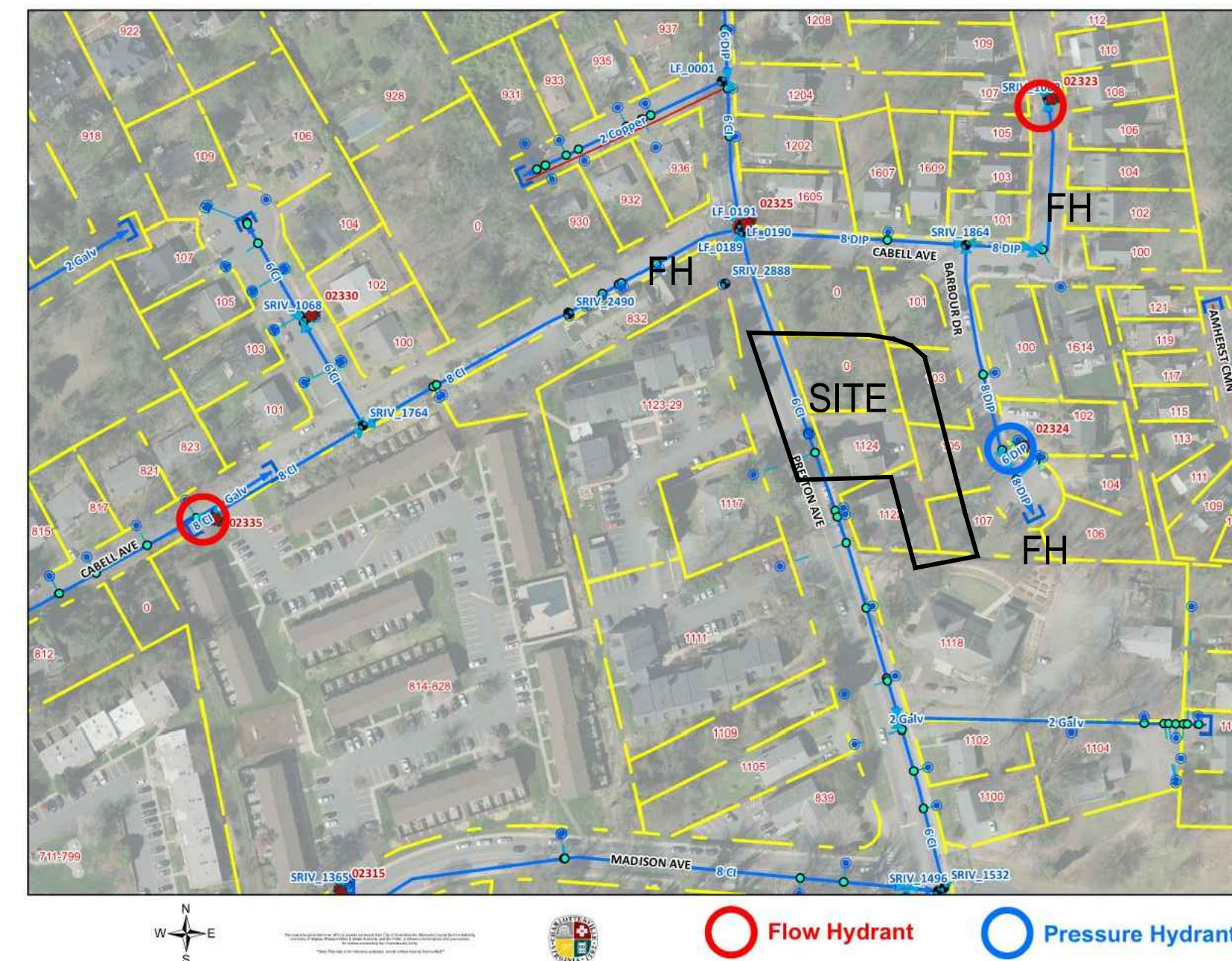
NEEDED FIRE FLOW:

1,000 GPM @ 20 PSI RESIDUAL PRESSURE FOR ONE AND TWO FAMILY DWELLINGS

Q20 CALCULATIONS

Q20 = 543 x [(70-20)/(70-20)]^0.54 = 543 GPM < 1,000 GPM
IN ORDER TO MEET FIRE FLOW REQUIREMENTS FOR THE SITE, THE FIRE HYDRANT ON CABELL AVENUE AND ON BARBOUR DRIVE MAY NEED TO BE UTILIZED.

GIS MAP SHOWING FIRE HYDRANTS



ORDINANCE TABULATIONS

PROPERTY INFORMATION			
TAX MAP AND PARCEL:	3-68 THRU 3-72		
OWNER/DEVELOPER:	PRESTON COMMONS, LLC		
SITE AREA:	0.854 AC		
SOURCE OF TITLE:	DB 2019 PG 4617		
BOUNDARY AND TOPOGRAPHIC SURVEY:	MERIDIAN PLANNING GROUP, LLC, DATED 2-7-2020		
DATUM:	HORIZONTAL DATUM NAD 1983, VERTICAL DATUM NVAD 1988		
CITY/STATE:	CITY OF CHARLOTTEVILLE, VIRGINIA		
ZONING:	R-2		
OVERLAY DISTRICT:			
FLOODPLAIN NOTE:	THE PROPERTY IS LOCATED IN ZONE "X", AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAN AS SHOWN ON FEMA MAP NO. 51003C0286D, EFFECTIVE DATE FEBRUARY 4, 2005.		
UTILITIES NOTE:	THE SITE IS CURRENTLY SERVED BY PUBLIC WATER AND SEWER		
SITE CONDITIONS			
EXISTING USE:	VACANT		
PROPOSED USE:	RESIDENTIAL - SINGLE-FAMILY ATTACHED AND TWO-FAMILY DWELLING		
PROPOSED DENSITY:	10 UNITS - 11.71 DU/AC		
LAND COVER		EXISTING	PROPOSED
IMPERVIOUS:	657 SF	18,987 SF	
PERVIOUS:	36,531 SF	18,201 SF	
TOTAL:	37,188 SF	37,188 SF	
PERCENT IMPERVIOUS:	2%	51%	
TRAFFIC GENERATION:	(PER ITE TRIP GENERATION MANUAL 9TH EDITION)		
MULTI-FAMILY (USE CODE 221)	7 TRIPS PER DAY PER UNIT		
TOTAL NUMBER OF TRIPS:	70 VPD		
OFF-STREET PARKING REQUIREMENTS			
SINGLE-FAMILY AND TFD	10 SPACES (1 SPACE/DWELLING UNIT REQUIRED)		
PROVIDED PARKING:	10 SPACES		
MINIMUM YARDS		PRESTON AVE	BARBOUR DRIVE
FRONT:	25 FEET *	30'	20.5'
SIDE:	10 FEET		
CORNER STREET SIDE:	20 FEET		
REAR:	25 FEET		
* ON A LOT WHERE FORTY PERCENT OR MORE OF THE LOTS LOCATED WITHIN FIVE HUNDRED FEET IN EITHER DIRECTION, FRONTING ON THE SAME SIDE OF THE STREET, HAVE GREATER OR LESS THAN THE MINIMUM FRONT YARD SPECIFIED, THE REQUIRED FRONT YARD FOR THAT LOT SHALL BE THE:			
MINIMUM FRONTAGE			
SINGLE-FAMILY-ATTACHED UNITS	20 FEET		
MINIMUM LOT AREA		REQUIRED	PROVIDED
SINGLE-FAMILY-ATTACHED UNITS (LOTS 1-8)	2,000 SF MINIMUM	2,876 SF MIN	OK
	3,600 SF AVERAGE	3,803 SF AVG	OK
TWO-FAMILY UNITS (9-10)	7,200 SF	6,102 SF	OK
	OR 6,000 SF IF LOT WAS PLATTED PRIOR TO 8/31/1964	LOT WAS PLATTED ON 8/25/51	OK
BUILDING HEIGHT			
MAXIMUM BUILDING HEIGHT	35 FEET		
PROPOSED BUILDING HEIGHT	NOT HIGHER THAN 35 FEET		

FRONT SETBACK CALCULATIONS

PRESTON AVENUE

#	PARCEL ID	ADDRESS	SETBACK (FT)
1	030067100	1605 CABELL AVE	30
2	030067000	1202 PRESTON AVE	45
3	030066000	1204 PRESTON AVE	50
4	030065000	1206 PRESTON AVE	41
5	030058000	1212 PRESTON AVE	26
6	030056000	1218 PRESTON AVE	21
7	300730000	1124 PRESTON AVE	18
8	030073A00	1122 PRESTON AVE	23
9	030009200	1118 PRESTON AVE	15
10	030093200	1102 PRESTON AVE	29
11	030093100	1100 PRESTON AVE	28
SUM OF SETBACKS			326
AVERAGE SETBACK			30 FT

SETBACK DIMENSIONS ARE BASED ON CITY OF CHARLOTTEVILLE GIS

BARBOUR DRIVE

#	PARCEL ID	ADDRESS	SETBACK (FT)
1	030074000	107 BARBOUR DRIVE	20.5
AVERAGE SETBACK			20.5 FT

SETBACK DIMENSION IS BASED ON A FIELD SURVEY

LOT AREA TABULATIONS

LOT#	AREA (SF)	AREA (AC)
LOT 1	4,199	0.096
LOT 2	3,045	0.070
LOT 3	3,111	0.071
LOT 4	4,859	0.112
LOT 5	4,588	0.105
LOT 6	2,899	0.067
LOT 7	2,876	0.066
LOT 8	4,852	0.111
TMP 3-72	6,102	0.140
R/W DED PRESTON	657	0.015
TOTAL	37,188 SF	0.854 AC

REVISIONS		
#	DESCRIPTION	DATE



owner:
 PRESTON COMMONS, LLC
 1701 ALLIED ST, SUITE B4
 CHARLOTTEVILLE, VA 22903

engineer:
 30 SCALE, LLC
 871 JUSTIN DRIVE
 PALMYRA, VA 22963
 P: 434.242.2866
 E: mike@30scale.com
 web: www.30scale.com

FINAL SITE PLAN
PRESTON COMMONS
 TMP 3-68,3-69,3-70,3-71 & 3-72
 CITY OF CHARLOTTEVILLE, VIRGINIA

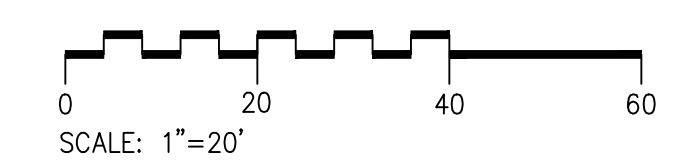
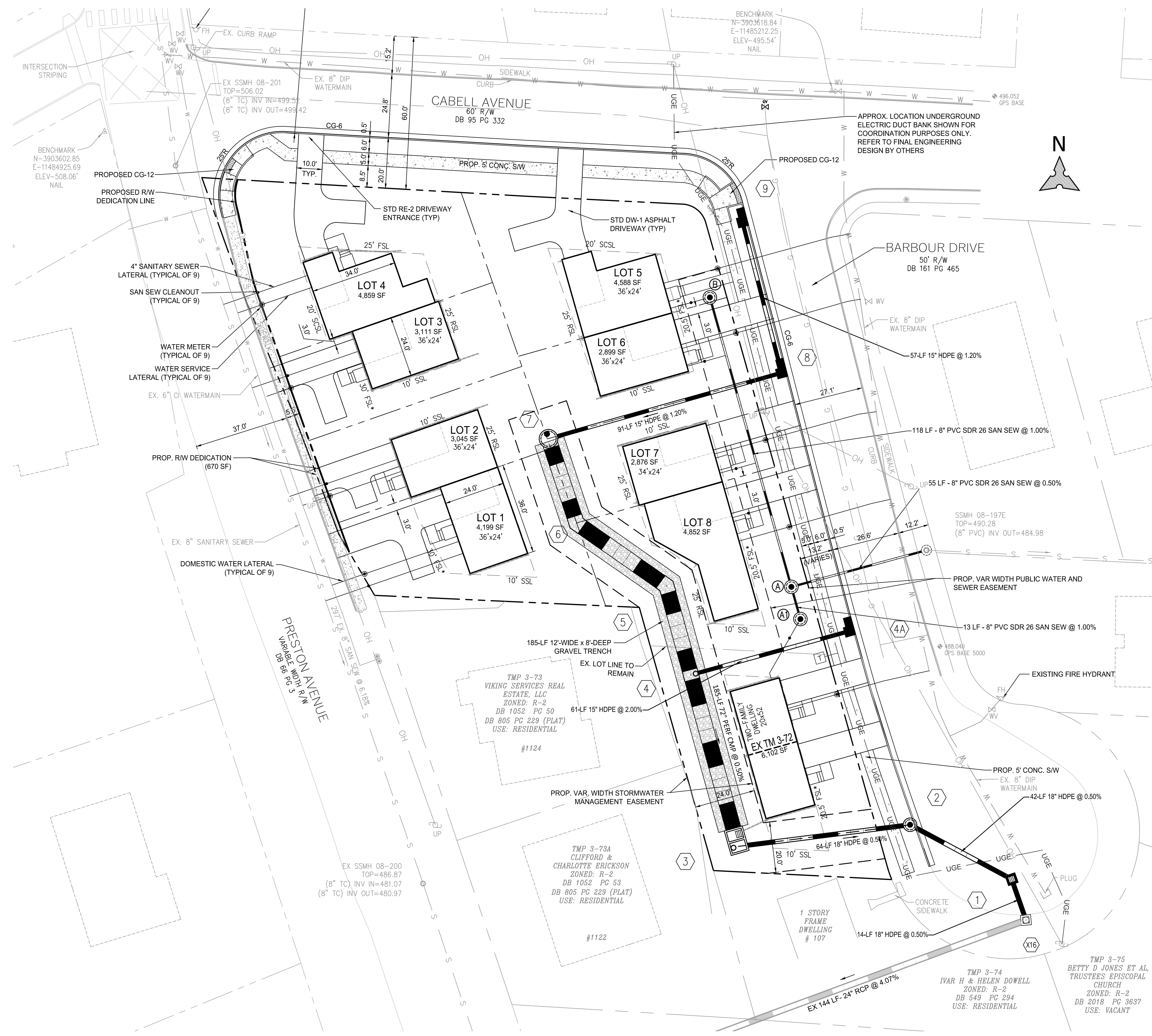


sheet title:
LAYOUT PLAN

scale: 1"=20'
 date: 6.27.2020

sheet #
 4 OF 21

- ROOF DOWNSPOUT KEY**
- ROOF DOWNSPOUT
 - ROOF DOWNSPOUT WITH SPLASH BLOCK
 - ROOF DOWNSPOUT TO DAYLIGHT
 - 4" ROOF DRAIN LEADER
- BUILDING SETBACK KEY**
- FSL FRONT SETBACK LINE
 - RSL REAR SETBACK LINE
 - SSL SIDE SETBACK LINE
 - SCSL STREET CORNER SETBACK LINE





owner:
PRESTON COMMONS, LLC
1701 ALLIED ST, SUITE B4
CHARLOTTEVILLE, VA 22903

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FINAL SITE PLAN
PRESTON COMMONS
TMP 3-68,3-69,3-70,3-71 & 3-72
CITY OF CHARLOTTEVILLE, VIRGINIA



sheet title:
LANDSCAPE PLAN

scale: 1"=20'
date: 6.27.2020
sheet # 6 OF 21

LANDSCAPE COMPUTATIONS

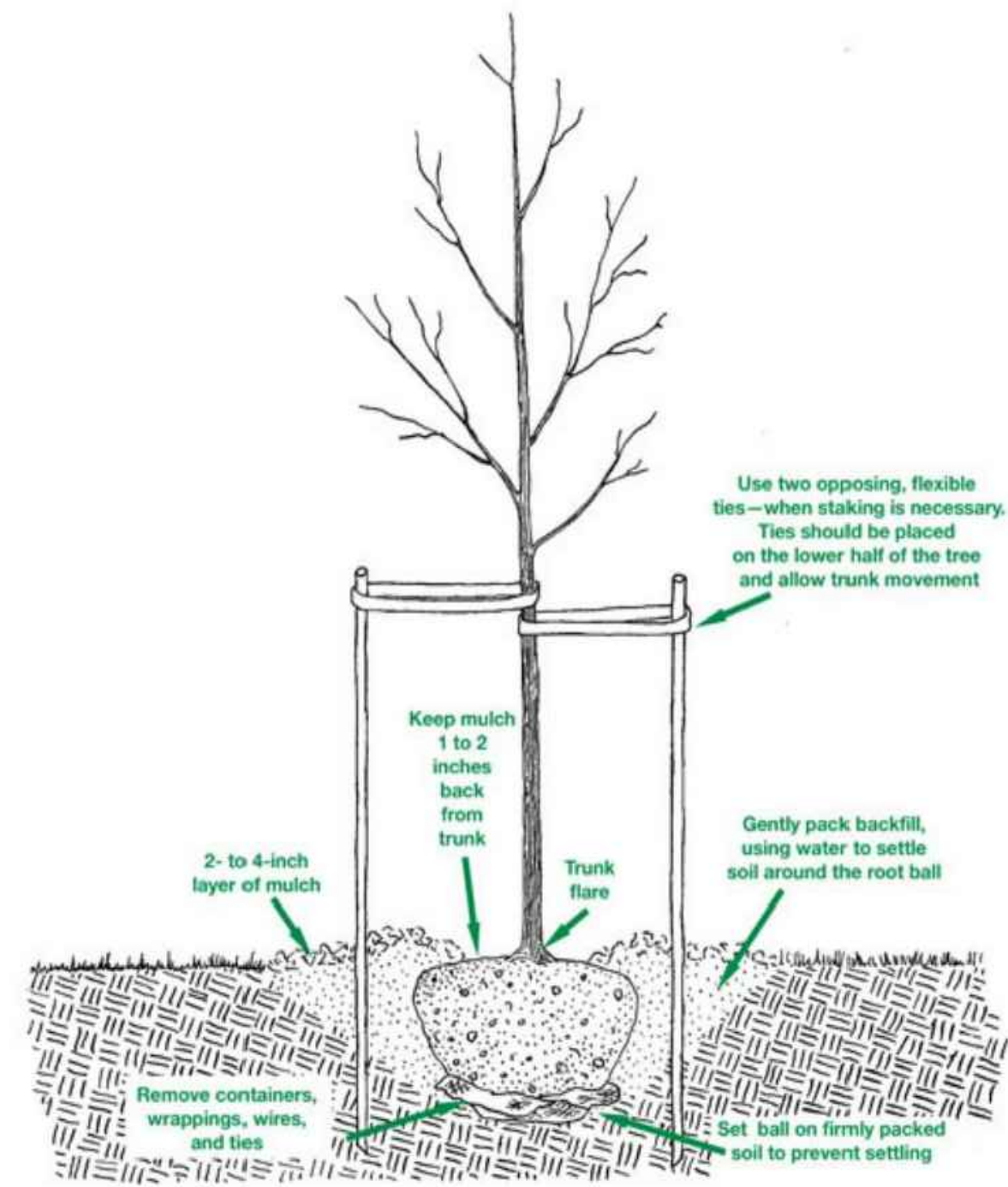
REQUIRED TREE COVER	
SITE AREA	37,193 SF
15% TREE COVER REQUIRED	5,579 SF
PROVIDED TREE COVER	6,622 SF OK
STREET TREES	
STREET FRONTAGE ON PRESTON AVENUE	177 FT
REQUIREMENT: 1 LARGE TREE PER 40 FEET OF ROAD FRONTAGE, OR PORTION THEREOF, IF TWENTY (25) FEET OR MORE	4 TREES
PROVIDED:	4 TREES OK
STREET FRONTAGE ON CABELL AVENUE	187 FT
REQUIREMENT: 1 LARGE TREE PER 40 FEET OF ROAD FRONTAGE, OR PORTION THEREOF, IF TWENTY (25) FEET OR MORE	5 TREES
PROVIDED:	5 TREES OK
STREET FRONTAGE ON BARBOUR DRIVE	282 FT
REQUIREMENT: 1 LARGE TREE PER 40 FEET OF ROAD FRONTAGE, OR PORTION THEREOF, IF TWENTY (25) FEET OR MORE	7 TREES
PROVIDED:	7 TREES OK

LANDSCAPE SCHEDULE

SYMBOL	TOTAL QTY	COMMON NAME/ BOTANICAL NAME	CAL	ROOT	UNIT	TOTAL CANOPY (10-YR)
QR	4	NORTHERN RED OAK QUERCUS RUBRA	2"	B&B	424 SF	1,696 SF
CO	6	HACKBERRY CELTIS OCCIDENTALIS	2"	B&B	572 SF	3,432 SF
QC	6	SWEETGUM LIQUIDAMBAR STYRACIFLUA	2"	B&B	249 SF	1,494 SF
TOTAL CANOPY COVERAGE						6,622 SF

PLANTING NOTES

- THE CONTRACTOR SHALL PROVIDE ALL PLANTS, LABOR, EQUIPMENT, SUPPLIES, MATERIAL, TRANSPORTATION, HANDLING AND STORAGE, AND PERFORMING ALL OPERATIONS IN CONNECTION WITH THE CONSTRUCTION OF THE LANDSCAPING IMPROVEMENTS AS SHOWN ON THE PLANS.
- ALL PLANTS SHALL BE TRUE TO SPECIES AND VARIETY, AND SIZE AS INDICATED ON THE LANDSCAPE SCHEDULE, AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES.
- PLANTS SHALL HAVE A STANDARD BALANCE BETWEEN HEIGHT, CROWN SPREAD, DIAMETER AND ROOT BALL SIZE ACCORDING TO THE ANSI Z60.1. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY.
- PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE COMPACT AND SYMMETRICAL. THEY SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED, AND DENSELY FOLIATED WHEN IN LEAF. PLANTS SHALL BE FREE OF DISEASE AND INSECT ADULTS, EGGS, PUPAE, OR LARVAE. THEY SHALL HAVE HEALTHY, WELL DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH.
- MULCH SHALL CONSIST OF SHREDDED BARK MULCH, WOOD CHIPS OR ROCK MULCH AS SPECIFIED ON THE DRAWINGS. MATERIAL SHALL BE UNIFORM IN SIZE, COLOR, QUALITY AND OVERALL APPEARANCE. MULCH SHALL BE FREE OF MATERIAL INJURIOUS TO PLANT GROWTH. SOURCES OF MULCH SHOULD BE FREE OF WEEDS AND INVASIVE PLANT PARTS OR SEEDS. SAWDUST, DIRT, GARBAGE, OR OTHER DEBRIS MIXED IN THE MULCH IS NOT ACCEPTABLE.
- PLANTING SHALL BE DONE WHEN TEMPERATURES ARE ABOVE FREEZING, THE GROUND IS FROST FREE, AND THE SOIL IS IN A WORKABLE CONDITION. UNLESS OTHERWISE SPECIFIED IN WRITING BY THE ENGINEER, PLANTING OF TREES SHALL BE DONE BETWEEN MAY 1 AND OCTOBER 1.
- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, SUPPLIES AND EQUIPMENT REQUIRED TO ESTABLISH, MAINTAIN, AND PROTECT THE PLANTED AND SEEDED AREAS, FOR A ONE-YEAR PLANT ESTABLISHMENT PERIOD FROM DATE OF ACCEPTANCE OF THE INITIAL PLANTING OPERATIONS. HOWEVER, MAINTENANCE ACTIVITIES SHALL COMMENCE IMMEDIATELY AFTER EACH ITEM IS PLANTED OR WHEN AREAS HAVE BEEN SEEDED.
- NO SUBSTITUTES SHALL BE ACCEPTED, EXCEPT WITH THE WRITTEN PERMISSION OF THE ENGINEER. THE CONTRACTOR SHALL SUBMIT ALL SUBSTITUTION REQUESTS, NOTING THE SOURCE OF PLANTS, LOCATION, SIZE, AND CONDITION, WITHIN THIRTY (30) DAYS OF RECEIVING THE NOTICE TO PROCEED.
- ALL AREAS THAT ARE STEEPER THAN 3H:1V ARE TO BE PLANTED WITH LOW MAINTENANCE GROUND COVER THAT DOES NOT REQUIRE MOWING.



PLANTING DETAIL
TAKEN FROM CITY OF CHARLOTTEVILLE TREE PACKET

